

Approved

ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature

3-10-21

Date

Printed Name:

Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

SITE CONSTRUCTION PLANS

FOR

NINE MILE ROAD APARTMENTS

ESCAMBIA COUNTY, FLORIDA

April 20, 2020

ECUA ENGINEERING MANUAL REFERENCE NOTE

*NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET

*APPLICABLE ONLY TO ECUA INFRASTRUCTURE TO BE CONSTRUCTED IN PUBLIC ROW OR IN UTILITY EASEMENT; NOT TO BE APPLIED TO PRIVATE WATER/SEWER FACILITIES ON PRIVATE PROPERTY (SEE BUILDING CODE)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE #1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

CYES

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

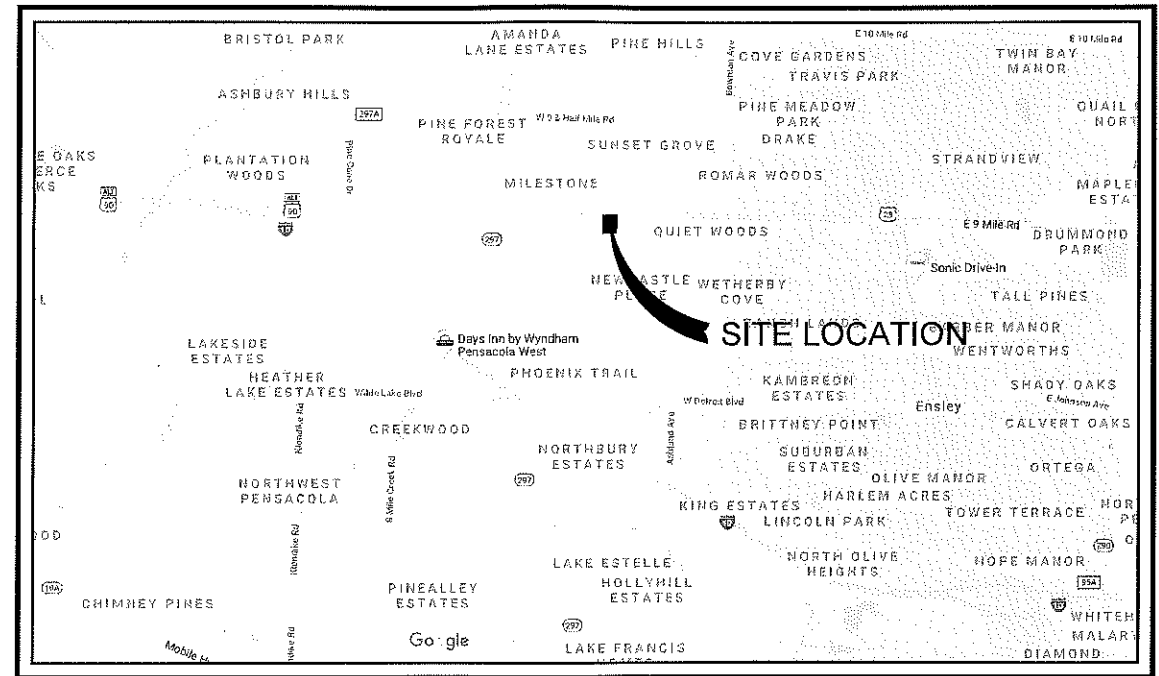
THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTIONS OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

RBA PROJECT NO.: 2018.096

SITE INFORMATION	
OWNER:	SNS STEFANI LLC 120 E MAIN ST SWEET A PENSACOLA, FL 32502
DEVELOPER:	SNS STEFANI LLC 120 E MAIN ST SWEET A PENSACOLA, FL 32502
PROPERTY REFERENCE NO:	12-1S-31-1100-093-002
PROPERTY ADDRESS:	1569 W NINE MILE ROAD
PROPERTY AREA:	13.16 ACRES
PROJECT AREA:	13.18 ACRES
PROPERTY ZONING:	HC/LI
FUTURE LAND USE:	MU-U
PROPOSED ACTIVITY:	APARTMENTS
REQUIRED BUILDING SETBACKS:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPT 29, 2006

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.8518
ENERGY SERVICES GAS 1825 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 805 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3383 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770



VICINITY MAP

SCALE: 1"=2,000'

RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300

Pensacola, Florida 32503

Telephone 850.438.0400

Fax 850.438.0448

EB 00009657 LB 7916

- INDEX OF DRAWINGS
- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS AND TREE TABLE NOTES
- C1.2 NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0 OVERALL SITE PLAN AND NOTES
- C2.1 SITE LAYOUT AND DIMENSION PLAN
- C2.2 SITE LAYOUT AND DIMENSION PLAN
- C2.3 SITE LAYOUT AND DIMENSION PLAN
- C2.4 SITE DETAILS
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- C4.1 UTILITY PLAN
- C4.2 UTILITY PLAN
- C4.3 UTILITY DETAILS
- C5.0 LANDSCAPE PLAN
- C5.1 LANDSCAPE PLAN
- C5.2 LANDSCAPE PLAN
- C5.3 LANDSCAPE DETAILS

LEGAL DESCRIPTION

DESCRIPTION: (PER AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY)

A PORTION OF LOTS 14, 15 AND 16, BLOCK 2, OF THE PENSACOLA FARM LAND COMPANY SUBDIVISION, BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, AS RECORDED IN DEED BOOK 67, PAGE 345, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY (R/W) LINE OF STATE ROAD NO. 10 (AKA U.S. HIGHWAY 90 AKA NINE MILE ROAD A 200' R/W) AND THE WEST LINE OF LOT 16, BLOCK 2, OF SAID PENSACOLA FARM LAND COMPANY SUBDIVISION; THENCE PROCEED SOUTH 87°23'04" EAST ALONG SAID SOUTHERLY R/W LINE FOR A DISTANCE OF 546.70 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 171,787.34 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 63.97 FEET (DELTA ANGLE = 0°01'17", CHORD DISTANCE = 63.97 FEET; CHORD BEARING = SOUTH 87°27'55" EAST); THENCE DEPARTING SAID CURVED R/W LINE PROCEED SOUTH 02°36'38" WEST FOR A DISTANCE OF 101.87 FEET; THENCE PROCEED SOUTH 03°41'18" EAST FOR A DISTANCE OF 185.45 FEET; THENCE PROCEED SOUTH 03°04'11" WEST FOR A DISTANCE OF 630.88 FEET; THENCE PROCEED NORTH 89°58'49" WEST FOR A DISTANCE OF 630.88 FEET TO THE WESTERLY LINE OF THE AFORESAID LOT 14; THENCE PROCEED NORTH 02°58'52" EAST ALONG THE WEST LINE OF SAID LOT 14 AND WEST LINE OF LOTS 15 AND 16 FOR A DISTANCE OF 912.00 FEET TO THE AFORESAID SOUTHERLY R/W LINE AND THE POINT OF BEGINNING.

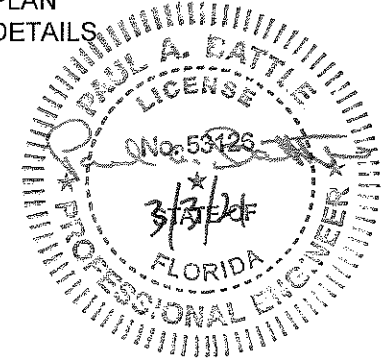
ALL LYING AND BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING:

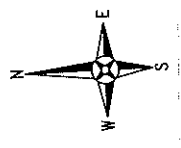
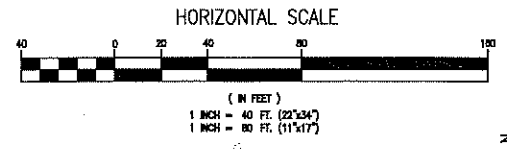
A PORTION OF LOTS 15 AND 16, BLOCK 2, OF THE PENSACOLA FARM LAND COMPANY SUBDIVISION, BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, AS RECORDED IN DEED BOOK 67, PAGE 345, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY (R/W) LINE OF STATE ROAD NO. 10 (AKA U.S. HIGHWAY 90 AKA NINE MILE ROAD A 200' R/W) AND THE WEST LINE OF LOT 16, BLOCK 2, OF SAID PENSACOLA FARM LAND COMPANY SUBDIVISION; THENCE PROCEED SOUTH 87°23'04" EAST ALONG SAID SOUTHERLY R/W LINE FOR A DISTANCE OF 347.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE, PROCEED SOUTH 87°23'04" EAST ALONG SAID R/W LINE FOR A DISTANCE OF 198.40 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 171,787.34 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 56.61 FEET (DELTA ANGLE = 0°01'08", CHORD DISTANCE = 56.61 FEET; CHORD BEARING = SOUTH 87°27'58" EAST); THENCE DEPARTING SAID CURVED R/W LINE PROCEED SOUTH 03°04'11" WEST FOR A DISTANCE OF 303.01 FEET; THENCE PROCEED NORTH 87°23'04" WEST FOR A DISTANCE OF 255.01 FEET; THENCE PROCEED NORTH 03°04'11" EAST FOR A DISTANCE OF 303.01 FEET TO THE AFORESAID SOUTHERLY R/W LINE AND THE POINT OF BEGINNING.

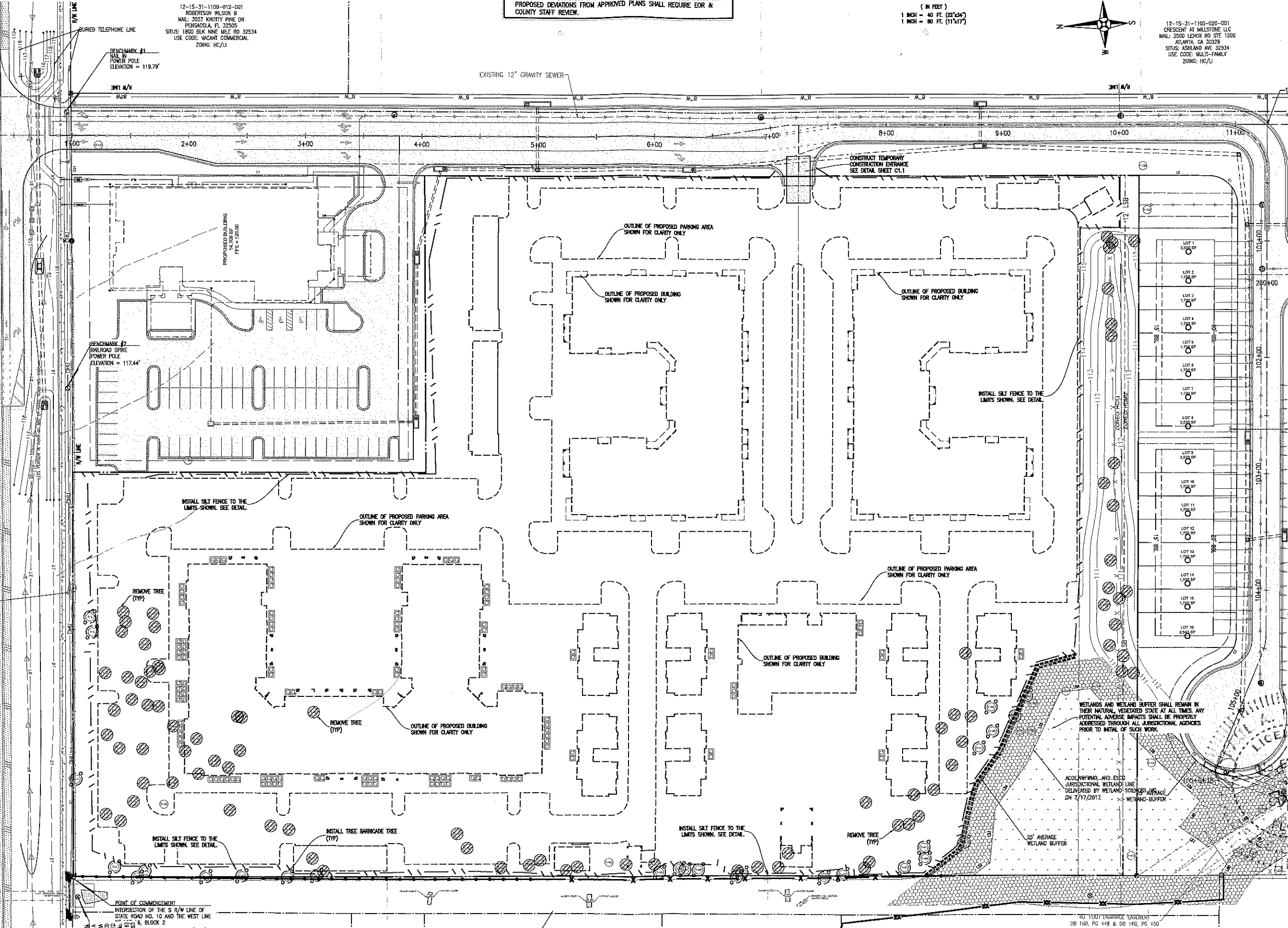
ALL LYING AND BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 11.39 ACRES MORE OR LESS.



LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.



12-15-31-1100-020-001
CRESCENT AT MILLSTONE LLC
MAIL: 3500 LENOX RD. SUITE 1500
ATLANTA, GA 30326
STATUS: ASHLAND AVE 32534
USE CODE: MULTI-FAMILY
ZONING: HC/U



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.435.0446
E 00000557 157976

**EXISTING SITE, DEMOLITION
& EROSION CONTROL PLAN**

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION

SEALED
CONSTRUCTION SET
APR 20 2020
Raw A. Battle
No. 263125
By: JR
GKAY PAB
Job No.: 2018.096
Date: April 20, 2020
DRAWING No.
C1.0
SHEET 2 OF 22

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GENERAL NOTES:

1. ALL PAVEMENT MARKINGS AND STRIPING LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD (LATEST EDITION).
3. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT SPECIFICATIONS.
4. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER FDOT STANDARD (LATEST EDITION).
5. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD (LATEST EDITION).

6. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
7. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD (LATEST EDITION), WIND ZONE No. 1.
8. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
9. CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

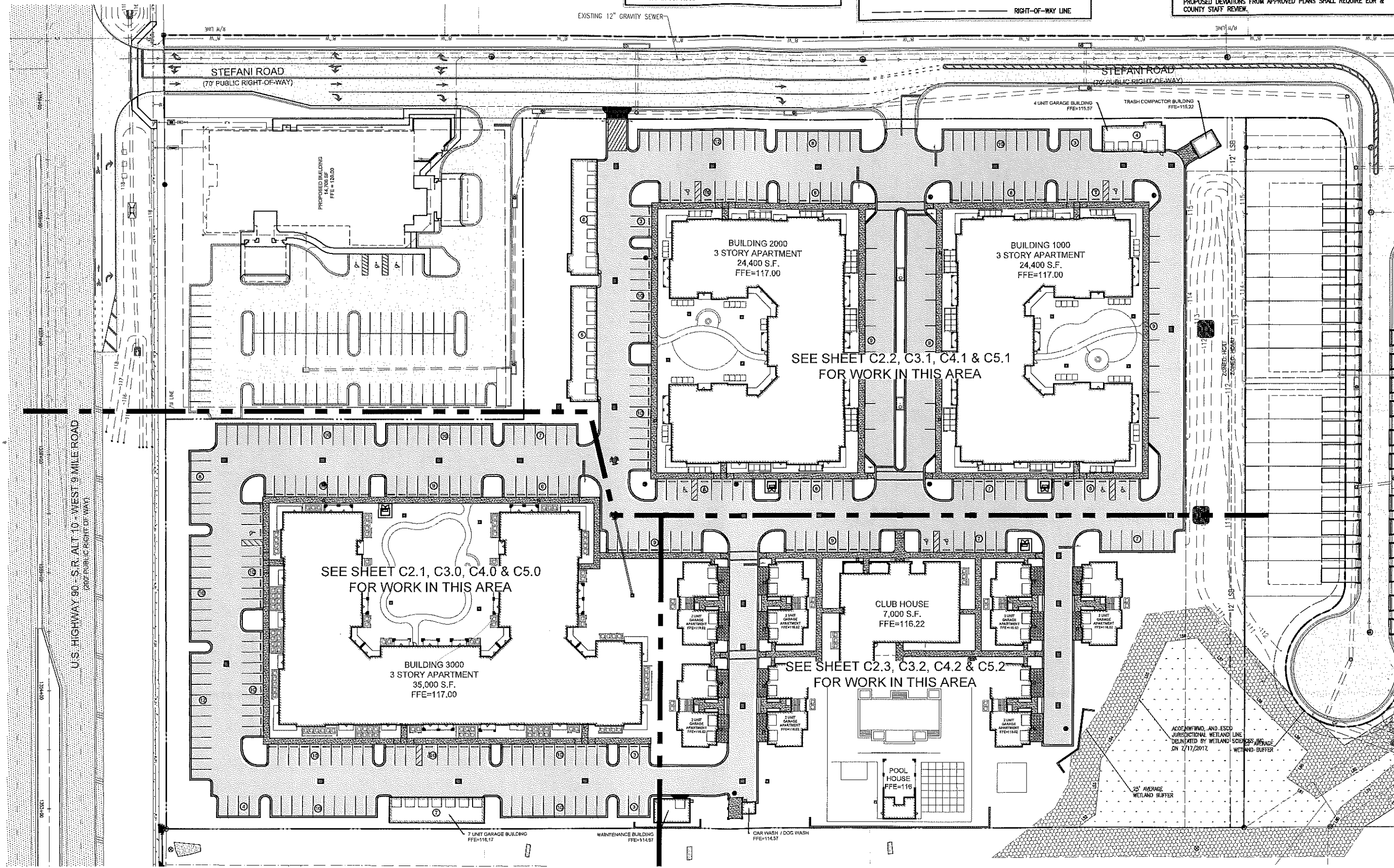
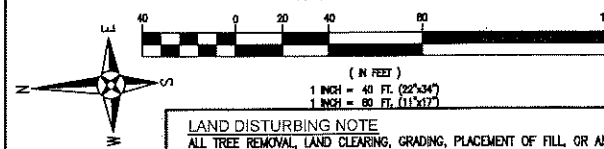
FLOOD ZONE NOTE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X' (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOOD PLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C0295G, MAP REVISION DATED SEPTEMBER 29, 2006.

NOTE:
ACCESS BOXES SHALL BE PROVIDED AT THE ENTRANCE TO EACH BUILDING IN AN ACCESSIBLE LOCATION.

LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE

HORIZONTAL SCALE



RBA
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Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.436.0400 Fax 850.436.0449
E-mail: info@rba-engineers.com Website: www.rba-engineers.com

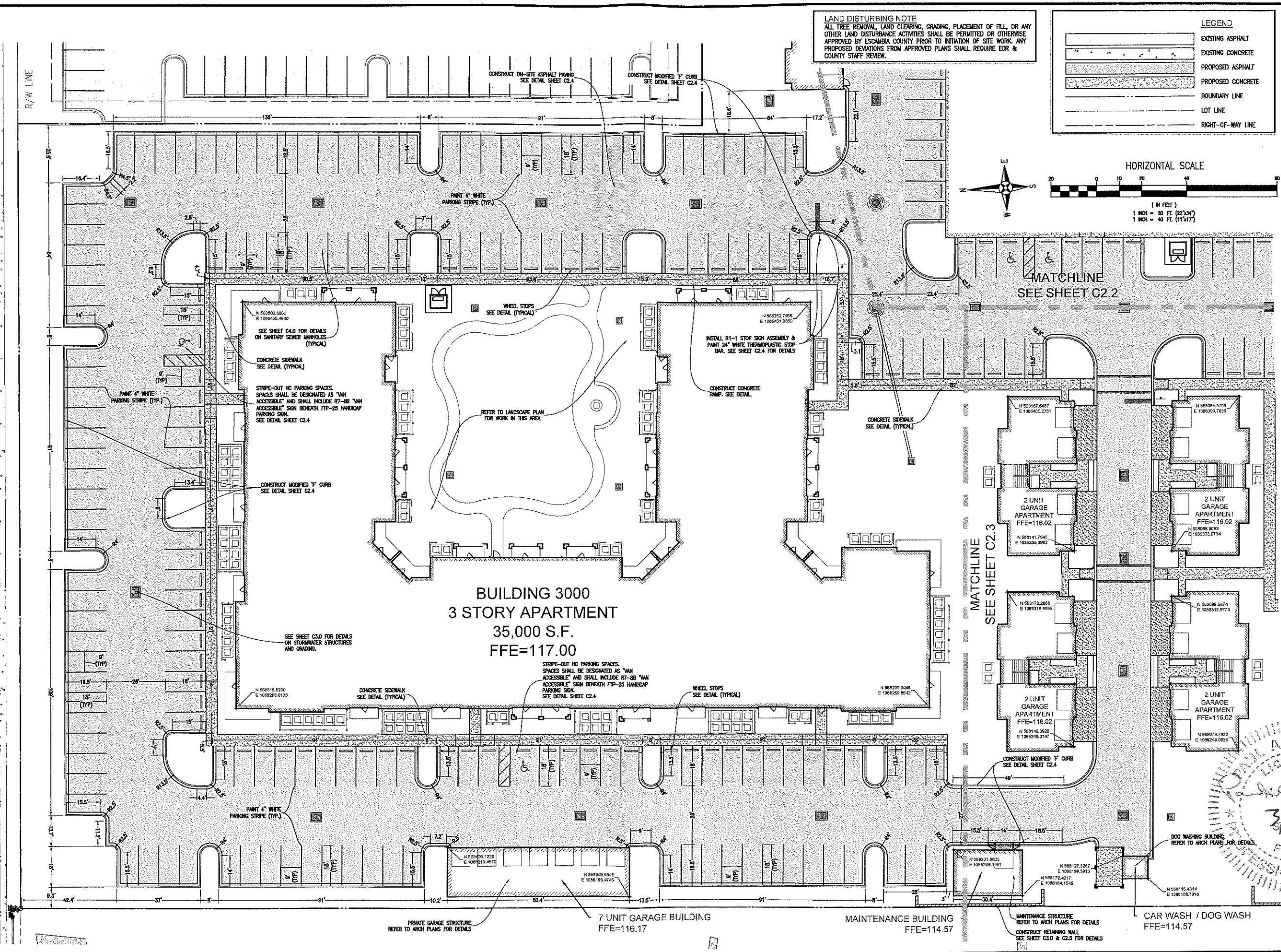
OVERALL SITE PLAN, KEY
SHEET

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	11-20-2019		
2	11-20-2019		
3	11-20-2019		
4	11-20-2019		
5	11-20-2019		
6	11-20-2019		
7	11-20-2019		
8	11-20-2019		
9	11-20-2019		
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97	11-20-2019		
98	11-20-2019		
99	11-20-2019		
100	11-20-2019		

DRAWING No.
C2.0
SHEET 5 OF 22

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LAND DISTURBING NOTE
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LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE

HORIZONTAL SCALE

(IN FEET)

1" = 20' (20'x34")
1" = 40' (31'x17")

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 850.438.0400 Fax: 850.438.0449
E: 850.438.0407

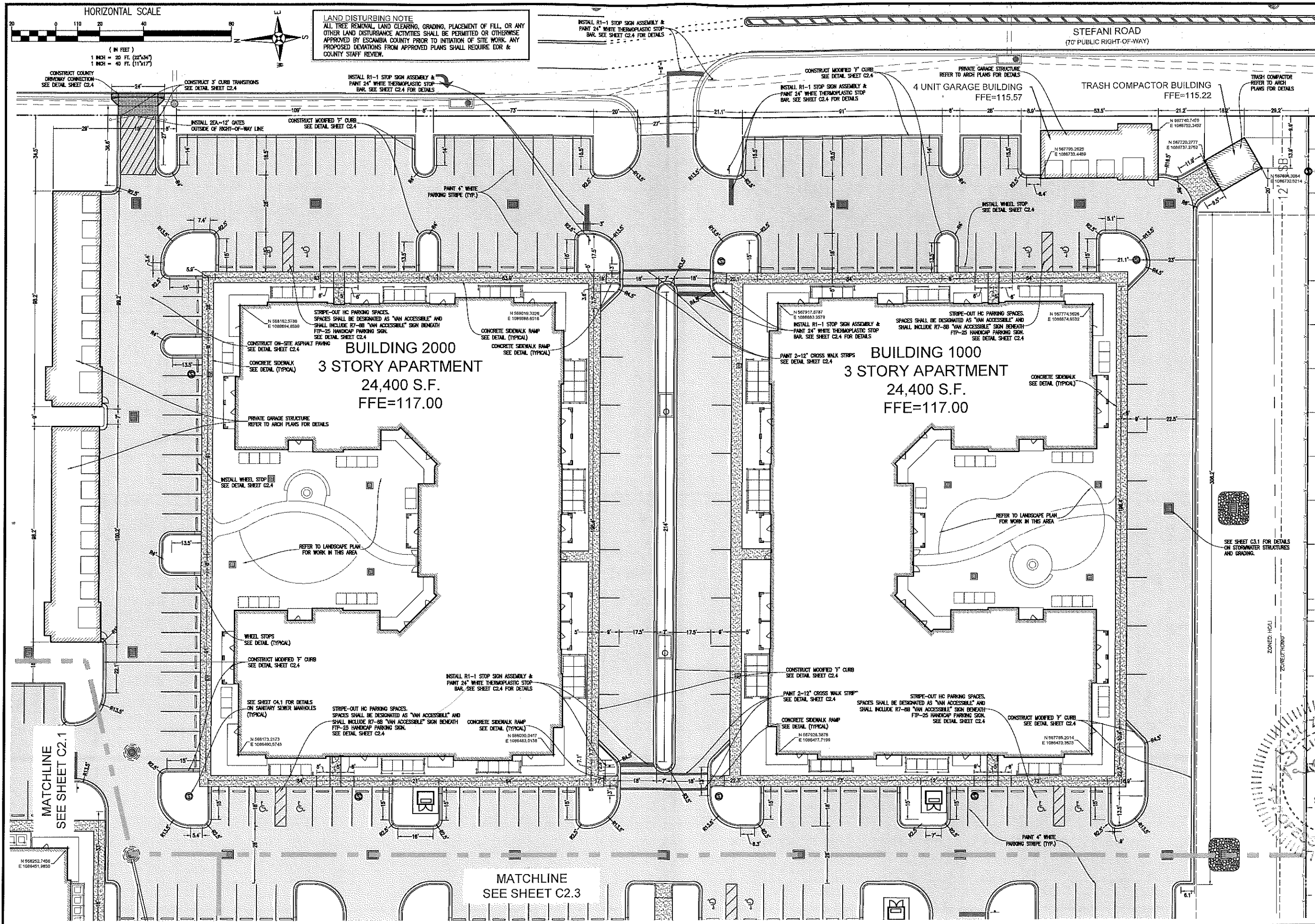
SITE LAYOUT & DIMENSION PLAN

NINE MILE ROAD APARTMENTS
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	3-20-2019		

SEAL
CONSTRUCTION SET
3/21
Paul A. Battle, P.E.
No. 53126
Dr. By: J.R. Kikby, P.E.
App No.: 2018.096
Date: April 20, 2020
DRAWING No.
C2.1
SHEET 6 OF 22

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 **REBOL-BATTLE & ASSOCIATES**
Civil Engineers and Surveyors
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Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E-mail EB@0003857 LE7916

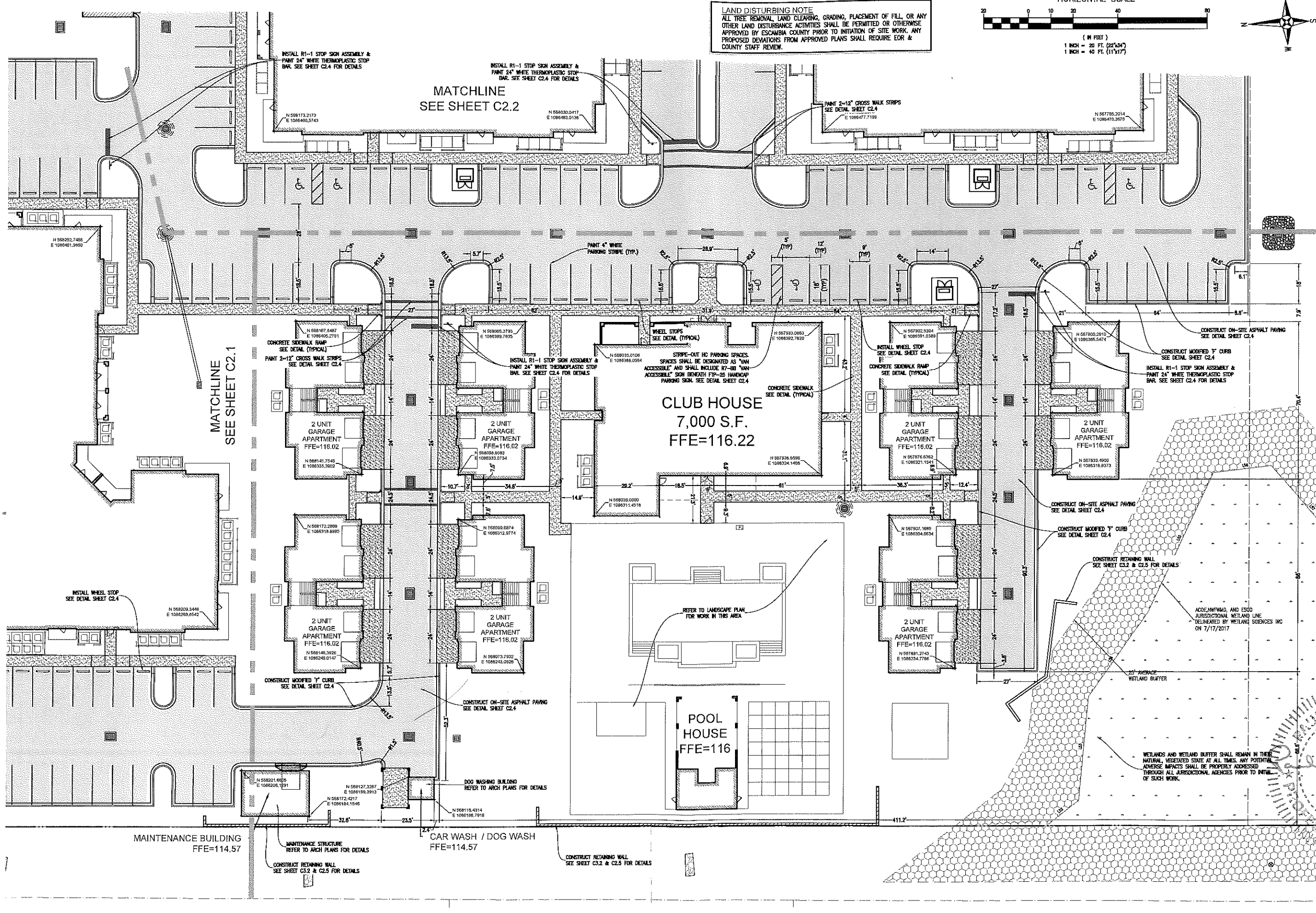
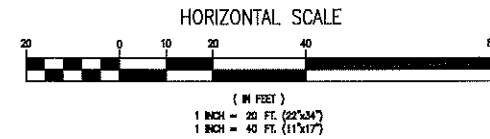
SITE LAYOUT & DIMENSION PLAN

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION
1	12/22/2019	ESCO COMMENTS

CONSTRUCTION SET
 58126
 3/3/21
 Paul A. Battie, P.E.
 No. 58126
 Dr. By: JWR
 CR By: PAB
 Job No.: 2018.096
 Date: April 20, 2020
 DRAWING No. C2.2
 SHEET 7 OF 22

LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.



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REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. High Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E137916

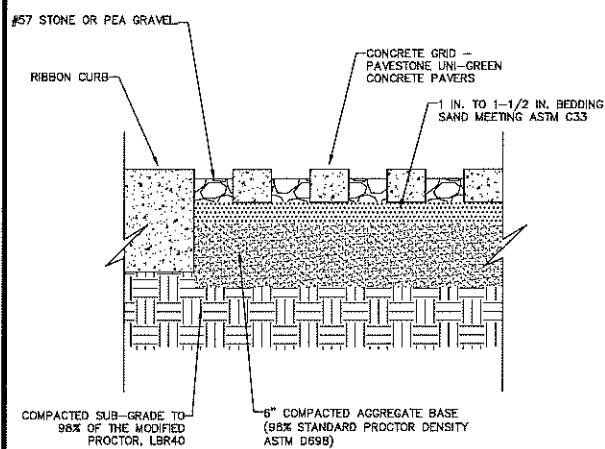
**SITE LAYOUT &
DIMENSION PLAN**

**NINE MILE ROAD
APARTMENTS**
ESCAMBA COUNTY, FLORIDA

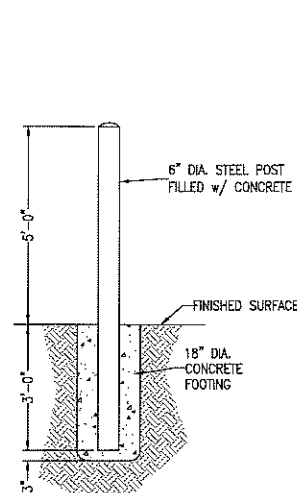
NO.	DATE	REVISION	ESCO COMMENTS
1	12-20-2019		

SEAL
CONSTRUCTION SET
3/3/21
Paul A. Battle, P.E.
No. 53126
Dr. By: JNR
CHK By: RAB
Job No.: 2018.096
Date: April 20, 2020
DRAWING No.
C2.3
SHEET 6 OF 22

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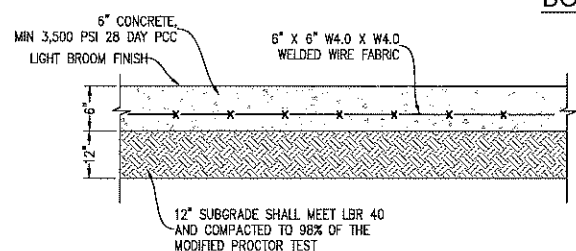


CONCRETE PAVERS DETAIL
N.T.S.

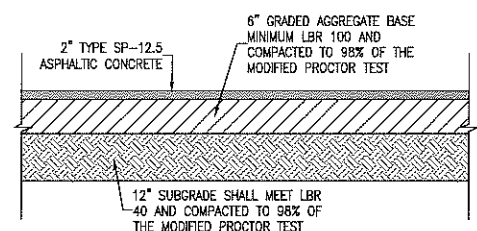


NOTE: SPACING BETWEEN BOLLARDS IS 6' MAX.

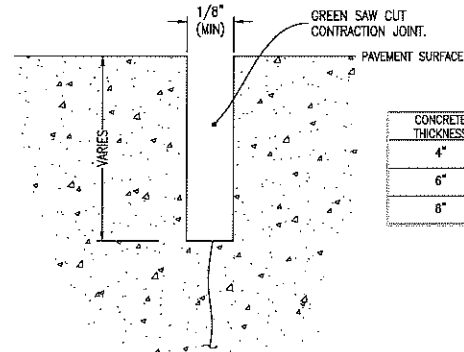
BOLLARD DETAIL
N.T.S.



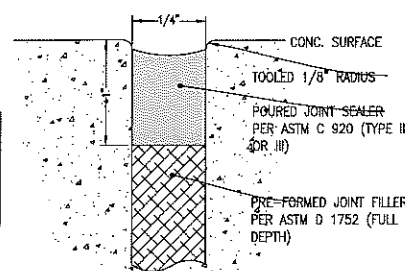
CONCRETE PAVING DETAIL
N.T.S.



ON-SITE ASPHALT PAVEMENT DETAIL
N.T.S.



CONTRACTION JOINT DETAIL
N.T.S.

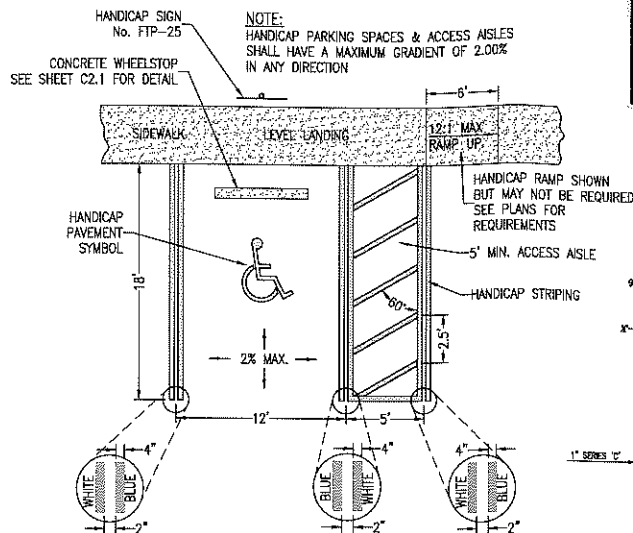


EXPANSION JOINT DETAIL
N.T.S.

CONCRETE THICKNESS	REQUIRED DEPTH OF JOINT
4"	1"
6"	1.5"
8"	2"

NOTES:
1. TOP OF SEALANT SHALL BE 1/4" BELOW TOP OF CONC.
2. PRIOR TO SEALANT APPLICATION THOROUGHLY CLEAN JOINT.

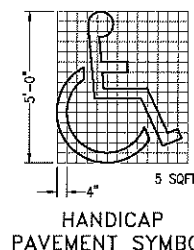
LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EDR & COUNTY STAFF REVIEW.



HANDICAP PARKING STALL

SIGN USED AS PER FLORIDA STATUTES
FTP 25 Per FS 316.1955, FS 316.1956

NOTES:
1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).
5. SIGN COLUMNS TO BE AS PER F.D.O.T. STANDARDS, INDEX NO'S 11860 AND 11865.



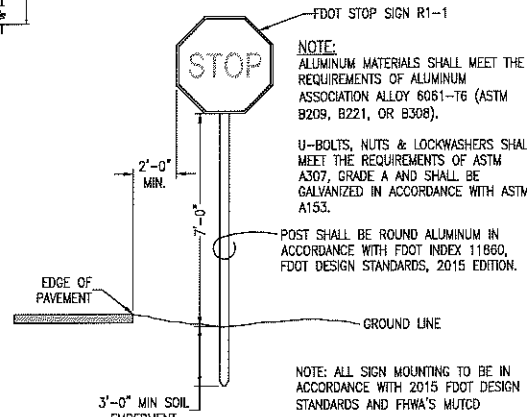
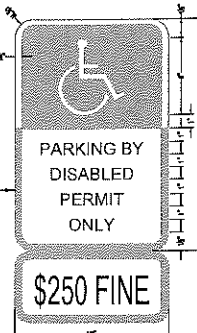
HANDICAP PAVEMENT SYMBOL

VAN ACCESSIBLE

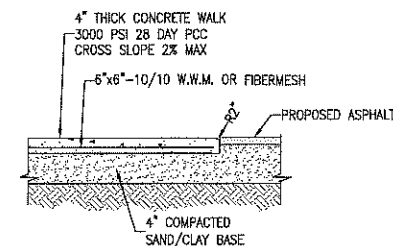


FDOT STANDARD R7-8b
1'-0" x 0'-6"
N.T.S.

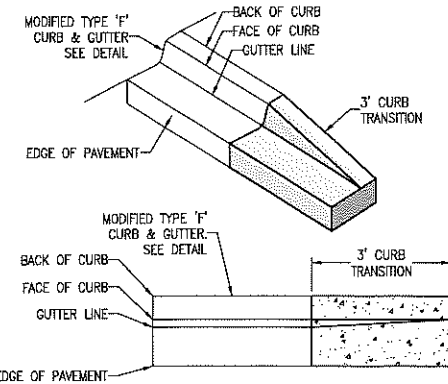
FDOT STANDARD R1-1
30" x 30"
N.T.S.



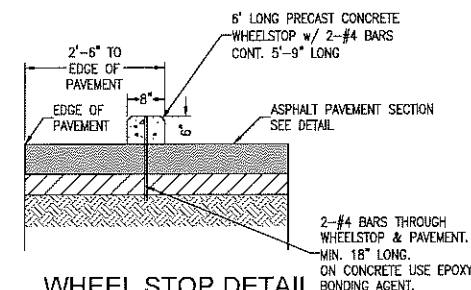
SIGN MOUNTING DETAIL
N.T.S.



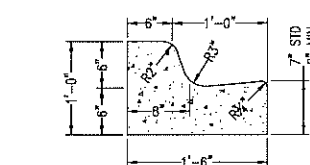
SIDEWALK DETAIL
ADJACENT TO PARKING LOT
N.T.S.



MODIFIED TYPE 'F' CURB TRANSITION
N.T.S.

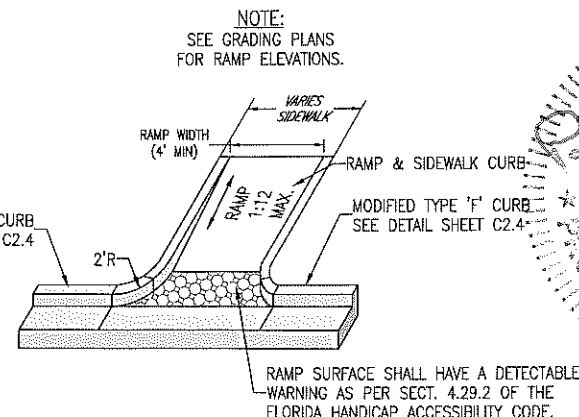


WHEEL STOP DETAIL
N.T.S.

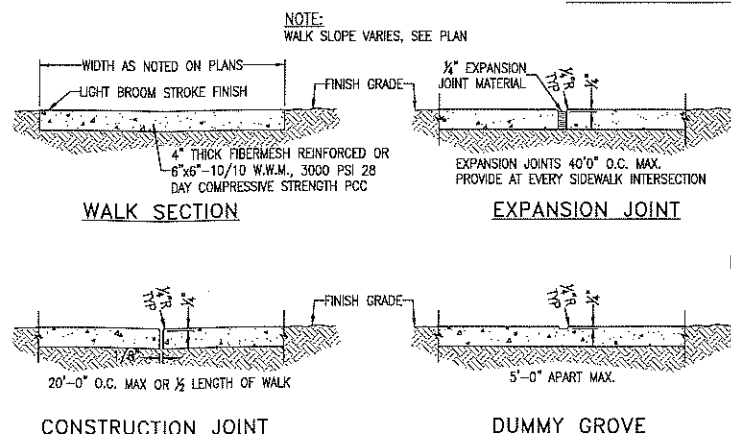


NOTES:
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
2. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
3. EXPANSION JOINTS ARE TO BE 30' ON CENTER, TYPICAL FOR ALL CURB.

MODIFIED TYPE 'F' CURB & GUTTER
N.T.S.



PEDESTRIAN SIDEWALK RAMP
N.T.S.



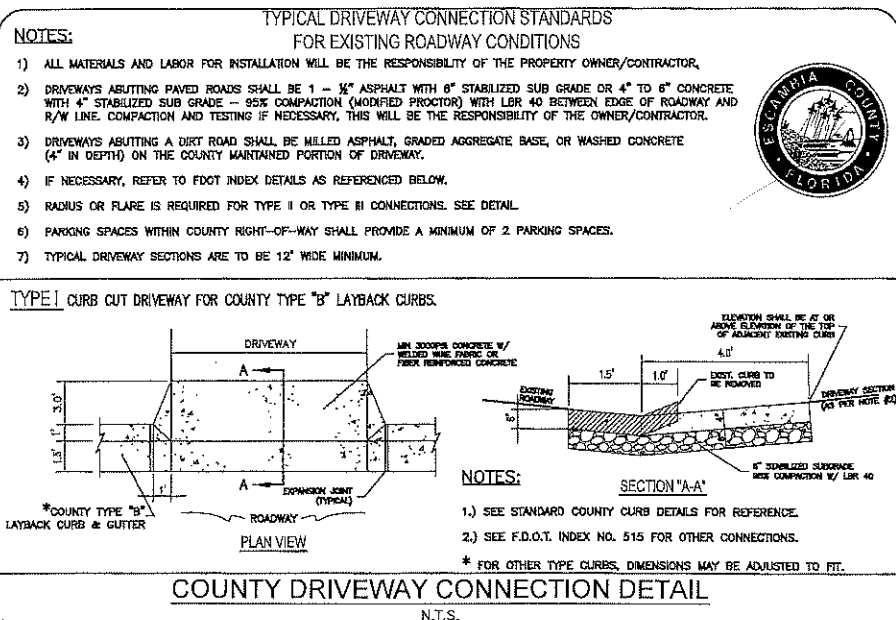
WALK SECTION

EXPANSION JOINT

CONSTRUCTION JOINT

DUMMY GROVE

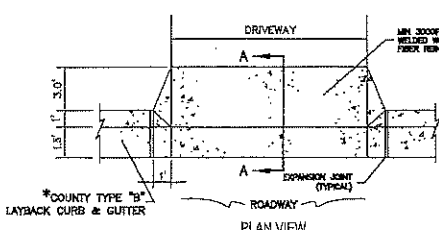
SIDEWALK DETAILS
N.T.S.



COUNTY DRIVEWAY CONNECTION DETAIL
N.T.S.

- NOTES:
- ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
 - DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1 - 1/2" ASPHALT WITH 8" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 - DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
 - IF NECESSARY, REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
 - RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
 - PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
 - TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



NOTES:
1.) SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.
2.) SEE F.D.O.T. INDEX NO. 515 FOR OTHER CONNECTIONS.
* FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 200
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E8 0000057 12/2/16

SITE DETAILS

NINE MILE ROAD
APARTMENTS
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	BY	DESC	COMMENTS
1	12-20-2019	ESCO	COMMENTS	
2	3/9/21	Paul A. Battle, P.E.	CONSTRUCTION SET	
3	3/9/21	Paul A. Battle, P.E.	FLORIDA SEAL	
4	3/9/21	Paul A. Battle, P.E.	FLORIDA SEAL	
5	3/9/21	Paul A. Battle, P.E.	FLORIDA SEAL	
6	3/9/21	Paul A. Battle, P.E.	FLORIDA SEAL	
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100	3/9/21	Paul A. Battle, P.E.	FLORIDA SEAL	

DRAWING No.
C2.4
SHEET 9 OF 22

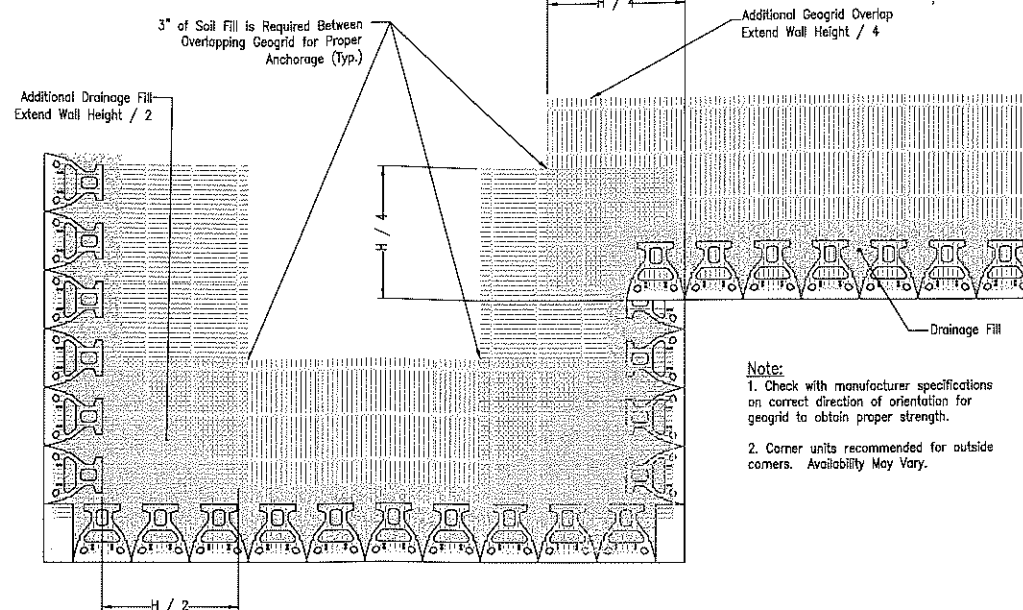
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

DENSITY CALCULATIONS:
A MAXIMUM DENSITY OF 25 DWELLING UNITS PER ACRE.
MAXIMUM DENSITY = (10.85 ACRES)(25 PER/ACRE) = 271.25 UNITS
PROPOSED UNITS = 246 UNITS

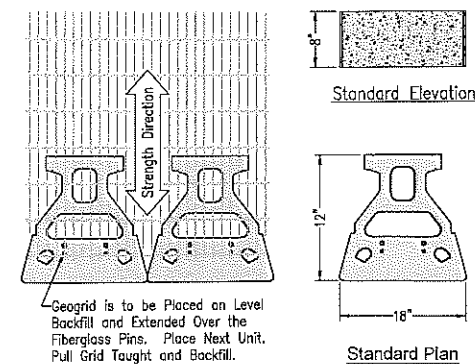
AREA CALCULATIONS:
TOTAL PROPERTY AREA = 472,835 SF
EXISTING IMPERVIOUS AREA = 0 SF
EXISTING PERVIOUS AREA = 472,835 SF
EXISTING IMPERVIOUS TO BE REMOVED = 0 SF

PROPOSED BUILDING AREA (FOOTPRINT) = 110,014 SF
PROPOSED ADDITIONAL IMPERVIOUS AREA = 182,602 SF
PROPOSED IMPERVIOUS AREA TOTAL SITE = 292,616 SF (61.9%)
PROPOSED PERVIOUS AREA = 180,219 SF (38.1%)

LAND DISTURBING NOTE
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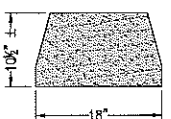
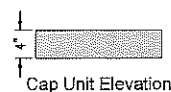
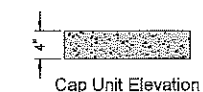


Note:
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.
2. Corner units recommended for outside corners. Availability May Vary.



Grid & Pin Connection

Compac Unit
* Dimensions May Vary by Region



Cap Unit Plan

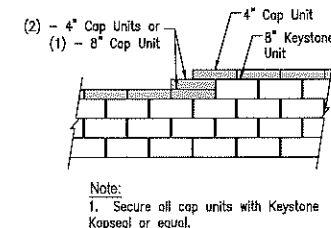
Cap Unit Plan

Universal
Cap Unit Option
* Dimensions & Availability Will Vary by Region

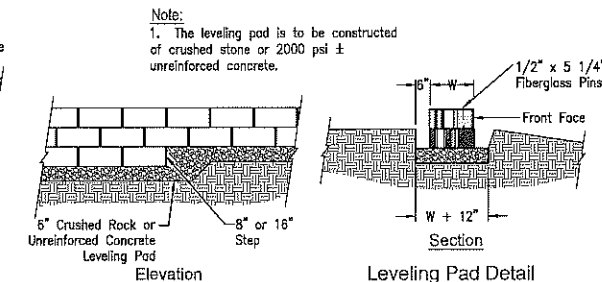
Straight Split
Cap Unit Option
* Dimensions & Availability Will Vary by Region

RETAINING WALL NOTE:

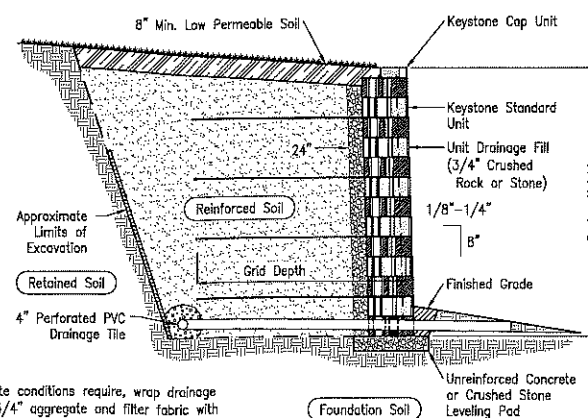
THE KEYSTONE WALL ILLUSTRATED HAS BEEN PROVIDED AS A REPRESENTATION OF THE TYPE AND QUALITY OF RETAINING WALL TO BE INSTALLED. AN APPROVED EQUIVALENT RETAINING WALL MAY BE INSTALLED IN PLACE OF THE KEYSTONE WALL. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE RETAINING WALL IS INSTALLED PER INDUSTRY AND MANUFACTURERS ACCEPTED STANDARDS.



Top of Wall Steps



Leveling Pad Detail



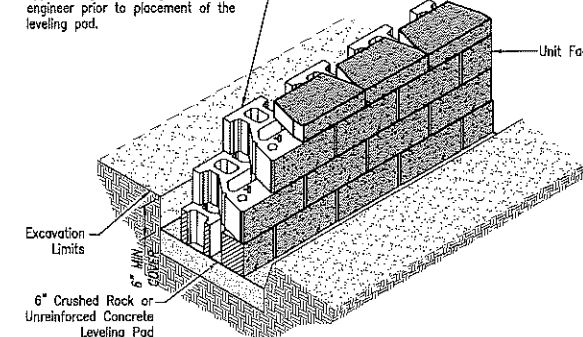
Note:
When site conditions require, wrap drainage tile in 3/4\"/>

Typical Reinforced Wall Section
Standard Unit - Near Vertical Setback

Base Leveling Pad Notes:

1. The leveling pad is to be constructed of crushed stone or 2,000 psi± unreinforced concrete.
2. The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Compac Unit		Cap Unit	
*Width:	18"	*Width:	18"
*Depth:	12"	*Depth:	10 1/2"
*Height:	8"	*Height:	4"
*Weight:	90 lbs	*Weight:	50 lbs



Standard Unit/Base Pad Isometric Section View
* Dimensions & Weight May Vary by Region

SITE DETAILS

NINE MILE ROAD
APARTMENTS
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
1	12-20-2019	
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CONSTRUCTION SET

53126

3/3/21

Paul A. Battle, P.E.
No. 53126

FLORIDA

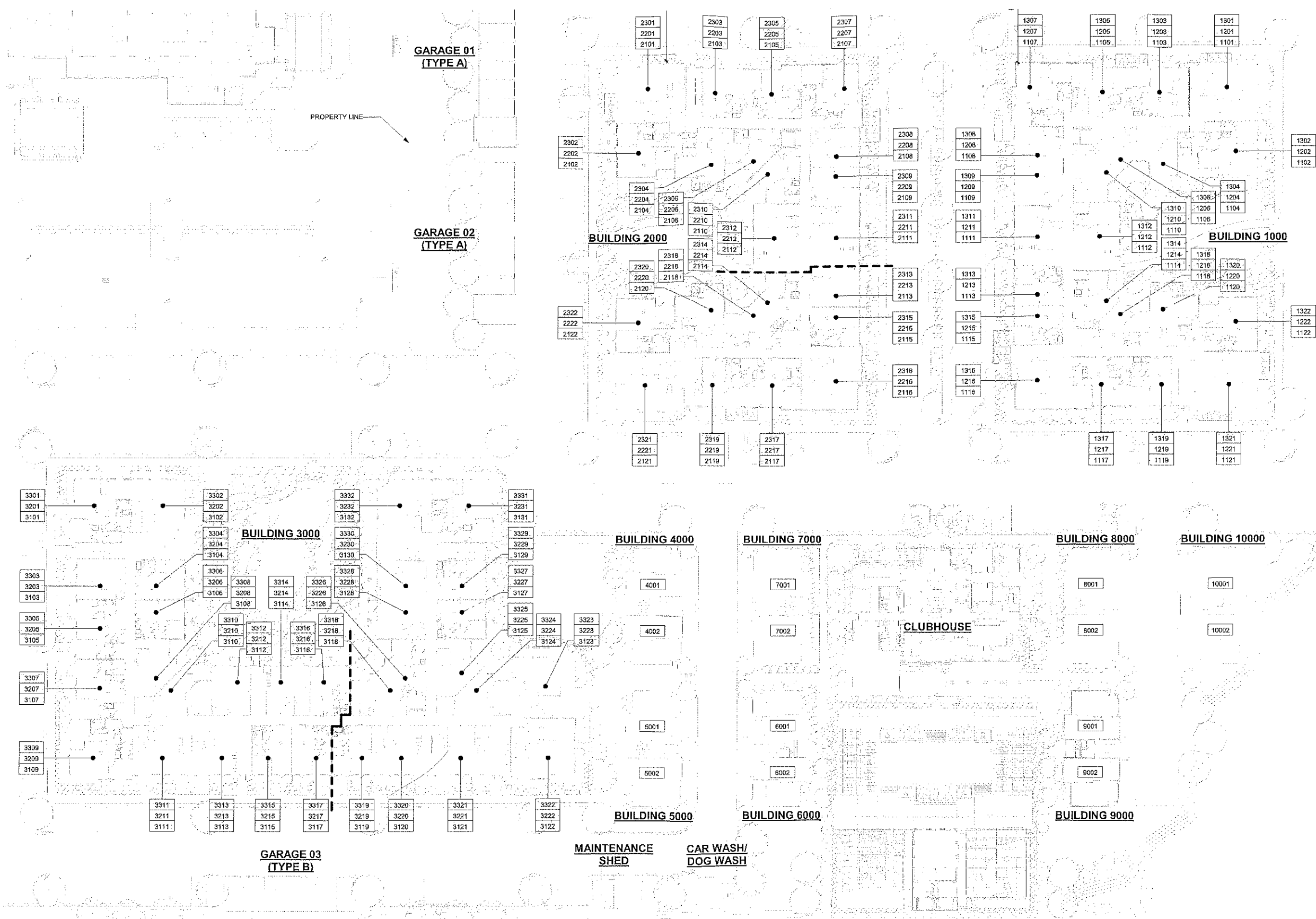
Dr. By: JWR
Ch. By: PAB
Job No.: 2018.096
Date: April 20, 2020

DRAWING No.

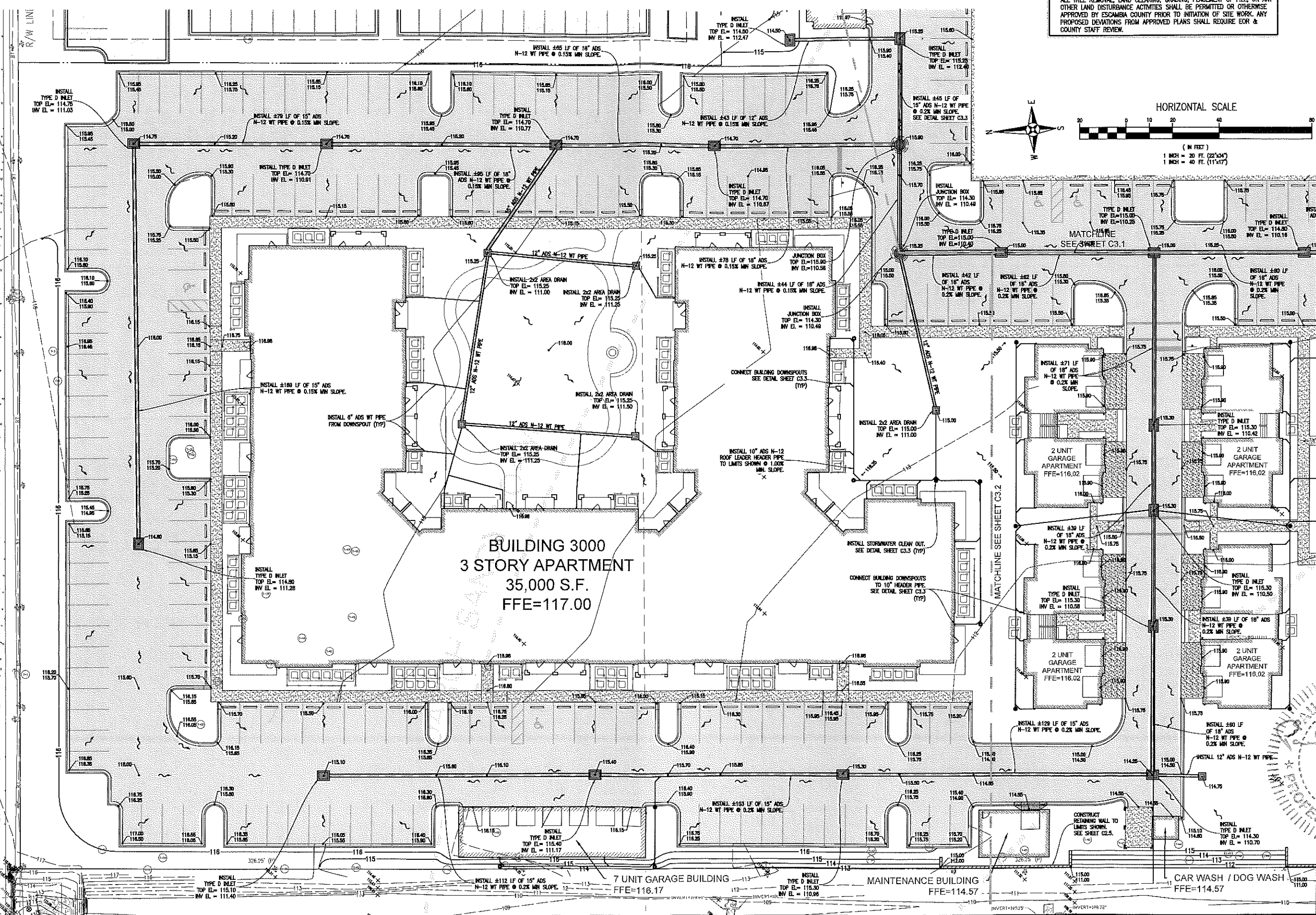
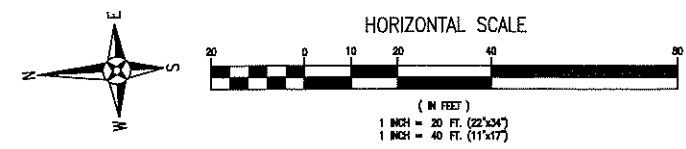
C2.5

SHEET 10 OF 22

DATE	REVISION	ESCO COMMENTS
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LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

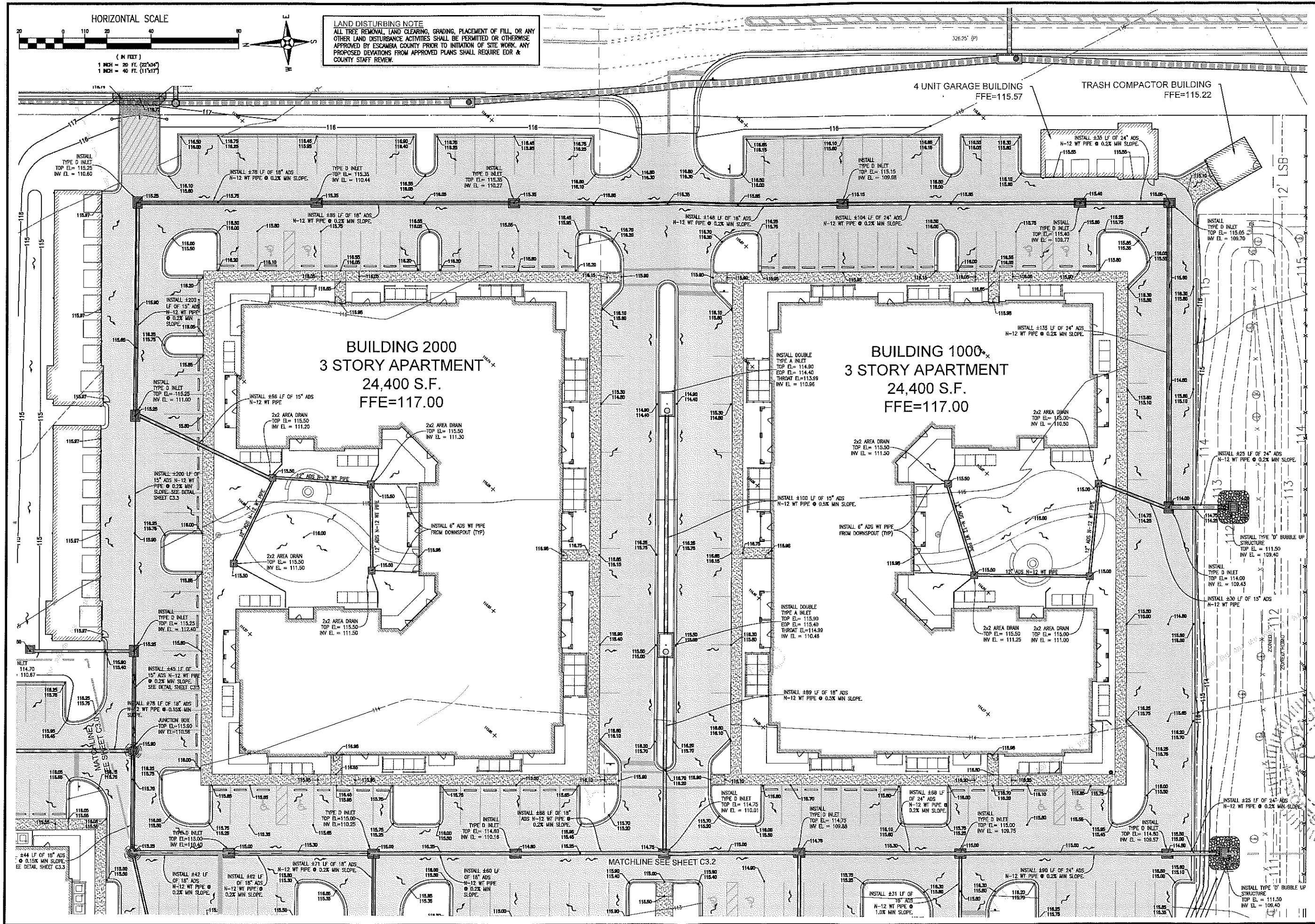


RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Panama City, Florida 32403
Telephone 904.338.0600 Fax 904.338.0446
EEO/AAE/DFW 3/2/2016


GRADING & DRAINAGE PLAN

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
	11-20-2019	
</		



LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.



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Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.435.0446
EEO/AAE/DFW
C3.120

GRADING & DRAINAGE PLAN

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

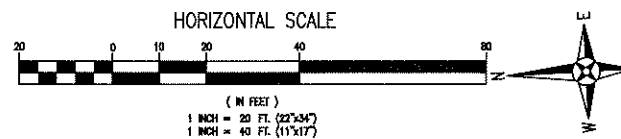
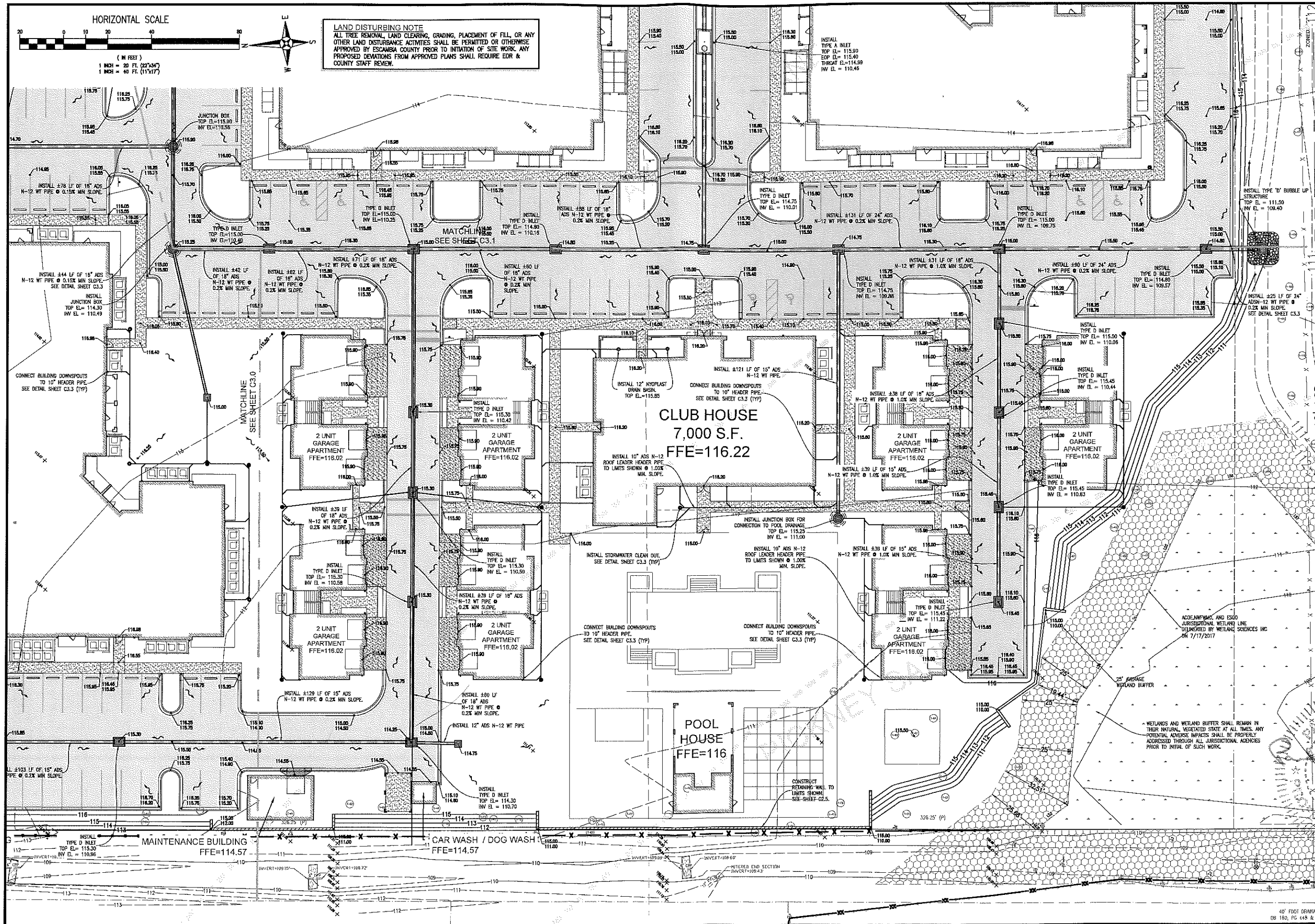
REVISION	DATE	REVISION	DATE
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3	4-20-2020		

SEAL
NOT TO SCALE
STATE OF FLORIDA
3/3/21
Rebol-Battle & Associates, Inc.
No. 03126


Dr. By: JWR
Ck. By: PAB
Job No.: 2018.096
Date: April 20, 2020

DRAWING No.
C3.1
SHEET 12 OF 22

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LAND DISTURBING NOTE
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REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 200
Panama City, Florida 32303
Telephone 850.438.0400 Fax 850.438.0446
E3 0000557 157976

GRADING & DRAINAGE PLAN

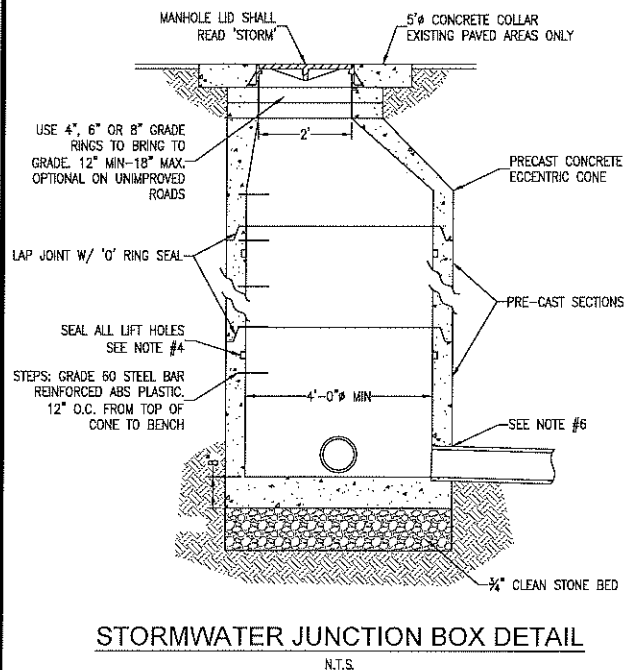
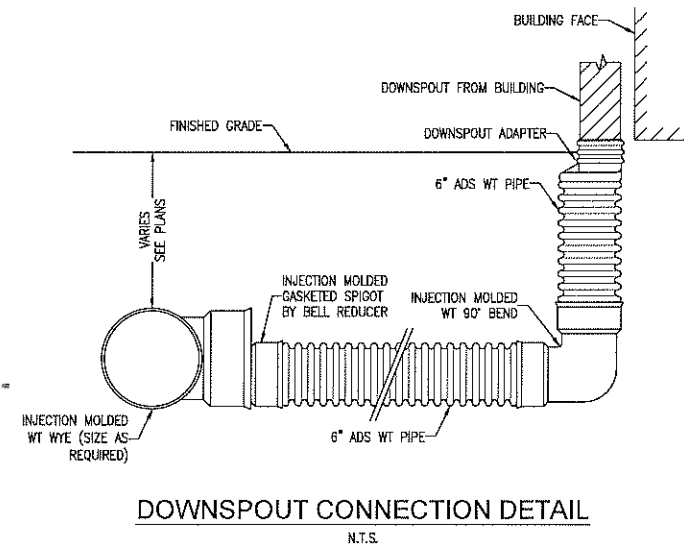
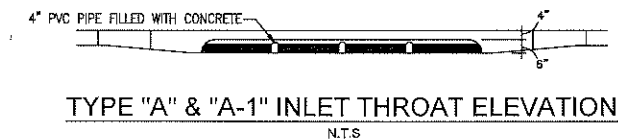
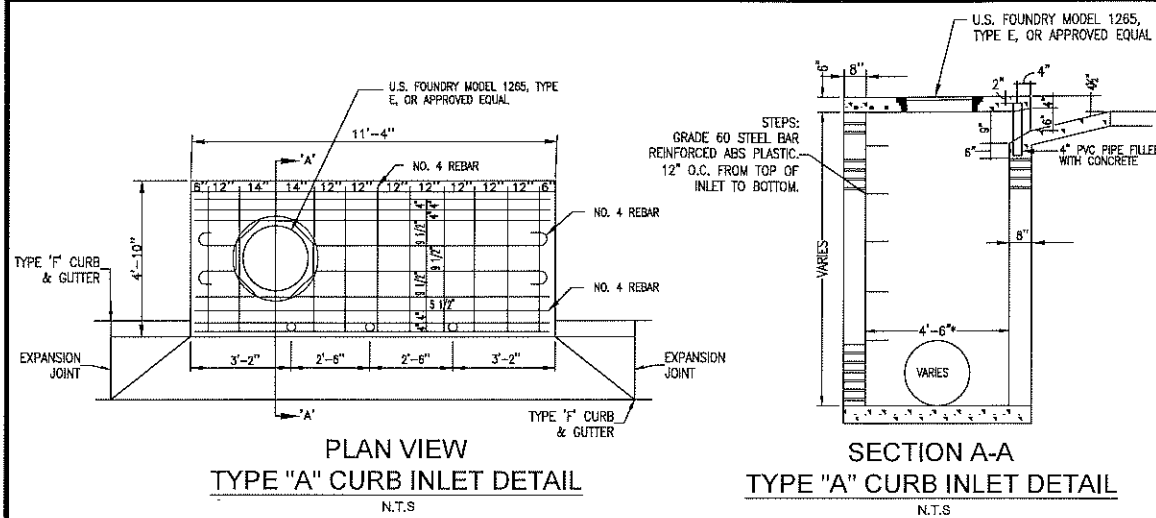
**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

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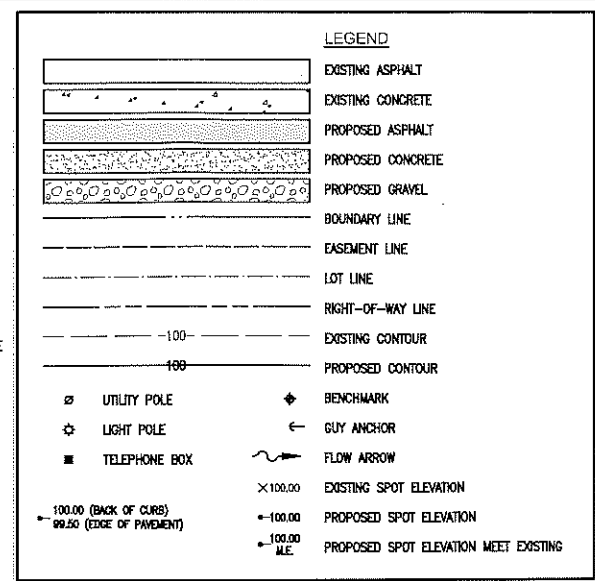
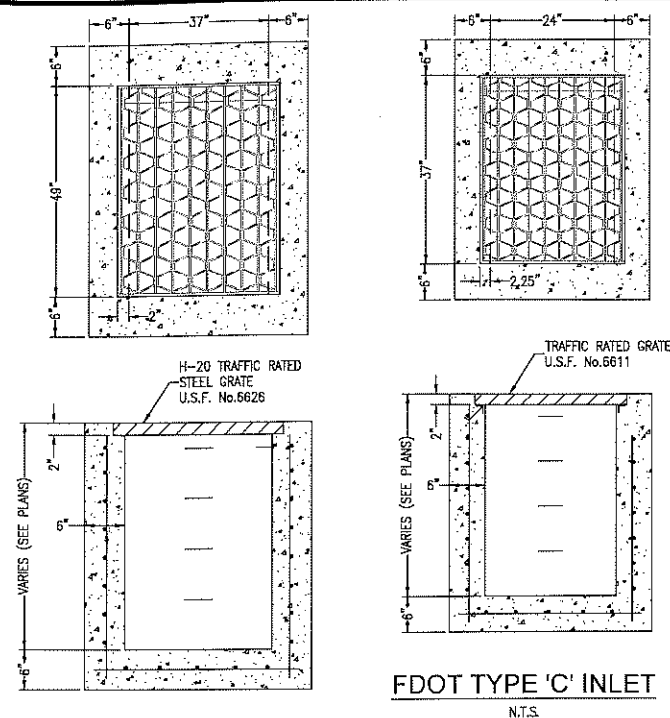
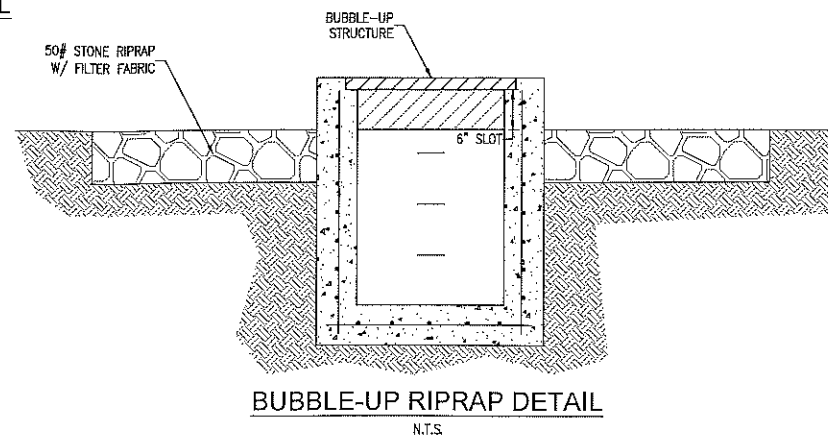
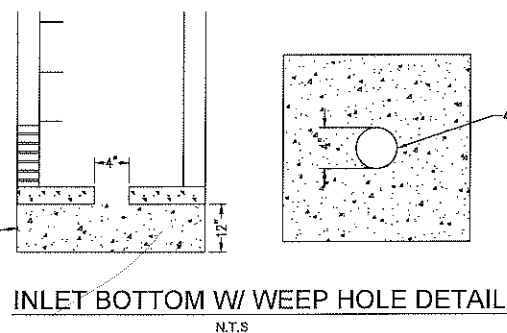
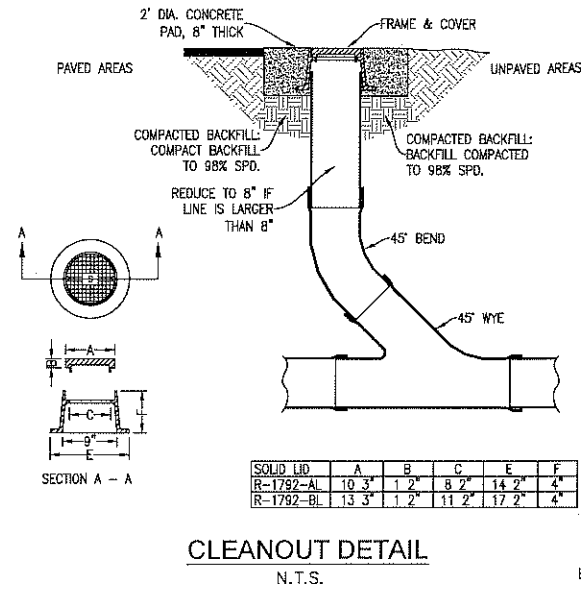
Dr. By: JUP
CR By: JUP
Job No.: 2018.096
Date: April 20, 2020

DRAWING No.
C3.2
SHEET 13 OF 22

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- NOTES:
1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
 2. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
 3. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, FORM PLASTIC GASKET OR EQUAL.
 4. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
 5. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTM C-478.
 6. SEAL WITH A-LOK, KORE-N-SEAL OR LOCK-JOINT
 7. CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.



- GENERAL NOTES:
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 4. DISTURBED AREAS NOT SHOWN TO BE SODED OR PAVED SHALL BE SEEDED, MULCHED & FERTILIZED.
 5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
 6. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 7. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBA COUNTY AS-BUILT CERTIFICATION AND/OR DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY.
 8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 9. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
 10. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
 12. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
 13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 15. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR SUBMITTING THE "CONSTRUCTION COMMENCEMENT NOTICE FORM" 62-346.900(3).
 16. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "AS BUILT CERTIFICATION FORM" 62-346.900(4) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
 17. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "REQUEST FOR CONVERSION OF STORMWATER MANAGEMENT PERMIT CONSTRUCTION PHASE TO OPERATION AND MAINTENANCE PHASE FORM" 62-346.900(6). THIS FORM SHALL BE SUBMITTED CONCURRENTLY WITH THE AS BUILT CERTIFICATION.
 18. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

LAND DISTURBING NOTE
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RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0446
E2 0006657 1/5/16

GRADING & DRAINAGE DETAILS

NINE MILE ROAD APARTMENTS
ESCAMBA COUNTY, FLORIDA

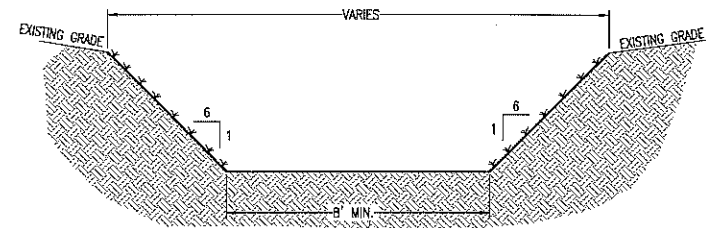
REVISION	DATE	ESCO COMMENTS
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SEAL
90 DAYS EXPIRES
STATE OF
3/3/21
Paul A. Battle, P.E.
No. 53126

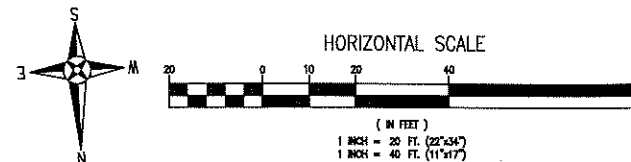
Dr. By: JLR
Ck. By: PAB
Job No.: 2018.096
Date: April 20, 2020

DRAWING No.
C3.3
SHEET 14 OF 22

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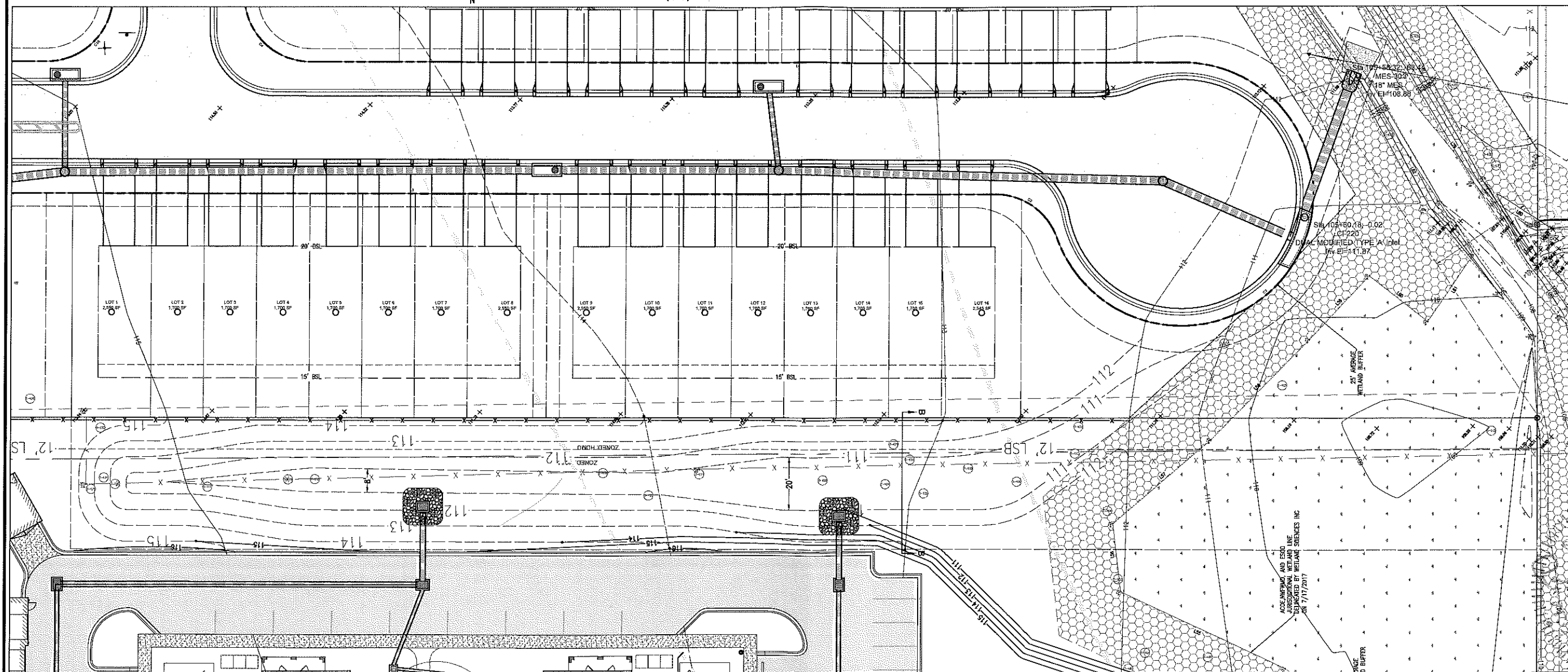


EXISTING DITCH
CROSS SECTION B-B
N.T.S.



LAND DISTURBING NOTE
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LEGEND	
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[Pattern]	EXISTING CONCRETE
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[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED GRAVEL
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[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE
[Line]	EXISTING CONTOUR
[Line]	PROPOSED CONTOUR
[Symbol]	UTILITY POLE
[Symbol]	BENCHMARK
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[Symbol]	TELEPHONE BOX
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[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION MEET EXISTING



DRAINAGE DITCH DETAIL
N.T.S.

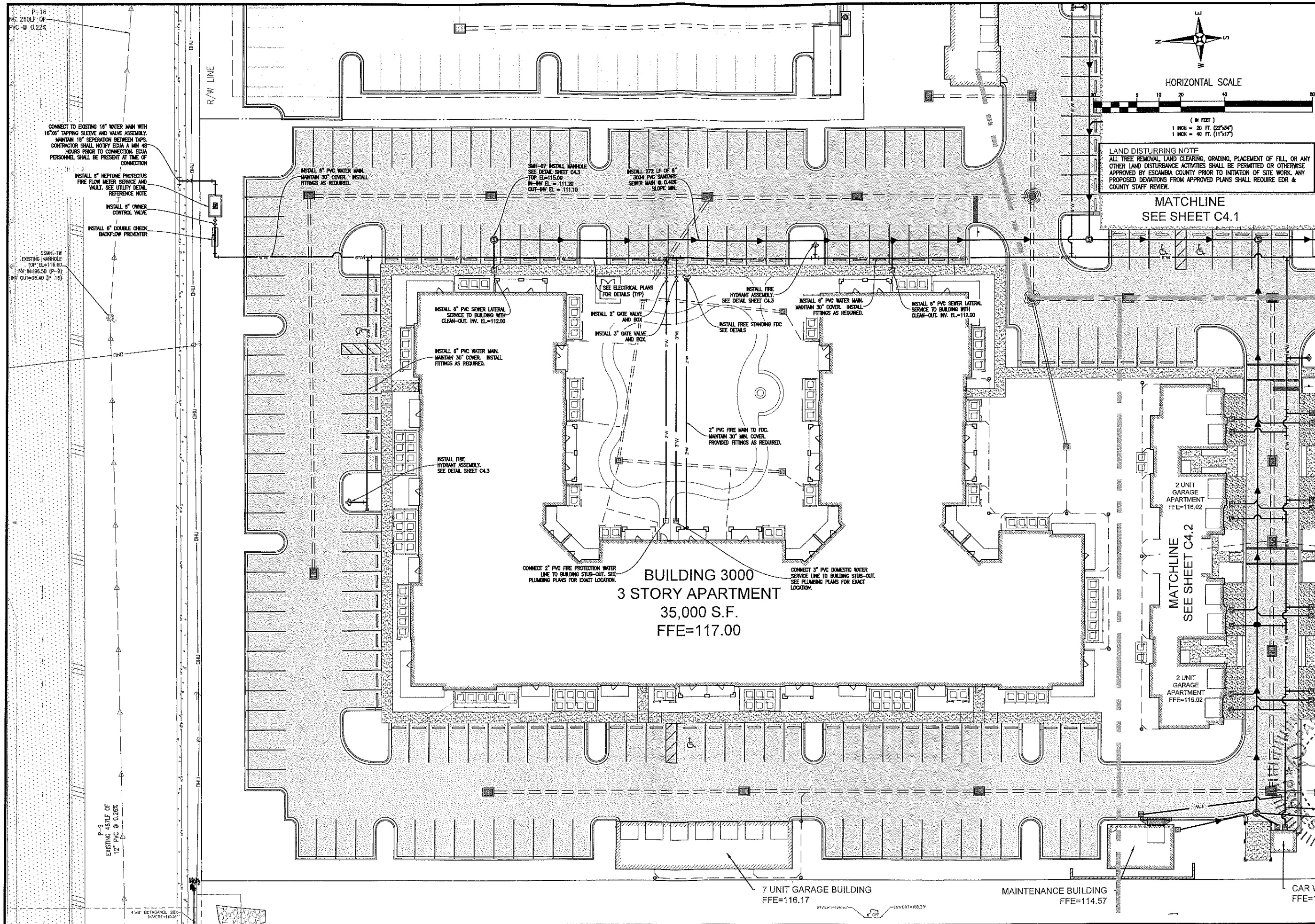
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E3 00000557 137916

**GRADING & DRAINAGE
DETAILS**

**NINE MILE ROAD
APARTMENTS**
ESCAMBA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	12-20-2019		
SEAL CONSTRUCTION SET No. 53125 STATE OF FLORIDA PAUL A. BATTLE, P.E. NO. 55138 DR. BY: J.R.L. GWBY: PAB Job No.: 2018.096 Date: April 20, 2020 DRAWING No. C3.3 SHEET 14 OF 22			

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LAND DISTURBING NOTE
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HORIZONTAL SCALE
(IN FEET)
1 INCH = 20 FT. (20'x34")
1 INCH = 40 FT. (11'x17")

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E530000007 L59316

UTILITY PLAN

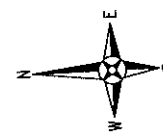
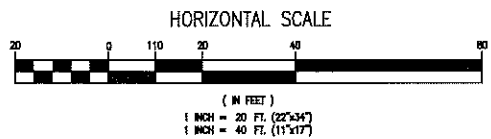
NINE MILE ROAD
APARTMENTS
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
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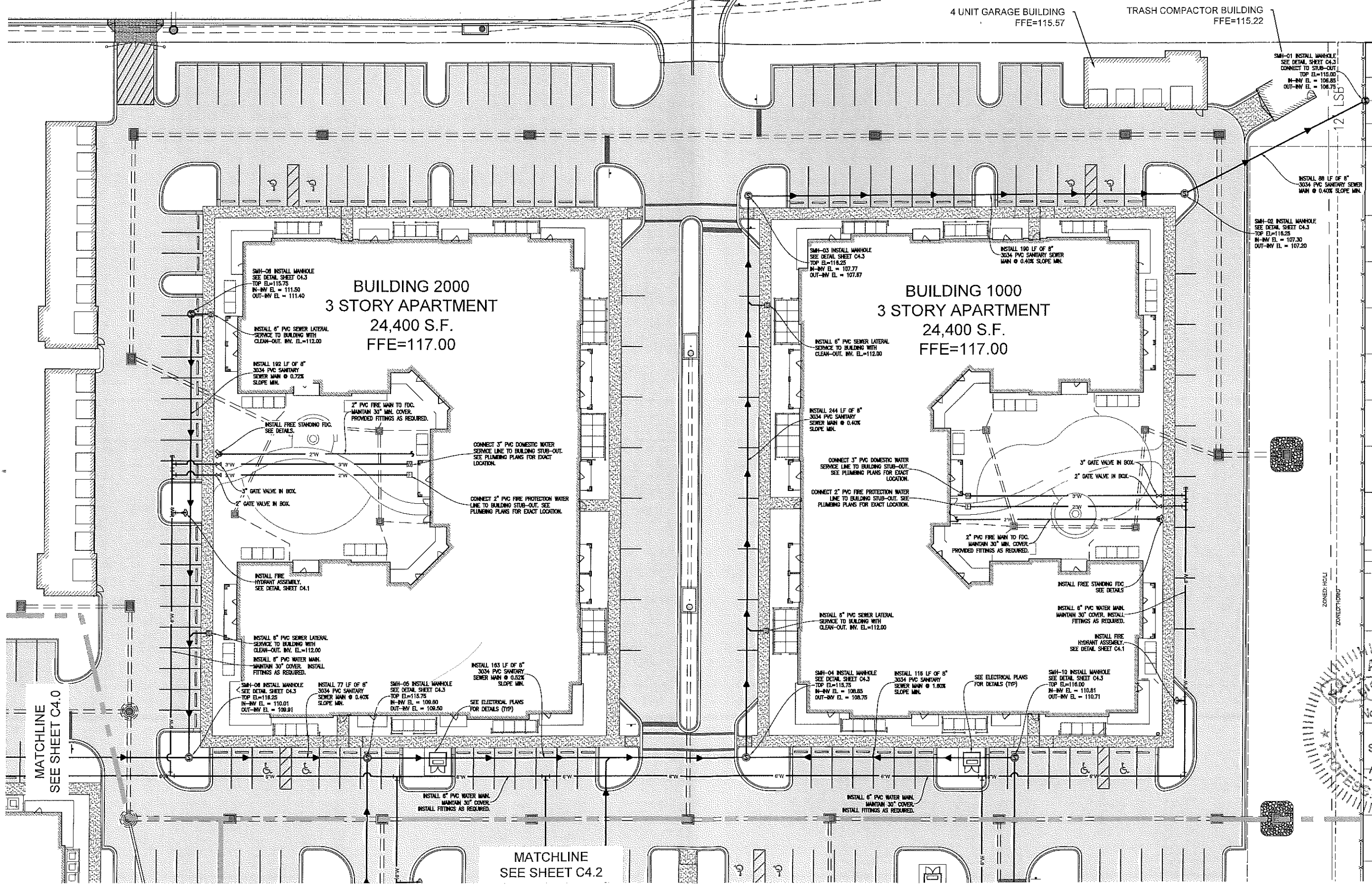
SEAL
CONSTRUCTION SET
NO. 03126
STATE OF
FLORIDA
APR 20 2020
Job No.: 2018.096
Date: April 20, 2020

DRAWING No.
C4.0
SHEET 15 OF 22

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LAND DISTURBING NOTE
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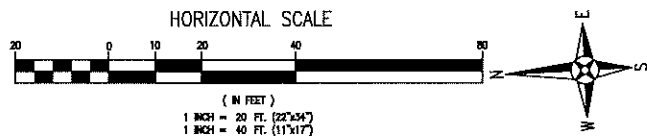
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.435.0448
EID 0009607 12/2/15

UTILITY PLAN

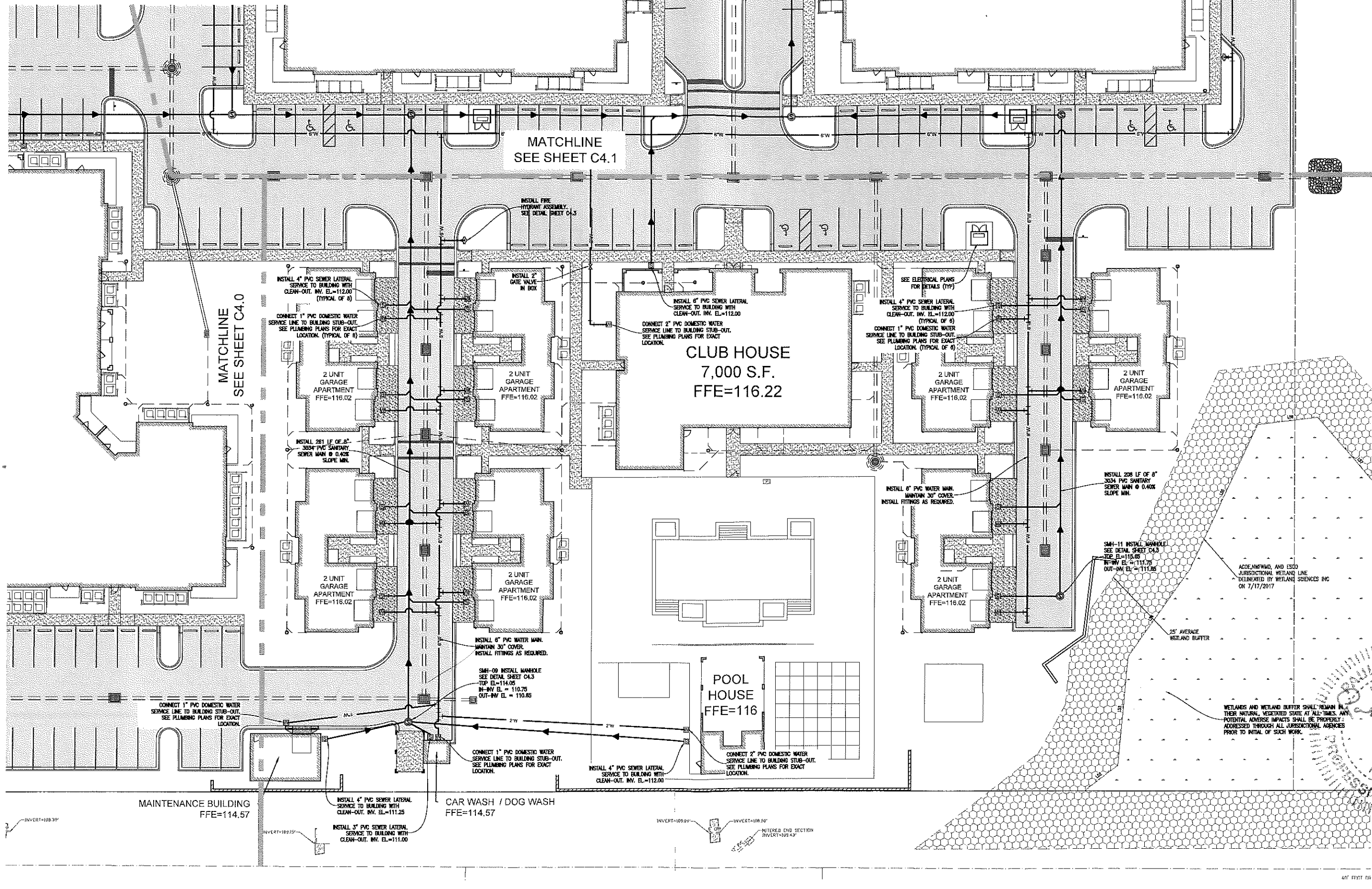
**NINE MILE ROAD
APARTMENTS**
ESCAMBA COUNTY, FLORIDA

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3/3/21	45	REVISION SET
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3/3/21	100	REVISION SET

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LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.



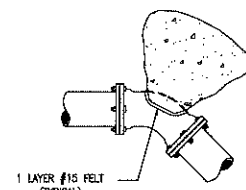
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. High Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0446
E5 00000007 1/5/21

UTILITY PLAN

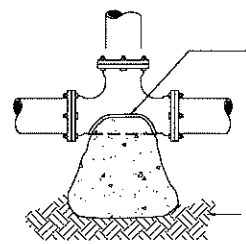
**NINE MILE ROAD
APARTMENTS**
ESCAMBA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
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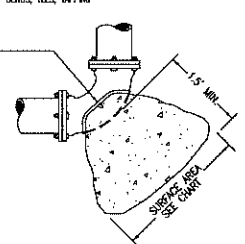
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45° BEND - M.J.



TEE - M.J.



90° BEND - M.J.

TYPICAL THRUST BLOCK INSTALLATIONS

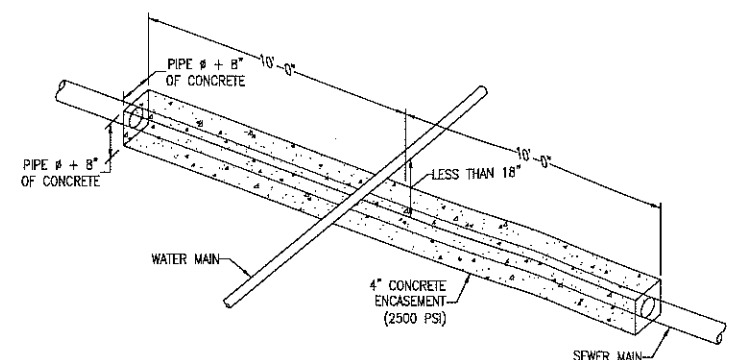
N.T.S.

MINIMUM THRUST BLOCK DIMENSIONS:
SURFACE AREA AGAINST UNDISTURBED SOIL

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND
4"	1' x 2'	1.5' x 1.5'	1' x 1.5'	1' x 1'
6"	2' x 2'	2.5' x 2.5'	2' x 1.5'	1' x 1.5'
8"	2.25' x 3'	3' x 3'	2' x 2.5'	1.5' x 1.5'
10"	3.5' x 3'	4' x 3.75'	2.75' x 3'	2' x 2'
12"	4' x 4'	4' x 5'	3' x 4'	2' x 3'
16"	5' x 5.5'	6' x 6.5'	4' x 5'	3' x 3.5'
18"	7' x 6'	8' x 10'	5' x 6'	4' x 4.5'
24"	7.75' x 6'	9.25' x 6.5'	6.5' x 7'	4.5' x 5.25'

NOTES:
1. ONE LAYER OF #16 FELL TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
2. ALL THRUST BLOCKS TO BE BACKED AGAINST UNDISTURBED SOIL.
3. THRUST BLOCK DIMENSIONS BASED ON 34" SOIL CLASSIFICATION.
4. CONCRETE MIN. 2,500 PSI.
5. JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS, THRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, TEES, TAPPING SLEEVES, AND DEAD ENDS.

NOTE:
SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10' OR GREATER. A MINIMUM OF 30' IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE NOTES BELOW:



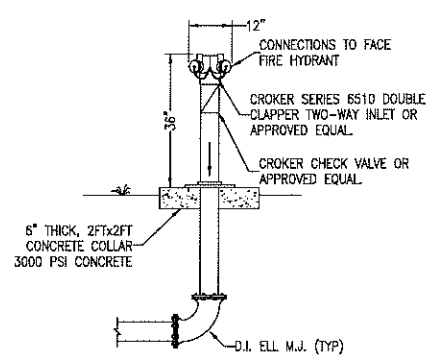
FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12' FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.

ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL CLEARANCE AND SEAL ENDS.

ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20' PIECE WITH 4' VERTICAL CLEARANCE AND SEAL ENDS.

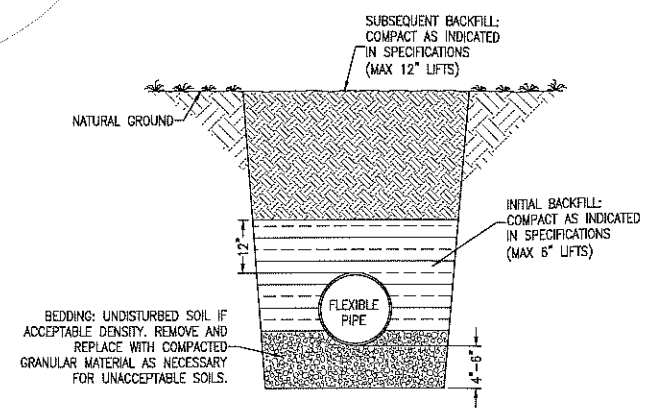
SEWER / WATER SEPARATION & CLEARANCES

N.T.S.



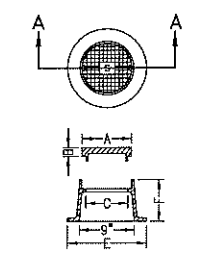
FREESTANDING FIRE DEPARTMENT CONNECTION DETAIL

N.T.S.



FLEXIBLE PIPE BEDDING

N.T.S.

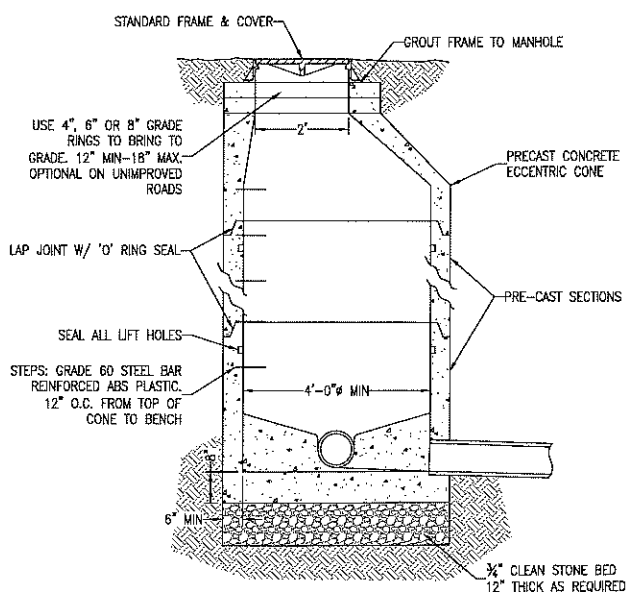


SECTION A - A

SEWER CLEANOUT DETAIL (TRAFFIC RATED)

SOLID LID	A	B	C	E	F
R-1792-AL	10 3/4"	1 1/2"	8 1/2"	14 1/2"	4"
R-1792-BL	13 3/4"	1 1/2"	11 1/2"	17 1/2"	4"

N.T.S.



JUNCTION BOX DETAIL

N.T.S.

LEGEND

[Symbol]	EXISTING ASPHALT
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING WOODEN FENCE
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE (GRAVITY)
[Symbol]	FORCE MAIN
[Symbol]	OVERHEAD UTILITIES
[Symbol]	BURIED TELEPHONE LINE
[Symbol]	GAS LINE
[Symbol]	BURIED ELECTRIC LINE
[Symbol]	BURIED FIBER OPTIC CABLE
[Symbol]	BURIED TV LINE
[Symbol]	BENCHMARK
[Symbol]	UTILITY POLE
[Symbol]	GUY ANCHOR
[Symbol]	LIGHT POLE
[Symbol]	TELEPHONE BOX
[Symbol]	GAS VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	STORMWATER MANHOLE

- UTILITY NOTES:
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 - ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY AND THE ECUA GUIDELINES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 - ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
 - ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
 - THE LIFT STATION AND FORCE MAIN SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED.

LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0407 Fax 850.438.0446
E8 0000597 LE9716

UTILITY DETAILS

NINE MILE ROAD APARTMENTS

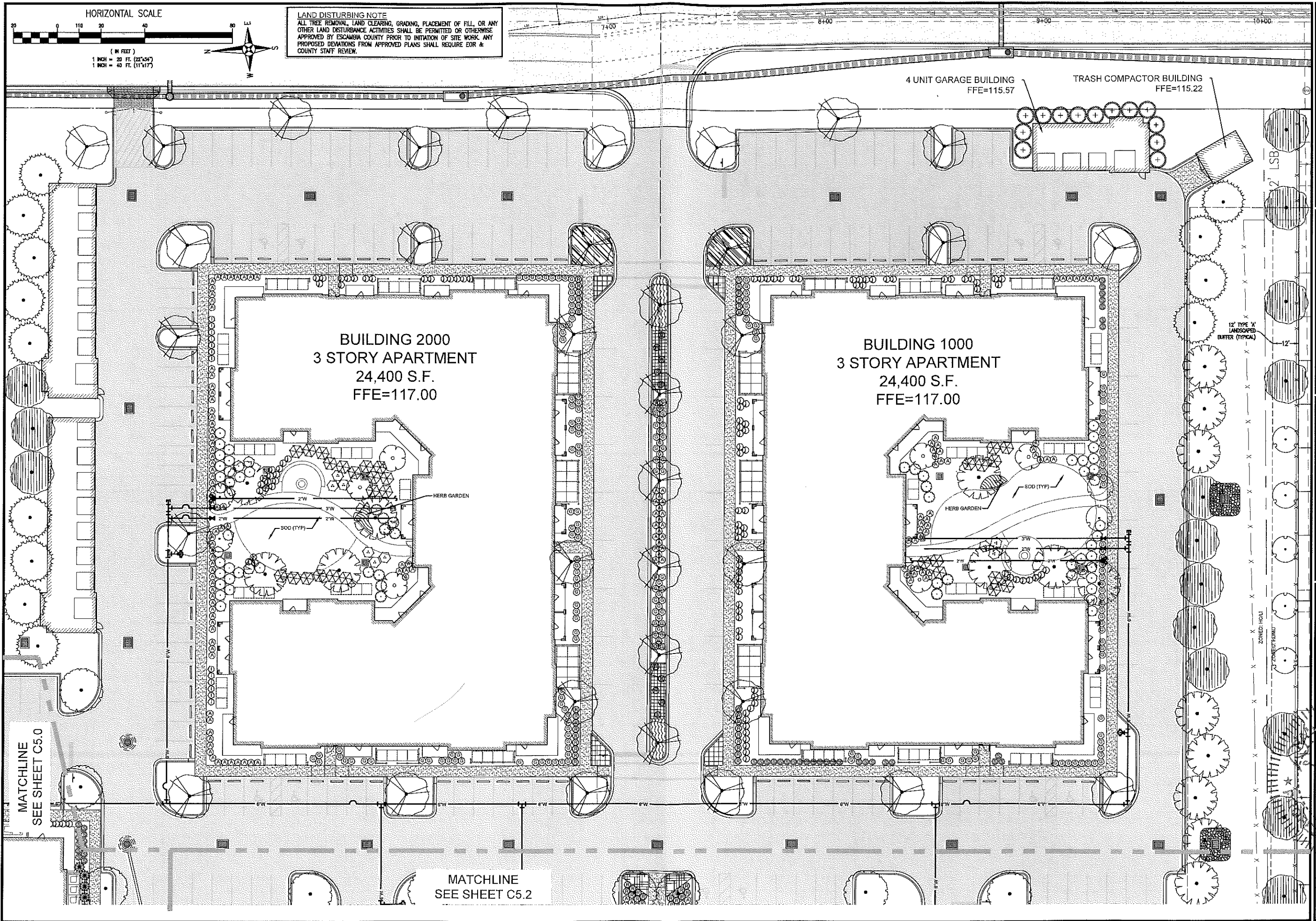
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	BY	ESCO	COMMENTS
1	12-20-2019			

SEAL
CONSTRUCTION SET
3/3/21
J. B. BATTLE
P.E.
No. 23126

Job No.: 2018.098
Date: April 20, 2020
DRAWING No.
C4.3
SHEET 18 OF 22

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HORIZONTAL SCALE
(IN FEET)
1" = 20' (22'x54")
1" = 40' (11'x17")

LAND DISTURBING NOTE
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BUILDING 2000
3 STORY APARTMENT
24,400 S.F.
FFE=117.00

BUILDING 1000
3 STORY APARTMENT
24,400 S.F.
FFE=117.00

4 UNIT GARAGE BUILDING
FFE=115.57

TRASH COMPACTOR BUILDING
FFE=115.22

MATCHLINE
SEE SHEET C5.0

MATCHLINE
SEE SHEET C5.2

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Civil Engineers and Surveyors
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Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0446
E5 0000587 157916

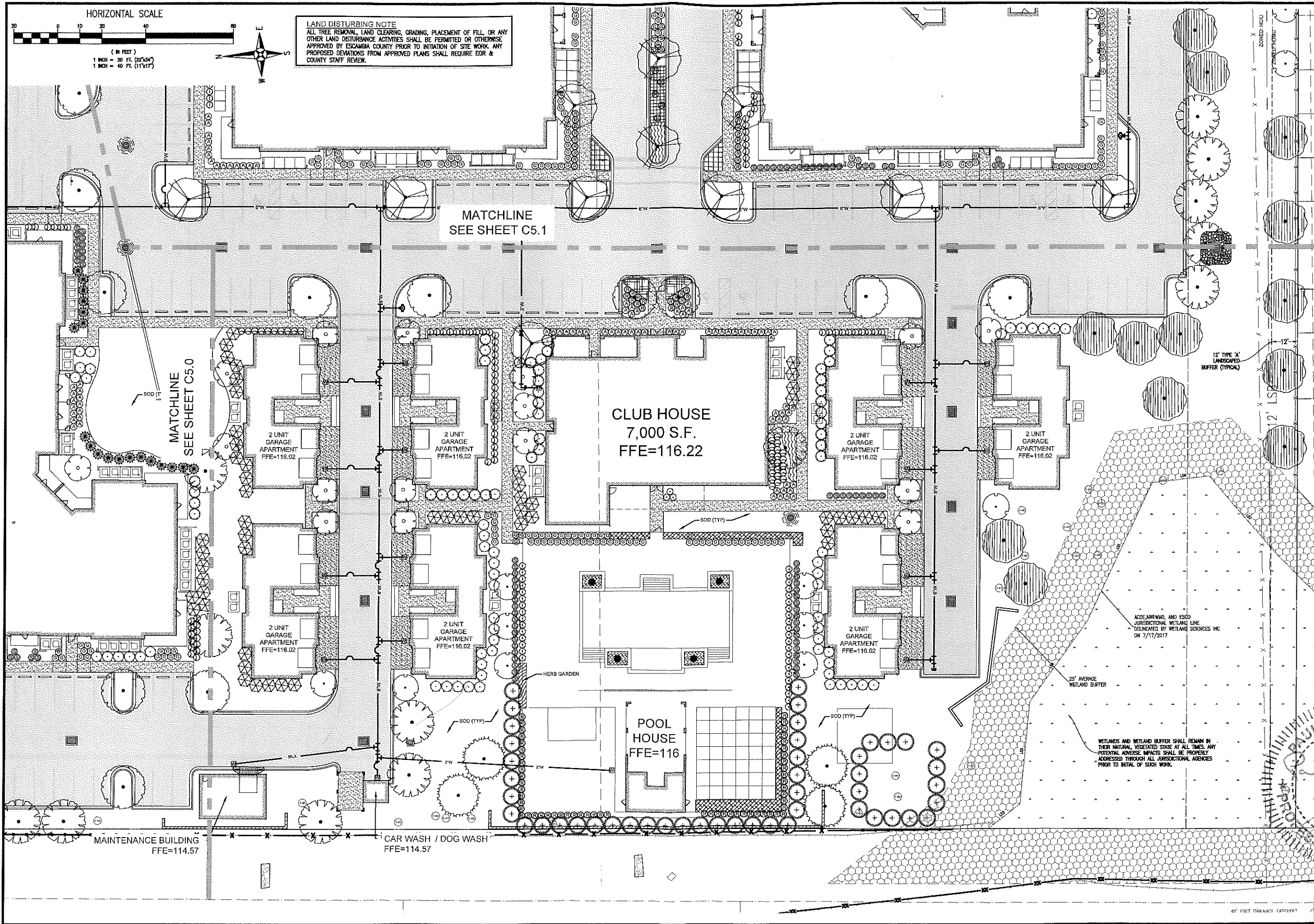
LANDSCAPE PLAN

**NINE MILE ROAD
APARTMENTS**
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	12/20/2019		
2	7/13/2021		

CONSTRUCTION SET
No. 53128
ST/3/21
Paul A. Battle, P.E.
No. 53128
FLORIDA
DR. BY: JLR
CHK. BY: PAB
Job No.: 2018.096
Date: April 20, 2020
DRAWING No.
C5.1
SHEET 20 OF 22

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HORIZONTAL SCALE

(IN FEET)
1" = 20' (22'x24')
1" = 40' (11'x17')

LAND DISTURBING NOTE
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MATCHLINE
SEE SHEET C5.1

MATCHLINE
SEE SHEET C5.0

CLUB HOUSE
7,000 S.F.
FFE=116.22

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

2 UNIT GARAGE APARTMENT
FFE=116.02

POOL HOUSE
FFE=116

MAINTENANCE BUILDING
FFE=114.57

CAR WASH / DOG WASH
FFE=114.57

12' TYPE 'A' LANDSCAPED BUFFER (TYPICAL)

ACCESSIONED AND ESCO JURISDICTIONAL WETLAND LINE DETERMINED BY WETLAND SCIENCES INC. ON 7/17/2017

25' AVERAGE WETLAND BUFFER

WETLANDS AND WETLAND BUFFER SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES. ANY POTENTIAL ADVERSE IMPACTS SHALL BE PROPERLY ADDRESSED THROUGH ALL JURISDICTIONAL AGENCIES PRIOR TO INITIATION OF SUCH WORK.

40' FIRST DRAINAGE EASEMENT

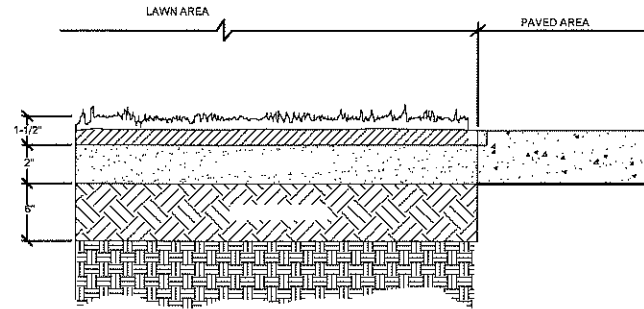
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.435.0446
E: rba@rba-engineers.com L: 57516

LANDSCAPE PLAN

NINE MILE ROAD APARTMENTS
ESCAMBIA COUNTY, FLORIDA

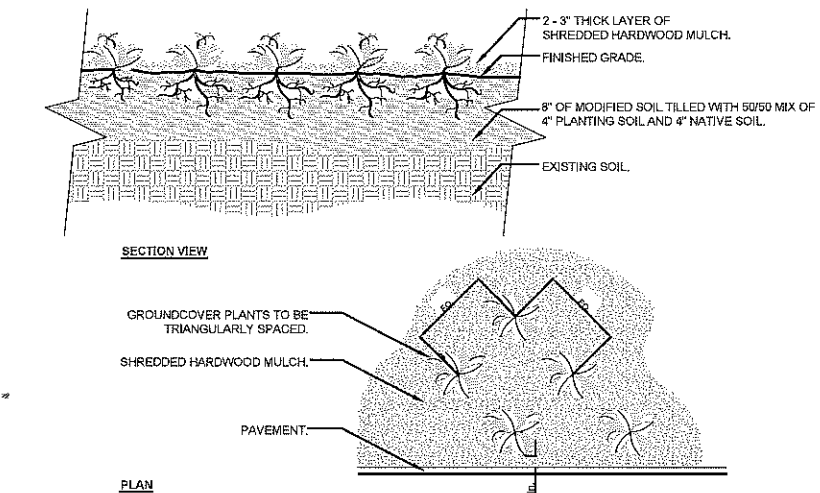
DATE	REVISION	ESCO COMMENTS
10-01-2019	1	
CONSTRUCTION SET		
No. 53126		
STATE OF FLORIDA		
Paul A. Battle, P.E.		
No. 53126		
DRAWN BY: JPR		
CHK BY: A. PAR		
JUL 11, 2018 096		
Date: April 20, 2020		
DRAWING No.		
C5.2		
SHEET 21 OF 22		

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1 SOD INSTALLATION

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3 SHRUB PLANTING

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5 TREE PROTECTION

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GENERAL LANDSCAPE NOTES:

- WARRANTY: ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE, HEALTHY, AND IN THRIVING CONDITION FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
- PLANTS SHALL MEET DOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.
- PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
- PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UTILITY LINES.
- PROVIDE SHOVEL-CUT TRENCH AT SHRUB BEDS IN LAWN AREAS UNLESS OTHERWISE NOTED.
- PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH MUST BE 3" THICK AT TIME OF FINAL WALK-THROUGH. MULCH IN SHRUB AND TREE PLANTING BEDS SHALL BE PINE STRAW UNLESS OTHERWISE NOTED. MULCH IN GROUNDCOVER BEDS TO BE SHREDDED HARDWOOD UNLESS OTHERWISE NOTED. MULCH SAMPLE IS TO BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. MULCH IS TO BE REPLACED AT CONTRACTOR'S OWN EXPENSE IF LAIN PRIOR TO APPROVAL.

- MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
- CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK (I.E. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC).
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWING SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE OWNER'S REPRESENTATIVE ASSUMES NO LIABILITY FOR OMISSION OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- WHERE LANDSCAPING AREAS ADJOIN GRASSED RIGHTS-OF-WAY, SUCH AREAS SHALL BE CONSIDERED PART OF THE LANDSCAPED AREA FOR PURPOSES OF MAINTENANCE. AS OF COMPLETION OF SITE IMPROVEMENTS, THE PROPERTY OWNER SHALL HAVE AN IMPLIED EASEMENT OF THE RIGHT-OF-WAY EXTENDING FROM THE SITE TO THE ROAD PAVEMENT IN ORDER TO COMPLETE THE REQUIRED MAINTENANCE.
- A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDNANCE COMPLIANCE.
- CONTRACTOR TO DESIGN-BUILD IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF NEW PLANT MATERIAL. IRRIGATION HEADS TO BE INSTALLED FLUSH WITH GRADE.
- ALL SOD SHALL BE SAND-GROWN, NOT MUCK-GROWN.
- MAXIMUM DIVERSITY OF ANY ONE SPECIES IS 30%.

2 GROUNDCOVER

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4 TREE PLANTING

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OPEN SOURCE FREE TO USE

PLANT SCHEDULE - TREES

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	26	CHIDONANTHUS VIRGINICUS / WHITE FRINGETREE NATIVE	B & B	2.5" CAL
	32	CORNUS KOUSA / KOUSA DOGWOOD	B & B	2.5" CAL
	17	CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	B & B	3" CAL
	19	JUNIPERUS VIRGINIANA 'BRODIE' / BRODIE COLUMNAR CEDAR NATIVE	B & B	7" - 8" MIN
	32	LIRIODENDRON TULIPIFERA / TULIP TREE NATIVE MITIGATION TREE	B & B	3" CAL
	23	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S BROWN BEAUTY NATIVE	B & B	3" CAL
	32	QUERCUS SHUMARDII / SHUMARD RED OAK NATIVE MITIGATION TREE	B & B	3" CAL
	36	ULMUS ALATA / WINGED ELM NATIVE MITIGATION TREE	B & B	3" CAL

PLANT SCHEDULE - SHRUBS

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	40	ABELIA X GRANDIFLORA 'ROSE CREEK' / ROSE CREEK ABELIA	3 GAL	36" o.c.
	271	AZALEA X 'FASHION' / FASHION AZALEA NATIVE	3 GAL	36" o.c.
	4	CHAMAECYPARIS OBUSA 'NANA LUTEA' / NANA LUTEA HINCKI FALSE CYPRESS	5 GAL	36" o.c.
	81	OLEA JAPONICA / SAKAKI	5 GAL	60" o.c.
	308	GARDENIA AUGUSTA 'RADICANS' / DWARF GARDENIA	3 GAL	36" o.c.
	12	HYDRANGEA MACROPHYLLA 'NIKKO BLUE' / NIKKO BLUE HYDRANGEA	3 GAL	60" o.c.
	35	ILEX GLABRA / INK BERRY HOLLY NATIVE	3 GAL	36" o.c.
	111	ILEX VOMITORIA 'SCHILLINGS DWARF' / DWARF SCHILLINGS HOLLY NATIVE	3 GAL	36" o.c.
	60	ILEX X 'MAGLAND' TM / OAKLAND HOLLY MIN 4" HT	7 GAL	96" o.c.
	114	ILICUM PARVIFLORUM / ANISE TREE NATIVE	7 GAL	72" o.c.
	113	ROSA X 'RADRAZZ' TM / KNOCKOUT ROSE	3 GAL	36" o.c.
	182	VIBURNUM ANASUKI 'CHINDO' / CHINDO VIBURNUM	7 GAL	96" o.c.
	289	VIBURNUM OBOVATUM 'DENSEA' / DWARF WALTER'S VIBURNUM NATIVE	3 GAL	36" o.c.

PLANT SCHEDULE - PERENNIALS AND GROUNDCOVERS

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	228 SF	HERB GARDEN CHIVES LEMON BALM MINT PARSLEY THYME	4" POT	
	309	HYPERICUM CALYCEUM / CREEPING ST. JOHN'S WORT	4" POT	18" o.c.
	882	LIRIOPE SPICATA / CREEPING LILY TURF	4" POT	10" o.c.
	279	PANICUM VIRGATUM 'ROTSTRAHLBÜSCH' / ROTSTRAHLBÜSCH SWITCH GRASS	FLAT	18" o.c.
	280	PHLOX SUBULATA 'EMERALD BLUE' / EMERALD BLUE CREEPING PHLOX NATIVE	FLAT	18" o.c.
	139 SF	SEASONAL ANNUALS	FLAT	

LANDSCAPE REQUIREMENTS:

ENTIRE PARCEL - 10.85 ACRES
PARKING LOT LANDSCAPE: (1) TREE PER ISLAND
31 ISLANDS
31 TREES PROPOSED
REPLACEMENT RATIO: (DSM 2-5.2.6a)
TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 1229 INCHES
1229 X 0.50 = 614.5 INCHES. TOTAL CALIPER REPLACEMENT = 614.5 INCHES
REPLACEMENT LIMITS: (DSM 2-5.2.6a)
TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.
TOTAL DEVELOPMENT SITE = 10.85 ACRES X 25 = 271.25
REPLACEMENT LIMITS = 272 INCHES
TOTAL 2.5 INCH TREES REQUIRED = 108 OR TOTAL 3 INCH TREES REQUIRED = 91
DEVELOPER MAY CHOOSE COMBINATION OF 2.5 AND 3 INCH TREES BUT A TOTAL OF 272 CALIPER INCHES ARE TO BE REPLACED/PLANTED USING A MINIMUM 2.5 CALIPER INCH NATIVE, FLORIDA GRADE 1, CANOPY REPLACEMENT/INITIATION TREE AND ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET.
**TREES TO BE USED FOR MITIGATION ARE NOTED IN THE PLANT SCHEDULE TO THE LEFT.

LAND DISTURBING NOTE
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.