

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTIPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A STATE OF FLORIDA LICENSED SURVEYOR OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING: EXISTING DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEARED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TRENCING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:

ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL. THE FREESTANDING SIGN IS LIMITED TO A MINIMUM 10' SETBACK, MEASURED FROM THE FORWARD-MOST EDGE OF THE SIGN, FROM RIGHTS OF WAY AND MUST MAINTAIN VISUAL CLEARANCE ALONG RIGHTS OF WAY AND AT INTERSECTIONS.

GULF BEACH HIGHWAY (COLLECTOR STREET):
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 150 SF IN AREA AND A MAXIMUM OF 25 LF IN HEIGHT (LIMITED BY STREET CLASSIFICATION).

MCGRITS BOULEVARD (LOCAL STREET):
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 100 SF IN AREA AND A MAXIMUM OF 20 LF IN HEIGHT (LIMITED BY STREET CLASSIFICATION).

WALL SIGNAGE:

GULF BEACH HIGHWAY FRONTAGE: TOTAL ALLOWABLE SQUARE FOOTAGE OF WALL SIGNAGE SHALL BE LIMITED TO 112.50 SF (2.25 SF * 50 LF FRONTAGE)...

MCGRITS BOULEVARD FRONTAGE: TOTAL ALLOWABLE SQUARE FOOTAGE OF WALL SIGNAGE SHALL BE LIMITED TO 303.75 SF (2.25 SF * 135 LF FRONTAGE)...

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES

3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-476-5110
FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 901 SOUTH
DEPUY SPRINGS, FL 32435
PHONE NO.: (850)-951-4860
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-338-6312
FAX NO.: (850)-297-1211

PROJECT DIRECTORY:

CIVIL ENGINEER

HAMMOND ENGINEERING, INC.
3802 NORTH 'S' ST.
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650

SURVEYOR

MERRILL PARKER SHAW, INC.
4928 N. DAVIS HWY.
PENSACOLA, FL 32501
PHONE NO.: (850)-478-4923
FAX NO.: (850)-478-4924

GEOTECHNICAL ENGINEER

NOVA ENGINEERING & ENVIRONMENTAL, LLC
140-A LURTON STREET
PENSACOLA, FL 32505
PHONE NO.: (850)-607-7782
FAX NO.: (850)-249-6683

SITE DEVELOPMENT PLANS FOR PERSONS DRY STORAGE

SECTION 12 TOWNSHIP 3 SOUTH, RANGE 32 WEST
ESCAMBIA COUNTY, FLORIDA

5380 MCGRITS BOULEVARD
PENSACOLA, FL 32507

OWNER/DEVELOPER:

BUDDY PERSONS

(251)-660-0132

INNERARITY POINT INVESTMENTS LLC.

4474 HALLS MILL ROAD

MOBILE, AL 36693

PROPERTY I.D NO: 12-3S-32-2000-028-005

ZONING DESIGNATION: HC/LI

ADJACENT ZONING: HC/LI

FLU DESIGNATION: MU/U

ADJACENT FLU: MU/U MU/S

INDEX OF DRAWINGS:

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- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE PLAN
- C5 ~ GRADING & DRAINAGE PLAN
- C6 ~ UTILITY PLAN
- C7 ~ LANDSCAPING PLAN
- C8 ~ CONSTRUCTION DETAILS
- C9 ~ DRAINAGE & UTILITY DETAILS
- C10 ~ LIFT STATION DETAILS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

REVISED DECEMBER 9, 2020

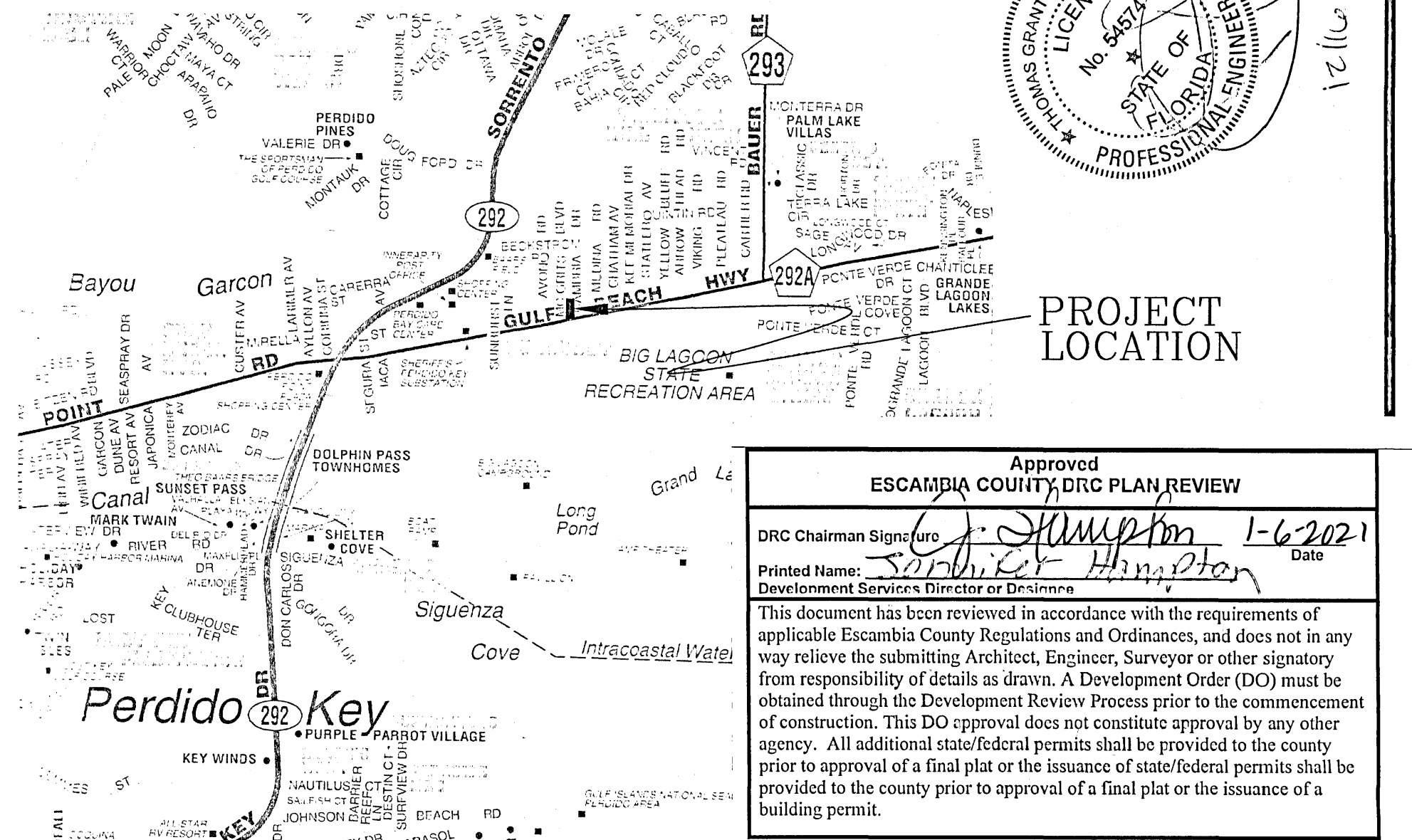
HEI PROJECT #: 20-061

GENERAL NOTES:

32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (TDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
37. ADEQUATE PROMISONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MULCHING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT OR NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 90 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (i.e. SLOPES GREATER THAN 3:1).
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECUA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND INSPECTION REPORTS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

FLOOD ZONE DATA

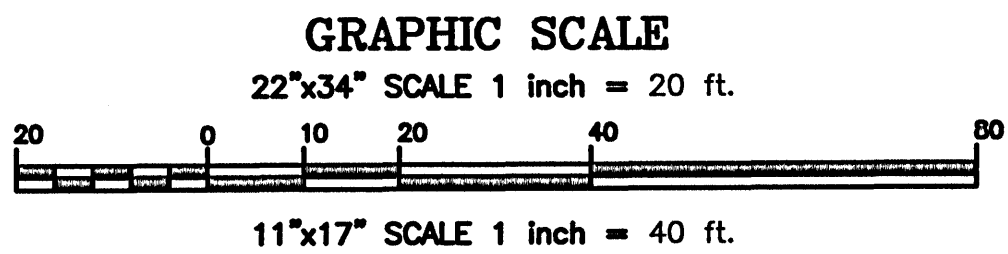
THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO DEFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 1203305086, MAP REVISIONS DATED SEPTEMBER 29, 2006.					
FLOOD ZONE(S)	FIRM COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0508	G	SEPTEMBER 29, 2006



NO.	DATE	REVISIONS
1	12/09/20	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

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C1



LEGEND:

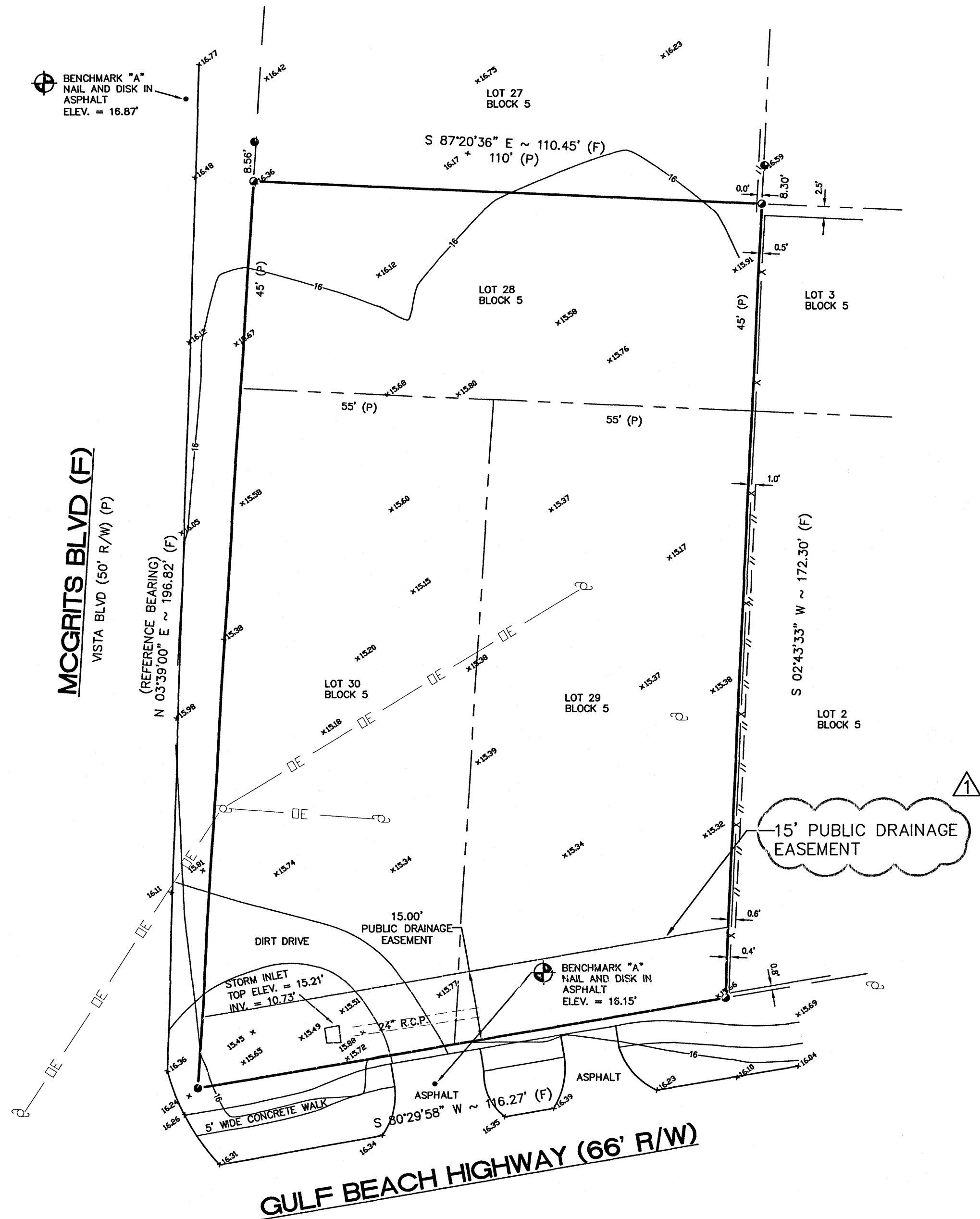
- DENOTES EXISTING
PUBLIC DRAINAGE
EASEMENT
- ~ 1/2" CAPPED IRON ROD, NUMBER 7092 (FOUND)
● ~ 1/2" PLAIN IRON ROD, UNNUMBERED (FOUND)
● ~ 1/2" CAPPED IRON ROD, NUMBER 7277 (FOUND)
R/W ~ RIGHT OF WAY
(P) ~ PLATTED INFORMATION
(F) ~ FIELD MEASUREMENT/INFORMATION
- ELEV. ~ ELEVATION
INV. ~ INVERT ELEVATION
R.C.P. ~ REINFORCED CONCRETE PIPE
x15.3 ~ SPOT ELEVATION
-15 ~ CONTOUR LINE
⊕ ~ BENCHMARK IN VICINITY
- ~ 4' HIGH WOOD BOARD FENCE
— ~ 6' HIGH WOOD BOARD FENCE
X ~ 4' HIGH CHAIN LINK FENCE
~ INDICATES NOT TO SCALE
DE ~ OVERHEAD UTILITY LINES
○ ~ UTILITY POLE

DESCRIPTION: (AS FURNISHED)

LOTS 28, 29, AND 30, IN BLOCK 5, TREASURE HILL PARK, ACCORDING TO MAP OF SAID SUBDIVISION PREPARED BY STEPHEN LEE IN MAY, 1924 AND RECORDED IN DEED BOOK 102, AT PAGE 286, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1.) THE NORTH ARROW AND FIELD BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE BEARING OF N 03°39'00" E ALONG THE WEST LINE OF THE SUBJECT PARCEL AND BEING ON THE FLORIDA STATE PLANE COORDINATE SYSTEM NORTH ZONE, LAMBERT PROJECTION, RELATIVE TO NAD 83 (2011), USING THE TRIMBLE VRSNOW G.P.S. NETWORK.
- 2.) SOURCE OF INFORMATION: THE RECORD PLAT OF TREASURE HILL PARK, AS RECORDED IN DEED BOOK 102, PAGE 286, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, AND EXISTING FIELD MONUMENTATION.
- 3.) NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.
- 4.) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
- 5.) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.
- 6.) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.
- 7.) THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.
- 8.) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.
- 9.) THE CONTOUR LINES AS SHOWN HEREON ARE AT 1 FOOT INTERVALS OF ELEVATION.
- 10.) THE ELEVATIONS A SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, USING THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION G.P.S. NETWORK.
- 11.) THE UTILITIES AS SHOWN HEREON IS BASED UPON FIELD LOCATION WHERE VISIBLE. THERE MAY BE OTHER UNDER GROUND UTILITIES THAT HAVE NOT BEEN LOCATED OR VERIFIED. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE RESPECTABLE UTILITY SPOTTERS PRIOR TO THE COMMENCEMENT OF WORK OR EXCAVATION.



SITE SURVEY COMPLETED BY:

MERRILL PARKER SHAW, INC.

PROFESSIONAL LAND SURVEYING SERVICES

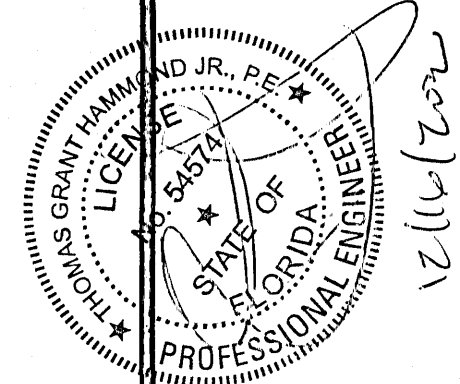
4928 N. DAVIS HWY
PENSACOLA, FL 32503

PH: (850) 478-4923
FAX: (850) 478-4924



NO.	DATE	REVISIONS
1	12/09/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DEC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 'S' STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDESIGN.COM



SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
EXISTING CONDITIONS
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TSH	DATE: 11/24/20
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

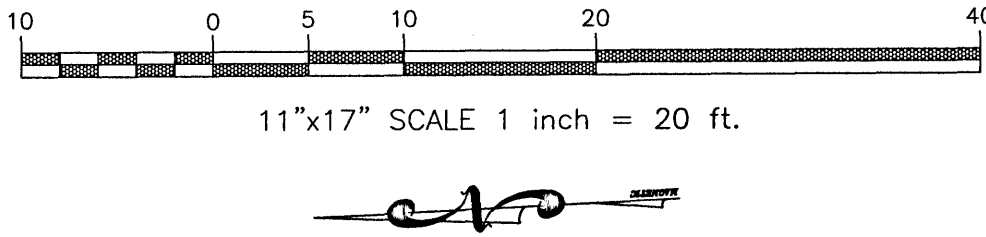
PROJECT NO: 20-061

SHEET: C2

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.



LEGEND:

- | | | | |
|--|--|--|--|
| | DENOTES EXISTING ASPHALT | | DENOTES EXISTING CHAIN LINK FENCE |
| | DENOTES EXISTING CONCRETE | | DENOTES EXISTING WOOD FENCE |
| | DENOTES EXISTING ASPHALT TO BE REMOVED | | DENOTES EXISTING STORM PIPE |
| | DENOTES EXISTING PUBLIC DRAINAGE EASEMENT | | DENOTES EXISTING UTILITY POLE |
| | DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION | | DENOTES EXISTING WATER METER |
| | | | DENOTES EXISTING OVERHEAD ELECTRICAL TO BE REMOVED |
| | | | DENOTES PROPOSED SILT FENCE |

DEMOLITION/EROSION CONTROL NOTES

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- IF APPLICABLE, TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (I.E. ROOT RAKING, PILING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

TREE PROTECTION NOTE:

THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT

BENCHMARK NOTE:

EXISTING BENCHMARKS TO BE LOCATED AND RE-ESTABLISHED BEFORE REMOVAL



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY, 1-800-432-4770

Know what's below
Call before you dig

SAWCUT EXISTING ASPHALT TO CREATE A SMOOTH EDGE TYP. OF BOTH DRIVEWAY CONNECTIONS

GULF BEACH
HIGHWAY (66' R/W)

BENCHMARK "A"
NAIL AND DISK IN ASPHALT
ELEV. = 16.15'
TO BE REMOVED
SEE BENCHMARK NOTE SHT C3

PROTECT
EXISTING STORM
PIPE

INSTALL HAY BALES
OR FILTER SACK
INLET PROTECTION
SEE DETAILS C8

DENOTES LIMITS OF
PROPOSED BUILDING

DENOTES LIMITS OF
PROPOSED
STORMWATER BASIN

POTENTIAL EXISTING
WATER METER
TO BE PROTECTED

EXISTING
UTILITY POLE
TO BE REMOVED

EXISTING
UTILITY POLE
TO BE REMOVED

EXISTING
UTILITY POLE
TO BE REMOVED

CONSTRUCT
TEMPORARY ROCK
CONSTRUCTION ENTRANCE
SEE DETAIL SHT C8

INSTALL 570 LF±
TYPE III SILT FENCE
SEE DETAIL SHT C8

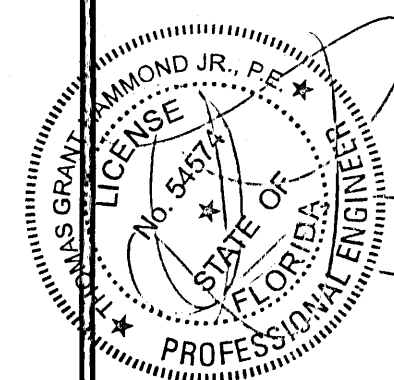
BENCHMARK "A"
NAIL AND DISK IN ASPHALT
ELEV. = 16.87'

MCGRITS BLVD (F)

VISTA BLVD (50' R/W) (P)

NO.	DATE	REVISIONS
1	12/09/2020	REVISED PLANS AS PER ESCAMBIA COUNTY IRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

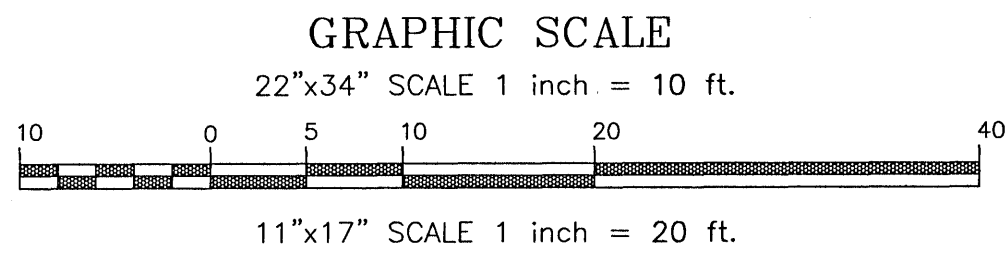


**SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
DEMOLITION & EROSION
CONTROL PLAN**
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TSH
DATE: 11/24/20
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-061

SHEET: C3



SITE DATA:
PARCEL ID #S: 12-3S-32-2000-028-005
PARCEL ZONING: HC/LI
ADDRESS: 5380 MCGRITS BLVD
FLU: MU-U
BUILDING SETBACKS REQUIRED (HC/LI ZONED PARCEL):
FRONT SETBACK = 15'
REAR SETBACK = 15'
SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%
MAXIMUM BUILDING HEIGHT: 150'
MAXIMUM FLOOR AREA RATIO: 2.0 (MU-U)

PROPOSED FLOOR AREA RATIO:
TOTAL GROSS FLOOR AREA = 6,750 SF
GROSS LOT AREA = 20,646 SF
FLOOR AREA RATIO = 6,750 SF/20,646 SF = 0.36

FIRE SAFETY NOTES

1. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
2. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
3. THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.

LEGEND:

- | | | | |
|--|---|--|---------------------------------------|
| | DENOTES EXISTING ASPHALT | | DENOTES EXISTING CHAIN LINK FENCE |
| | DENOTES EXISTING CONCRETE | | DENOTES EXISTING WOOD FENCE |
| | DENOTES PROPOSED CONCRETE | | DENOTES EXISTING STORM PIPE |
| | DENOTES EXISTING PUBLIC DRAINAGE EASEMENT | | DENOTES EXISTING UTILITY POLE |
| | | | DENOTES EXISTING WATER METER |
| | | | DENOTES PROPOSED TIMBER PRIVACY FENCE |

PARKING CALCULATIONS:
PROPOSED 6,750 SF SELF STORAGE FACILITY
AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
1.5 PER 100 UNITS + 2
(1.5/100*9)+2 ~ 3 STALLS REQUIRED

GIVEN THAT THE USE IS SELF-STORAGE IN CHARACTER BUT NOT THE TYPICAL MULTI-UNIT FACILITY ANTICIPATED BY THE CODE, NO PARKING STALLS PROPOSED.

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN

SOLID WASTE NOTE:
SOLID WASTE TO BE DISPOSED OF VIA 55 GAL. TRASH CAN AND PRIVATE HAULER

EXISTING SITE AREA: 20,658 SF - 0.47 ACRES					
IMPERVIOUS and PERVIOUS AREA					
BUILDINGS	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
ASPHALT/CONCRETE	0 SF	0 SF	6,750 SF	6,750 SF	+6,750 SF
TOTAL IMPERVIOUS AREA	0 SF	0 SF	12,191 SF	12,191 SF	+12,191 SF
ROCK AREA	0 SF	0 SF	0 SF	0 SF	0 SF
LANDSCAPE AREA	20,658 SF	12,191 SF	0 SF	8,467 SF	(-12,191 SF)
PERCENTAGE OF LANDSCAPE	100%			41%	(-59%)
PARKING DATA					
NON-HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
HANDICAPPED SPACES	0	0	0	0	N/A

PROTECTED TREE NOTE:

1. IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

12-3S-32-2000-001-005
OLSEN GLENDA H
12810 GULF BEACH HWY
PENSACOLA, FL 32507
LOCATION:
12810 GULF BEACH HWY
USE: SINGLE FAMILY RESID
ZONED: HC/LI
FLU: MU-U

**PROPOSED 6,750-SF
SINGLE STORY
SELF-STORAGE
BUILDING**

**GULF BEACH
HIGHWAY (66' R/W)**

CONSTRUCT CONCRETE
SIDEWALK-MATCH
EXISTING SIDEWALK
TYP. OF 2
SEE DETAIL SHT C8

TAPER CURB DOWN
END OF
PROPOSED BUILDING

CONSTRUCT
HEADER CURB
SEE DETAIL SHT C8

CONSTRUCT 5'-
CONCRETE SIDEWALK
IN R/W
SEE DETAILS SHT C8

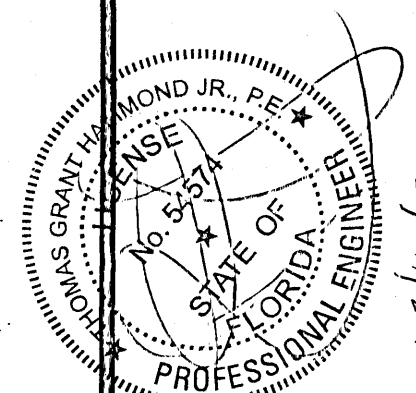
INSTALL TIMBER
RAILROAD TIES @
LANDSCAPE AREAS
TYP. OF 8

INSTALL
STOP SIGN (R1-1),
24" WHITE THERMOPLASTIC STOP BAR
CROSSWALK W/12" WHITE THERMOPLASTIC STRIPING

MCGRITS BLVD (F)
VISTA BLVD. (50' R/W) (P)

12-3S-32-2000-026-005
SPARKMAN BETTY J EST OF
C/O BETTINA SIMONEAUX PERS REP
1125 SUNSHINE DR
BAKER, LA 70714
LOCATION:
5300 BLK MCGRITS BLVD
ZONED: HC/LI
FLU: MU-S
USE: VACANT

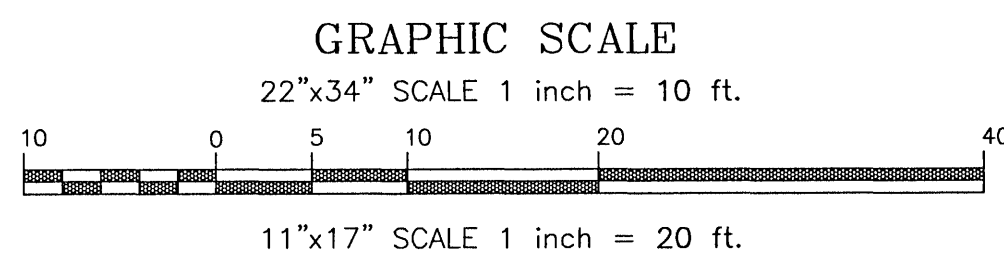
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
SITE PLAN**
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 11/24/20
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-061
SHEET: C4

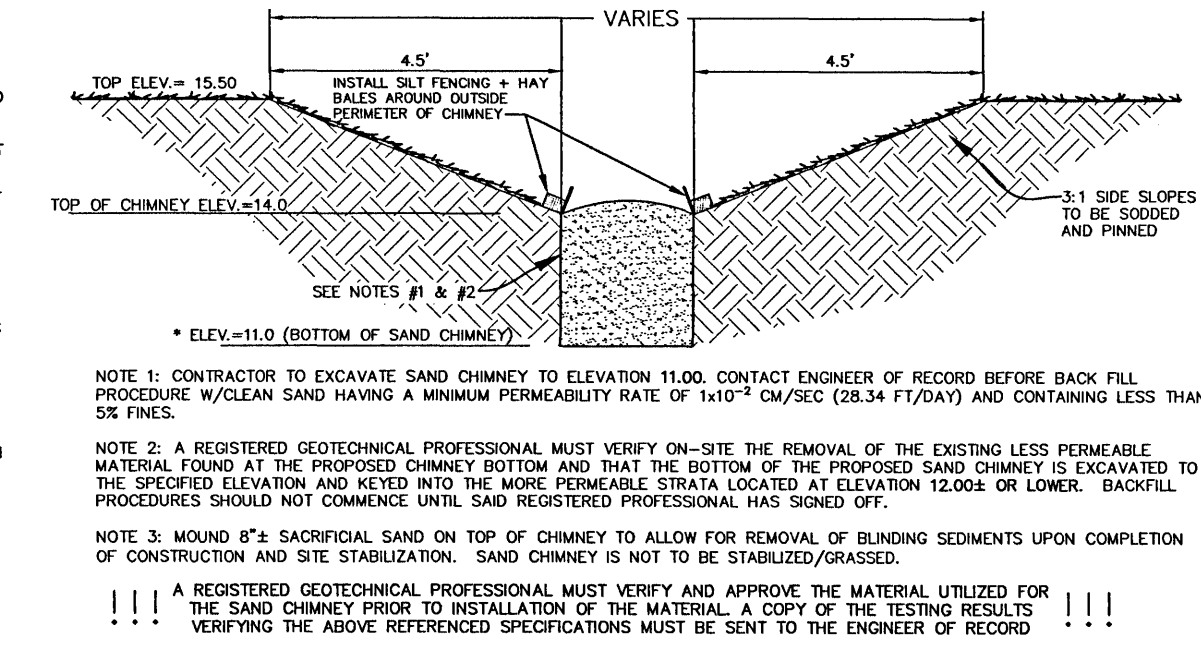


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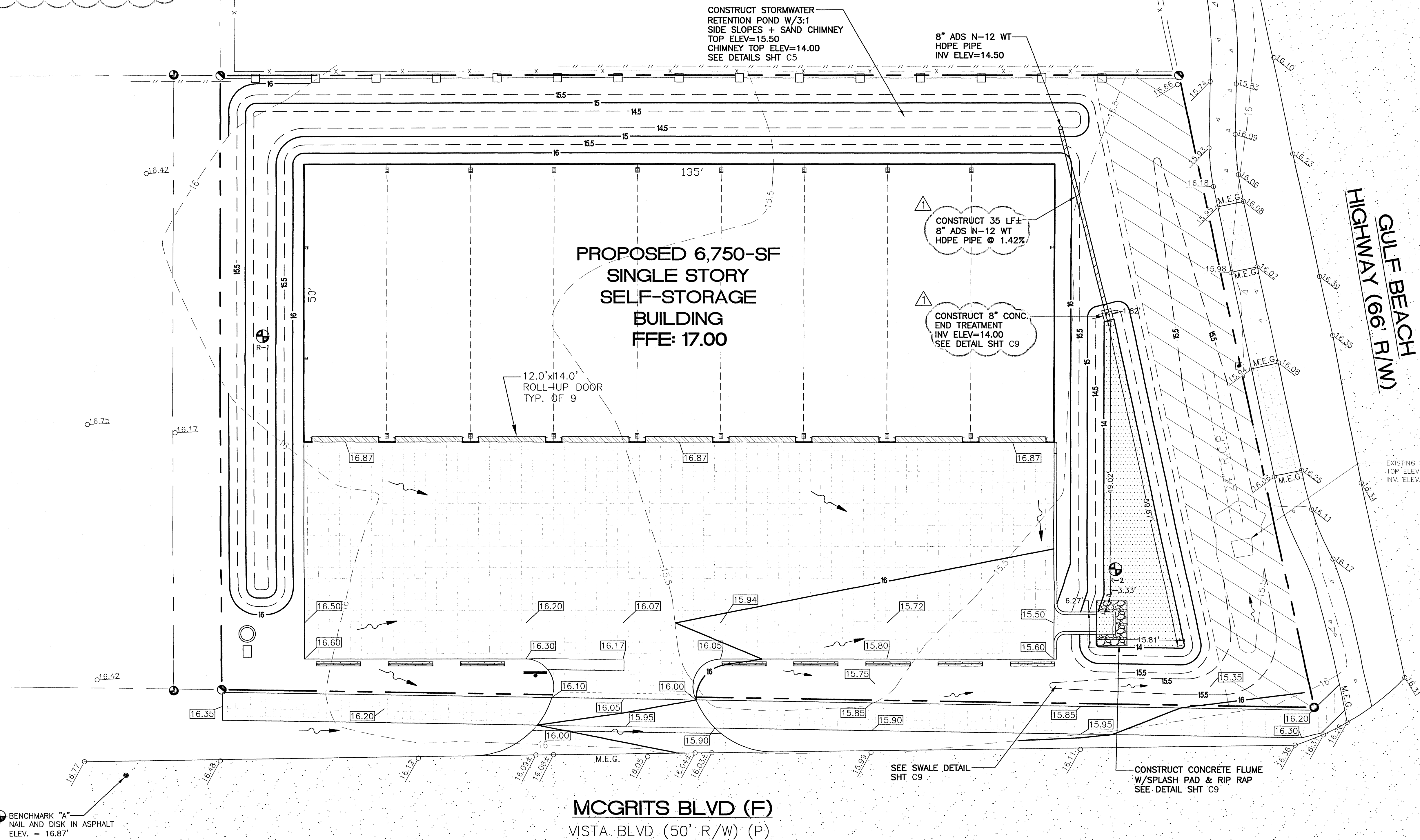
	DENOTES EXISTING ASPHALT		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING WOOD FENCE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING STORM PIPE
	DENOTES EXISTING PUBLIC DRAINAGE EASEMENT		DENOTES EXISTING UTILITY POLE
	DENOTES BENCHMARK LOCATION		DENOTES EXISTING WATER METER
	DENOTES SOIL BORING LOCATION		DENOTES EXISTING TIMBER PRIVACY FENCE
	DENOTES PROPOSED STORM PIPE		M.E.G. MATCH EXISTING GRADE
			DENOTES PROPOSED SPOT ELEVATION
			DENOTES EXISTING SPOT ELEVATION

PROTECTED TREE NOTE:
1. IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

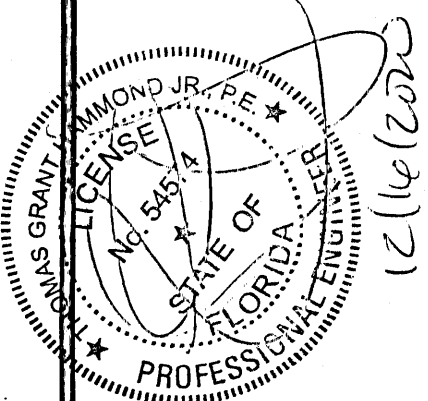
DETENTION BASIN CONSTRUCTION
1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
2. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
3. EXCAVATE SAND CHIMNEY TO SPECIFIED ELEVATIONS AND BACKFILL WITH CLEAN SAND MATERIAL THAT MEETS ENGINEER PROVIDED SPECIFICATIONS. INSTALL ADDITIONAL 8" OF SACRIFICIAL SAND ON TOP OF THE CHIMNEY TO ALLOW FOR REMOVAL OF BLINDING SEDIMENTS FOLLOWING SITE STABILIZATION. INSTALL SILT FENCING AND HAY BALES AROUND PERIMETER OF CHIMNEY...TO REMAIN IN PLACE UNTIL SITE STABILIZATION IS COMPLETE.
4. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
5. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
6. FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM AREA OUTSIDE OF THE SAND CHIMNEY SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTPEDE OR OTHER SUITABLE GRASS. PROPOSED SAND CHIMNEY SHALL NOT BE STABILIZED.



STORMWATER RETENTION POND



HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
GRADING & DRAINAGE
PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 11/24/20
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-061
SHEET: C5

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.

LEGEND:

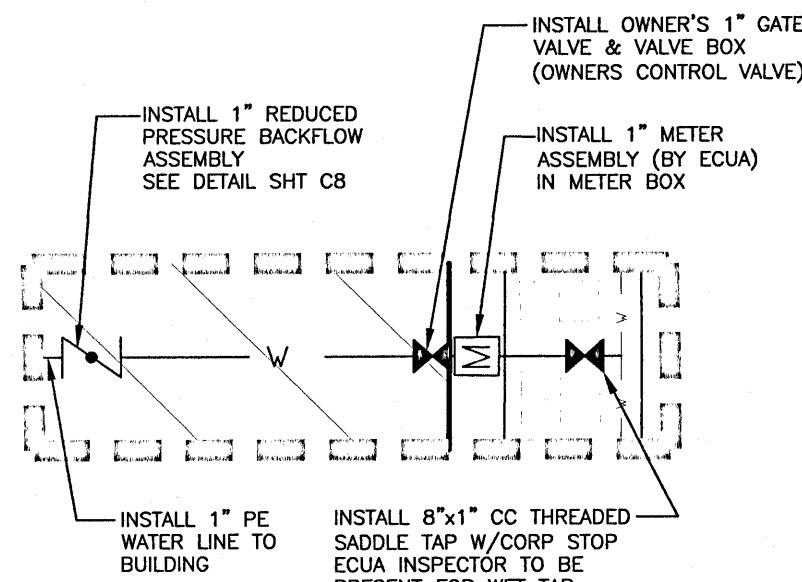
	DENOTES EXISTING ASPHALT		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING WOOD FENCE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING STORM PIPE
	DENOTES EXISTING PUBLIC DRAINAGE EASEMENT		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING WATER LINE		DENOTES EXISTING WATER METER
	DENOTES PROPOSED WATER LINE		DENOTES PROPOSED SPLIT RAIL FENCE
	DENOTES EXISTING SANITARY SEWER LINE		DENOTES PROPOSED TIMBER PRIVACY FENCE
			DENOTES EXISTING FORCE MAIN
			DENOTES PROPOSED FORCE MAIN

GENERAL UTILITY NOTES:

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA, F.D.O.T. and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA Inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Properly obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line, sanitary sewer line, and sanitary sewer force main shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C9.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.

PROTECTED TREE NOTE:

- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.



INSET A

INSTALL 10 LF±
4" PVC (SDR 26)
@ 1.04%

INSTALL 36" LIFT STATION
TOP ELEV=16.25
INV ELEV IN=14.10
SEE DETAILS SHT C10

INSTALL 5 LF± 1.5" PE
(DR 9) FORCE MAIN
COLOR CODED GREEN

SEWER LATERAL TO BLDG.
INSTALL CLEANOUT
INV ELEV=14.63

INSTALL 40 LF±
4" PVC (SDR 26)
@ 1.04%

SEWER LATERAL TO BLDG.
INSTALL CLEANOUT
INV ELEV=14.21

CONNECT PROPOSED 1.5"
FORCE MAIN TO EXISTING
1.5" FORCE MAIN

PROPOSED 6,750-SF
SINGLE STORY
SELF-STORAGE
BUILDING
FFE: 17.00

12.0'x14.0'
ROLL-UP DOOR
TYP. OF 9

MAINTAIN 18" MIN COVER
BELOW POND BOTTOM FOR
PROPOSED WATER LINE

POTENTIAL EXISTING WATER
METER TO BE FIELD
VERIFIED BY CONTRACTOR
& UTILIZED IF POSSIBLE

SEE INSET A

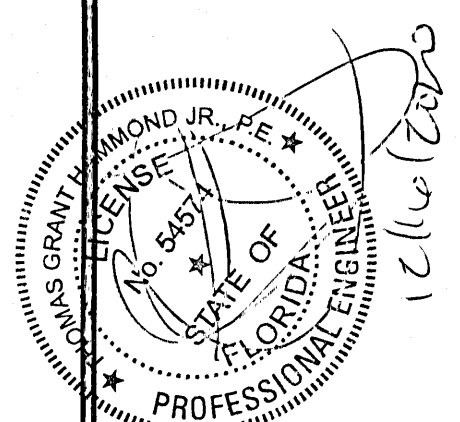
GULF BEACH
HIGHWAY (66' R/W)

MCGRITS BLVD (F)

VISTA BLVD. (50' R/W) (P)

NO.	DATE	REVISIONS
1	12/09/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

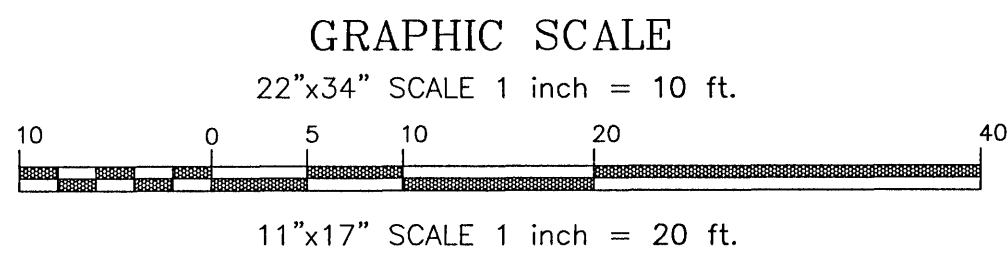
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SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
UTILITY PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB
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DATE: 11/24/20
SCALE: AS SHOWN
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CONSTRUCTION
BY: DATE:

PROJECT NO: 20-061
SHEET: C6



REQUIRED MITIGATION

NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

PROTECTED TREE NOTE:

- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. REQUINATA) AND CABBAGE OR SABAL (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.

12-35-32-2000-026-005
SPARKMAN BETTY J EST OF
C/O BETTINA SIMONEAUX PERS REP
1125 SUNSHINE DR
BAKER, LA 70714
LOCATION:
5300 BLK MCGRITS BLVD
ZONED: HC/LI
FLU: MU-S
USE: VACANT

LEGEND:

- | | | | |
|--|---|--|--|
| | DENOTES EXISTING ASPHALT | | DENOTES EXISTING CHAIN LINK FENCE |
| | DENOTES EXISTING CONCRETE | | DENOTES EXISTING WOOD FENCE |
| | DENOTES PROPOSED CONCRETE | | DENOTES EXISTING STORM PIPE |
| | DENOTES EXISTING PUBLIC DRAINAGE EASEMENT | | DENOTES EXISTING UTILITY POLE |
| | DENOTES PROPOSED SOD (BAHAI RECOMMENDED) | | DENOTES EXISTING WATER METER |
| | DENOTES WAX MYRTLE UNDERSTORY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 4 | | DENOTES PROPOSED SPLIT RAIL FENCE |
| | | | DENOTES PROPOSED TIMBER PRIVACY FENCE |
| | | | DENOTES SOUTHERN MAGNOLIA (OR APPROVED EQUAL CANOPY TREE) TO BE PLANTED TYPICAL OF 5 |
| | | | DENOTES INDIAN HAWTHORNE SHRUB (OR APPROVED EQUAL) TO BE PLANTED TYPICAL OF 94 |

LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDED.

12-35-32-2000-001-005
OLSEN GLENDA H
12810 GULF BEACH HWY
PENSACOLA, FL 32507
LOCATION:
12810 GULF BEACH HWY
USE: SINGLE FAMILY RESID
ZONED: HC/LI
FLU: MU-U

CONSTRUCT 175 LF± TIMBER
PRIVACY FENCE (6' HT) TO
MEET BUFFER REQUIREMENTS

PLANT WAX MYRTLE
TYPICAL OF 4

PLANT SOUTHERN MAGNOLIA
TYPICAL OF 5

PLANT INDIAN
HAWTHORN SHRUB
TYPICAL OF 35

PROPOSED 6,750-SF
SINGLE STORY
SELF-STORAGE
BUILDING

12.0'x14.0'
ROLL-UP DOOR
TYP. OF 9

REQUIRED LANDSCAPE PLANTING DATA

EAST BOUNDARY LINE: PROVIDE TYPE 'B' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (NON-RESIDENTIAL ADJUTING SINGLE FAMILY RESIDENTIAL) SUPPLEMENTED W/6' TIMBER PRIVACY FENCE: 16' WIDE x 172.23' LONG BUFFER

2.5 CANOPY TREES REQ'D/100 LF
(172.23/100)*2.5 ~ 4.31 CANOPY TREES REQ'D
PLANT 5 CANOPY TREES
2.0 UNDERSTORY TREES REQ'D/100 LF
(172.23/100)*2.0 ~ 3.44 UNDERSTORY TREES REQ'D
PLANT 4 UNDERSTORY TREES
20 SHRUBS REQ'D/100 LF
(172.23/100)*20 ~ 34.44 SHRUBS REQ'D
PLANT 35 SHRUBS

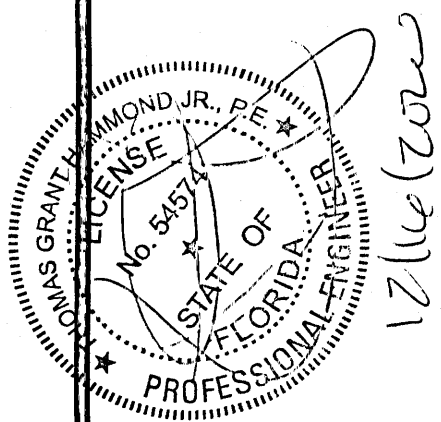
REQUIRED MITIGATION: NO PROTECTED
TREES EXISTING TO BE REMOVED AS PART
OF THIS PROJECT.

WEST BOUNDARY LINE: NO BUFFER REQUIRED,
MCGRITS BOULEVARD RIGHT OF WAY. PROVIDE 5'
LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC.
2-2.2(B) DESIGN STANDARDS MANUAL.

NORTH BOUNDARY LINE: NO BUFFER REQUIRED,
ADJACENT PROPERTY IS VACANT HC/LI ZONED PARCEL.
PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2,
SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

SOUTH BOUNDARY LINE: NO BUFFER
REQUIRED, GULF BEACH HIGHWAY RIGHT OF WAY.
PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2,
SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

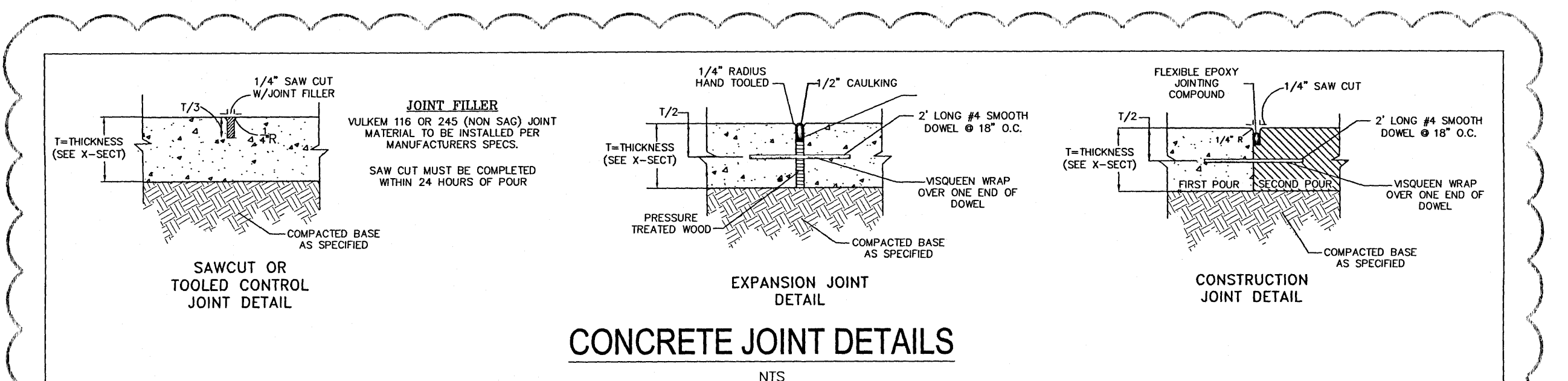
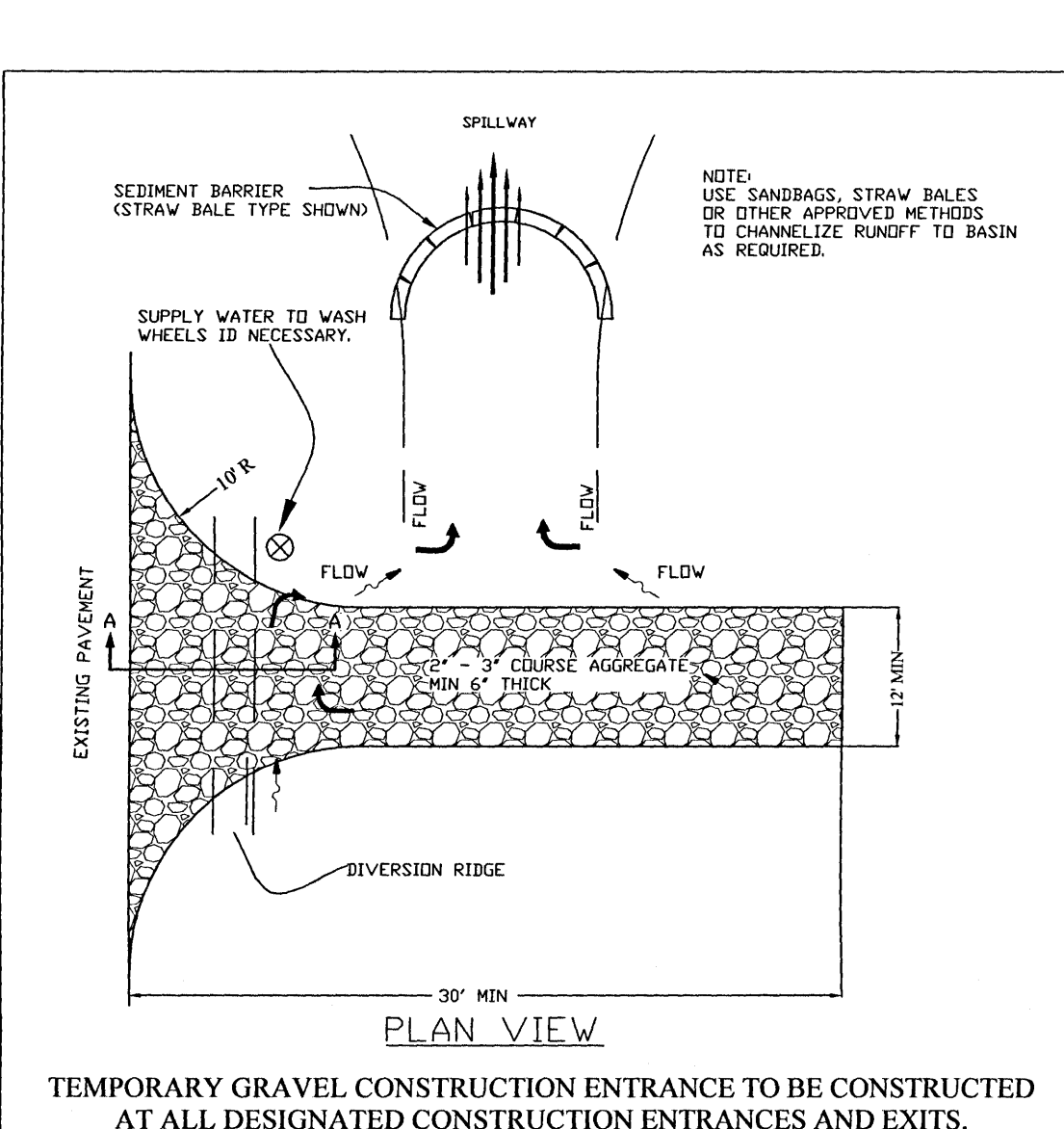
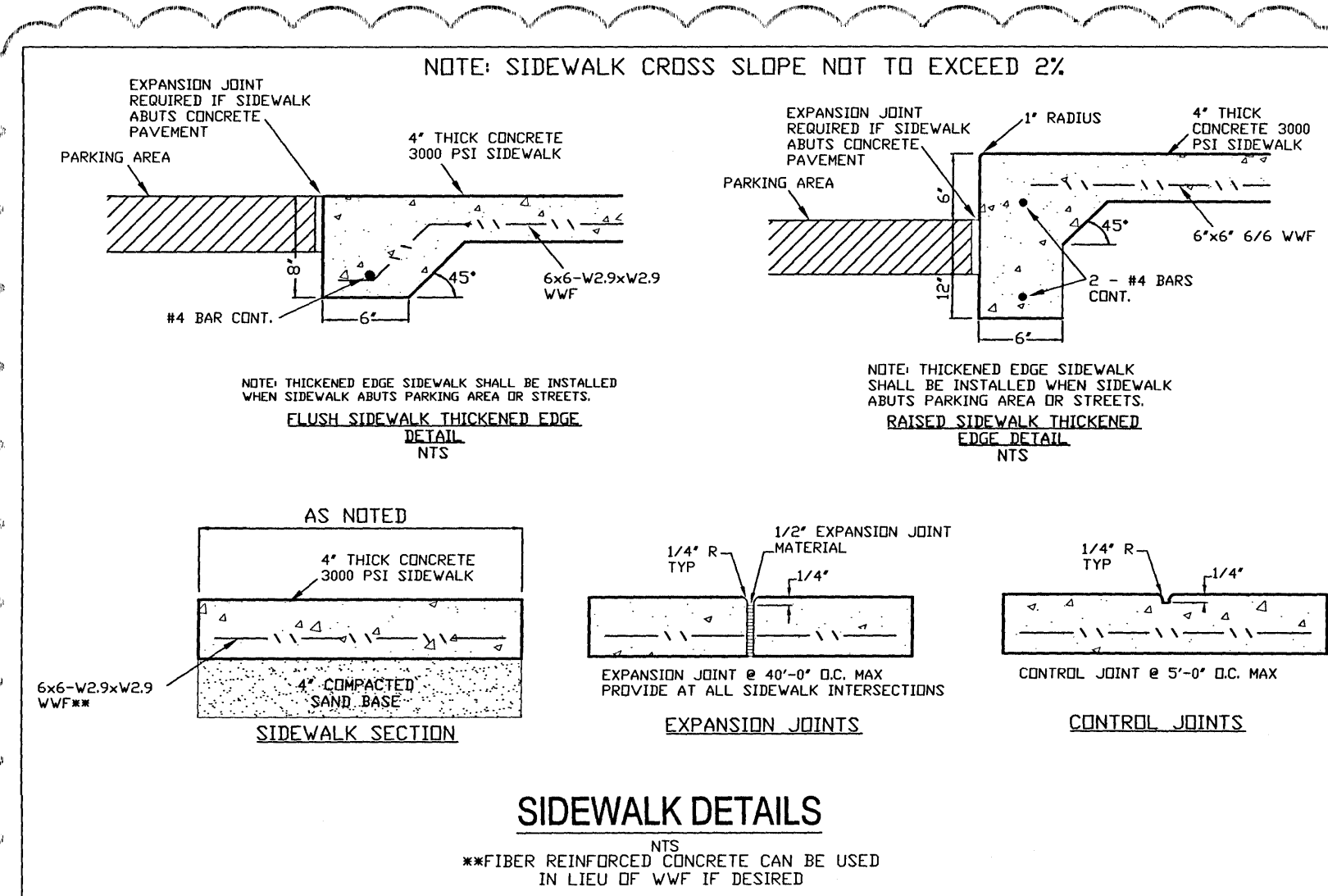
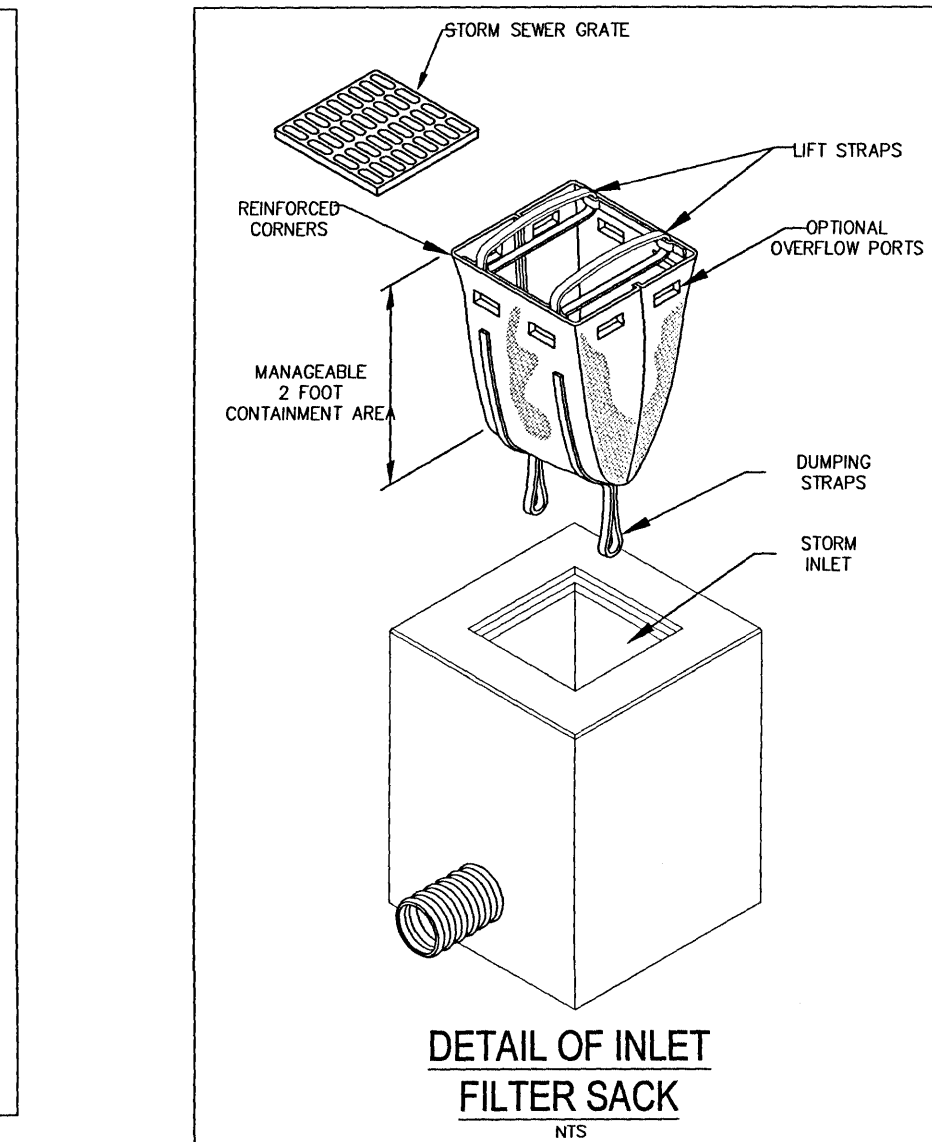
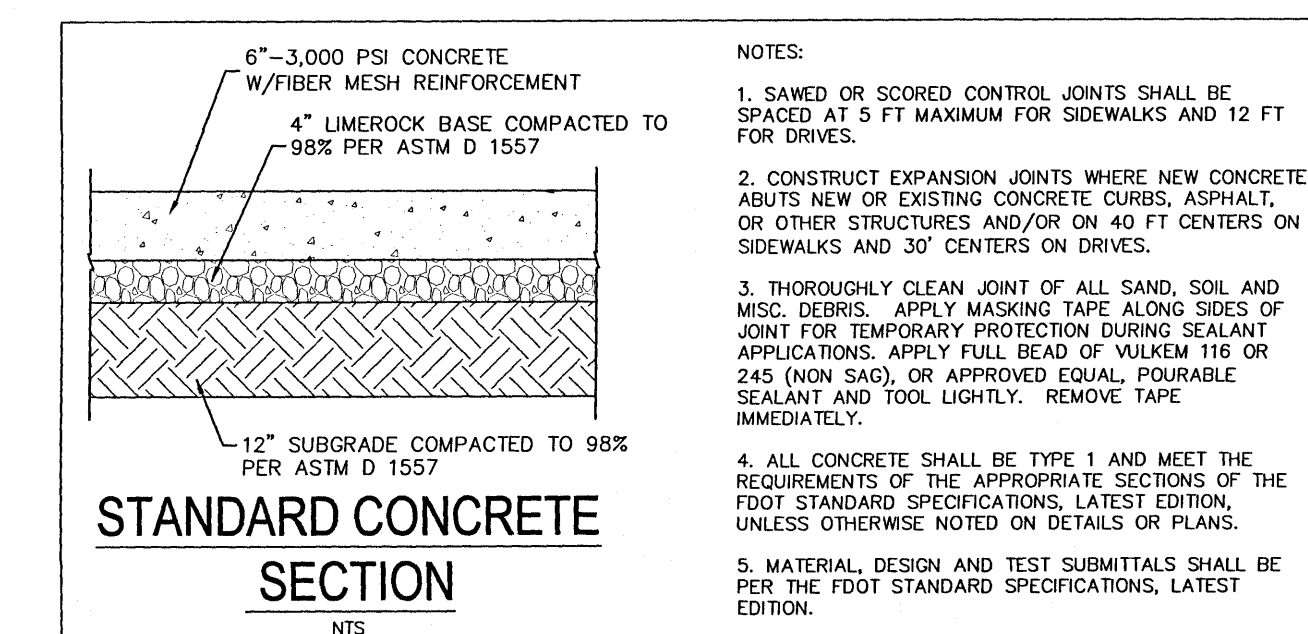
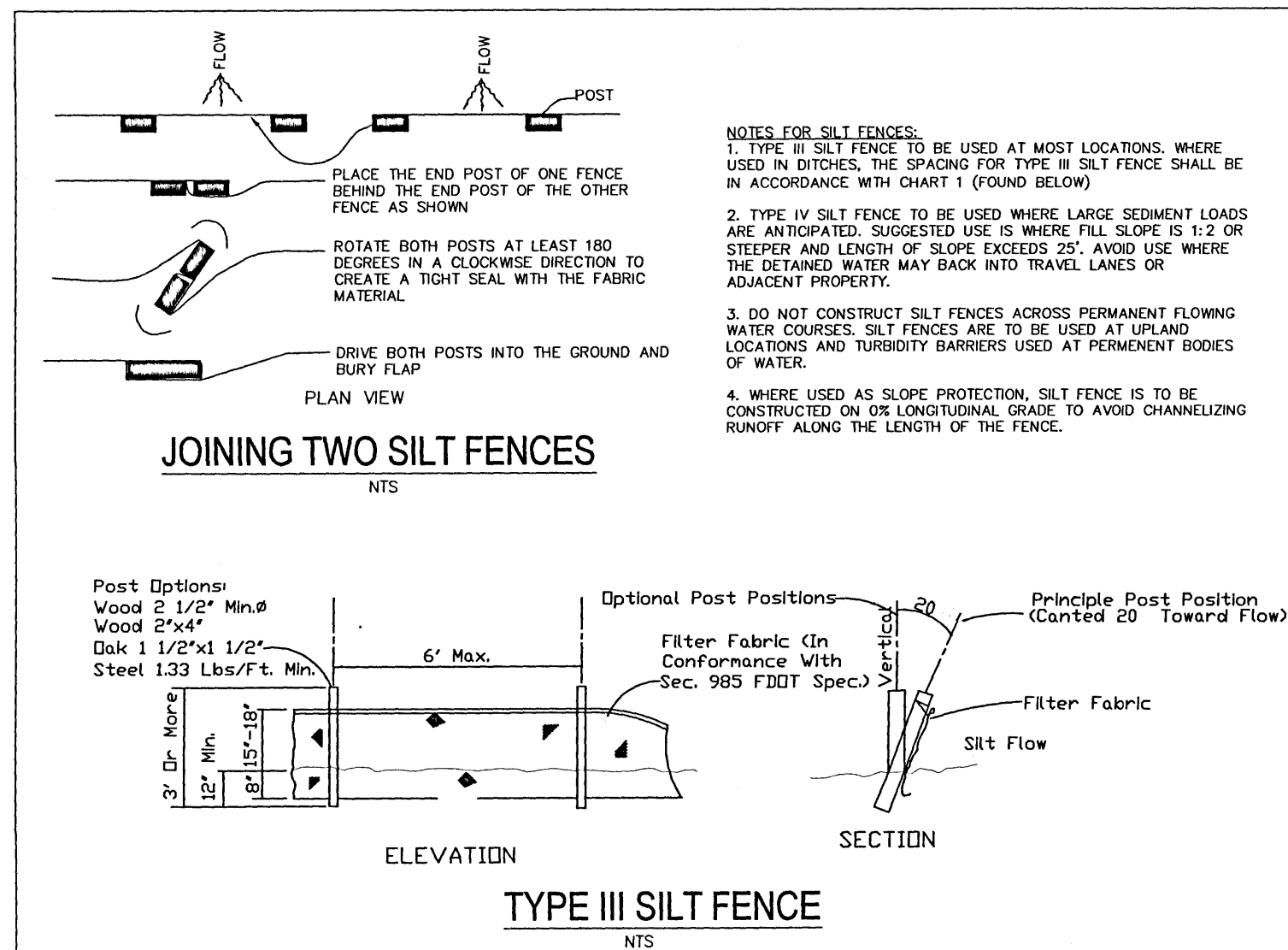
HAMMOND ENGINEERING, INC.
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SITE DEVELOPMENT
PLANS FOR
PERSONS DRY
STORAGE
LANDSCAPING PLAN
ESCAMBIA COUNTY FLORIDA

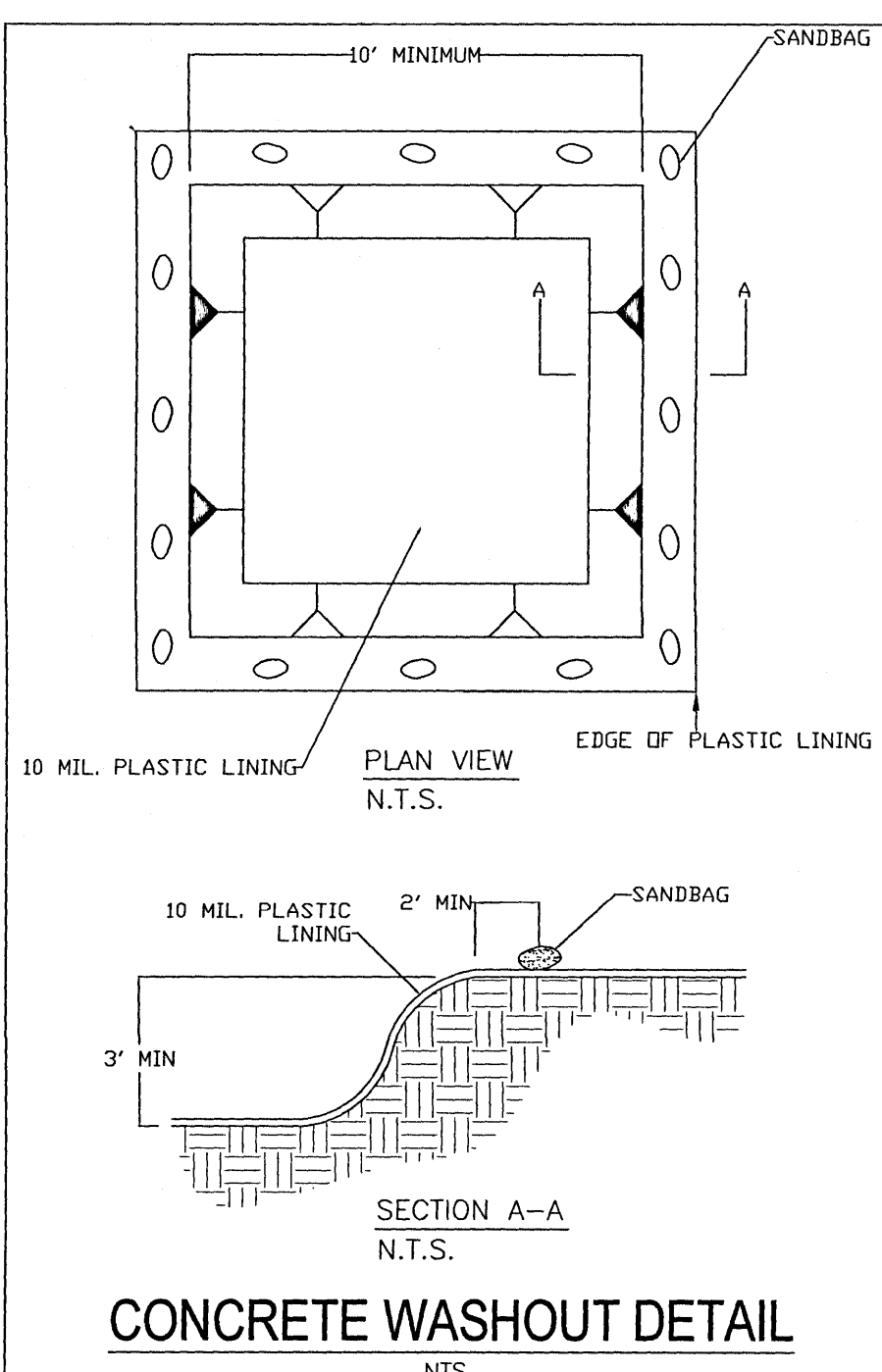
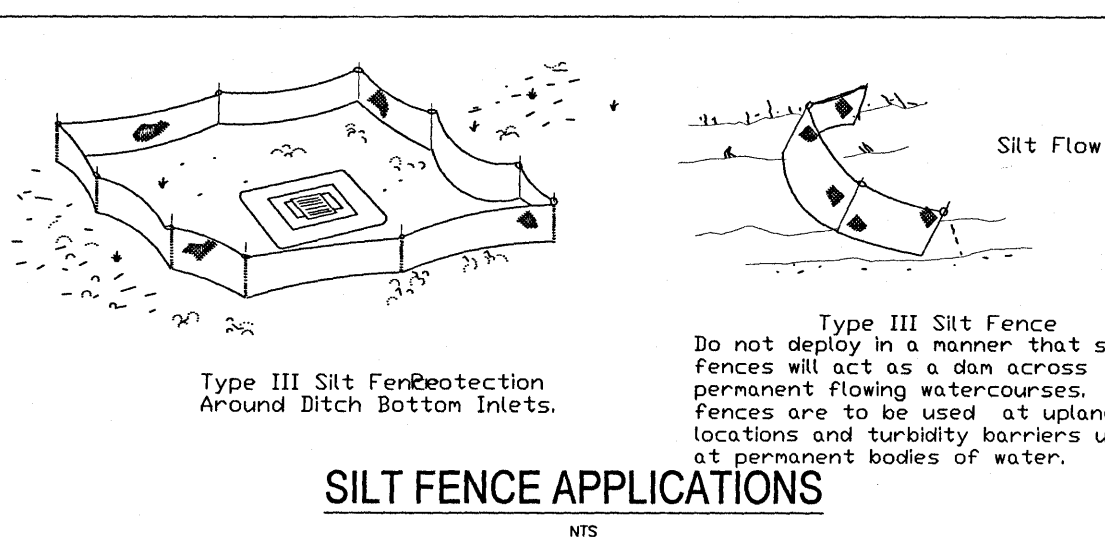
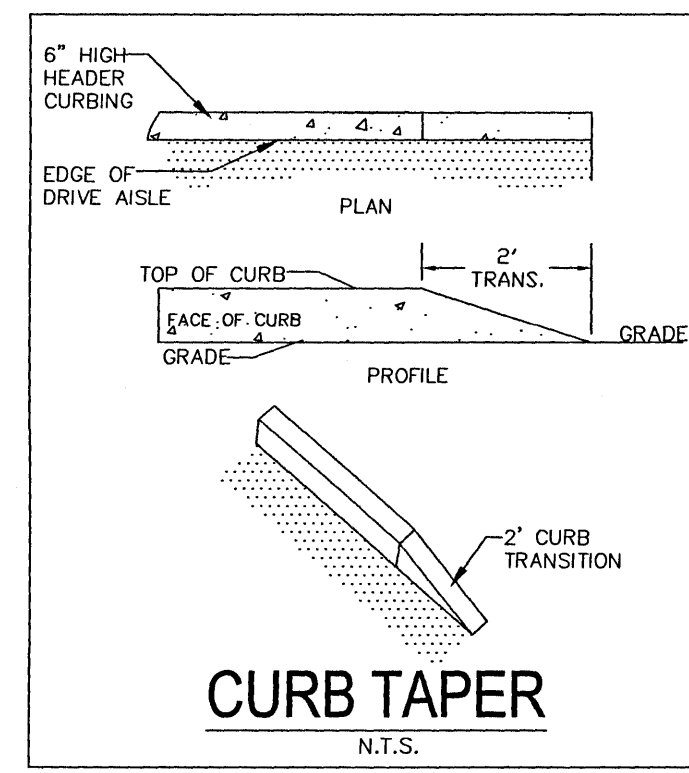
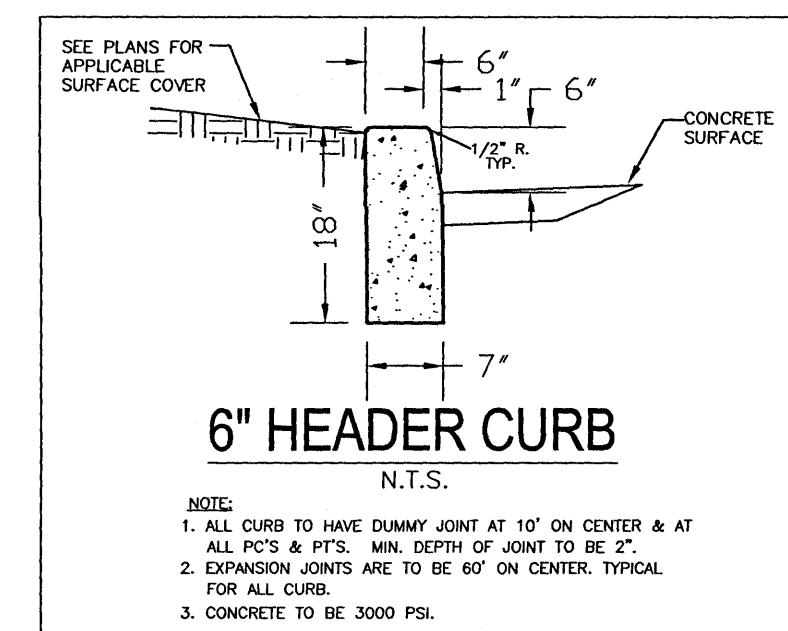
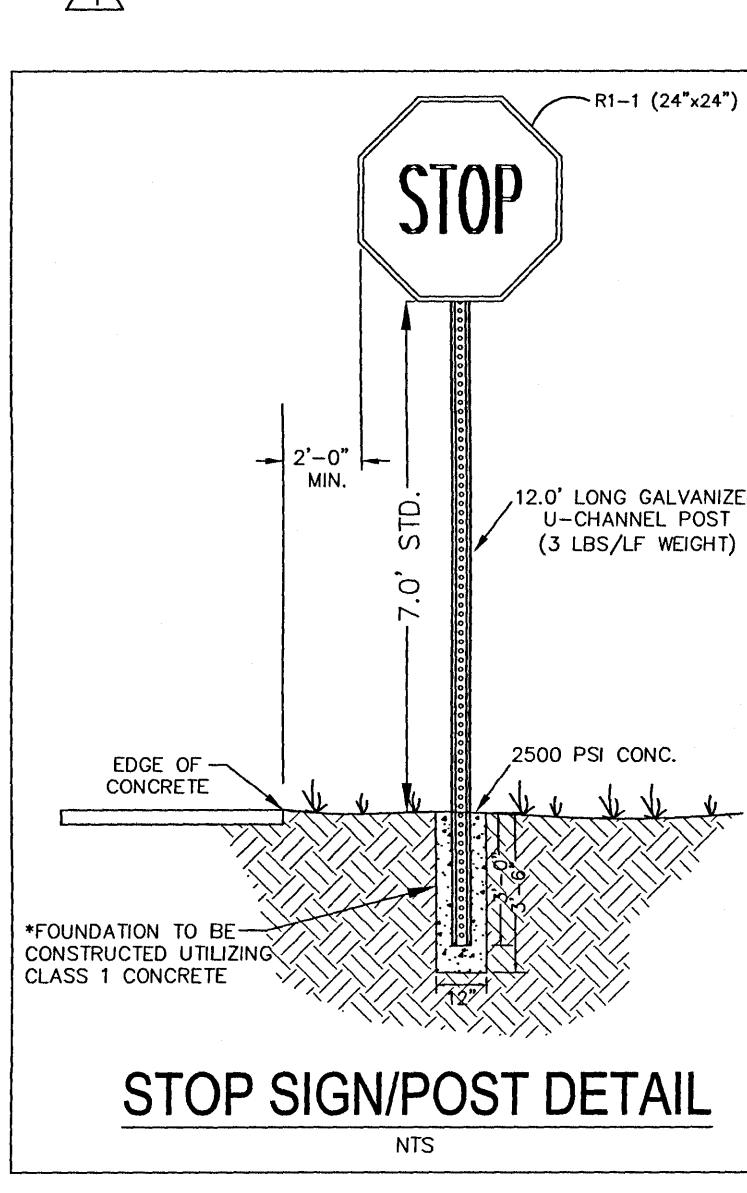
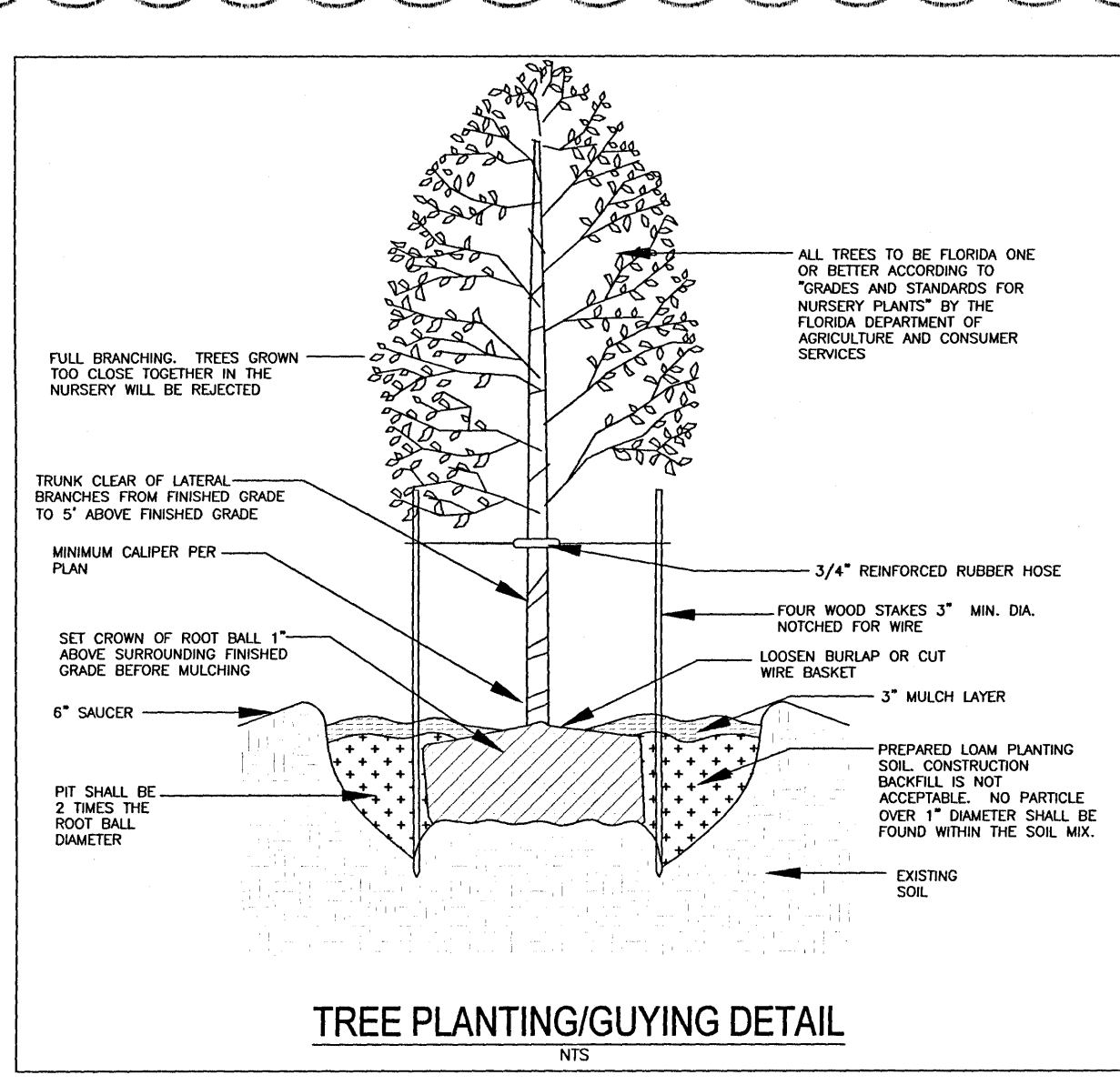
DRAWN BY: GJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 11/24/20
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-061
SHEET: C7



List of Recommended Native and Non-Invasive Plants.

Shrub (mature height 36" min.)	Undersory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
<i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
<i>Aucuba japonica</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
<i>Aspidistra</i>	Arneton Holly <i>Ner olea</i>	American Hornbeam <i>Carpinus caroliniana</i>
<i>Berberis sp.</i>	Dahoon Holly <i>Ner cassine</i>	Southern Red Cedar <i>Juniperus silicola</i>
<i>Japanese Boxwood</i> <i>Buxus microphylla</i>	Crape Myrtle <i>Lagerflorimia indica</i>	Crepe Myrtle <i>Lagerflorimia indica</i>
<i>Bouldy Berry</i> <i>Callicarpa americana</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
<i>Japanese Plum-Yew</i> <i>Cephalotaxus harringtonia</i>	Sour Magnolia <i>Magnolia x soulangeana</i>	Sweetgum <i>Liquidambar styraciflua</i>
<i>Shirom Elm</i> <i>Alnus incana</i>	Swamp Magnolia <i>Magnolia x soulangeana</i>	Yucca <i>Yucca filamentosa</i>
<i>Fatsia japonica</i>	Wax Myrtle <i>Myrica cerifera</i>	Yucca <i>Yucca filamentosa</i>
<i>Gardenia</i> <i>Gardenia jasminoides</i>	Brodiaea <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Burford Holly</i> <i>Ner cornuta</i>	Southern Magnolia <i>Magnolia grandiflora</i>	Yucca <i>Yucca filamentosa</i>
<i>Japanese Privet</i> <i>Ligustrum japonicum</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Southern Wax Myrtle</i> <i>Myrica cerifera</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Firethorn</i> <i>Pyracantha coccinea</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Dwarf Japanese Holly</i> <i>Ner crenata</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Chinese Holly</i> <i>Ner cornuta</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Dwarf Yaupon Holly</i> <i>Ner verticillata</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Chinese Juniper</i> <i>Juniperus chinensis</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Indian Hawthorn</i> <i>Raphiolepis sp.</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Red-Tip Photinia</i> <i>Photinia</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>
<i>Rhododendron/azalea</i> <i>Rhododendron sp.</i>	Yucca <i>Yucca filamentosa</i>	Yucca <i>Yucca filamentosa</i>



REVISIONS

NO.	DATE	REVISIONS
1	12/09/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

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GRANT HAMMOND JR., P.E.
Professional Engineer
State of Florida
No. 958574

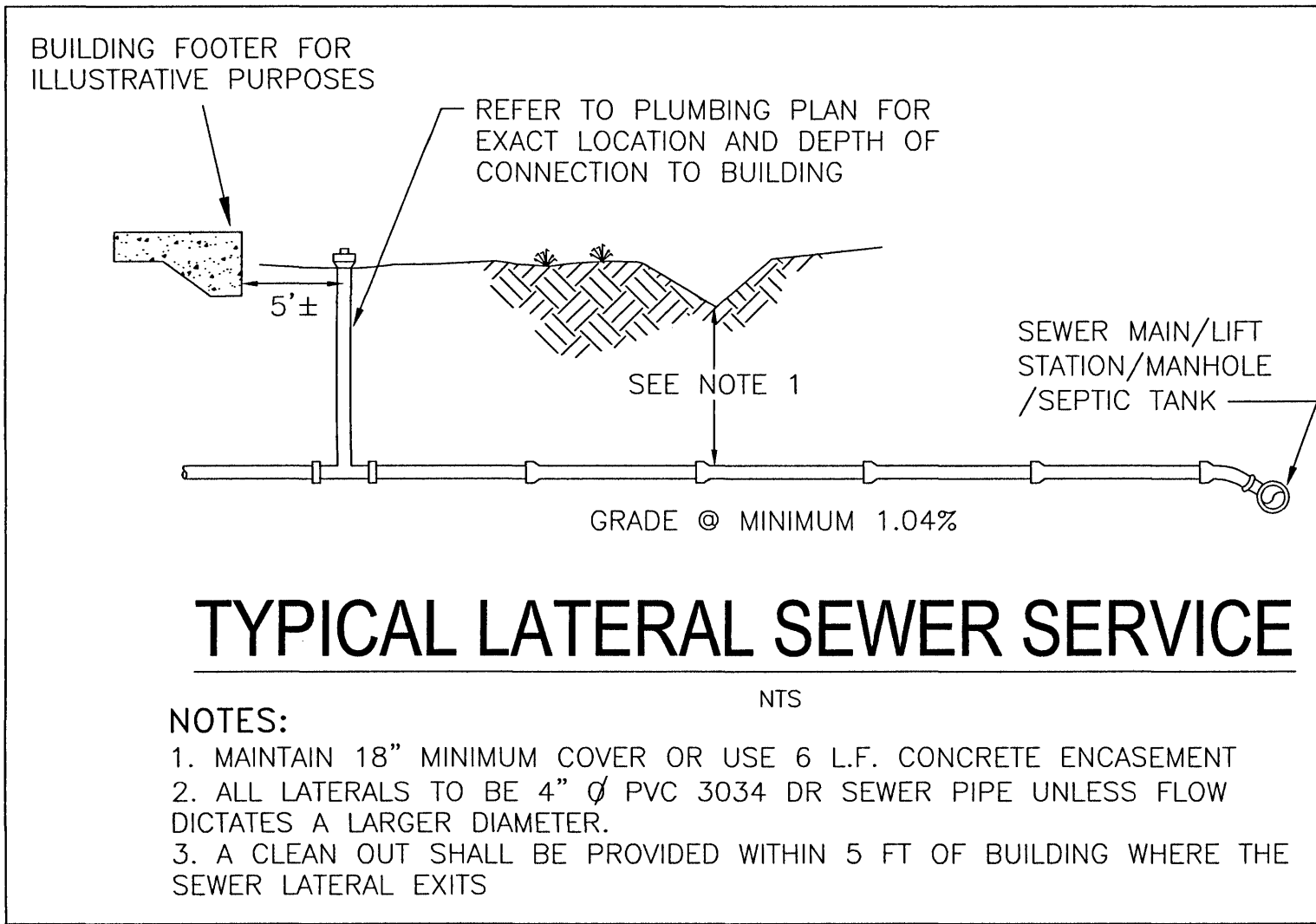
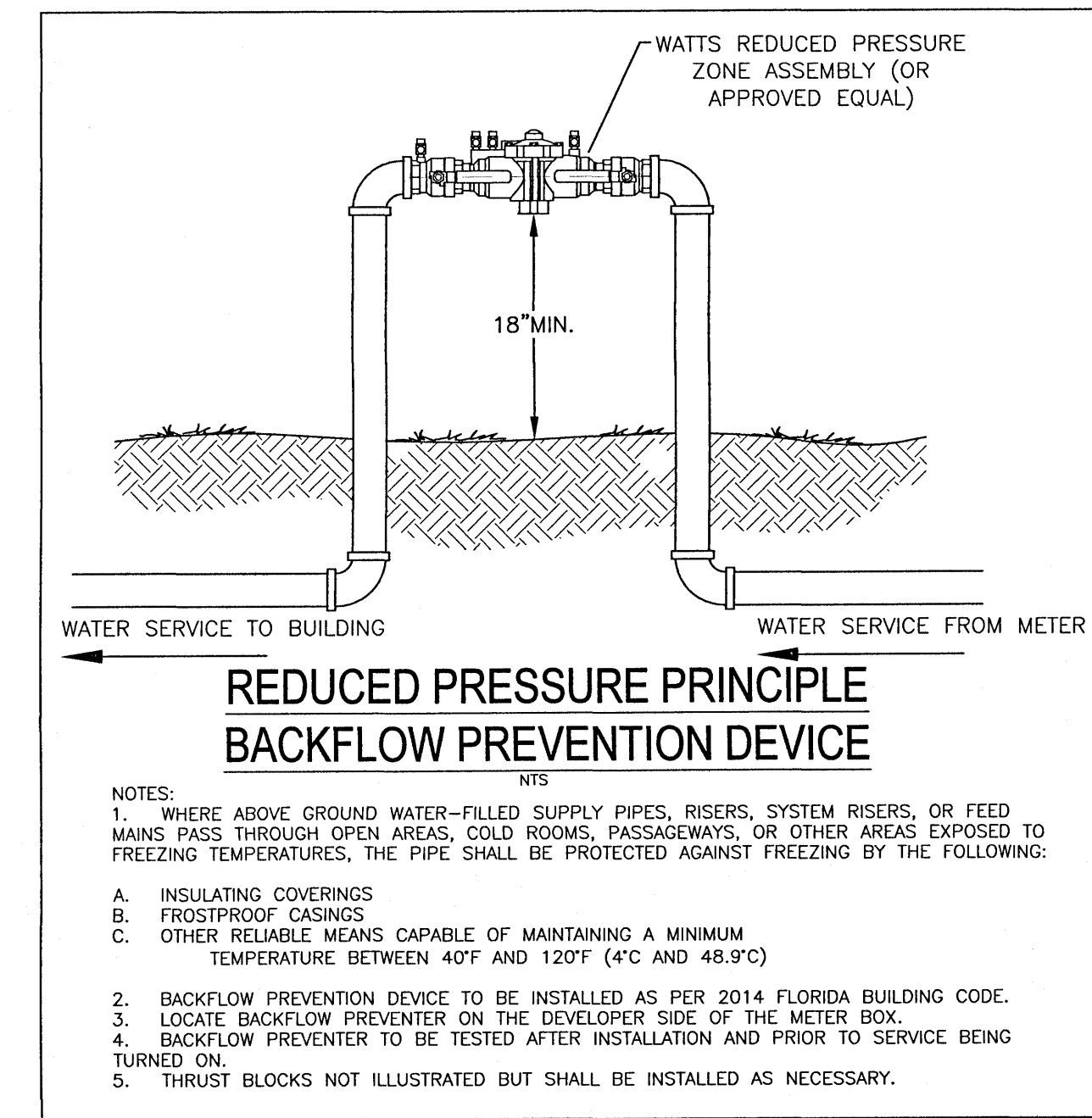
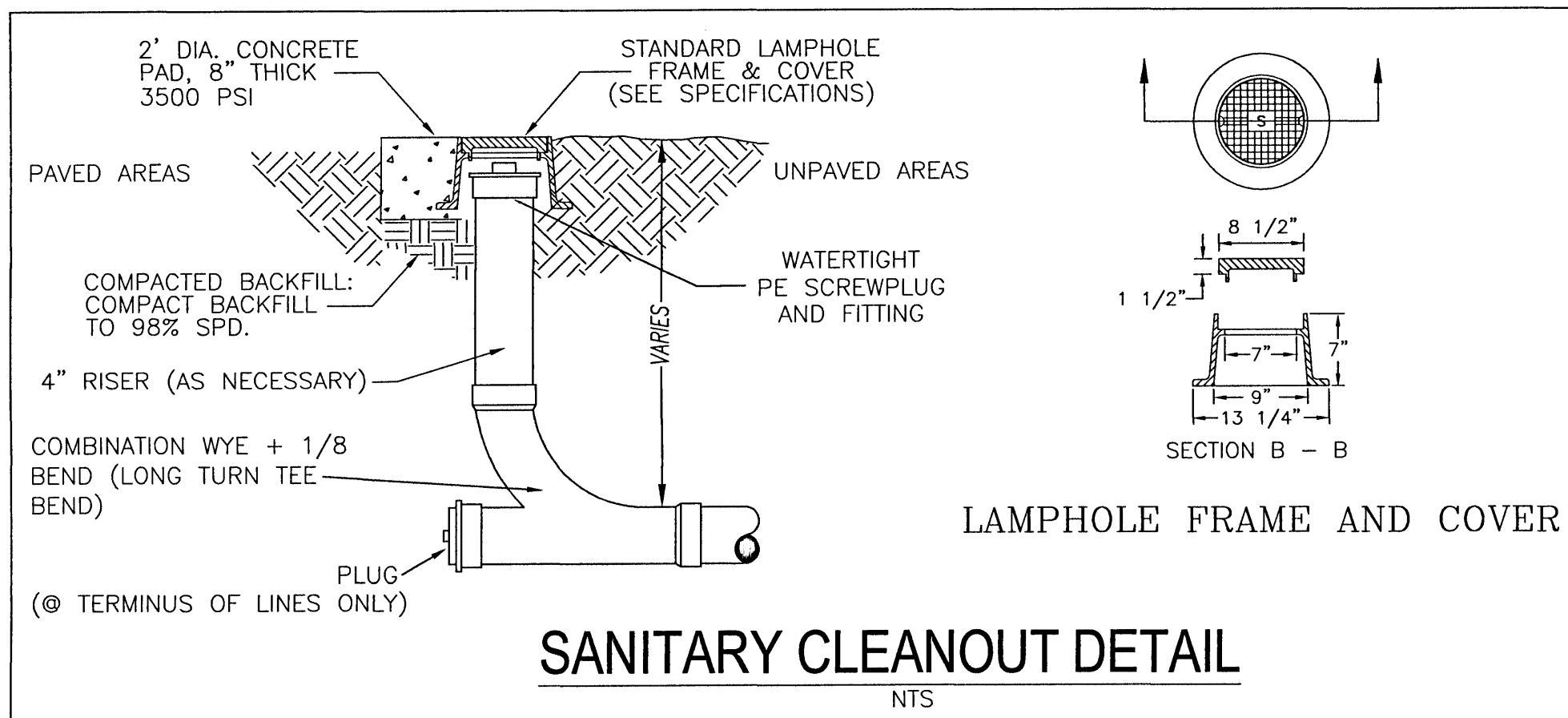
12/11/21

SITE DEVELOPMENT PLANS FOR PERSONS DRY STORAGE CONSTRUCTION DETAILS

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 11/24/20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

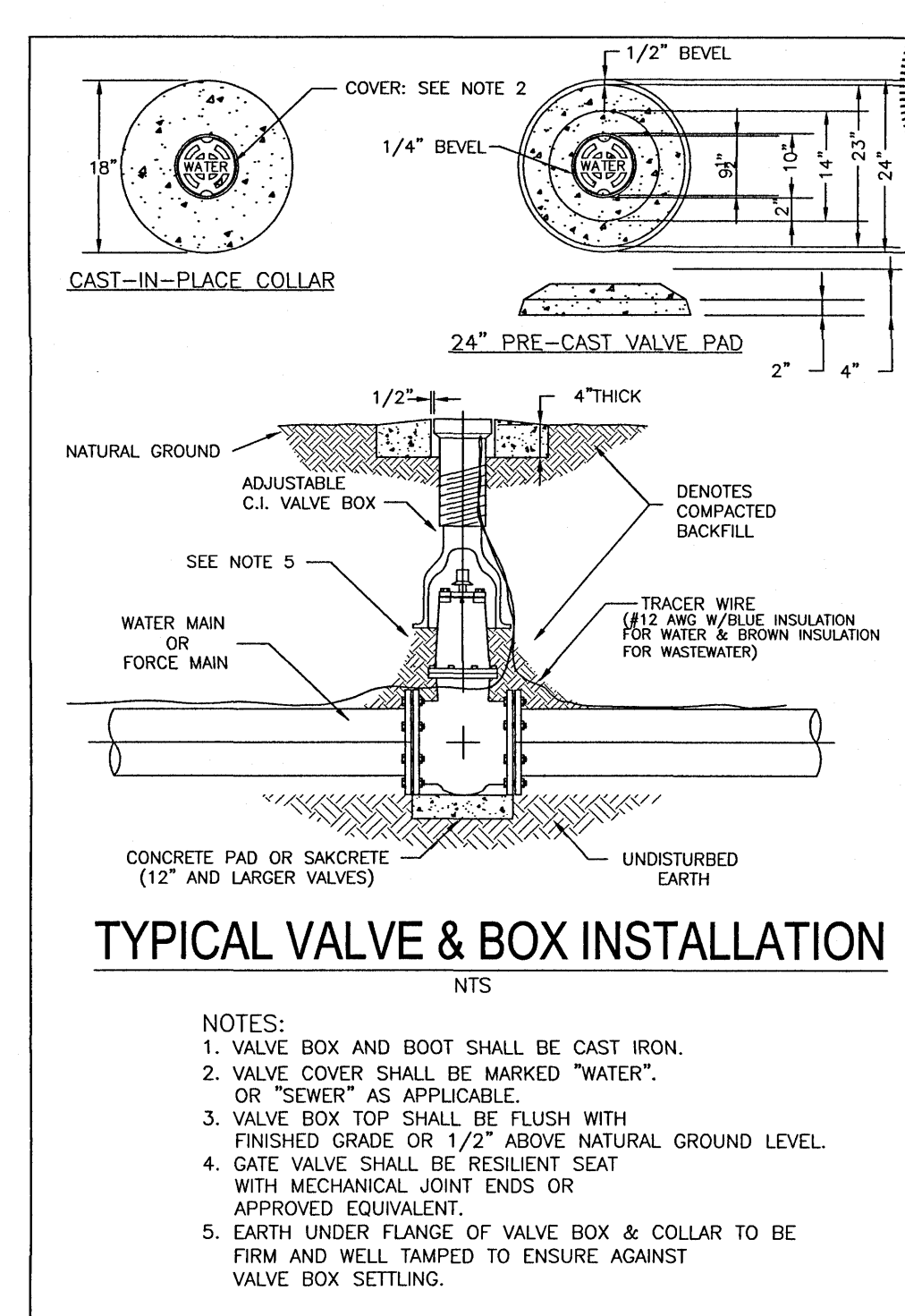
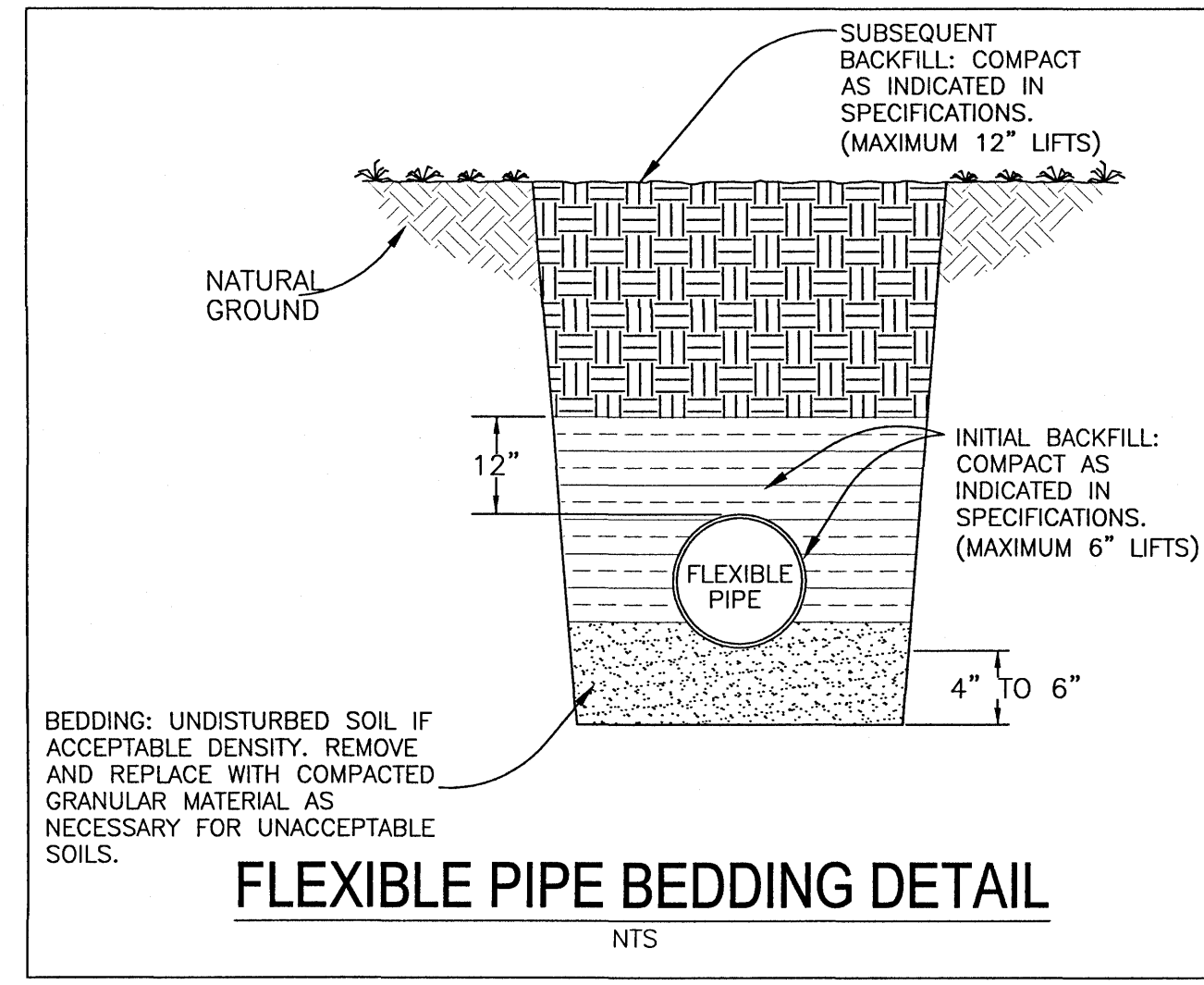
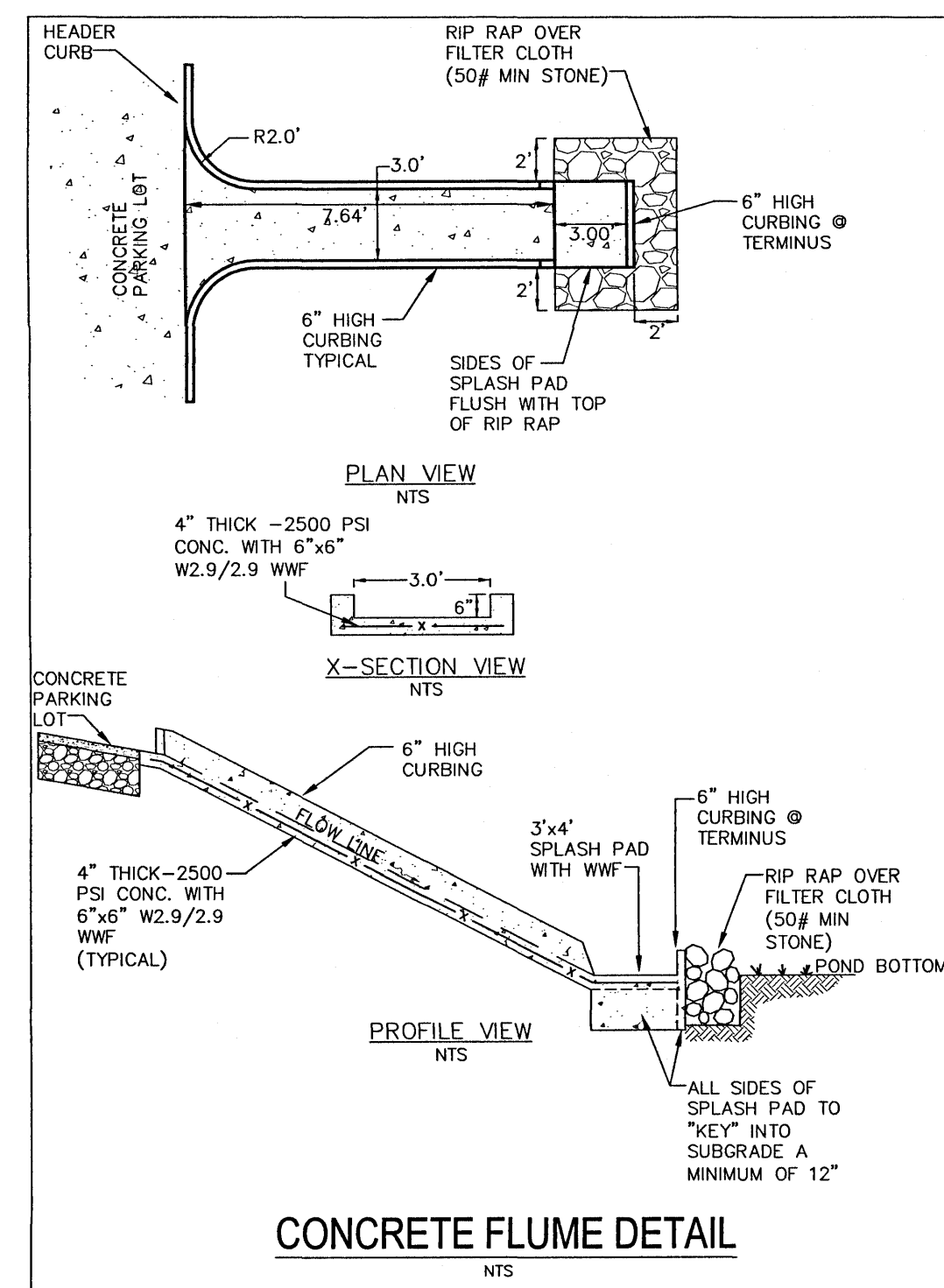
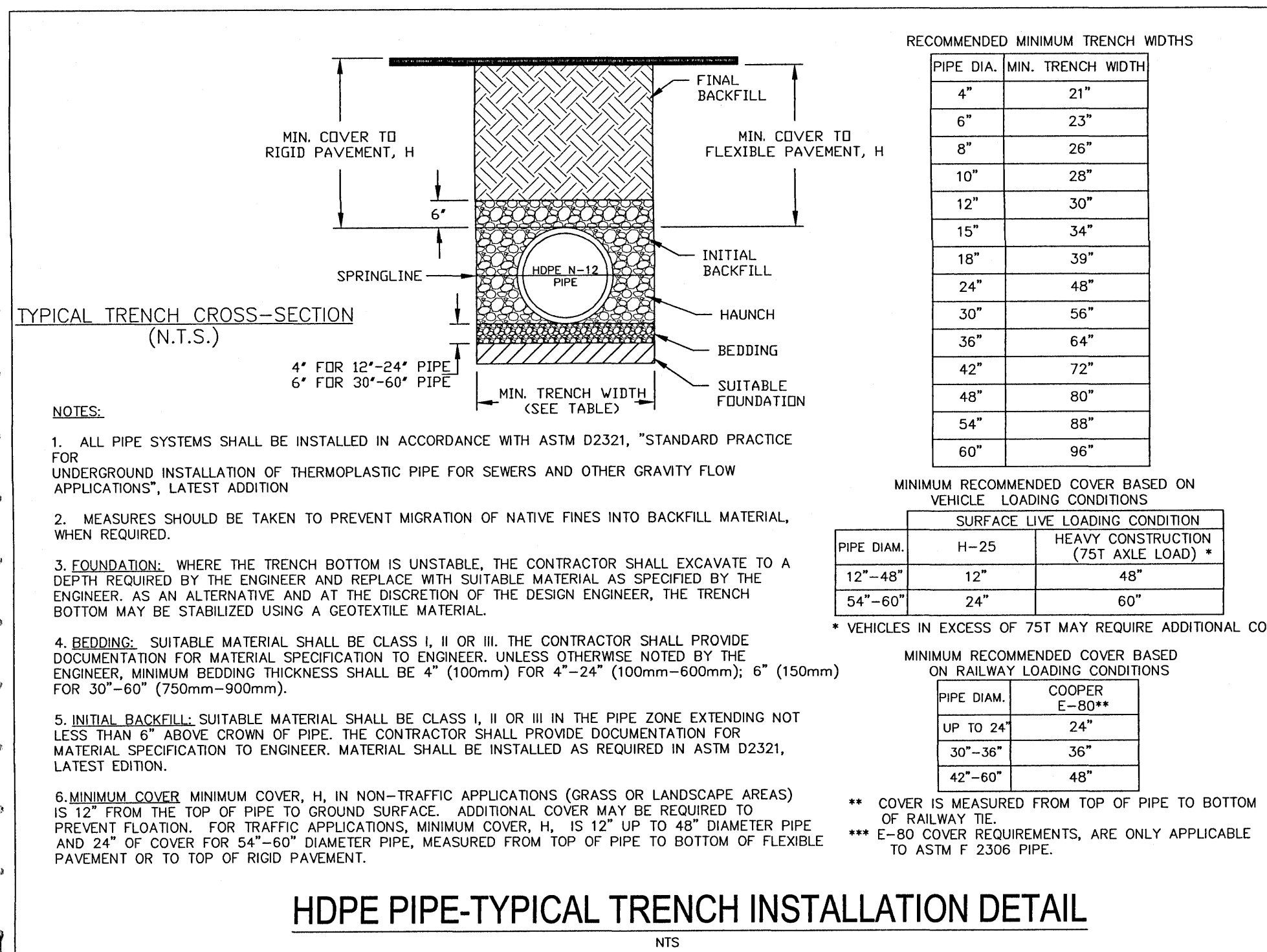
PROJECT NO: 20-061
SHEET: C8



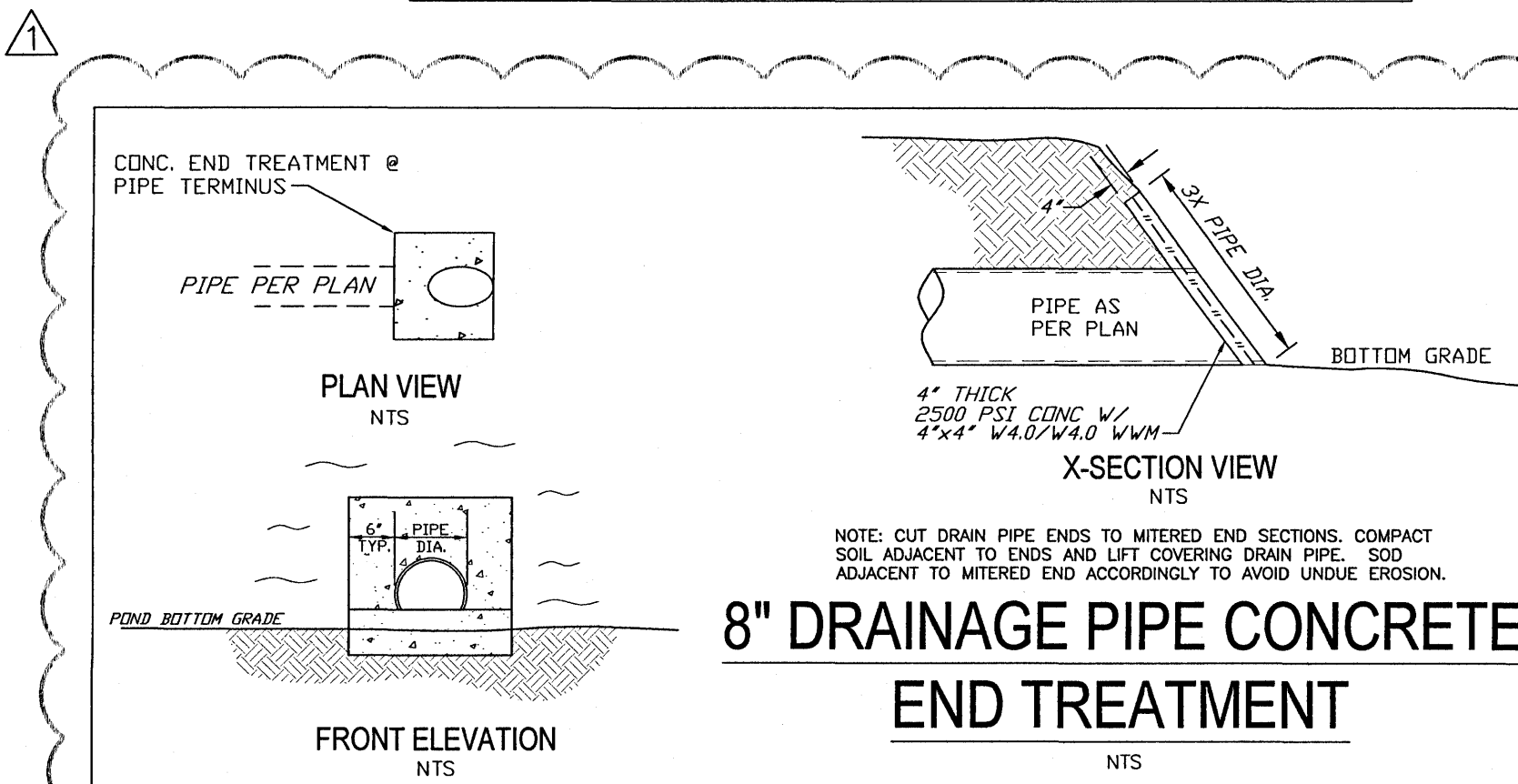
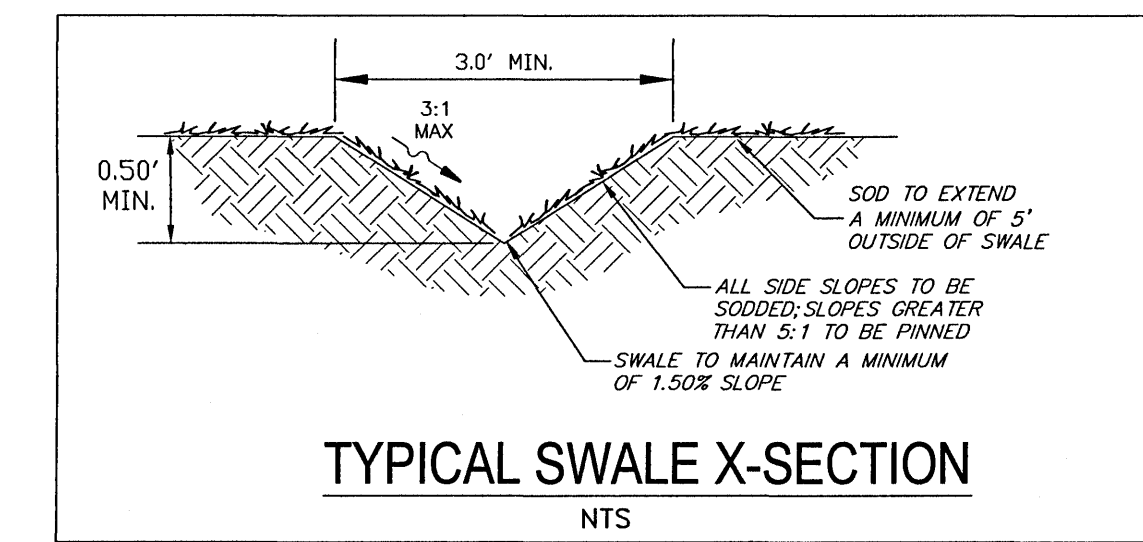
OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	 3 FT. MINIMUM OTHER PIPE	 12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED OTHER PIPE	 ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	 10 FT. PREFERRED 6 FT. MINIMUM (2) OTHER PIPE	 12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED OTHER PIPE	 ALTERNATE 6 FT. MINIMUM

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
NOTES:
A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY

WATER SEWER/SEPARATION



NOTE: ALL DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



REVISIONS

NO.	DATE	REVISIONS
1	12/09/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DEC REVIEW COMMENTS

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SITE DEVELOPMENT PLANS FOR PERSONS DRY STORAGE DETAILS

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB

DESIGNED BY: RLS

CHECKED BY: TGH

DATE: 11/24/20

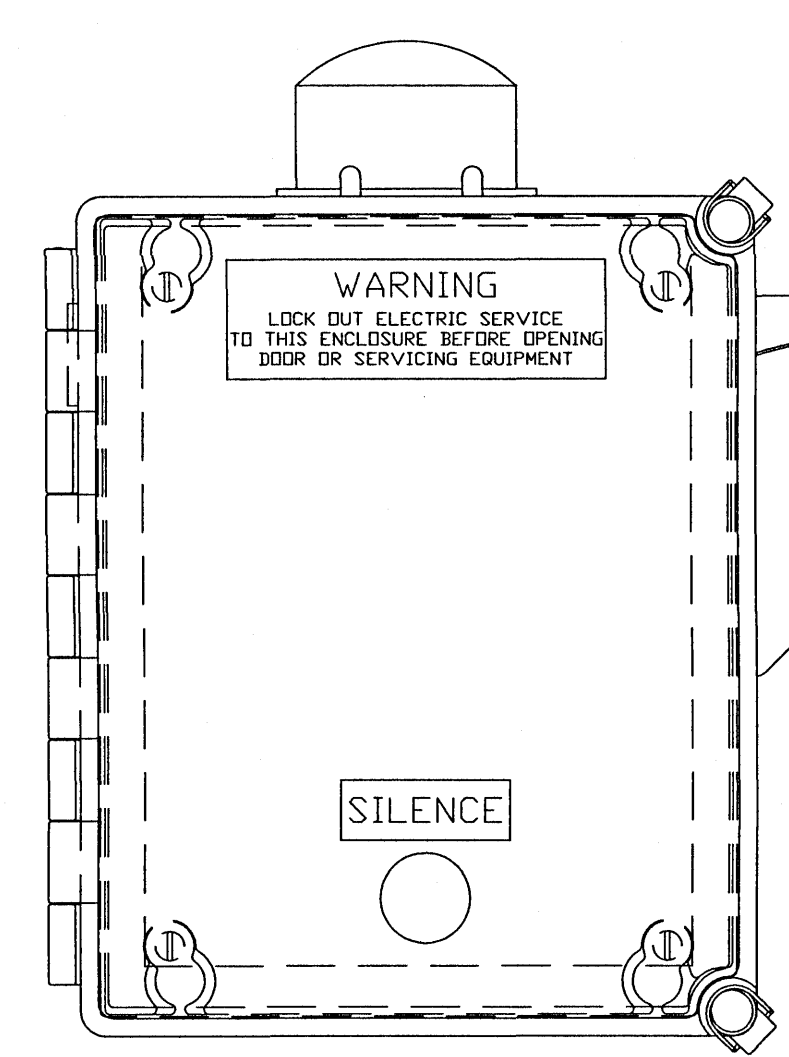
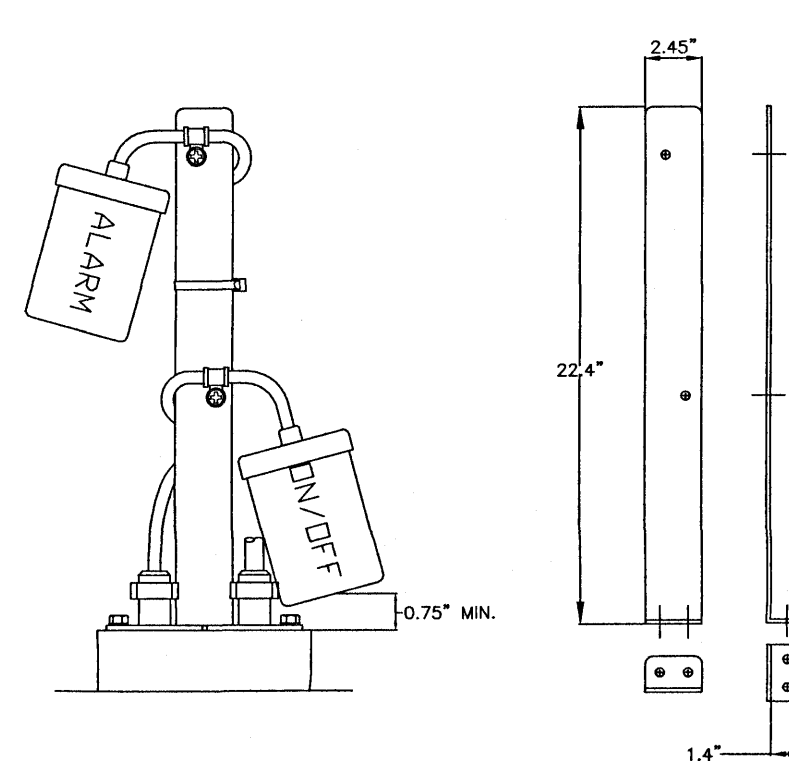
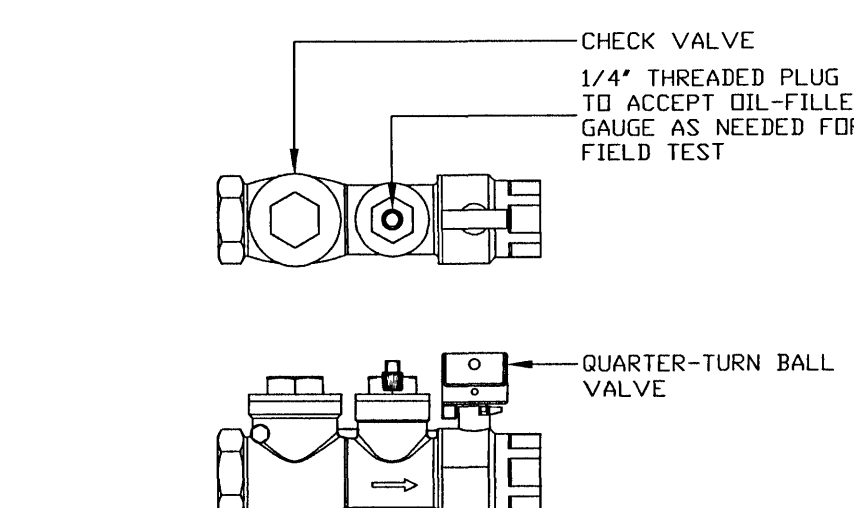
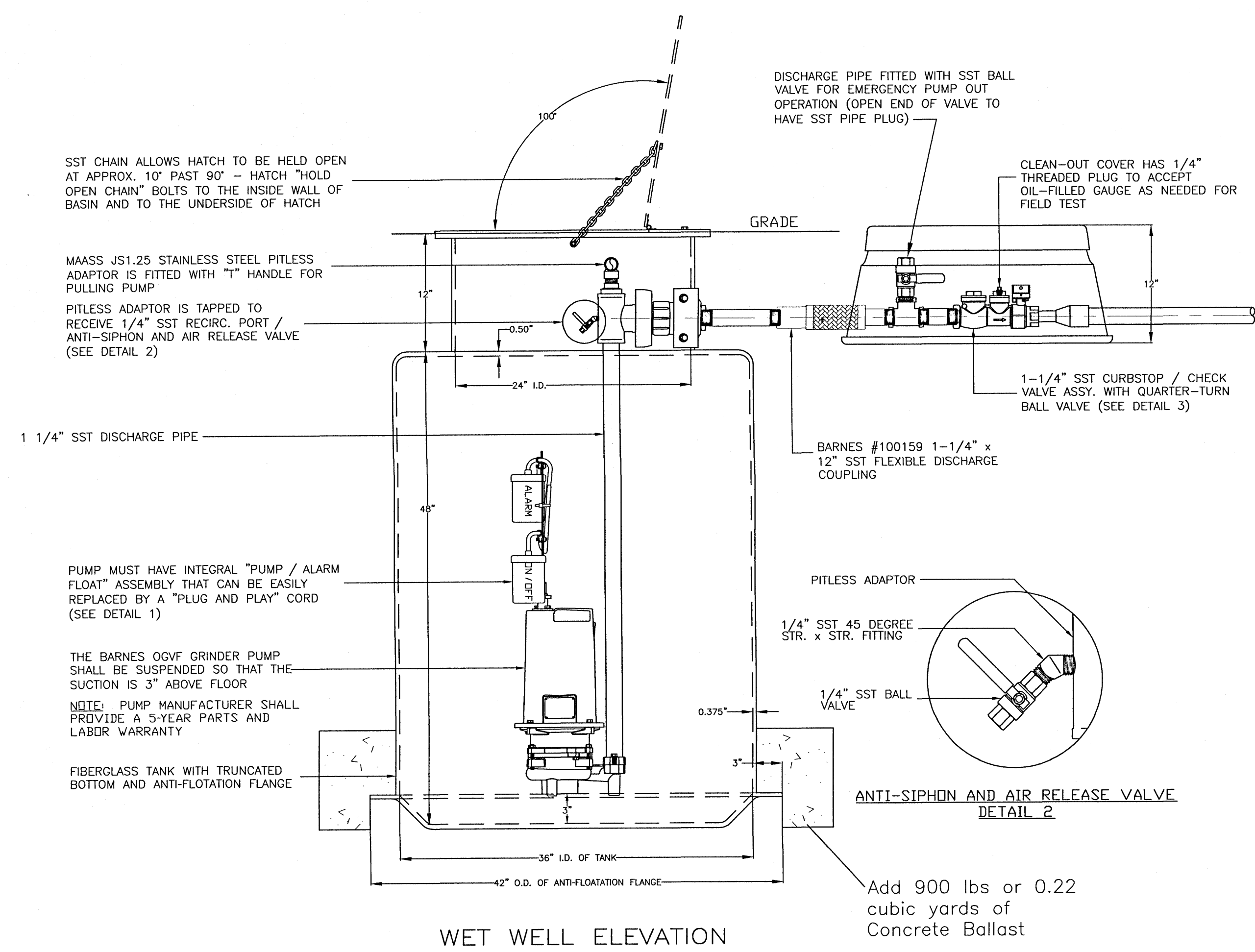
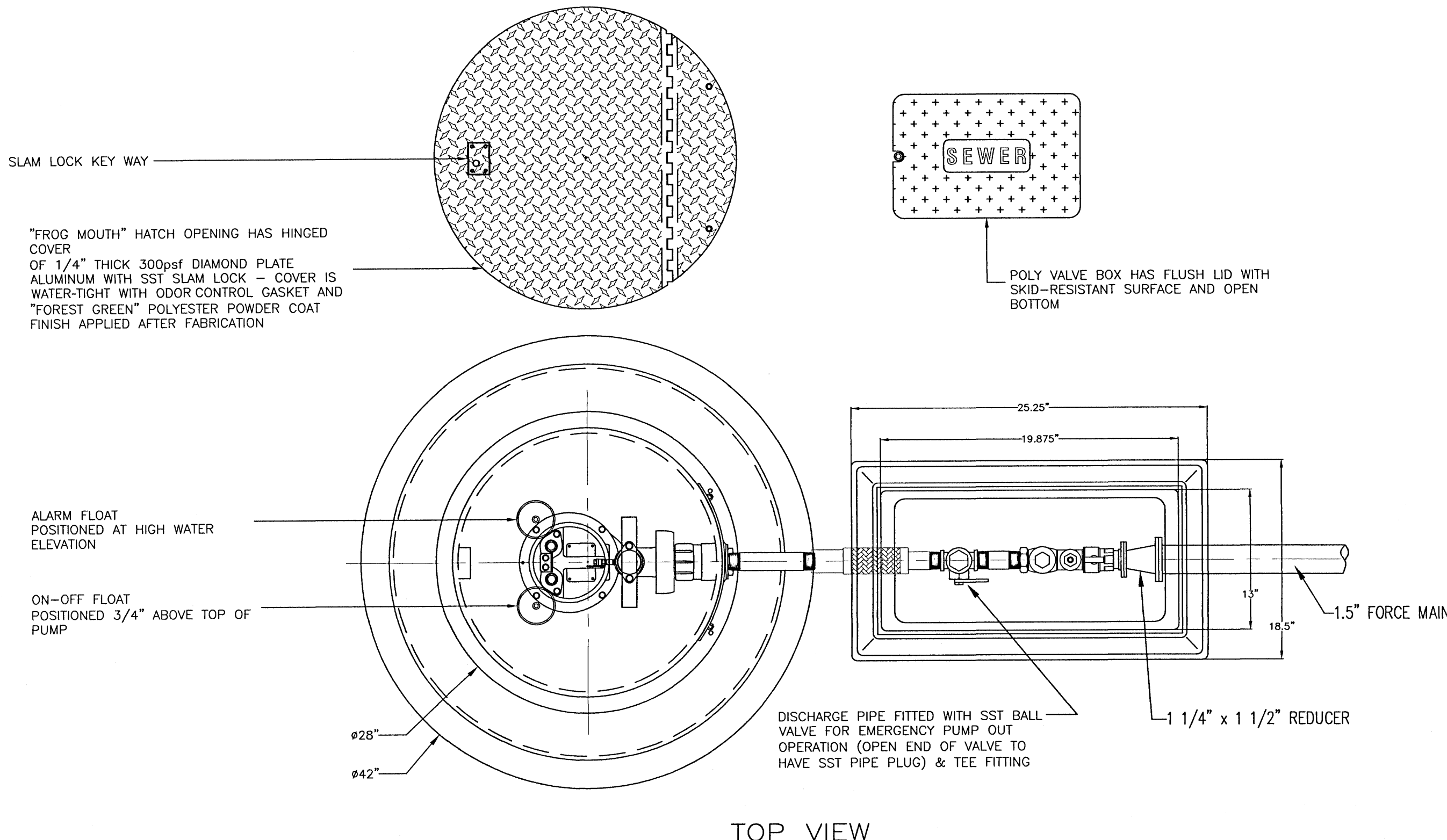
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BY: DATE:

PROJECT NO: 20-061

SHEET: C9

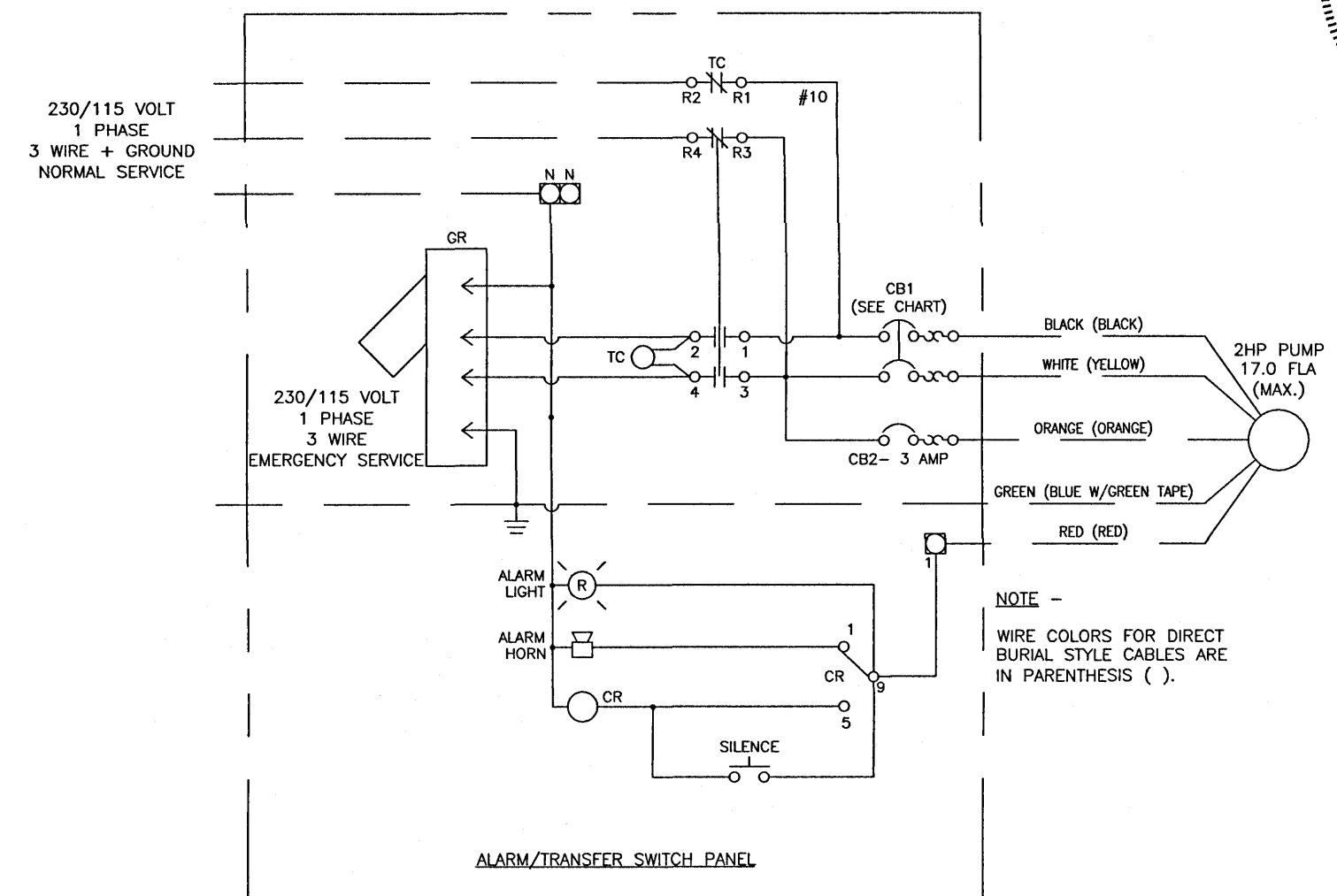


PUMP DATA TABLE	
MANUFACTURER	
MODEL	32GF22.2H
VOLTAGE	230
PHASE	1
HP	3
FLA	14.2
RPM	3440
GPM	12
TDH (FEET)	116

WET WELL DATA	
WET WELL DIAMETER	
WET WELL DEPTH	
INFLUENT ELEV.	
FORCE MAIN DIAMETER	
BOTTOM ELEV.	
PUMP OFF ELEV.	
PUMP ON ELEV.	
HIGH LEVEL ALARM ELEV.	
TOP ELEV.	

PUMP AND WET WELL REQUIREMENTS:

PUMP SHALL BE MODEL 32GF22.2H SUBMERSIBLE GRINDER PUMP AS MANUFACTURED BY HCP PUMPS AMERICA. PUMP SHALL BE RATED AT 3 HP, 230 VOLT/1-PHASE. PUMP SHALL DELIVER 12 GPM @ 116 FT. TOTAL DYNAMIC HEAD. IMPELLER SHALL BE CAST IRON NON-OVERLOADING DESIGN. THE PUMP SHALL BE MOUNTED IN A 36 INCH BY 60 INCH DEEP FIBERGLASS BASIN. BASIN SHALL BE COMPLETELY ASSEMBLED AND SHALL INCLUDE ANTI-FLOATATION FLANGES, NON-MERCURY FLOAT SWITCHES, STAINLESS STEEL HOOK SWITCH BRACKET, PULTRUDED GUIDE RAIL SYSTEMS AND PUMP LIFT CHAINS. BASIN COVER SHALL BE SPLIT HINGED ALUMINUM WITH LOCKING ACCESS DOOR. BASIN WILL HAVE DISCHARGE WITH VALVES INSTALLED AND READY TO ACCEPT PUMP. CONTROL PANEL SHALL INCLUDE A GENERATOR RECEPTACLE FOR BACK UP POWER DURING EMERGENCY SITUATIONS. ALARM SHALL ACTIVATE WHEN LIQUID LEVEL RISES TO THE HIGH LEVEL ALARM SWITCH. UNDER NORMAL OPERATION THE LEAD PUMP ON SWITCH SHALL ACTIVATE THE LEAD PUMP (IN THIS CASE THE ONLY PUMP) AND THE PUMP OFF SWITCH SHALL STOP THE PUMP WHEN THE LEVEL DROPS TO THAT POINT. NON-MERCURY FLOAT SWITCHES SHALL BE PROVIDED. FLOATS SHALL BE POLYPROPYLENE CASED. FLOAT SWITCH BRACKET SHALL BE STAINLESS STEEL AND SHALL HAVE 4 INCH HOOKS. ALL HARDWARE SHALL BE 304 STAINLESS STEEL.

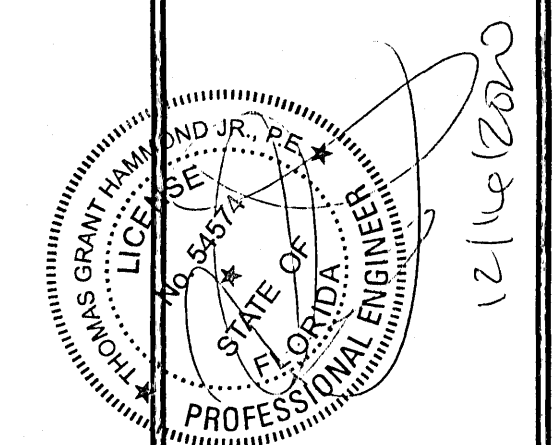


PART NO.	STYLE	CBI BREAKER SIZE
11666	10P/10V/SGPC	25 AMP DOUBLE POLE
11583	SGV	30 AMP DOUBLE POLE

- NOTES:
1. PANEL GROUND TERMINAL MUST BE CONNECTED TO EARTH GROUND
 2. FIELD WIRING SHOWN AS _____
 3. FACTORY WIRING SHOWN AS _____
 4. GENERATOR RECEPTACLE NEMA CODE L14-30.

REVISIONS	
NO.	DATE
1	12/09/2020

HAMMOND ENGINEERING, INC.
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 TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT
 PLANS FOR
 PERSONS DRY
 STORAGE
 LIFT STATION
 DETAILS**

DRAWN BY: CUG
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 11/24/20
 SCALE: AS SHOWN
 NOT RELEASED FOR
 CONSTRUCTION
 BY: _____ DATE: _____