

Printed Name: 2000140/ 11/01/10/ not in any way relieve the subm anatory from responsibility of details as drawn. A Developme must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not onstitute approval by any other agency. All additional state/federal ermits shall be provided to the county prior to approval of a final plat or e issuance of state/federal permits shall be provided to the county prior approval of a final plat or the issuance of a building permit.

IMPRO

SITE

ORTS

Approved ESCAMBLA COUNTY DRC PLAN-REVIEW

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DATE: MARCH,

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-	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE		ILL CONTR
2	FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET.		o. MANUFA
	REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.		BE MAD
5.	LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.		b. ALL SPI c. SPILLS AGENCY
6.	ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.		d. THE SP REOCCU CAUSED
	THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).		e. THE SIT AND CL
8.	THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.	DF	MOLITION
	CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.		CONTRACTOR
	THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.	2.	FURNISH A THE REQUIR NO WORK W
1.	THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.	3.	THE CONTRATELEPHONE, ORDER TO F
	CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.	4.	CONTRACTOR
	SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.		OTHER IMPR IMPROVEMEN TO PROTECT
	THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.		SUPPORT EX WITH PROTE SHALL BE TH
6.	CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.	5.	CONTRACTOR REMOVAL OR OWNER. TREE
ER	OSION CONTROL NOTES	6.	CONTRACTOR MARKED FOR
	TEMPORARY STABILIZATION IS REQUIRED FOR ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.	7.	ALL UNSUITA REPLACED W
2. 3.	PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.	8.	CONTRACTOR PROTECTED WASTE FROM
ŀ.	REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION: a. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.	0	LOCAL REGU
	<ul> <li>b. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.</li> <li>c. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.</li> </ul>	9.	THE STRUCT BACKFILLING COMPANY.
	d. SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO ENSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.		UNLESS OTH DISPOSED O
	e. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS. f. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL		CONTRACTOR REMOVAL. PF THE EDGE O
	INSPECTIONS AND MAINTAIN REPORTS. q. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS. WHEN MAJOR GRADING HAS	12.	CONTRACTOR RETAINING W
5.	CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED. THE SITE SHALL BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:	13.	FULL DEPTH AND COMPAC
	a. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE. b. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.		
	C. FOLLOW ALL MANUFACTURERS RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.	EA	RTHWORK
	d. INSPECT DAILY TO ENSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.		INFORMATION
	e. COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.		COMPACT AL 180) AND TO ALL EARTHWO
SU	RVEYOR NOTES	4	SPECIFICATION
1.	NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE GRID BEARING OF N 48°57'16" E ALONG THE SOUTH LINE OF SUBJECT PARCEL AND IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)–(2011)–(EPOCH 2010.0000) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE		WITH SOD (S ALL DEWATE UNDERGROUN LIFT STATION
	R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.	6.	COSTS. THE PLANS AND ENGINEER M
2.	ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) VERTICAL CONTROL NETWORK BENCH MARK NUMBER I 10 H9 HAVING A PUBLISHED ELEVATION OF 127.33 FEET.	7.	COMPACTION UNLESS SHO THE SITE, P
3.	MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.		ESTABLISH A BE ESTABLIS GRASS IS ES
4.	VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HERON.	8.	THE CONTRA
5. c	THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.		FINAL GRADE
6. 7.	VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON. THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND	Q	STEEPER SH
••	.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0360G, MAP REVISION DATED SEPTEMBER 29, 2006.	5.	TO, THE IN TRANSFERRIN AND SEDIME LOCATIONS (
			ALSO BE RE
8.	GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.		
8. 9.			

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# **OL NOTES**

) THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL S PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: URERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

LS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT REGARDLESS OF SIZE.

L PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT , AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION ANUP COORDINATOR.

## IOTES

SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL DPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH IENTS OF THE PERMITS.

HIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.

TOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, OR SEWER SERVICE SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR ÉQUIPMENT IN ILITATE DEMOLITION.

SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND /EMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO TING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED ING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGING UTILITIES CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.

IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE NOT MARKED FOR REMOVAL SHALL BE PROTECTED.

HALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.

E MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND CLEAN SAND PRIOR TO GRADING THE SITE.

HALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE AINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND

HALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH E, WATER LINES TO THE METER LOCATION, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO HE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER

RWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.

HALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS OR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.

SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND LS (INCLUDING THE FOOTERS).

AVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, ED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

### , GRADING, AND STABILIZATION NOTES

CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECH REPORT.

UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T -95% WITHIN OTHER AREAS.

NRK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND

AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR ME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.

ING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID ONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.

PECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH ESTS WILL BE BORNE BY THE CONTRACTOR.

IN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF ANT GLASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT ED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL BUSHED.

TOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR ARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND BE STAKED.

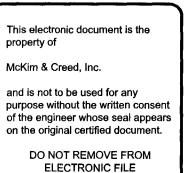
SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING. BUT NOT LIMITED ALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL NTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL PONSIBLE FOR REMOVING THE BARRIERS.

## PAVING, GRADING, AND DRAINAGE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ALONG THE ALIGNMENT OF ALL PROPOSED SIDEWALKS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW AND SHALL HAVE THE MARKERS REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
- 3. SAWCUT EXISTING PAVEMENT AT THE CONNECTIONS TO THE EXISTING ROADWAYS TO FORM A SMOOTH TRANSITION.
- 4. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.
- 5. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.
- CLEAN AND OPERABLE PRIOR TO OWNER'S ACCEPTANCE.
- 7. IN ADDITION TO THE REQUIREMENTS IN THE ENGINEER'S TECHNICAL SPECIFICATIONS, ALL ROADWAY CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE OR LOCAL GOVERNMENT SPECIFICATIONS.
- 8. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR REVIEW AND APPROVAL TO THE APPLICABLE STATE OR LOCAL GOVERNMENT PRIOR TO WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL EXECUTE AND IMPLEMENT THE MOT PLAN IN ACCORDANCE WITH FDOT STANDARDS.
- 9. STABILIZED SUBGRADE TO BE F.D.O.T. TYPE "B".
- STANDARD SPECIFICATIONS (LATEST EDITION).
- 11. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH. ALL
- 12. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.
- 13. LEADING EDGE OF RAMP SHALL ALIGN WITH SIDEWALK OR RAMP ON OPPOSITE SIDE OF INTERSECTION.
- CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE DROP CURB OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG.
- RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
- 16. SIDEWALK/RAMP CONSTRUCTION AND EXISTING CURB REMOVAL NECESSARY TO CONSTRUCT THE HANDICAP RAMPS (IF APPLICABLE) ARE INCLUDED IN THIS CONTRACT.
- BOXES OR COVERS WITHIN SIDEWALK CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS.
- 18. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.
- 19. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- 20. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.
- 21. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- 22. ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PREFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8-INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN 3-PERCENT OF OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY OR AS REQUIRED BY CONTOUR ENGINEERING AS DETERMINED BY THE MODIFIED PROCTOR METHOD. ASTM D-1557.
- 23. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
- 29. ALL PIPES SHALL HAVE 3-FEET MINIMUM COVER UNLESS OTHERWISE SPECIFIED IN PLANS, CONTRACTOR SHALL TAKE CARE TO PROVIDE PROPER GRADE ELEVATIONS AND ALIGNMENTS.
- 30. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.
- 31. PROVIDE SOCK DRAIN OR SEDIMENT FILTER IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT AT THE DISCRETION OF THE CONSTRUCTION MANAGER) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.
- 32. TOP ELEVATION OF ALL CURB INLETS ARE SHOWN WHERE THE EDGE OF PAVEMENT ELEVATION MEETS THE THROAT APRON OF THE CURB
- 36. ALL DRAINAGE PIPE JOINTS TO BE WRAPPED WITH FILTER FABRIC CLOTH PER FDOT PLAN 430-001.
- 37. CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION

### ESCAMBIA COUNTY NOTES

- PROFESSIONAL ENGINEER.
- 2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE REQUEST FOR INSPECTION.
- PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- INSPECTION/APPROVAL.
- 8. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- FROM THE COUNTY.
- EASEMENT.



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GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN

6. TOOL AND CLEAN ALL MANHOLE AND VALVE COVERS OF DIRT, DEBRIS AND ASPHALT. ALL MANHOLE AND VALVE COVERS SHALL BE

10. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT

STRUCTURAL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.

14. WHERE A CURB CUT RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR

15. THE EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLAN OR IN SECTION) ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER

17. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY

THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA

DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO

6. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING

7. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL

9. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF

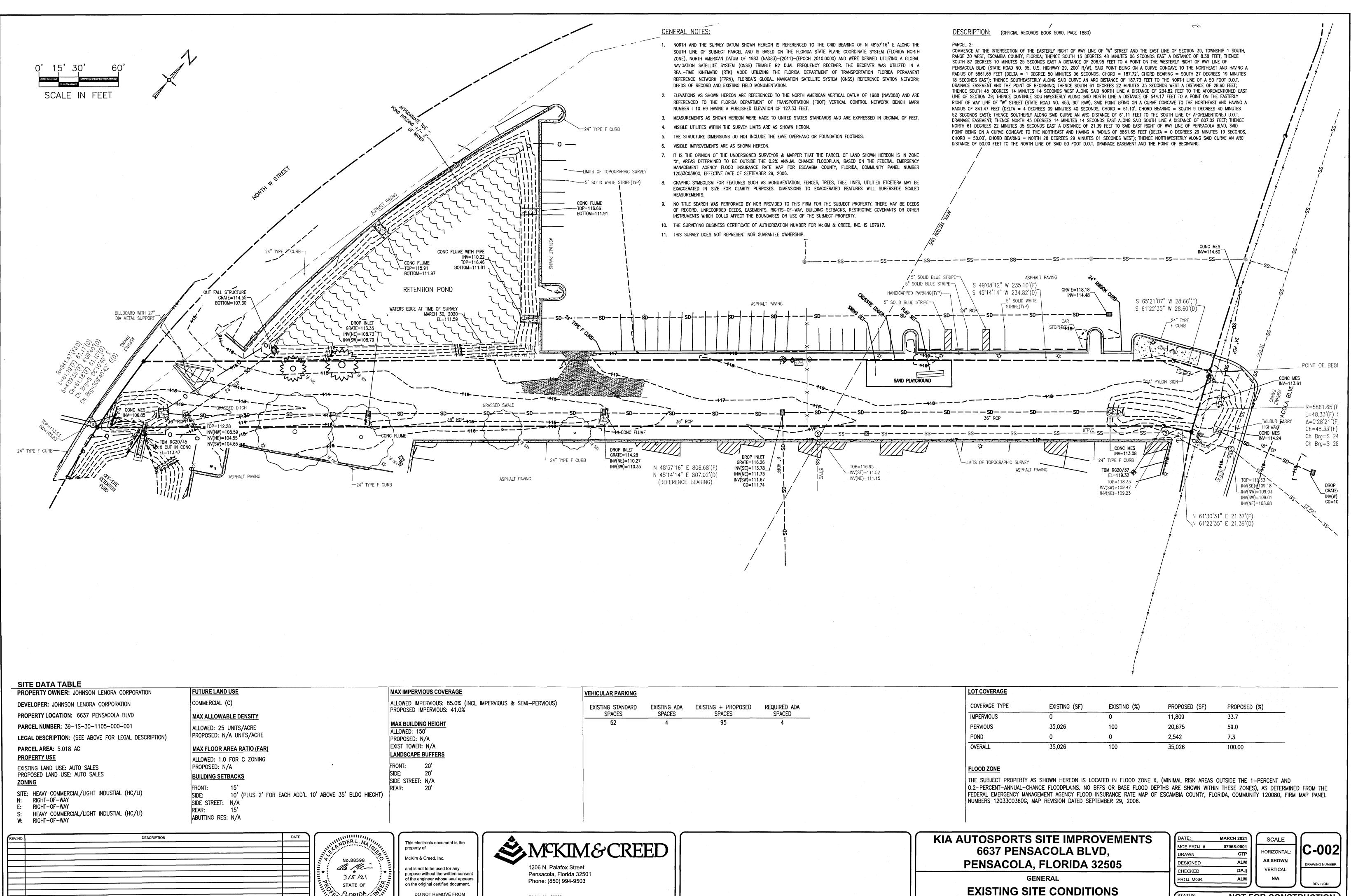
10. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY OR

# **KIA AUTOSPORTS SITE IMPROVEMENTS** 6637 PENSACOLA BLVD, **PENSACOLA, FLORIDA 32505** GENERAL

**GENERAL NOTES AND ABBREVATIONS** 

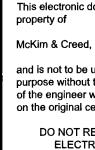
LEG	END:	بر ۱۰۰۰۰
۲	Found 1/2" dia capped iron	ROD (LB7073)
$\bullet$	FOUND 1/2" DIA CAPPED IRON	• •
	FOUND 1" DIA IRON PIPE (UNN	•
♥●◎◎₩₩	FOUND 1/2" DIA IRON ROD (U FOUND 4"X4" CONCRETE MONU	-
	SET BENCHMARK	
ĩ	LINE SHOWN NOT TO SCALE	
-	CHAIN LINK FENCE	
	WOOD PANEL FENCE	
	OVERHEAD UTILITIES BURIED WATER LINE	
	BURIED GAS LINE	
	BURIED FIBER OPTIC CABLE	
,	SEWER LINE	
	SEWER FORCE MAIN	
•	STORMWATER MANHOLE	
	DROP INLET WATER METER	
•	WATER VALVE	
**	FIRE HYDRANT	
	POST INDICATOR VALVE	
000	BACK FLOW PREVENTER	
ত	IRRIGATION VALVE	
S	SEWER MANHOLE CLEANOUT	
<b>⊙</b> ⊗	SEWER VALVE	
Ô	LIFT STATION	
	ELECTRIC PANEL	
E	ELECTRIC OUTLET BOX	
EV	ELECTRIC VAULT	
	BURIED GAS LINE MARKER	
Š B	GAS VALVE BURIED FIBER OPTIC CABLE MA	PVED
Ē	TELEPHONE PEDESTAL	
	COMMUNICATIONS VAULT	
TCV	TRAFFIC CONTROL VAULT	
ಧ	CONCRETE LIGHT POLE	
₹	FLOODLIGHT	
÷	GUY WIRE ANCHOR	
X X	wood utility pole" Utility spot location	
ф Ф	MAILBOX	
0	WOOD POST	
-	SINGLE SUPPORT SIGN	
<b>\$</b>	FDOT REFLECTOR	
	DETECTABLE WARNING PAD	
① 20	SECTION NUMBER	
A-1	WETLANDS FLAGGING	
+ 6.00	SPOT ELEVATION	
100	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS	
BOC	BACK OF CURB	
CH BRG	CHORD BEARING	
СН	CHORD LENGTH	
CONC	CONCRETE	
(D)	DEED INFORMATION	
∆ DIA	delta angle Diameter	
EOP	EDGE OF PAVEMENT	
(F)	FIELD INFORMATION	
FM	SEWER FORCE MAIN	
н <b>/</b> ₩	HEADWALL	
L	ARC LENGTH	
LB	LICENSED SURVEYING BUSINESS	NUMBER
NTS	NOT TO SCALE	
OR PB	OFFICIAL RECORDS BOOK PLAT BOOK	
PG	PAGE	
PC	POINT OF CURVATURE	
PRC	POINT OF REVERSE CURVATURE	
PT	POINT OF TANGENCY	
R	RADIUS	
RCP	REINFORCED CONCRETE PIPE	
R/W SCH	RIGHT-OF-WAY	
SCH S/W	SCHEDULE SIDEWALK	
3/ <del>11</del>		

DATE:	MARCH 2021	SCALE	
MCE PROJ. # DRAWN	07968-0001 GTP	HORIZONTAL:	C-00 <sup>-</sup>
DESIGNED	ALM	AS SHOWN	DRAWING NUMBER
CHECKED	DPJj	VERTICAL:	
PROJ. MGR.	ALM	N/A	REVISION



	3/3
TR:	STATE
	FLORI
	SIONA
l	in mining

REVISIONS



OVERAGE		VEHICULAR PARKING					
JS: 85.0% (INCL IMPERVIOUS & OUS: 41.0%	SEMI-PERVIOUS)	EXISTING STANDARD SPACES	EXISTING ADA SPACES	EXISTING + PROPOSED SPACES	REQUIRED ADA SPACED		
<u>GHT</u>		52	4	95	4		
RS							
		ł				 	
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Inc.		M&CRE					
used for any the written consent	1206 N. Palafox Str Pensacola, Florida						
vhose seal appears artified document.	Phone: (850) 994-9	503					
EMOVE FROM RONIC FILE	CA Lic. No. 29588						

I:\07968\0001\WATER\80-DRAWINGS\86-DESIGN\CI\02-PLANS\OVERALL	SITE PLAN.DWG 03/04/2021	15:50:12 ALEX MAINIERO

STATUS:

NOT FOR CONSTRUCTION

30' SCALE IN FEET EACH EMPORARY PROTEC DOWNGRAD AT ALL TI SILT FEN TREE TO BE REMOVED M X w 0 TBM RG20/45 0 

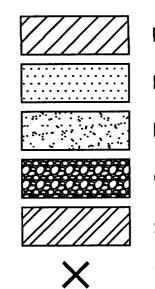
TREE SCHEDULE						
TREE #	SPECIES	CANOPY	DIAMETER	REMOVE		
502	OAK	25'	15"			
503	OAK	30'	18"			
504	OAK	50'	32"~32"~39" SPLIT			
505	OAK	60'	43"			
506	SWEETGUM	20'	8"	XX		
507	SWEETGUM	25'	10"	XX		

# LEGEND:

- ----- SF ----- SILTATION FENCE - SD - STORM LINE
- ----- o ----- CHAINLINK FENCE
- w WATER LINE
- ----- x ----- EXISTING FENCE

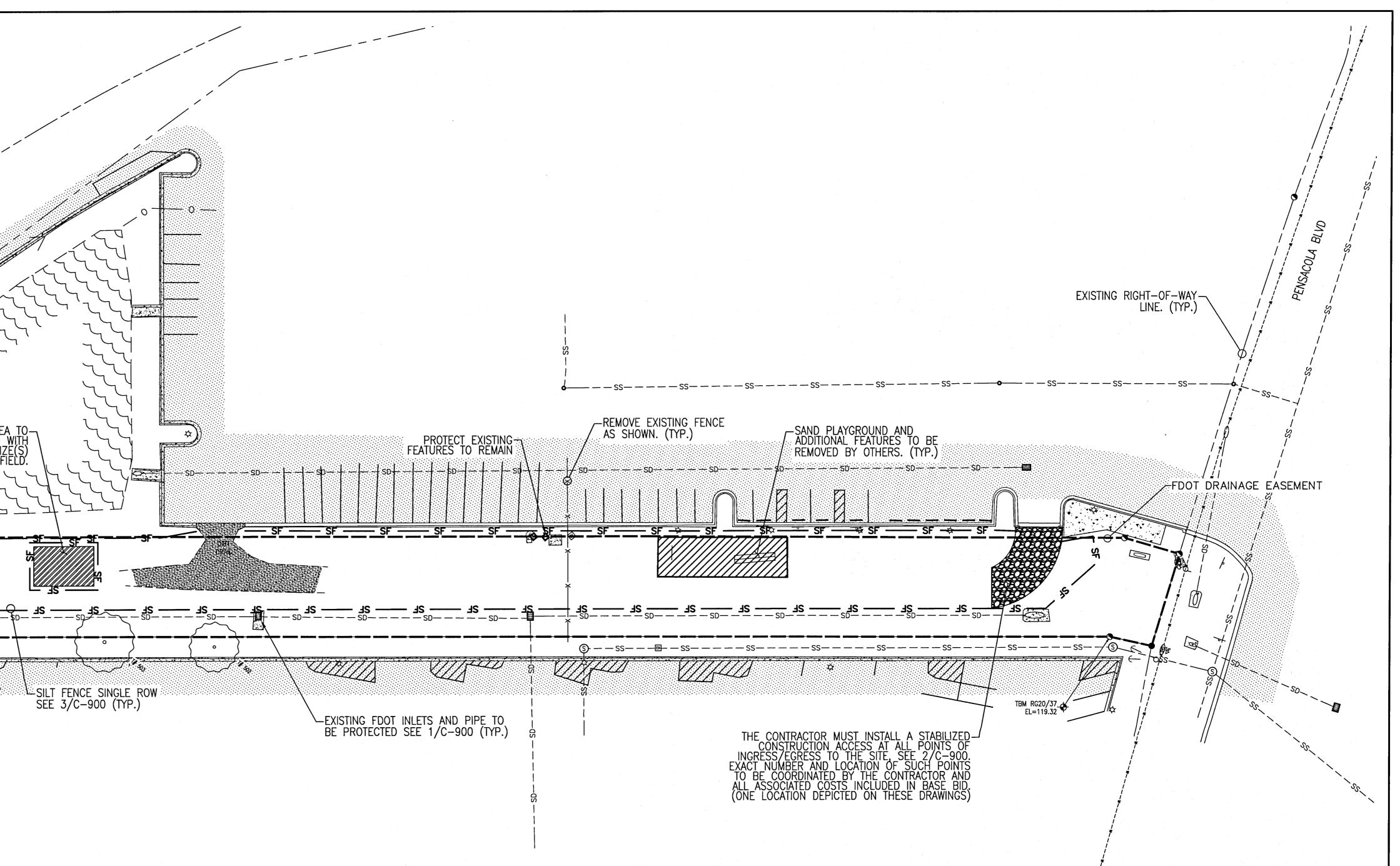
# **GAS MARKER**

- EV ELECTRIC VAULT GAS VALVE
- ----- SINGLE SUPPORT SIGN
- DROP INLET
- © STORM MANHOLE
- S SANITARY SEWER MANHOLE
- \* CONCRETE LIGHT POLE
- 🖄 WATER VALVE
- WOOD POST
- WOOD UTILITY POLE
- STIBER OPTIC CABLE MARKER
- TELEPHONE PEDESTAL
- CV COMMUNICATION VAULT
- ← GUY WIRE ANCHOR



FEATURE TO BE REMOVED EXISTING PAVEMENT EXISTING DIRT DRIVE CONSTRUCTION ACCESS STOCKPILE/LAYDOWN AREA TREE TO BE REMOVED

REV.NO.	DESCRIPTION	DATE	NDER L. MA	This electronic doc
			NICH IN CONTRACTOR	property of
			No.88598	McKim & Creed, In
			* Martile *	and is not to be use purpose without the
			3/5/21 PD STATE OF	of the engineer who on the original cert
			TO A CHILL	DO NOT REM ELECTRO
	REVISIONS		WINDONAL ELININ	



## **DEMOLITION NOTES:**

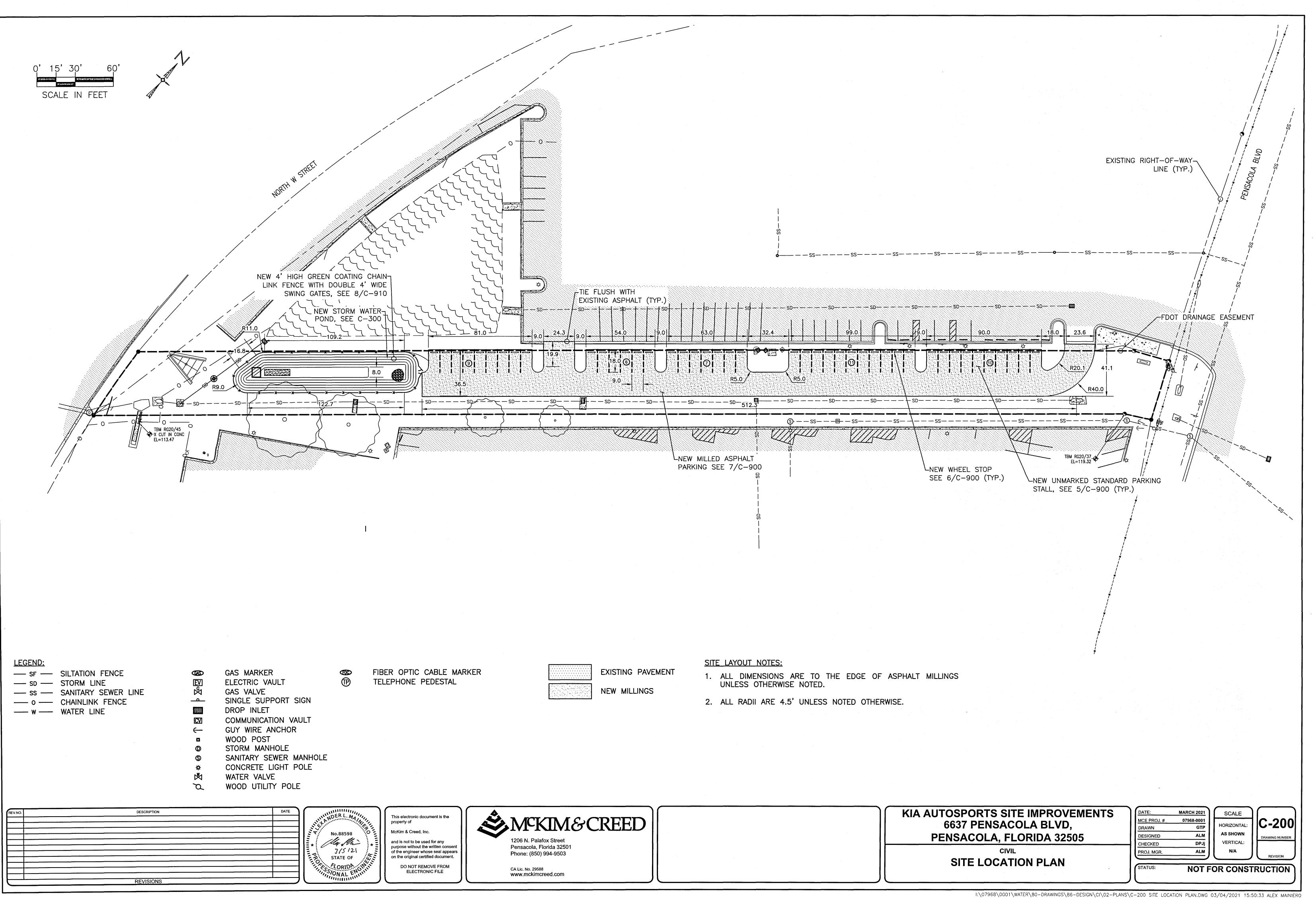
- 1. DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT 1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL COORDINATE AND PROVIDE PLANS TO PROVIDE GUESTS TEMPORARY ACCESS ROUTES AROUND THE CONSTRUCTION ZONES.
- 2. WHILE ALL TREES DEFINED AS PROTECTED BY THE ESCAMBIA COUNTY LDC ARE DEPICTED ON THIS DRAWING, THE CONTRACTOR IS CAUTIONED THAT OTHER NON-PROTECTED TREES AND VEGETATION MAY ALSO BE PRESENT ON SITE. THE CONTRACTOR MUST REMOVE ALL EXISTING TREES AND VEGETATION WITHIN THE LIMITS OF CLEARING AND GRUBBING AS NECESSARY TO FACILITATE THE PROPOSED CONSTRUCTION, AND MUST VERIFY THE EXACT REQUIREMENTS OF THAT REMOVAL IN THE FIELD PRIOR TO BID. TREES SPECIFICALLY NOTED TO BE REMOVED OR PROTECTED ON THESE PLANS MUST BE ADDRESSED AS NOTED.

EROSION CONTROL NOTES:

- EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
- 2. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
- 4. CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
- 5. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.

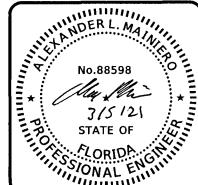
ectronic document is the y of & Creed, Inc. hot to be used for any e without the written consent ingineer whose seal appears original certified document. D NOT REMOVE FROM ELECTRONIC FILE	ED	KIA AUTOSPORTS SITE IMPROVEMENTS 6637 PENSACOLA BLVD, PENSACOLA, FLORIDA 32505 CIVIL SITE DEMOLITION AND EROSION CONTROL PLAN	DATE:       MARCH 2021         MCE PROJ. #       07968-0001         DRAWN       GTP         DESIGNED       ALM         CHECKED       DPJj         PROJ. MGR.       ALM         VERTICAL:       N/A         REVISION         STATUS:       NOT FOR CONSTRUCTION
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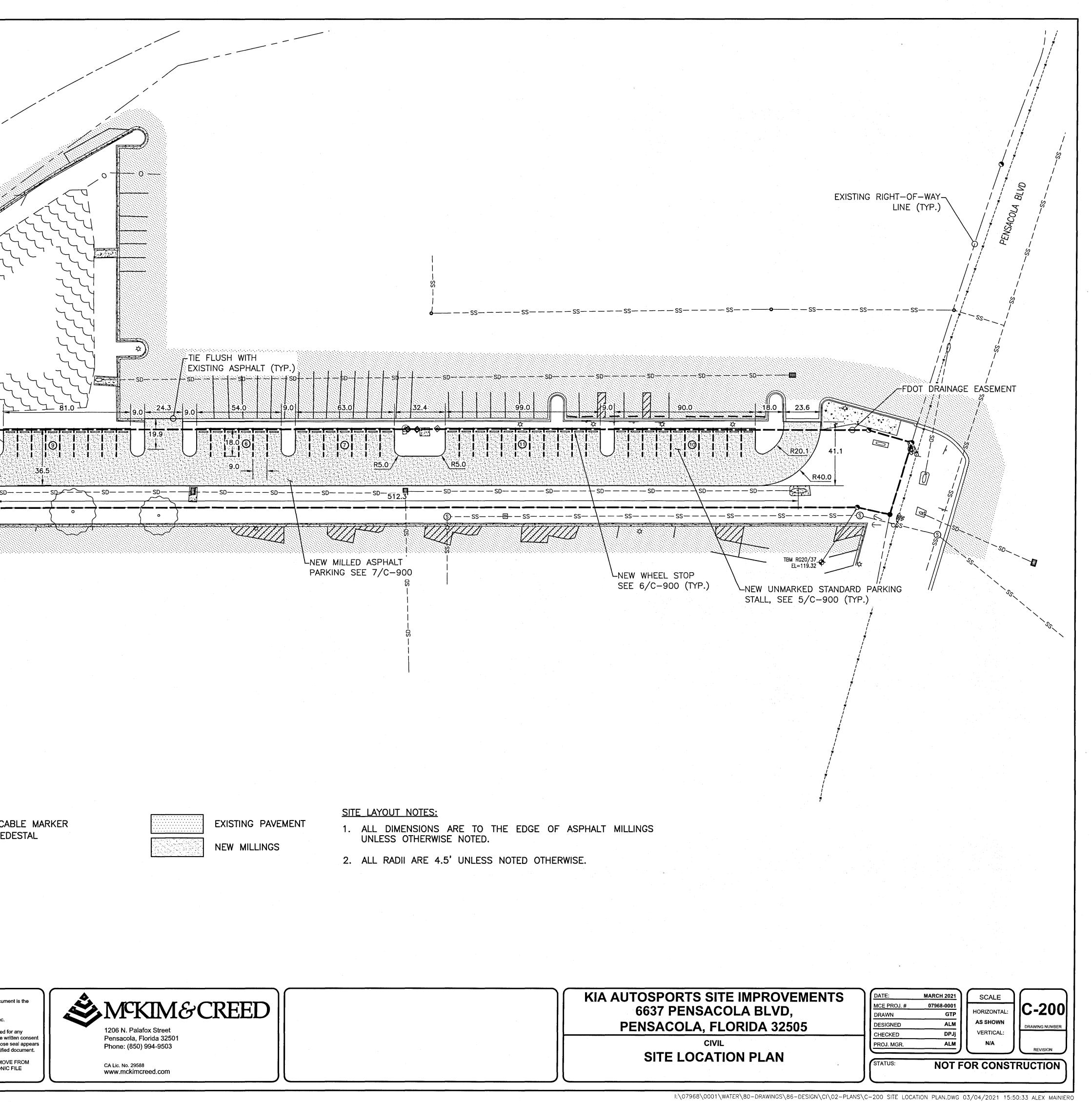
- 6. IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
- 7. ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
- 8. DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION.
- 9. ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

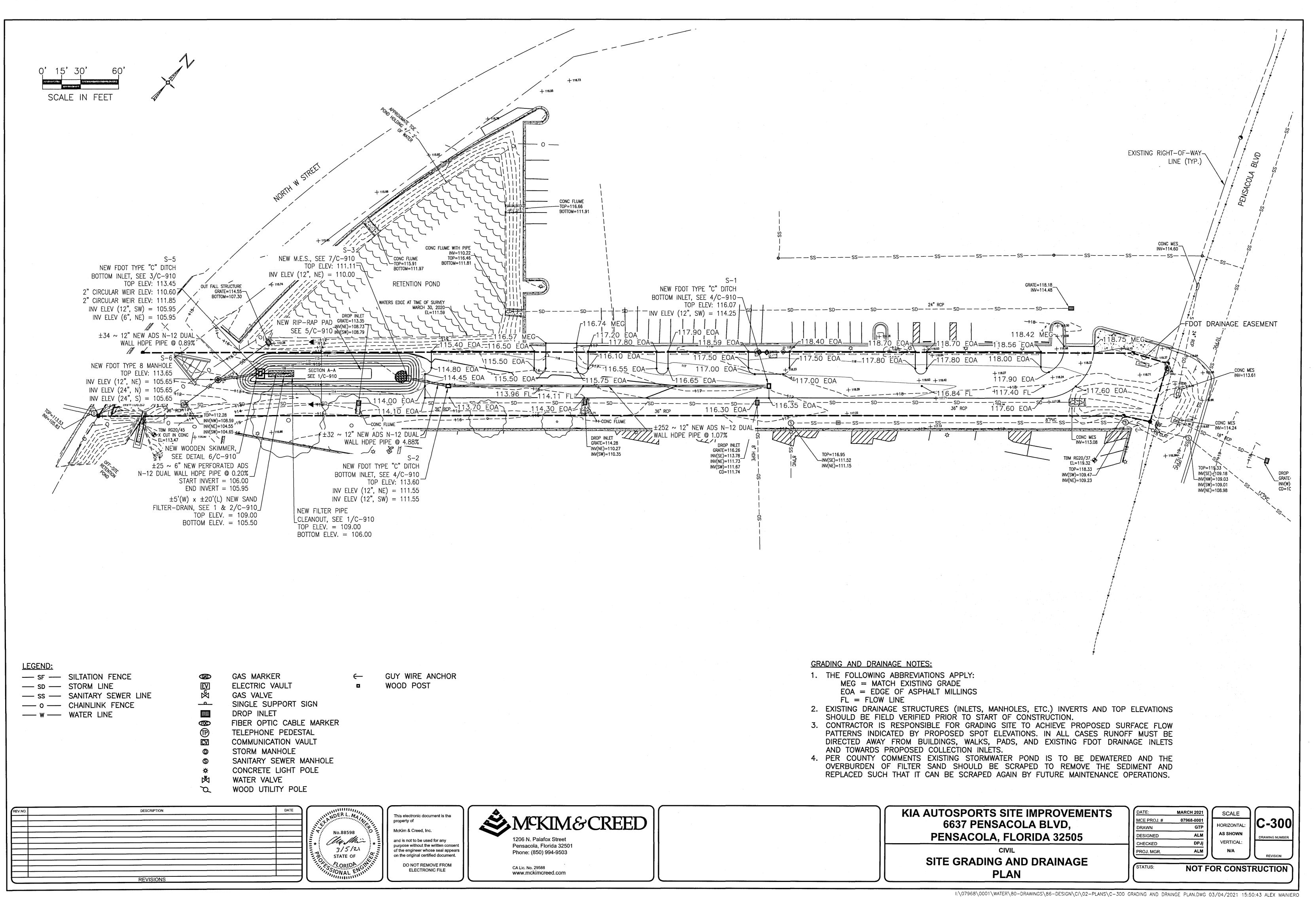


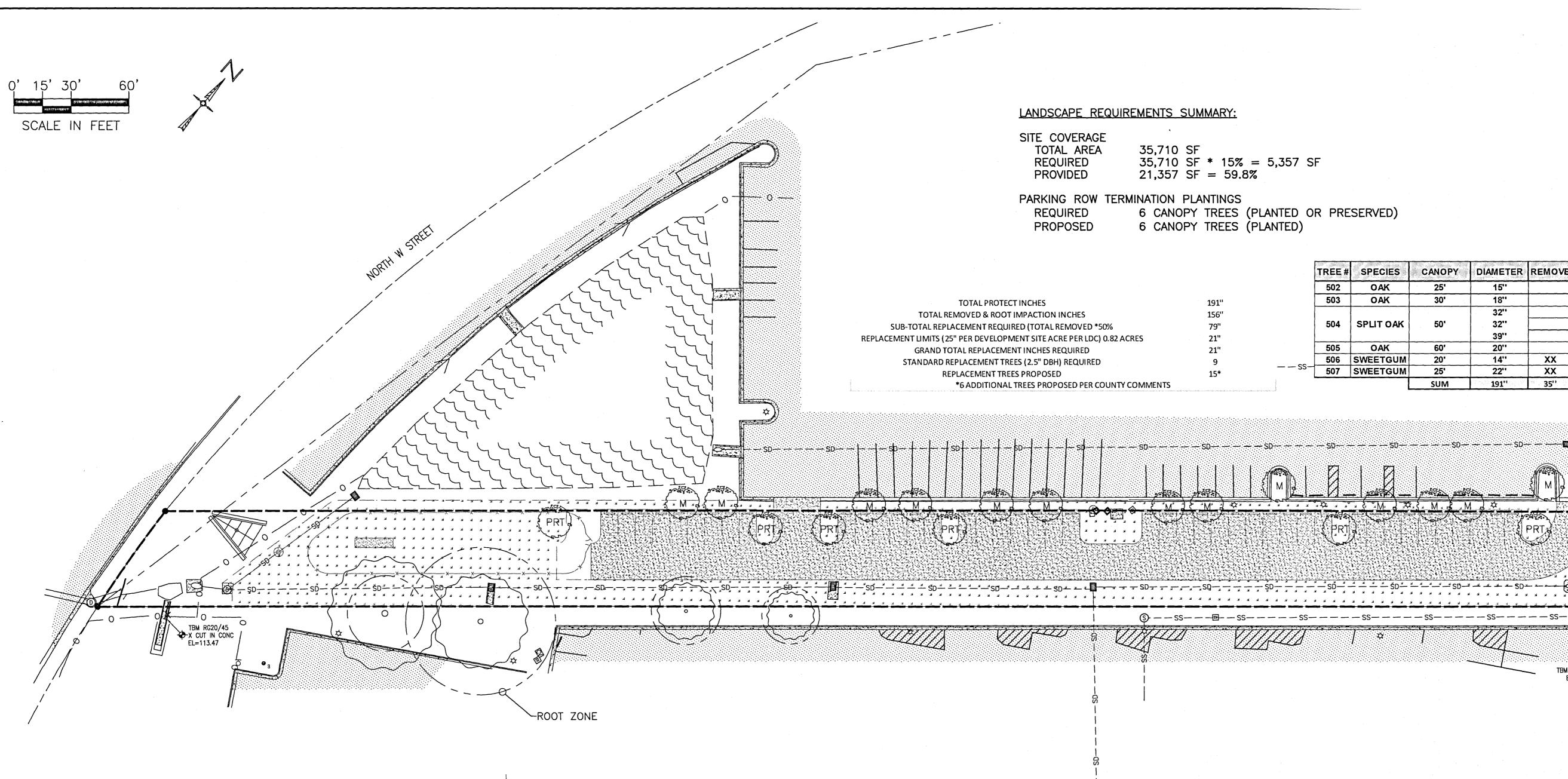
— SF —	SILTATION FENCE	(FAS)	GAS MARKER		FIBE
—— SD ——	STORM LINE		ELECTRIC VAULT	P	TELE
<u> </u>	SANITARY SEWER LINE	s 🖄	GAS VALVE		
— o —	CHAINLINK FENCE		SINGLE SUPPORT SIGN		
—— w ——	WATER LINE		DROP INLET		
		CV	COMMUNICATION VAULT		
		←	GUY WIRE ANCHOR		
	· · · · · · · · · · · · · · · · · · ·	•	WOOD POST		
		D	STORM MANHOLE		
		S	SANITARY SEWER MANHOLE		
		<b>‡</b>	CONCRETE LIGHT POLE		
		N <b>X</b> 1	WATER VALVE		

REV.NO.	DESCRIPTION	DATE
	REVISIONS	









# LEGEND:

•

SF	SILTATION FENCE
SD	STORM LINE
SS	SANITARY SEWER LINE
0	CHAINLINK FENCE
w	WATER LINE
CSS)	GAS MARKER
EVI	ELECTRIC VAULT
ß	GAS VALVE
<u></u>	SINGLE SUPPORT SIGN
<b>MARKATI</b>	DROP INLET
CV	COMMUNICATION VAULT
←	GUY WIRE ANCHOR
	WOOD POST
Ø	STORM MANHOLE
S	SANITARY SEWER MANHOLE
<b>÷</b>	CONCRETE LIGHT POLE
	WATER VALVE
2	WOOD UTILITY POLE

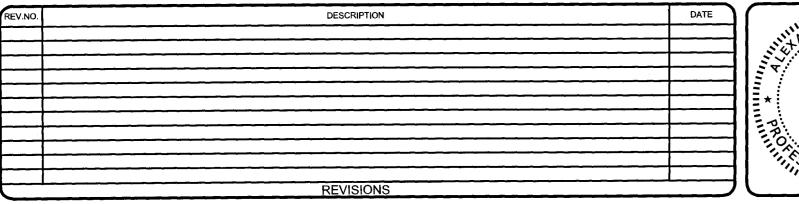
FIBER OPTIC CABLE MARKER TELEPHONE PEDESTAL

EXISTING PAVEMENT

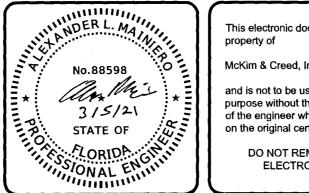
NEW GRAVEL

CIVIL LANDSCAPING NOTES:

- AND CONSUMER SERVICES.
- APPROVED EQUAL.



(TP)



1. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.

2. NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED 3. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE

4. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. IT IS RECOMMENDED THE CONTRACTOR/OWNER CONSULT A LANDSCAPE ARCHITECT FOR TREE SPECIES DETERMINATION OF NEW PLANTINGS.

5. NEW CANOPY TREES TO BE SOUTHERN LIVE OAK, SOUTHERN RED OAK, BALD CYPRESS OR 6. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED AROUND

ALL PROTECTED TREES PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

7. TREE MITIGATION PLANTINGS NOT LIMITED TO PROJECT AREA AND CAN BE PLANTED ANYWHERE WITHIN PARCEL THAT MEETS ESCAMBIA COUNTY REQUIREMENTS PER COUNTY COMMENTS

### TREE LEGEND

PARKING ROW TERMINATION TREE (CANOPY PRT

MITIGATION TREE (CANOPY): 9° 47 . A PLANT SPECIES HAVING A MATURE HEIGHT OF OVER 30 FEET, CANOPY TREES Ma EXAMPLES: AMERICAN HOLLY, SHUMARD OAK, LIVE OAK, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBIA COUNTY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO). THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

A creed, Inc. not to be used for any se without the written consent engineer whose seal appears original certified document. NO NOT REMOVE FROM ELECTRONIC FILE	KIA AUTOSPORTS SITE IMPROVEMENTS 6637 PENSACOLA BLVD, PENSACOLA, FLORIDA 32505 civil CIVIL LANDSCAPING PLAN	DATE:       MARCH 2021         MCE PROJ. #       07968-0001         DRAWN       GTP         DESIGNED       ALM         CHECKED       DPJj         PROJ. MGR.       ALM         STATUS:       NOT FOR CONSTRUCTION
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TREE #	SPECIES	CANOPY	DIAMETER	REMOVE	ROOT IMPACTION	MITIGATION
502	OAK	25'	15''		an yn de regen daf yn frite syn frite yn armen ar ongelfeling af fregen yn armen. 	
503	OAK	30'	18''		XX	4''
		- <u></u>	32''		XX	7"
504	SPLIT OAK	50'	32''	[	XX	7"
			39''		XX	7"
505	OAK	60'	20''			2000 - 100 -
506	SWEETGUM	20'	14''	XX		4"
507	SWEETGUM	25'	22''	XX		5''
		SUM	191"	35'	anal 121 <sup>11 kaus</sup> and	1

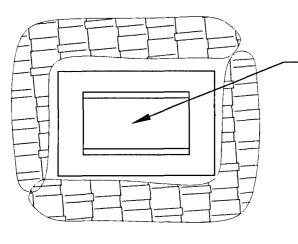
PRT

TBM RG20/37 EL=119.32

-FDOT DRAINAGE EASEMENT

-LIMITS OF SOD

Number of new	trees planted on site	Maximum percentage of any one species plante
	5—19	67%
	2049	40%
50	or more	30%



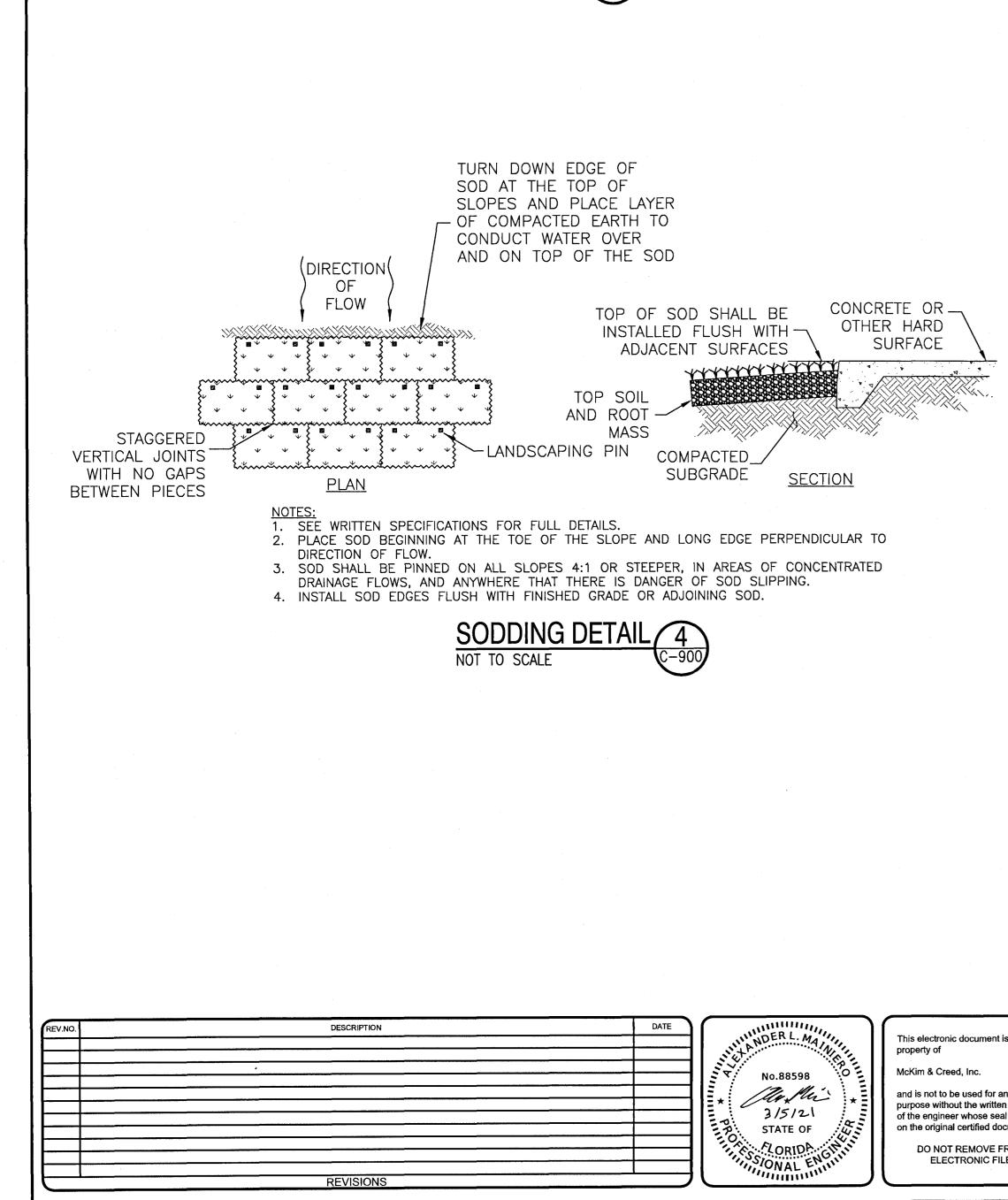
INSTALL FILTER FABRIC UNDER INLET GRATE IMMEDIATELY UPON INSTALLATION. REMOVE AND REPLACE WITH NEW FABRIC REGULARLY TO MAINTAIN FLOW AND REDUCE SEDIMENT ACCUMULATION.

NOTE: SYNTHETIC BALES OR SEDIMENT LOG WILL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

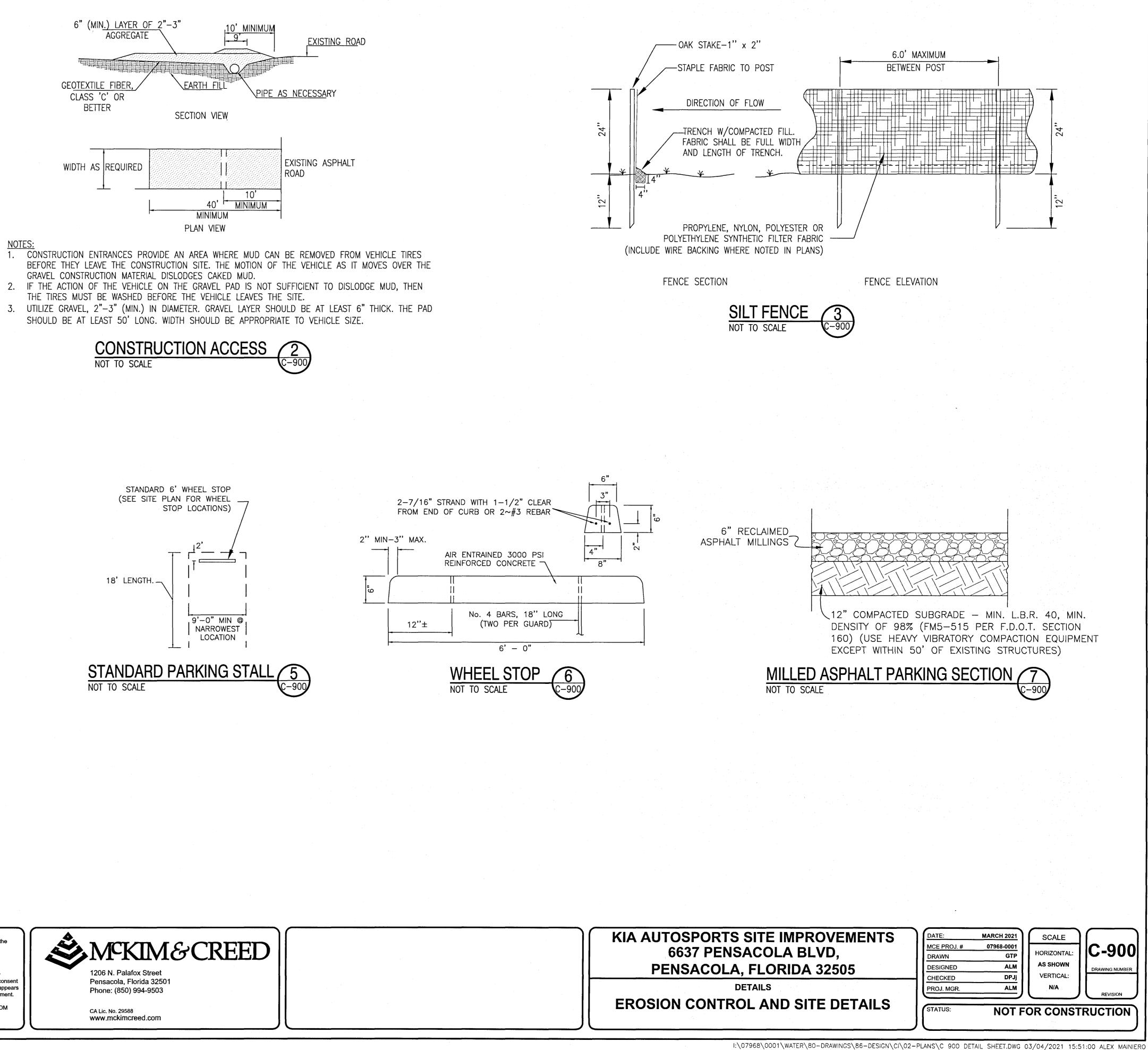
INLET PROTECTION

NOT TO SCALE

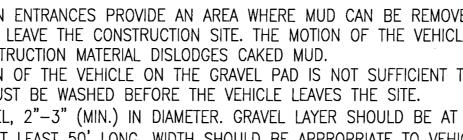
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ny n consent al appears cument.	1206 N. Palafox Street Pensacola, Florida 32501 Phone: (850) 994-9503		
ROM	CA Lic. No. 29588 www.mckimcreed.com		







# <u>NOTES</u>

1. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE

