

SITework CONSTRUCTION PLANS
FOR
STAY APT SUITES

ESCAMBIA COUNTY, FLORIDA

G&A REFERENCE NO. 32101

DEVELOPER:
DELAPP ENTERPRISES LLC
10801 MONROE ROAD, SUITE 200
MATTHEWS, NORTH CAROLINA 28105
PHONE: (704) 703-0169

ENGINEER:
GECI & ASSOCIATES ENGINEERS, INC.
2950 NORTH 12th AVENUE
PENSACOLA, FLORIDA 32503
PHONE: (850) 432-2929

SURVEYOR:
PITTMAN, GLAZE & ASSOCIATES, INC.
500 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
PHONE: (850) 434-6666

UTILITY COMPANIES:

UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND
INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.

TELEPHONE - AT & T, INC., 605 WEST GARDEN STREET, PENSACOLA,
FLORIDA 32501; (850) 436-1616

ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD,
PENSACOLA, FLORIDA 32534; (850) 484-5770

SANITARY SEWER/WATER - EMERALD COAST UTILITY AUTHORITY,
ELLYSON INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110

NATURAL GAS - PENSACOLA ENERGY, 16 SOUTH PALAFOX STREET,
PENSACOLA, FLORIDA; (850) 474-5322

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated
September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby
incorporated by reference into this Project's official contract documents as if fully set
forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's
contents and to construct the Project in accordance with the Manual. The Contractor
shall provide its employees access to the Manual at all times, via Project site or office,
via digital or paper format. In the event of a conflict between the Manual and the Plans,
Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that
supercede the Manual listed above? ☐ Yes ☒ No. If yes, Contractor shall construct
Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these
plans warrant their portion of the plans have been designed in accordance with the
Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be
knowledgeable of the Manual's contents and shall assume responsibility for its use on
the Project.

SITE DATA NOTES:

- THESE CONSTRUCTION PLANS ARE BASED UPON THE SURVEY PROVIDED BY PITTMAN, GLAZE &
ASSOCIATES, INC. DATED 5/8/2015.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC
CONTROL DEVICES (MUTCD), FHWA LATEST EDITION.
- PAVEMENT MARKINGS AND SIGNS:
ALL NON-HANDICAP STRIPING TO BE WHITE
ALL SIGNS AND PAVEMENT MARKINGS WILL CONFORM TO FDOT DESIGN STANDARDS AND MUTCD.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES
AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL
DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY
RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE
TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
- ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVING GRADES.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CURRENT ECUA STANDARDS.
- ALL POTABLE WATER CONSTRUCTION SHALL CONFORM TO CURRENT ECUA STANDARDS.
- ALL PAVING AND STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO CURRENT ESCAMBIA COUNTY
STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, ESCAMBIA COUNTY AND ECUA AT LEAST TWO
WORKING DAYS (48 HRS MIN) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH FROM THE SITE.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING
LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING CONSTRUCTION AND UNTIL IT IS SAFE FOR BOTH
PEDESTRIAN AND VEHICULAR TRAFFIC.
- PROVISIONS SHALL BE MADE FOR ADEQUATE FLOW OF SEWERS, DRAINS AND WATER COURSES DURING
CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR
TO BIDDING.
- SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES ON THE PROJECT PLANS OR IN FIELD CONDITIONS,
HE SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY.

EROSION AND SEDIMENT CONTROL NOTE:

THE DEVELOPER SHALL REQUIRE THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT TO
PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, HAY BALES, PONDING AREAS, SILT FENCES AND
SEDIMENTATION CONTROLS ALONG ALL THE STREET RIGHTS-OF-WAY AND PROPERTY LINES TO CONTROL AND
PREVENT EROSION RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION OF THIS PROJECT. EROSION
AND SEDIMENTATION CONTROLS SHALL BE ESTABLISHED TO MEET OR EXCEED COUNTY REQUIREMENTS. LOCATION
AND DETAIL OF THE ABOVE TO BE INCLUDED ON THE CONSTRUCTION PLANS FOR THE PROJECT. SEDIMENT
SHALL BE RETAINED ON THE SITE OF THE DEVELOPMENT. EROSION AND SEDIMENTATION CONTROLS WILL BE
PROVIDED BY CONTRACTOR AT ALL TIMES AS PER COUNTY REQUIREMENTS. THE CONTRACTOR SHALL AT ALL
TIMES DURING THE CONSTRUCTION OF THIS PROJECT, PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS,
PONDING AREAS AND SEDIMENTATION CONTROL WALLS OF STRAW ALONG ALL THE STREET RIGHT-OF-WAY AND
PROPERTY LINES TO CONTROL THE RUNOFF FROM THIS PROJECT. (NO DIRECT PAYMENT FOR THIS. PAYMENT
FOR THIS TO BE INCLUDED IN THE ITEM OF PAVING.)

SURVEYOR'S NOTES:

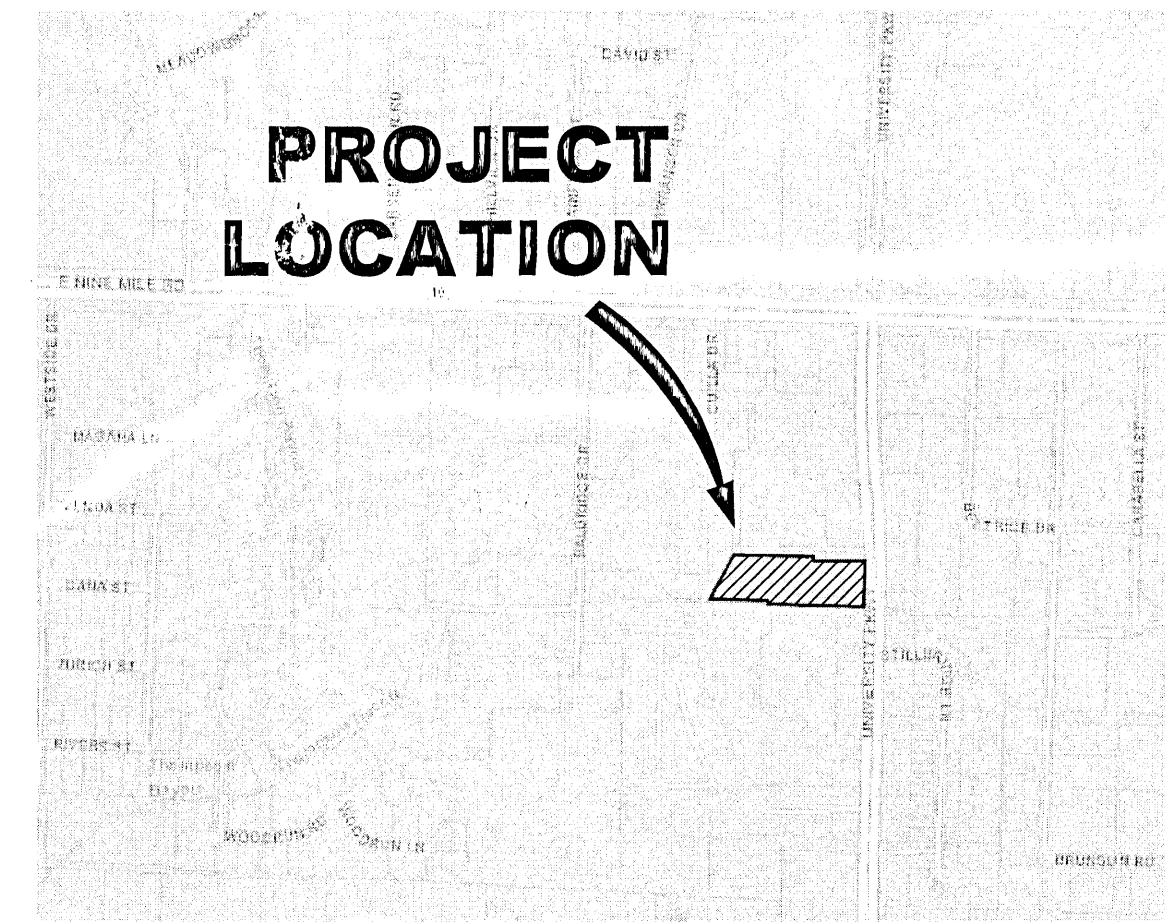
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY
INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED
THE UNDERGROUND UTILITIES. THE SURVEYOR DOES NOT CERTIFY THAT THE
UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES OR THAT THEY ARE THE
EXACT SIZE, MATERIAL, OR LOCATION AS INDICATED.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL
AND ACCURATE TITLE SEARCH.
- THIS SURVEY IS SUBJECT TO SETBACKS, EASEMENTS, AND RESTRICTIONS OF
RECORD.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM
AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE
BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE
CONTROL POINTS OR PROPERTY CORNERS.
- FOOTINGS AND FOUNDATIONS BELOW NATURAL GROUND NOT LOCATED.
- DUE TO CURRENT SAFETY REGULATIONS, WE ARE UNABLE TO ACCESS ANY SEWER
MANHOLES AND/OR STRUCTURES IN ORDER TO VERIFY PIPE SIZE OR MATERIAL. PIPE
SIZE AND MATERIAL HAS BEEN SHOWN AS PER PLANS OR BY APPROXIMATE
MEASUREMENTS. IT IS STRONGLY RECOMMENDED THAT SIZE AND MATERIAL ARE VERIFIED
BEFORE ANY DESIGN WORK BEGINS.

LEGAL DESCRIPTION:

PARCEL 1, UNIVERSITY TOWN CENTER, A COMMERCIAL SUBDIVISION OF A PORTION OF SECTION 14, TOWNSHIP 1
SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA AS RECORDED IN PLAT BOOK 16 AT PAGE 51 OF THE
PUBLIC RECORDS OF SAID COUNTY.

GENERAL NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT"
RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO
REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT"
CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION.
THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWING MUST BE SIGNED, SEALED AND
DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS
SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISION FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT
PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY
RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING
CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE,
IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION
ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL
STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE
EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND
MULCH, HYDROSEED AND/OR SOD.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL
STORMWATER TO RETENTION/DETENTION PONDS.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT,
AND STABILIZED RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS
HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWING DURING CONSTRUCTION WHICH SHOW "AS-BUILT"
CONSTRUCTION OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET
STRUCTURES, DIMENSIONS/ELEVATIONS, GRADING ETC. RECORD DRAWING SHALL BE PROVIDED TO THE
ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE
DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS
REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY;
1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR
TO FINAL AS-BUILT SIGN OFF FROM COUNTY.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE
STATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BE THE RESPONSIBLE AUTHORITY FOR NPDES PERMITTING. SUBMIT THE NPDES
NOI WITHIN 2 WEEKS OF RECEIVING THE NOTICE OF AWARD.
- CONTRACTOR SHALL COORDINATE WITH BUILDING INSPECTION DEPARTMENT FOR PERMIT(S) FOR ANY
RETAINING WALL HIGHER THAN 2 FEET.



PROJECT LOCATION
9229 UNIVERSITY PARKWAY
PENSACOLA, FL 32514

THE BUILDING SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	120080	12033C0315G	315	G	9/26/2006

INDEX OF DRAWING	
SHEET	DESCRIPTION
C000	COVER SHEET
C100	OVERALL PLAN
C110	EXISTING CONDITIONS, CLEARING, DEMOLITION, & EROSION CONTROL PLAN
C130	GRADING & DRAINAGE
C140	UTILITY PLAN
C145	OFFSITE FORCE MAIN
C150	TRAFFIC CONTROL & TREE MITIGATION PLAN
C500	DETAILS 1
C510	DETAILS 2
C520	DETAILS 3
C530	LIFT STATION DETAIL

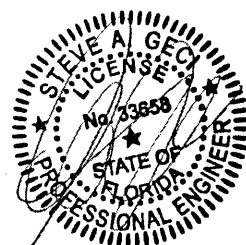
BENCHMARKS:

1393/53 -A COTTON GIN SPIKE IN THE WEST SIDE OF A POWER POLE LOCATED 701'+/- NORTH OF
THE NORTH RIGHT OF WAY OF HIGHWAY #90 AND 51'+/- EAST OF THE CENTERLINE OF UNIVERSITY
PARKWAY, AT THE ENTRANCE TO BAPTIST MEDICAL CENTER.
ELEVATION = 55.75'

1393/52B -AN "X" IN THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED 221'+/- NORTH OF
THE NORTH RIGHT OF WAY OF HIGHWAY #90 AND 57'+/- EAST OF THE CENTERLINE OF UNIVERSITY
PARKWAY.
ELEVATION = 58.17'

1549/37 -THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED 285'+/- WEST OF WEST RIGHT OF
WAY OF UNIVERSITY PARKWAY AND 80'+/- SOUTH OF THE MOST SOUTHEAST BUILDING CORNER OF THE
PUBIX STORE AT UNIVERSITY TOWN CENTER.
ELEVATION = 70.10'

1549/37A -AN "X" IN THE SOUTHWEST CORNER OF THE CONCRETE STORM STRUCTURE LOCATED
570'+/- WEST OF WEST RIGHT OF WAY OF UNIVERSITY PARKWAY AND 100'+/- SOUTHWEST OF THE
SOUTHWEST BUILDING CORNER OF THE PUBIX STORE AT UNIVERSITY TOWN CENTER.
ELEVATION = 64.53'



Digitally signed
by S Geci
Date: 2021.10.05
14:37:58 -05'00'

APPR.	DATE	REVISION	NO.	1	2	3	4	5

PROJECT NO.	32101	SHEET NO.	C000
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10/5/21

COVER SHEET

PAVING & STORM DRAINAGE PLANS

NOT RELEASED FOR CONSTRUCTION

SCALE: AS SHOWN

DESIGNED: CAG

DRAWN: KFD

CHECKED: SAG

DATE: 10/05/21

GECEI & ASSOCIATES, INC.

ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503

Phone (850) 432-2929 - Fax (850) 432-2875

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

E-Mail: geci@geceiengineering.com

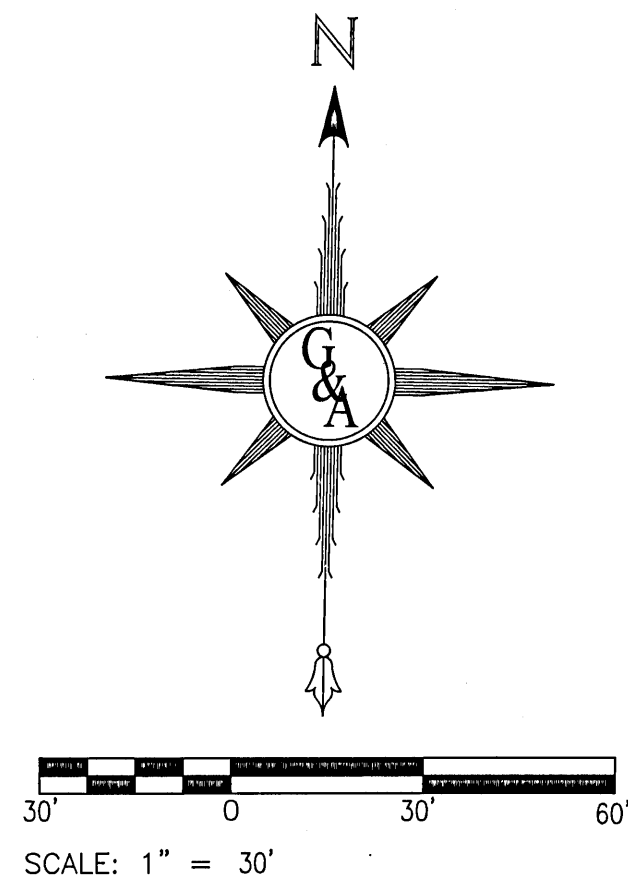
STEVE A. GECEI

FLORIDA PROFESSIONAL ENGINEER

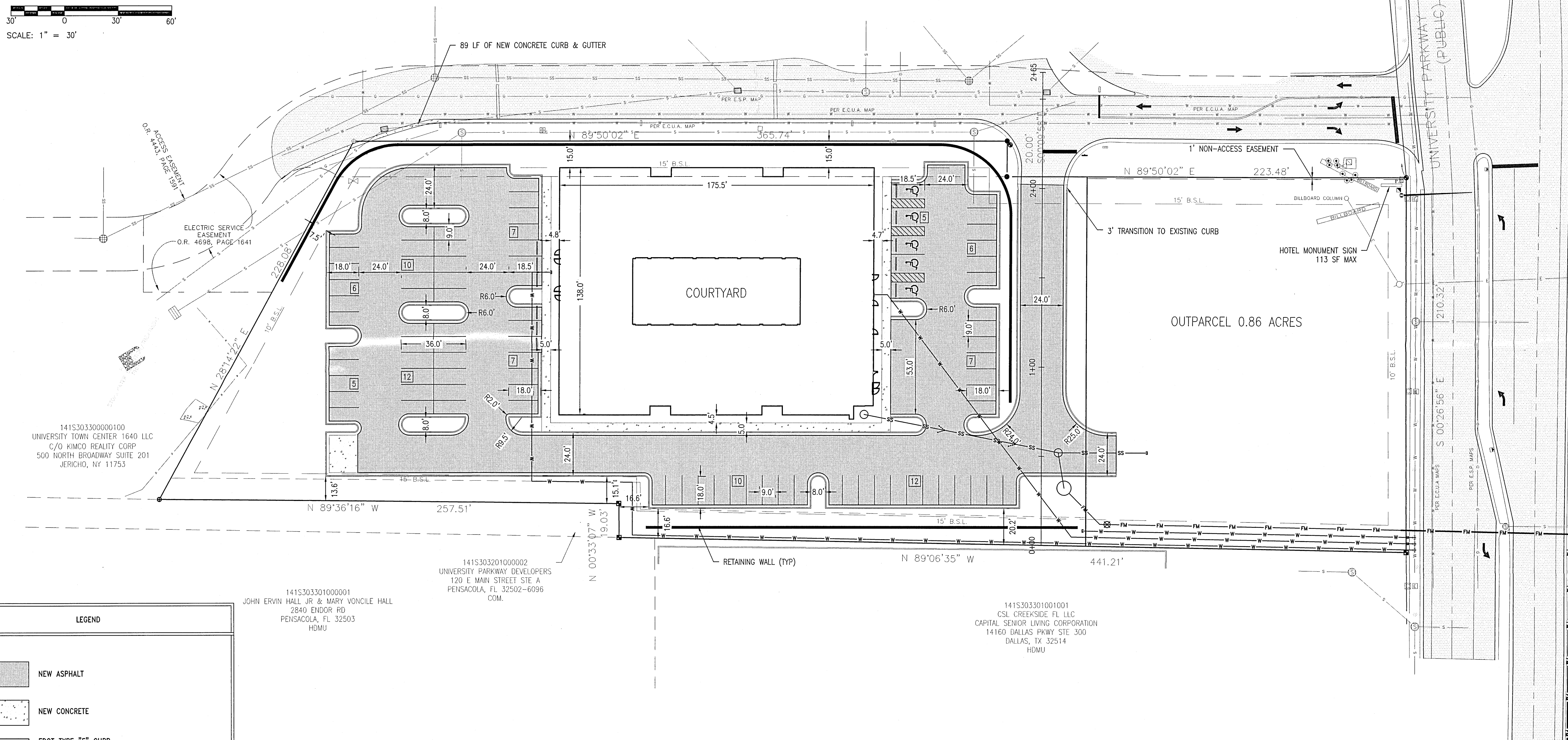
No. 33658

STATE OF FLORIDA

EXPIRATION DATE 12/31/2024



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.



141S303300000100
UNIVERSITY TOWN CENTER 1640 LLC
C/O KIMCO REALTY CORP
500 NORTH BROADWAY SUITE 201
JERICHO, NY 11753

141S303301000001
JOHN ERVIN HALL JR & MARY VONCILE HALL
2840 ENDOR RD
PENSACOLA, FL 32503
HDMU

141S303201000002
UNIVERSITY PARKWAY DEVELOPERS
120 E MAIN STREET SITE A
PENSACOLA, FL 32502-6096
COM.

141S303301001001
CSL CREEKSIDE FL LLC
CAPITAL SENIOR LIVING CORPORATION
14160 DALLAS PKWY STE 300
DALLAS, TX 32514
HDMU

LEGEND

- NEW ASPHALT
- NEW CONCRETE
- FDOT TYPE "F" CURB

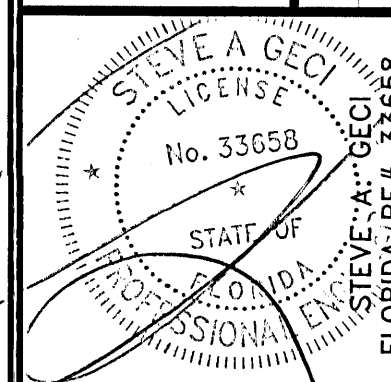
NOTES

- CURRENT OWNER: UNIVERSITY SITE, LLC
- PROPERTY REFERENCE NUMBER: 141S303300000090
- PROPOSED USE: 3 STORY 87 ROOM HOTEL, WITHOUT RESTAURANT OR MEETING ROOMS
- PROJECT ADDRESS: 9229 UNIVERSITY PKWY, PENSACOLA, FL 32514
- TOTAL PARCEL AREA: 3.13 AC
- SITE AREA: 2.27 AC
- OUTPARCEL AREA: 0.86 AC
- ZONING: COMMERCIAL
- FLU: MIXED USE-URBAN
- BUILDING SETBACK LINE (BSL) REQUIREMENTS: FRONT & REAR = 15' SIDE = 10'
- PARKING REQUIRED: 87 SPACES
- PARKING PROVIDED: 87 SPACES

LOT COVERAGE:

- TOTAL SITE = 2.27 AC = 98,954 SF
- EXISTING IMPERVIOUS AREA = 1,229 SF
- NEW IMPERVIOUS AREA = 70,418 SF
- IMPERVIOUS COVERAGE OF SITE = 71%

GEI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 452-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gei@geiassociates.com



STAY APT SUITES

OVERALL PLAN

PAVING & STORM DRAINAGE PLANS

PROJECT NO. 32101 SHEET NO. C100

NO.	REVISION	DATE	APPR.
1			
2			
3			
4			
5			

DATE: 10/05/21

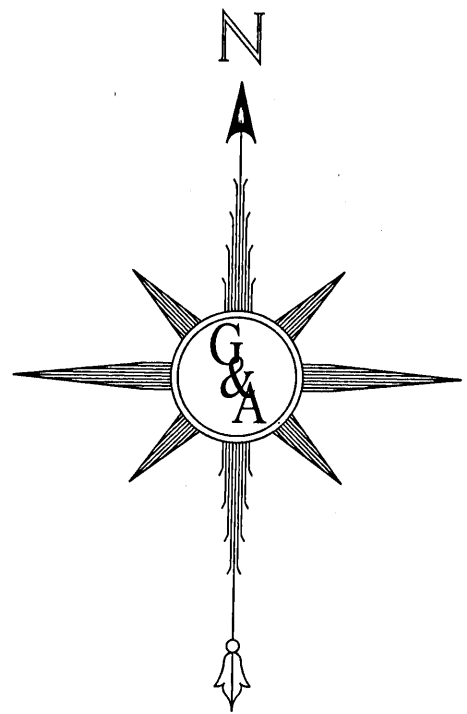
CHECKED: SAG

DRAWN: KRD

DESIGNED: CAG

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION



SCALE: 1" = 30'

LEGEND

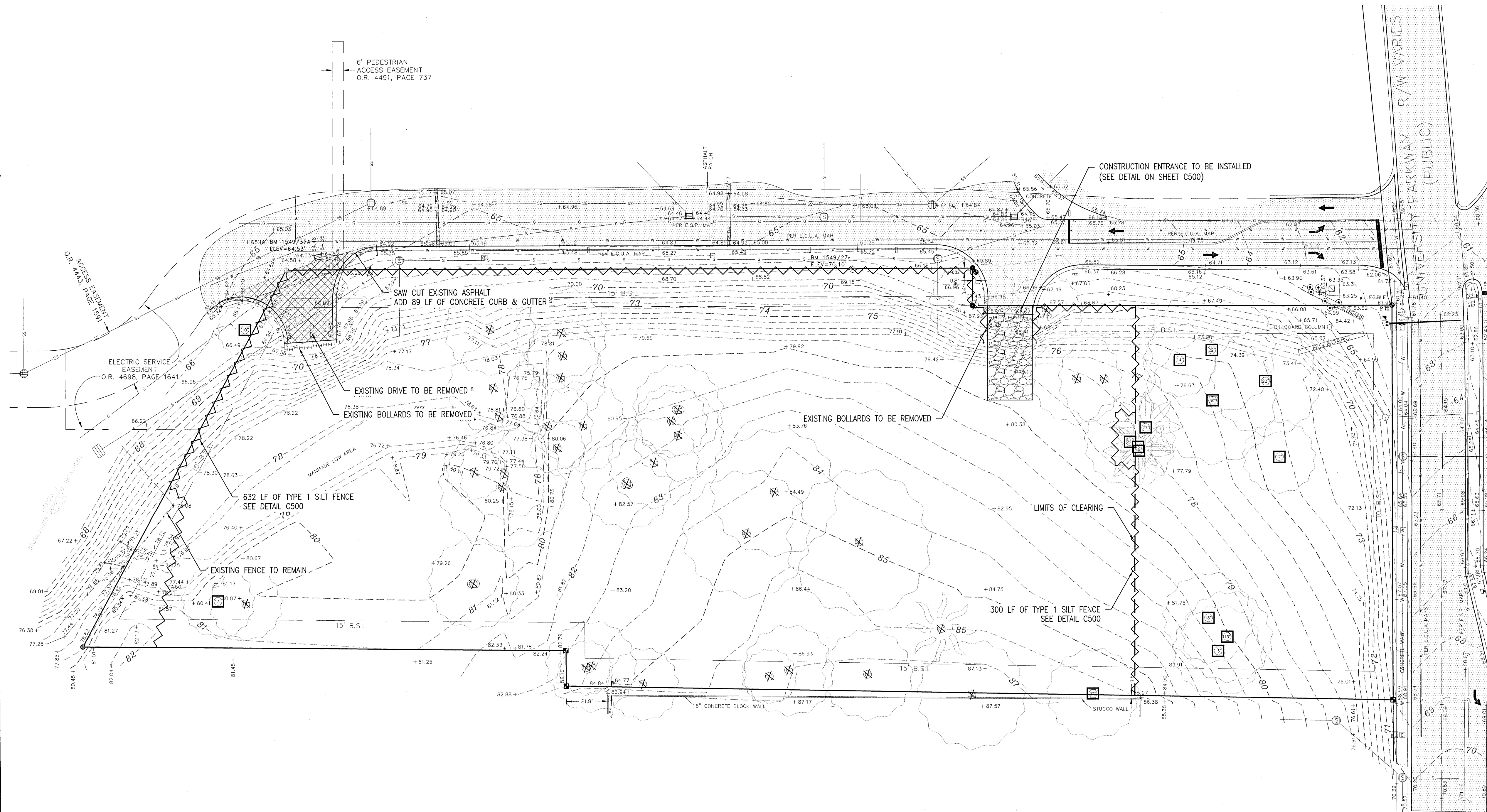
- EXISTING CONCRETE, GRAVEL, & STRUCTURES TO BE REMOVED
- CONSTRUCTION ENTRANCE
- TYPE 1 SILT FENCE
- TREE TO BE REMOVED
- TREE TO BE PROTECTED

NOTES

- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE ACTIVITIES AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
- THIS DRAWING DOES NOT CERTIFY THE EXISTING CONDITIONS SHOWN HEREON. SURVEY INFORMATION HAS BEEN PROVIDED BY PITTMAN, GLAZE AND ASSOCIATES, INC.
- EXISTING CONDITIONS SHOULD BE VERIFIED BY THE MOST RECENT SURVEY INFORMATION AND FIELD VERIFIED FOR ACCURACY.
- ALL DISTURBED AREAS TO BE SEEDED OR SODDED.
- EROSION CONTROL MEASURES SHALL STAY IN PLACE AND SHALL BE IN GOOD CONDITION UNTIL THE SITE IS STABILIZED.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES. ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVING GRADES.
- PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED.
- NO GRADING OR CLEARING BY HEAVY EQUIPMENT CAN TAKE PLACE WITHIN THE 50% DRIPLINE AREA AS MARKED OFF AND SCREENED FOR ALL TREES TO BE PROTECTED ON THIS SITE.
- IF A SITE INSPECTION REVEALS ROOT DAMAGE WITHIN THE 50% DRIPLINE HAS OCCURRED TO THE PROTECTED TREE, REMOVAL AND MITIGATION FOR THE TREE WILL BE REQUIRED.
- REMOVAL OF ANY EXISTING CURBS AND SIDEWALK SHALL BE SAWCUT TO THE NEAREST JOINT.
- NO GRADING, FILLING, REMOVAL OF TREES, OR OTHER LAND DISTURBANCE ACTIVITIES SHALL COMMENCE UNTIL ALL NECESSARY PERMITS ARE ISSUED BY ESCAMBA COUNTY FOR THE PROPOSED SITE WORK.

SURVEY LEGEND:

- | | | | |
|------|-------------------------------------|----------|---------------------|
| BM | BENCHMARK | H | GUARD POST |
| ELEV | ELEVATION | +56.78 | SPOT ELEVATION |
| INV | INVERT | ---56--- | CONTOUR LINE |
| CP | CONCRETE PIPE | —C— | CHAIN LINK FENCE |
| CPP | CORRUGATED PLASTIC PIPE | —C— | CABLE LINE |
| R/W | RIGHT OF WAY | —E— | ELECTRIC LINE |
| P.I. | POINT OF INTERSECTION | —G— | GAS LINE |
| ● | 1/2" CAPPED IRON ROD FOUND #NOTED | —S— | SANITARY SEWER LINE |
| ■ | 4"x4" CONCRETE MONUMENT FOUND #3758 | —S— | STORM SEWER LINE |
| ✕ | "X" CUT IN CONCRETE | —T— | TELEPHONE LINE |
| ⊕ | NAIL AND DISK SET #7073 | —W— | WATER LINE |
| ⊕ | FIRE HYDRANT | ○ | OAK TREE |
| ⊕ | SANITARY SEWER MANHOLE | ✱ | MAGNOLIA TREE |
| ⊕ | STORM SEWER MANHOLE | ✱ | PECAN TREE |
| ⊕ | WATER VALVE | ○ | MISCELLANEOUS TREE |
| ⊕ | WATER METER | | |
| ⊕ | SPRINKLER CONTROL VALVE | | |
| ⊕ | BACKFLOW PREVENTOR | | |
| ⊕ | LIGHT POLE WITH BASE | | |
| ⊕ | TRAFFIC LIGHT POLE | | |
| ⊕ | TRAFFIC SIGNAL BOX | | |
| ⊕ | TRAFFIC CONTROL BOX | | |
| ⊕ | STORM INLET | | |



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

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ENGINEER
GECI & ASSOCIATES, INC.

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432 2875
E-Mail: geci@geciengineering.com
CERTIFICATE OF AUTHORIZATION NUMBER 00005149



STEVE A. GECI
No. 33551
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FLORIDA P.E.# 33551

STAY APT SUITES

EXISTING CONDITIONS, CLEARING, DEMOLITION, &
EROSION CONTROL PLAN
PAVING & STORM DRAINAGE PLANS

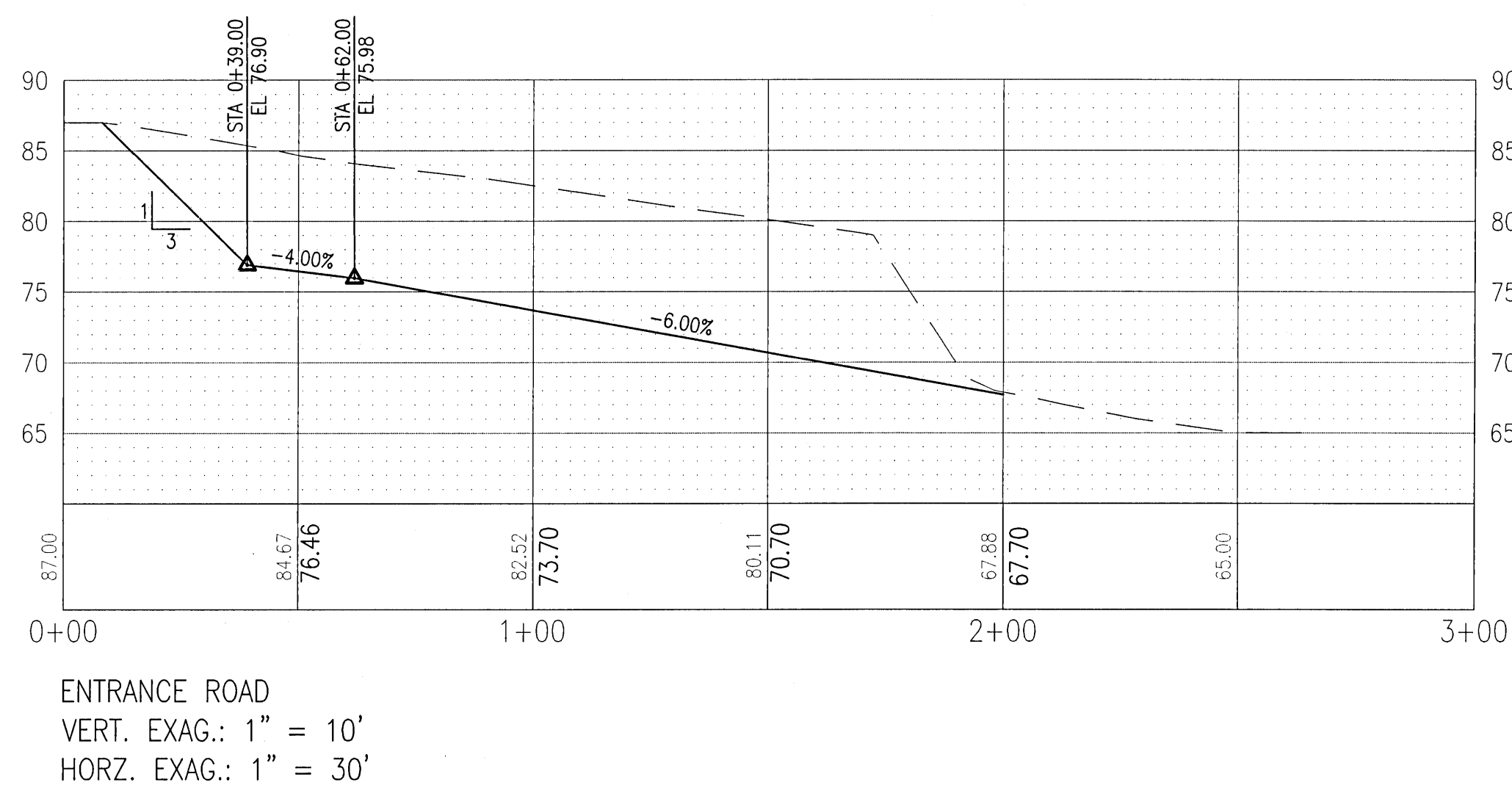
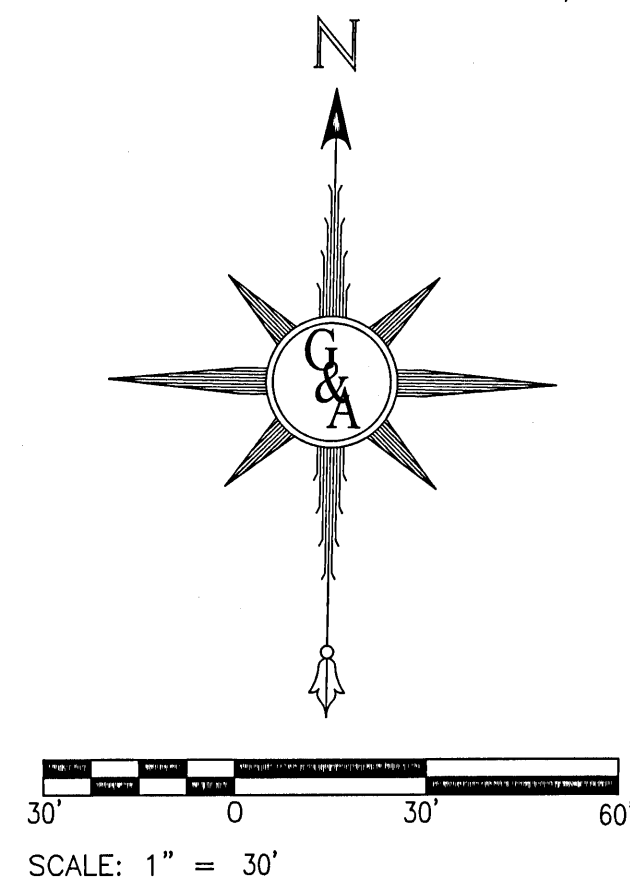
PROJECT NO. 32101 SHEET NO. C110

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REVISION

DATE APPR.

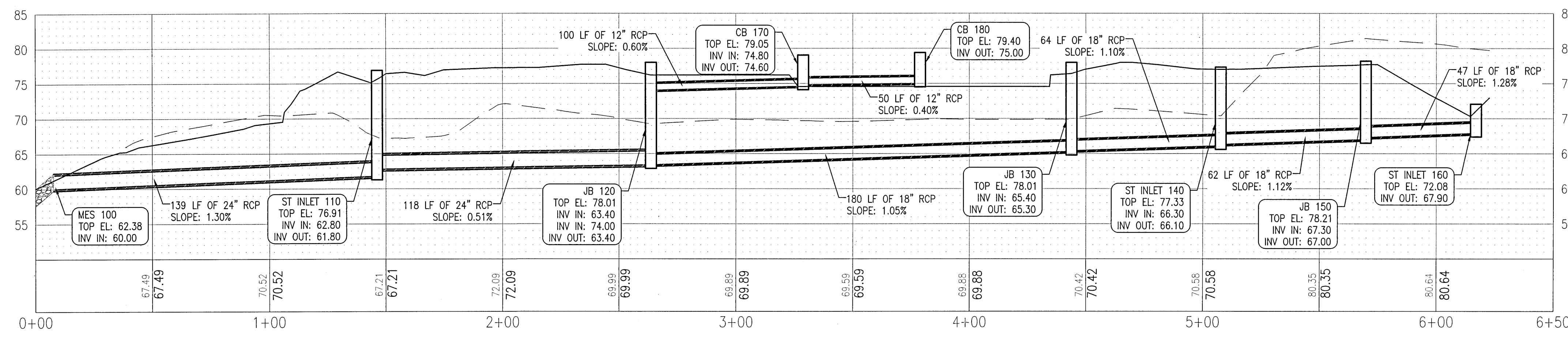
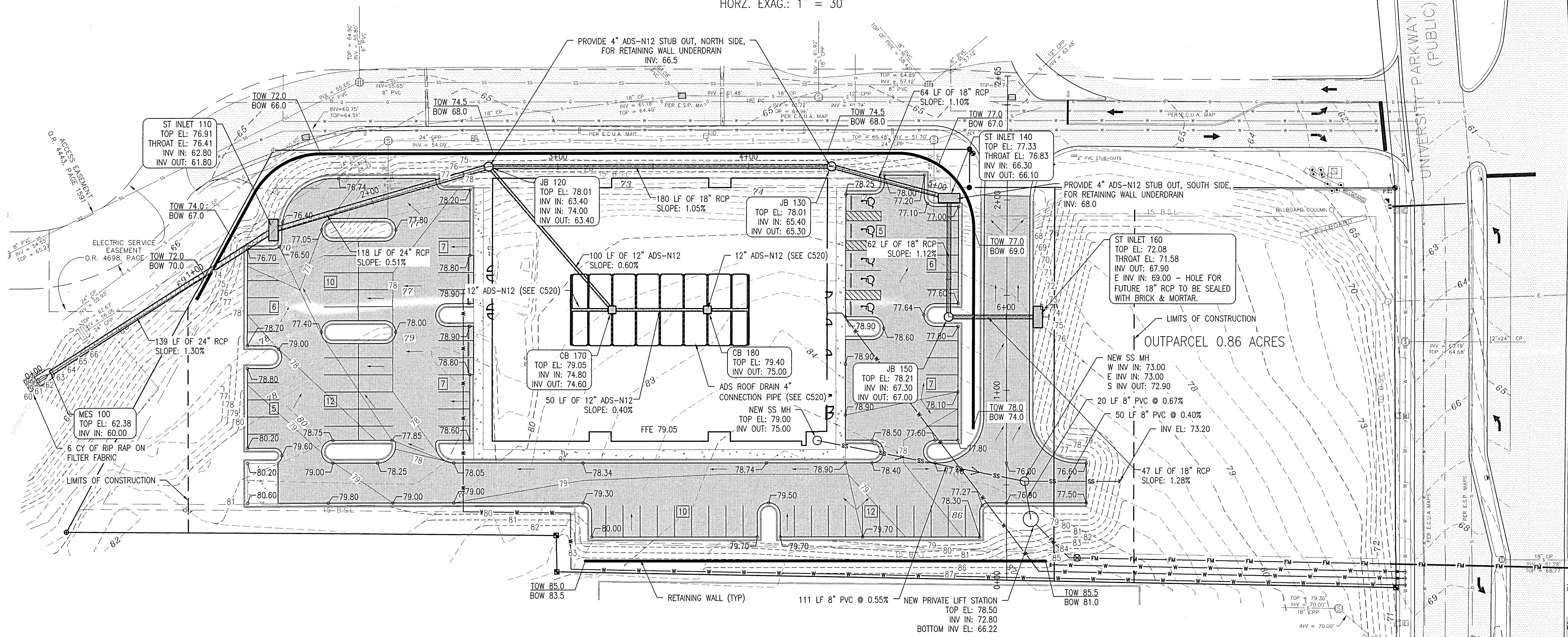
NOT RELEASED FOR CONSTRUCTION



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R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

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NOTE: CORE DRILL MH AND INSERT NEW LATERAL. CONSTRUCT INSIDE DROP AND SECURELY FASTEN TO INSIDE WALL OF MH WITH STAINLESS STEEL CLAMPS OR PIPE HANGERS. EXTEND TO THE INVERT OF THE MH WITH 45 DEGREE BEND INSTALLED TO DIRECT FLOW DOWNSTREAM.



STORM WATER
VERT. EXAG.: 1" = 10'
HORIZ. EXAG.: 1" = 30'

REVISION		NO.		DATE	
1		1			
2		2			
3		3			
4		4			
5		5			

PROJECT NO. 32101 SHEET NO. C130

STAY APT SUITES
GRADING & DRAINAGE PLAN
PAVING & STORM DRAINAGE PLANS

NOT RELEASED FOR CONSTRUCTION

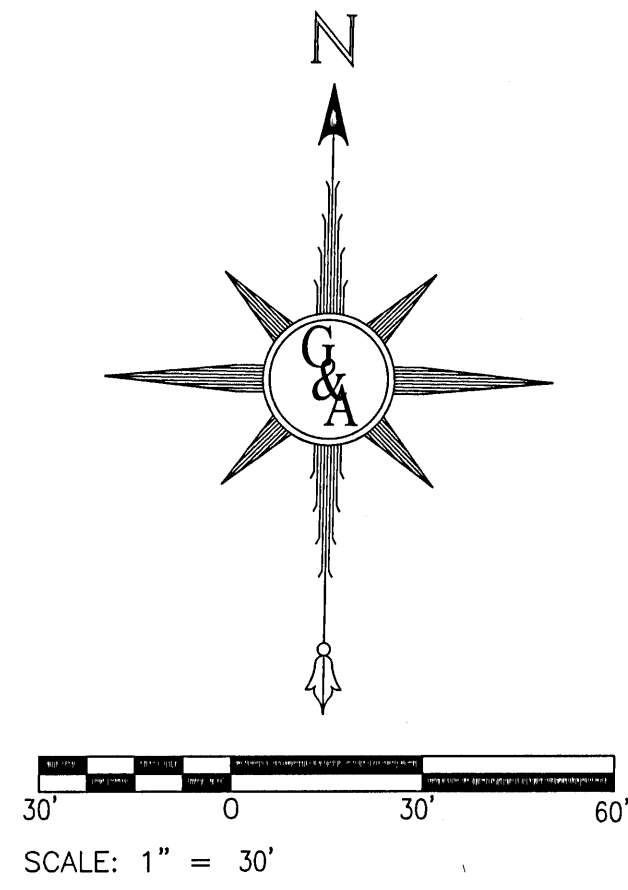
SCALE: AS SHOWN DESIGNED: CAG DRAWN: KPD CHECKED: SAG DATE: 10/05/21

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
Email: geci@geciassociates.com

GECI & ASSOCIATES, INC.
ENGINEERS

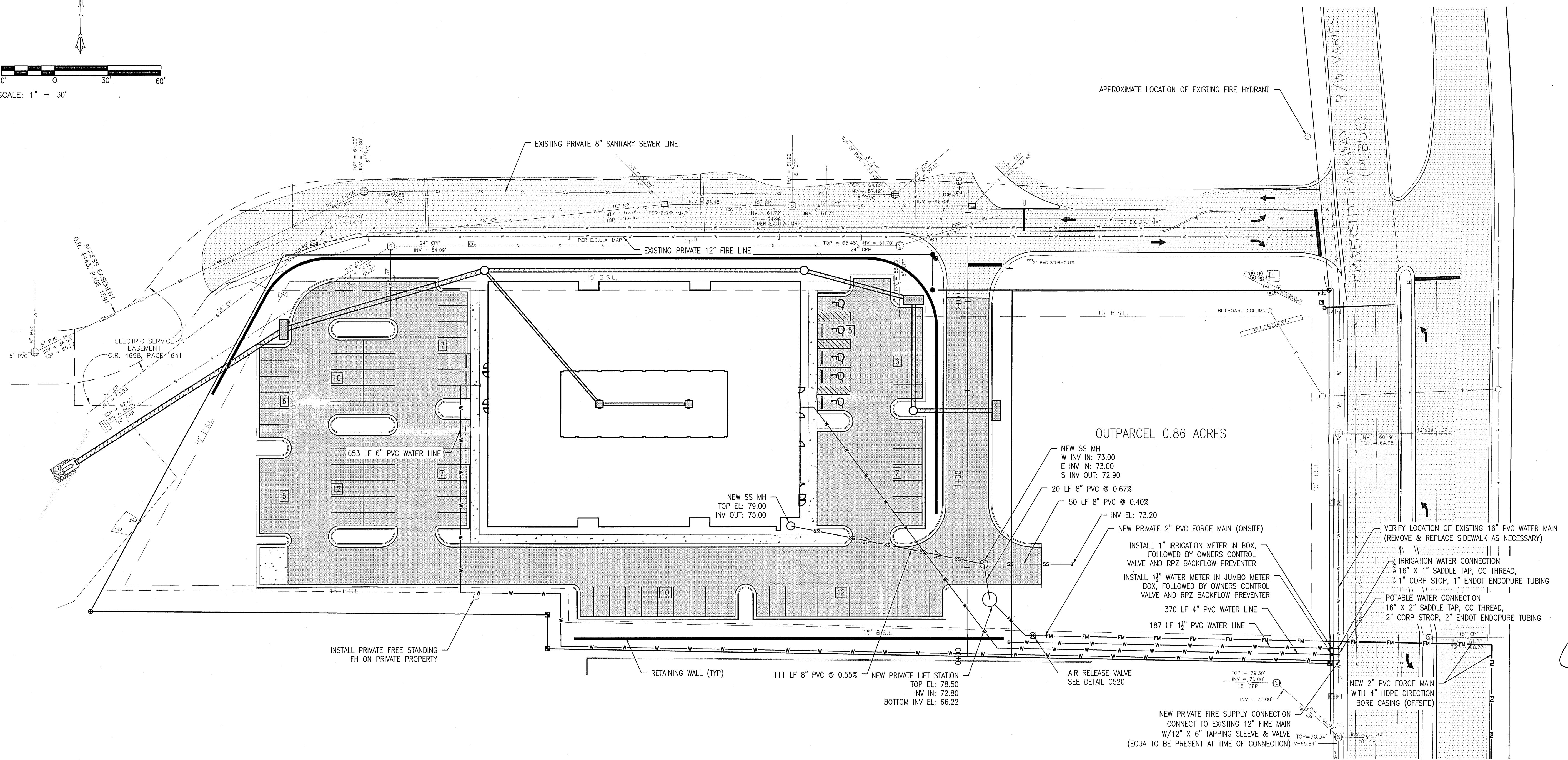
STEVE A. GECI
FLORIDA PROFESSIONAL ENGINEER
No. 33658
STATE OF FLORIDA
EXPIRATION DATE 12/31/2024



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

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REVISION		NO.		DATE	
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NOT RELEASED FOR CONSTRUCTION

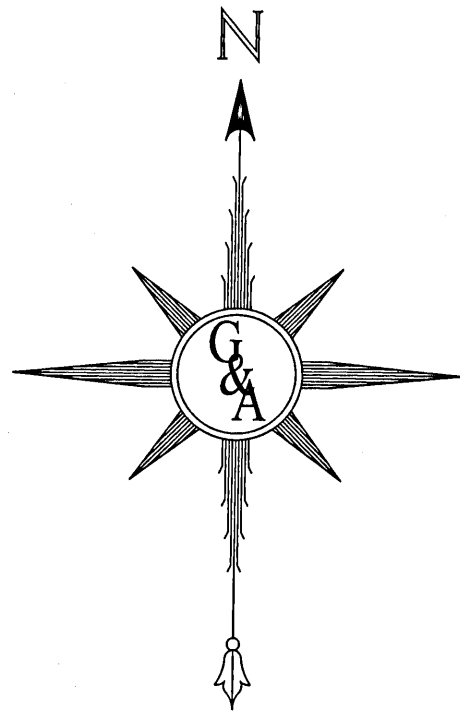
GEI & ASSOCIATES, INC.
ENGINEERS
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Phone (850) 432-2929 - Fax (850) 432-2875
B-Mail: gei@geiassociates.com

STEVE A. GECI
FLORIDA PROFESSIONAL ENGINEER
No. 33658

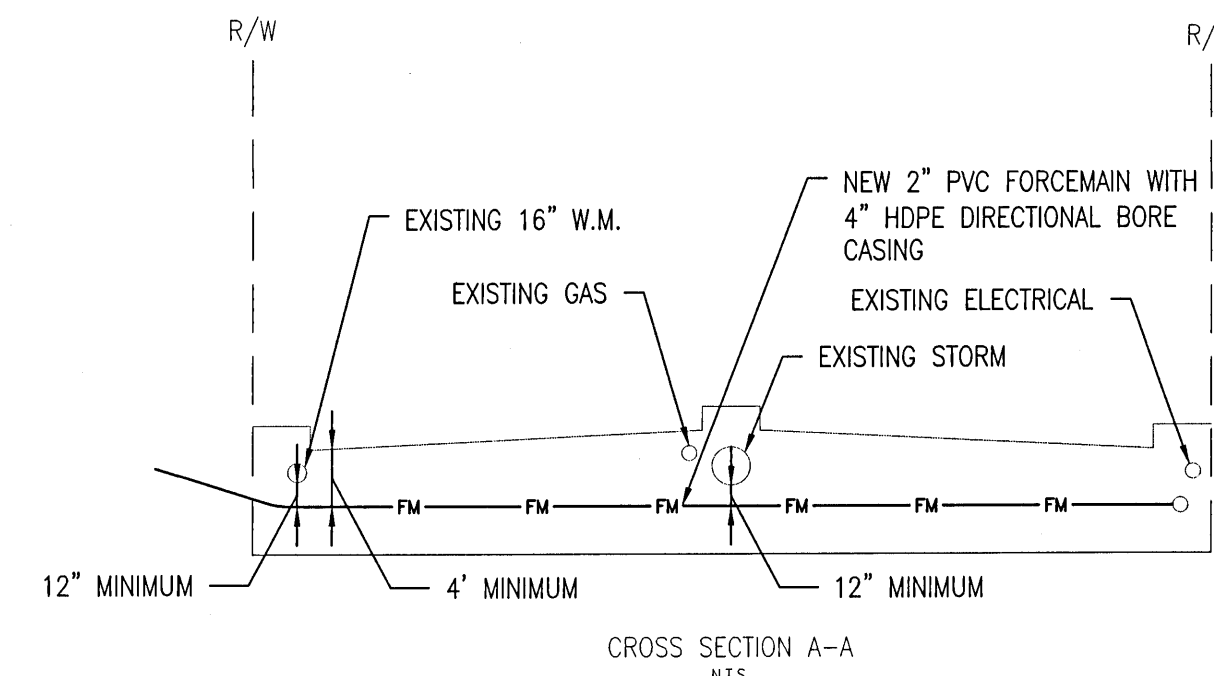
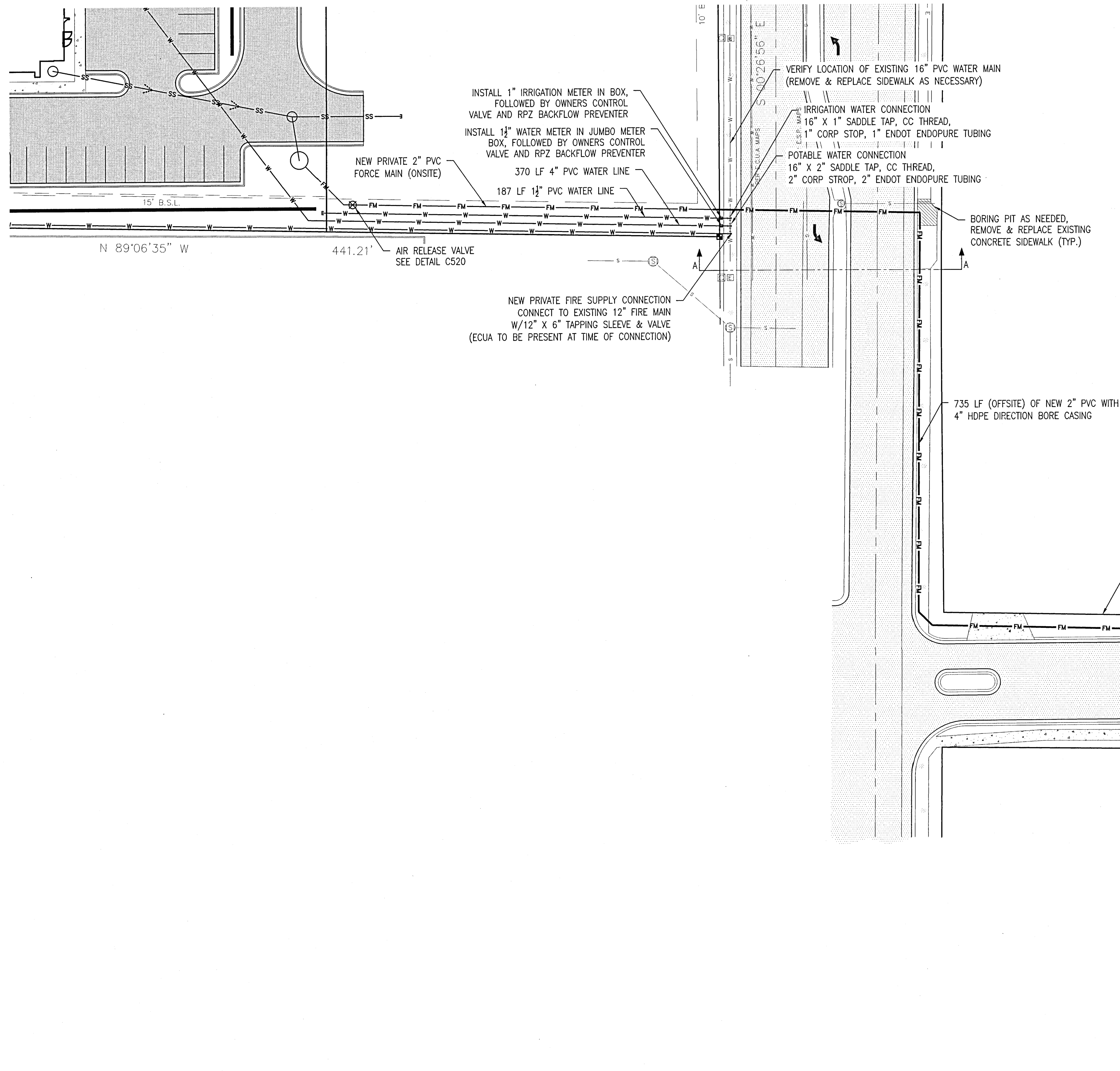
UTILITY PLAN
PAVING & STORM DRAINAGE PLANS

PROJECT NO. 32101 SHEET NO. C140

SCALE: AS SHOWN
DESIGNED: CAG
DRAWN: KRD
CHECKED: SAG
DATE: 10/05/21



30' 0 30' 60'
SCALE: 1" = 30'



NOTE: ALL OFFSITE FORCE MAIN TO BE 2" HDPE DIRECTIONAL BORE

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.

REVISION		DATE	APPR.
NO.	1		
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	4		
	5		

GEI & ASSOCIATES, INC.
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CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE: AS SHOWN

DESIGNED: CAG

DRAWN: KRD

CHECKED: SAG

DATE: 10/05/21

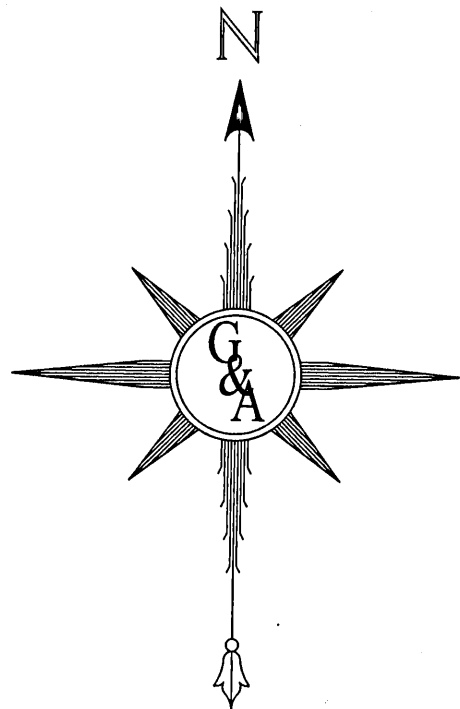
NOT RELEASED FOR CONSTRUCTION

STAY APT SUITES

OFFSITE FORCE MAIN

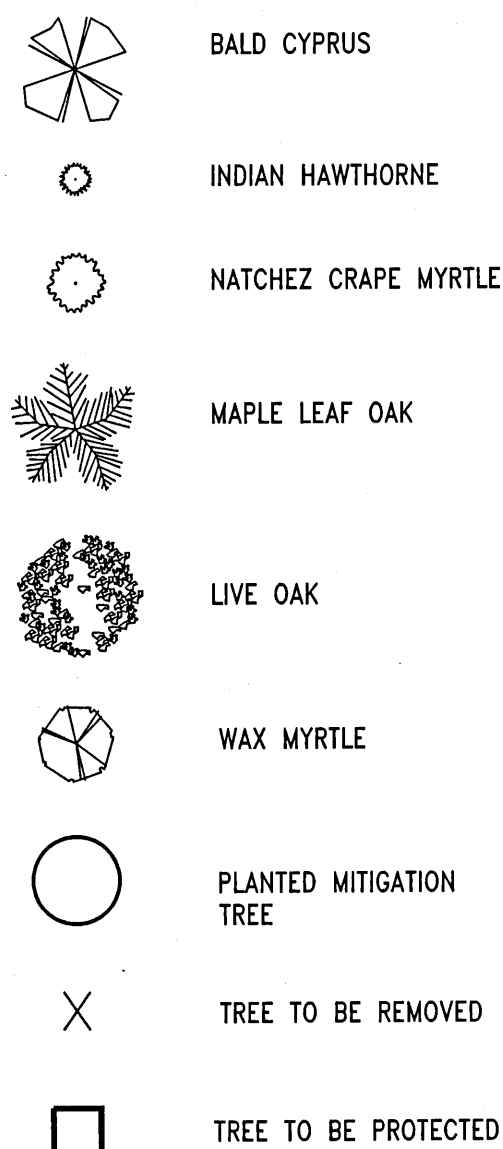
PAVING & STORM DRAINAGE PLANS

PROJECT NO.	32101
SHEET NO.	C145



30' 0 30' 60'
SCALE: 1" = 30'

NEW PLANTING LEGEND



NOTES

- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA, A COPY OF WHICH SHALL BE MAINTAINED FOR PUBLIC INSPECTION IN THE DEPARTMENT OF LEISURE SERVICES.
- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE. ACTIVITIES AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
- ALL DISTURBED AREAS TO BE STABILIZED WITH SOD UNLESS OTHERWISE NOTED. ALL SLOPES 4:1 AND GREATER TO BE SOD & PINNED. PLANTING SOD SHALL BE IN ACCORDANCE WITH FDOT SECTION 570-3.3 AND 981-3.1. SEE SHEET C500 FOR THE TREE INSTALLATION AND TREE PROTECTION DETAIL.
- PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED.
- TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL AT PLANTING.
- THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE: NUMBER OF NEW TREE PLANTED ON SITE: 55; MAXIMUM PERCENTAGE OF ANY ONE SPECIES PLANTED IS 30%.
- ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR AS LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- MINIMUM TREE SPACING: EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE.
- THE CRITICAL ROOT ZONE (CRZ) OF TREES SHOWN TO BE PRESERVED ONSITE SHALL REMAIN SUBSTANTIALLY UNDISTURBED. ALL LAND DISTURBANCE ACTIVITIES, ENCROACHMENTS FROM SITE WORK, OR IMPROVEMENTS SHALL AT NO TIME EXCEED 50% OF THE TREES' CRZS. IN ADDITION, NO MORE THAN 25 PERCENT OF THE TREES' CANOPIES SHALL BE REMOVED AND ANY PRUNING, IF NECESSARY, SHALL BE PERFORMED ACCORDING TO ANSI STANDARDS.

TREE TABLE

TREE #	SIZE (in)	TYPE	STATUS/INFO	MITIGATION INCHES
T1	12.0"	OAK	REMOVE	6.0
T2	10.0"	OAK	PROTECT	
T3	13.0"	OAK	PROTECT	
T4	12.0"	OAK	REMOVE	6.0
T5	12.0"	OAK	REMOVE	6.0
T6	14.0"	OAK	REMOVE	7.0
T7	13.0"	OAK	REMOVE	6.5
T8	18.0"	OAK	REMOVE	9.0
T9	16.0"	OAK	REMOVE	8.0
T10	13.0"	OAK	REMOVE	6.5
T11	33.0"	OAK	REMOVE	16.5

T12	27.0"	OAK	PROTECT	
T13	14.0"	OAK	PROTECT	
T14	14.0"	OAK	PROTECT	
T15	18.0"	OAK	PROTECT	
T19	12.0"	OAK	PROTECT	
T23	15.0"	MAGNOLIA	PROTECT	
T24	13.0"	MAGNOLIA	PROTECT	
T25	24.0"	MAGNOLIA	PROTECT	
T26	27.0"	MAGNOLIA	PROTECT	
T27	39.0"	OAK	PROTECT	
T28	22.0"	OAK	PROTECT	
T29	22.0"	OAK	PROTECT	
T30	14.0"	OAK	PROTECT	

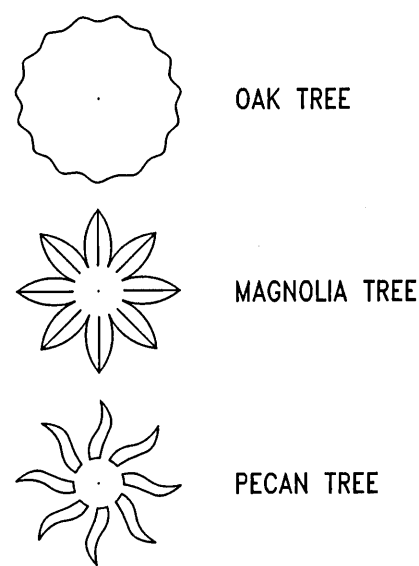
T31	31.0"	OAK	REMOVE	15.5
T32	22.0"	OAK	REMOVE	11.0
T33	10.0"	OAK	REMOVE	5.0
T34	11.0"	OAK	REMOVE	5.5
T35	21.0"	PECAN	REMOVE	10.5
T36	52.0"	OAK	REMOVE	26.0
T37	40.0"	OAK	REMOVE	20.0
T38	39.0"	OAK	REMOVE	19.5
T39	26.0"	OAK	REMOVE	13.0
T40	16.0"	OAK	REMOVE	8.0
T41	20.0"	OAK	REMOVE	10.0
T42	13.0"	OAK	REMOVE	6.5
T43	27.0"	OAK	REMOVE	13.5

T44	12.0"	OAK	REMOVE	6.0
T45	13.0"	OAK	REMOVE	6.5
T46	21.0"	OAK	REMOVE	10.5
T47	18.0"	OAK	REMOVE	9.0
T48	13.0"	OAK	REMOVE	6.5
T49	17.0"	OAK	REMOVE	8.5
T50	24.0"	OAK	REMOVE	12.0
T51	21.0"	OAK	REMOVE	10.5
T52	12.0"	OAK	REMOVE	6.0
T53	12.0"	OAK	REMOVE	6.0
T54	24.0"	OAK	REMOVE	12.0
T55	14.0"	OAK	REMOVE	7.0
T56	20.0"	OAK	REMOVE	10.0

TOTAL DBH OF PROTECTED TREES REMOVED = 346.0"
TOTAL REQUIRED REPLACEMENT = 346(0.5) = 173"
TREE REPLACEMENT LIMIT: 3.13 AC X 25 IN/AC = 78.25" (MAX REQ'D)
MAX REQUIRED REPLACEMENT TREES: 78.25/2.5 = 31
TOTAL TREES SHOWN TO BE PLANTED: 55

NOTE:
SEE SHEET C110 FOR CLARITY ON TREES TO BE REMOVED.

EXISTING TREE LEGEND

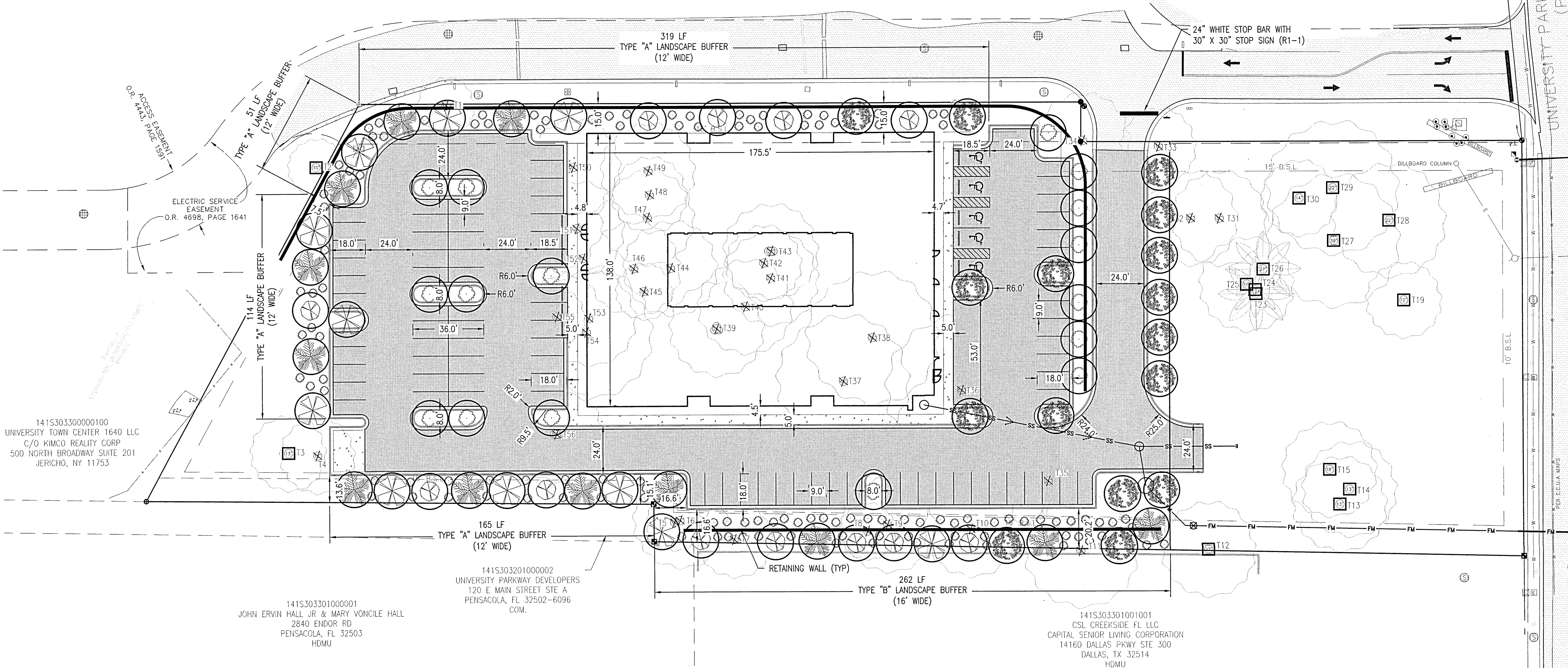


PROPOSED PLANTING

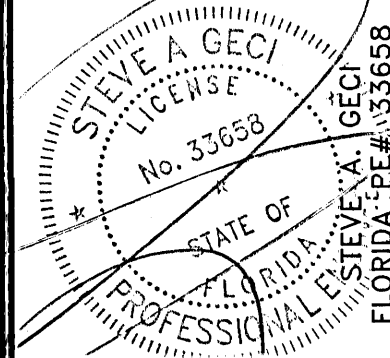
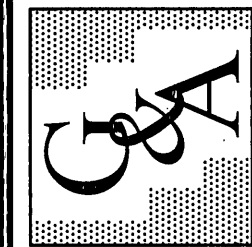
COMMON NAME	BOTANICAL NAME	QTY.	% OF TOTAL TREES	SPACING	SIZE
BALD CYPRESS	TAXODIUM DISTICHUM	11	20%	AS SHOWN	2.5" DBH
LIVE OAK	QUERCUS VIRGINIANA	16	29%	AS SHOWN	2.5" DBH
MAPLE LEAF OAK	QUERCUS ACERIFOLIA	12	22%	AS SHOWN	2.5" DBH
WAX MYRTLE	MYRICA CERIFERA	12	N/A	AS SHOWN	2.5" DBH
INDIAN HAWTHORNE	RHAPHIOLEPIS INDICA	119	N/A	AS SHOWN	12" TALL
CREPE MYRTLE	LAGERSTROEMIA	16	29%	AS SHOWN	2.5" DBH

TOTAL TREES: 55

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
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GECI & ASSOCIATES, INC.
ENGINEERS



STAY APT SUITES

TRAFFIC CONTROL & TREE MITIGATION PLAN
PAVING & STORM DRAINAGE PLANS

PROJECT NO. SHEET NO.

32101 C150

NO. 1 2 3 4 5

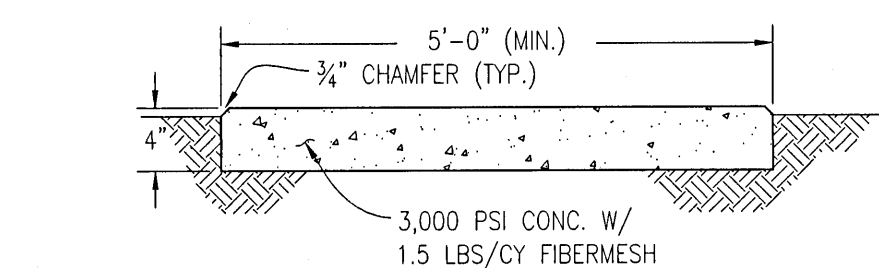
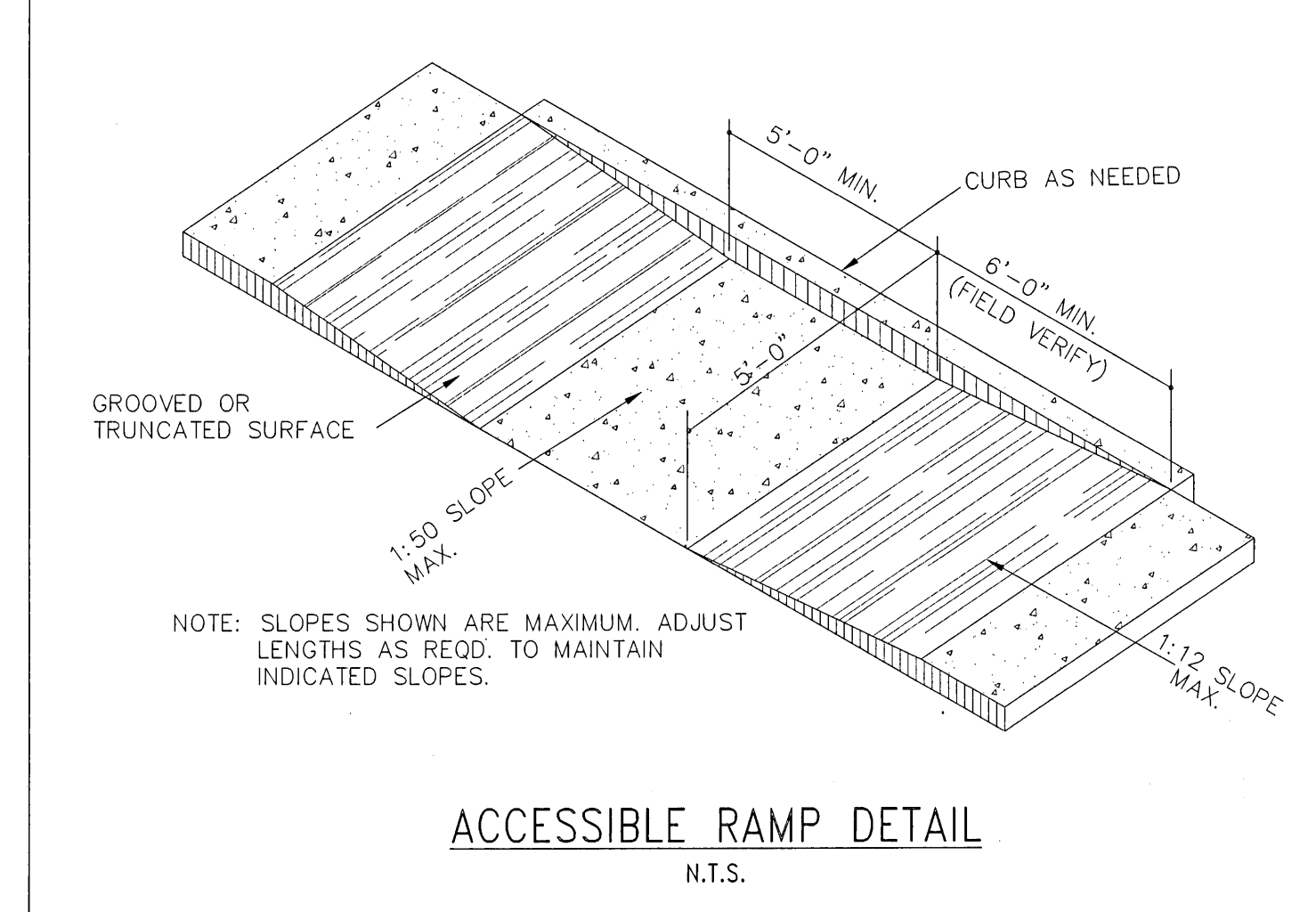
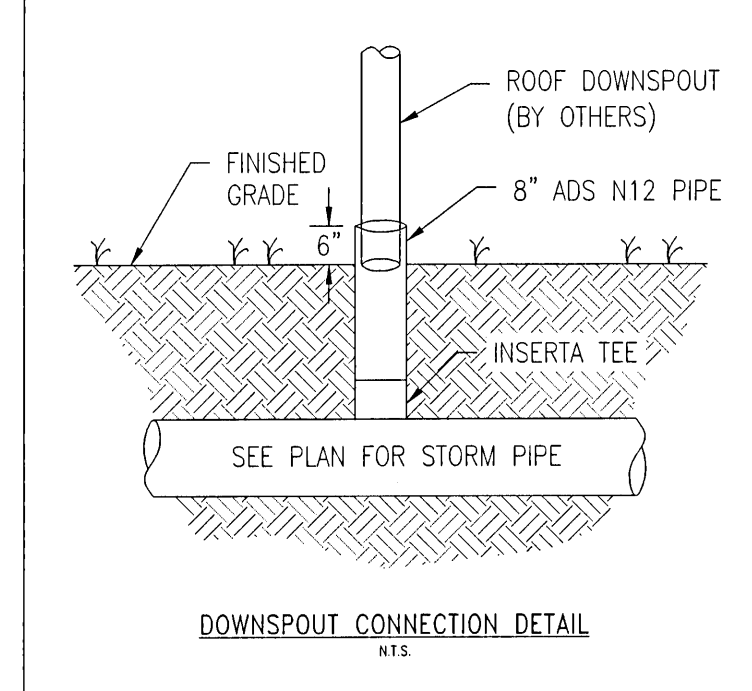
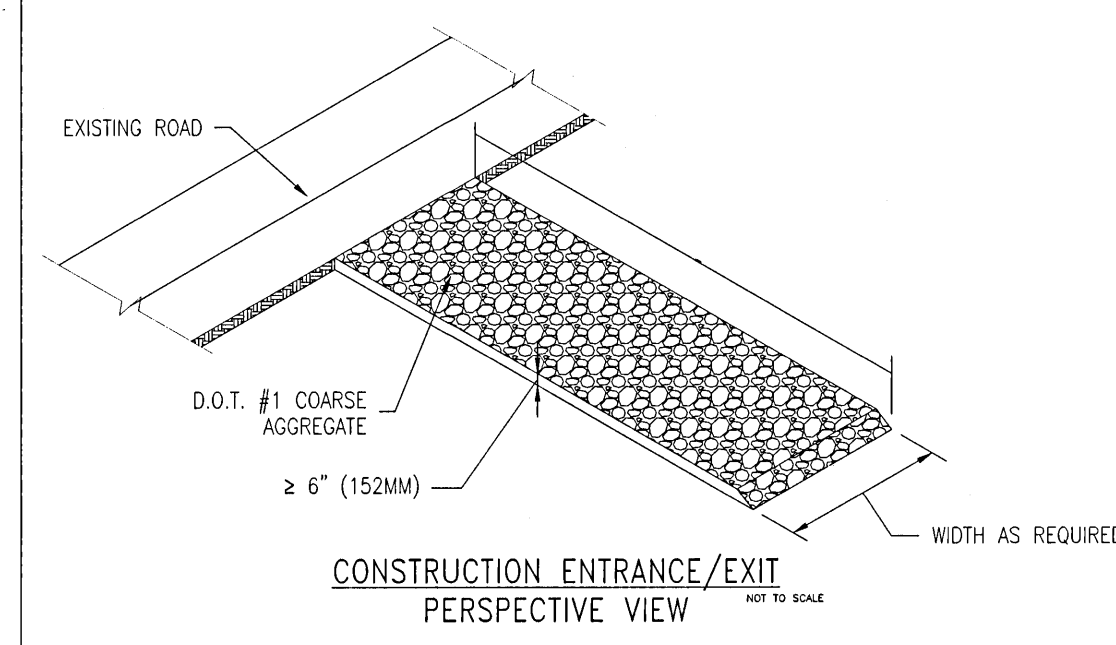
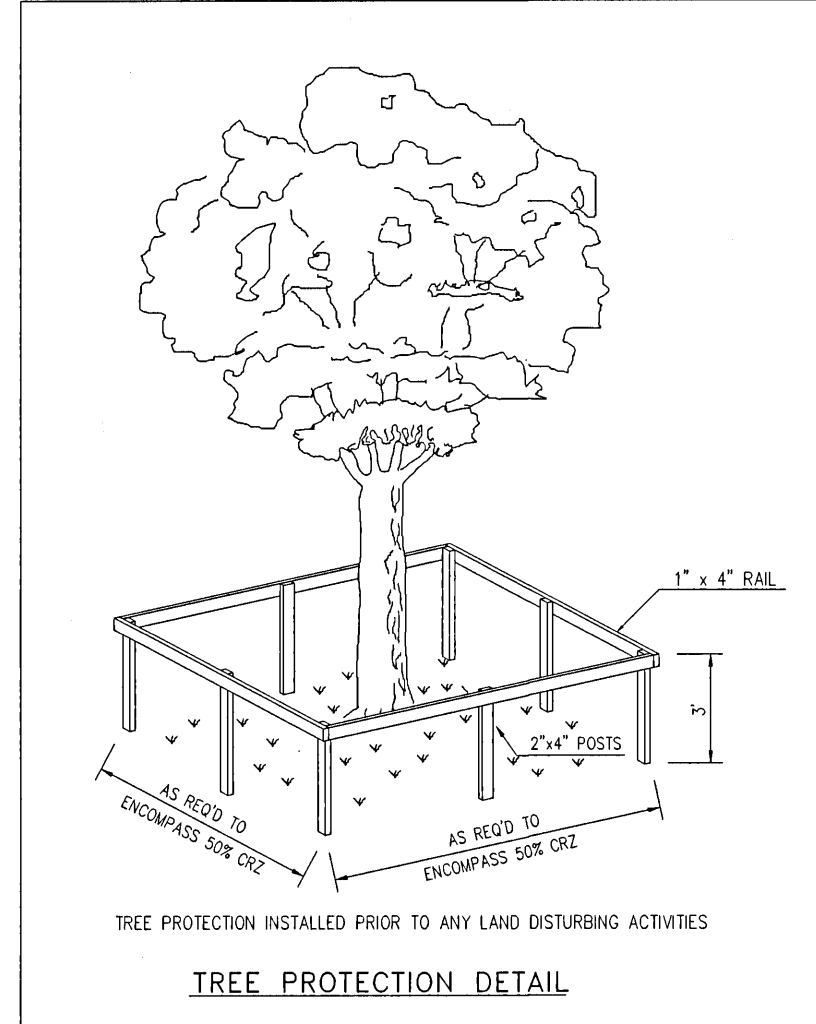
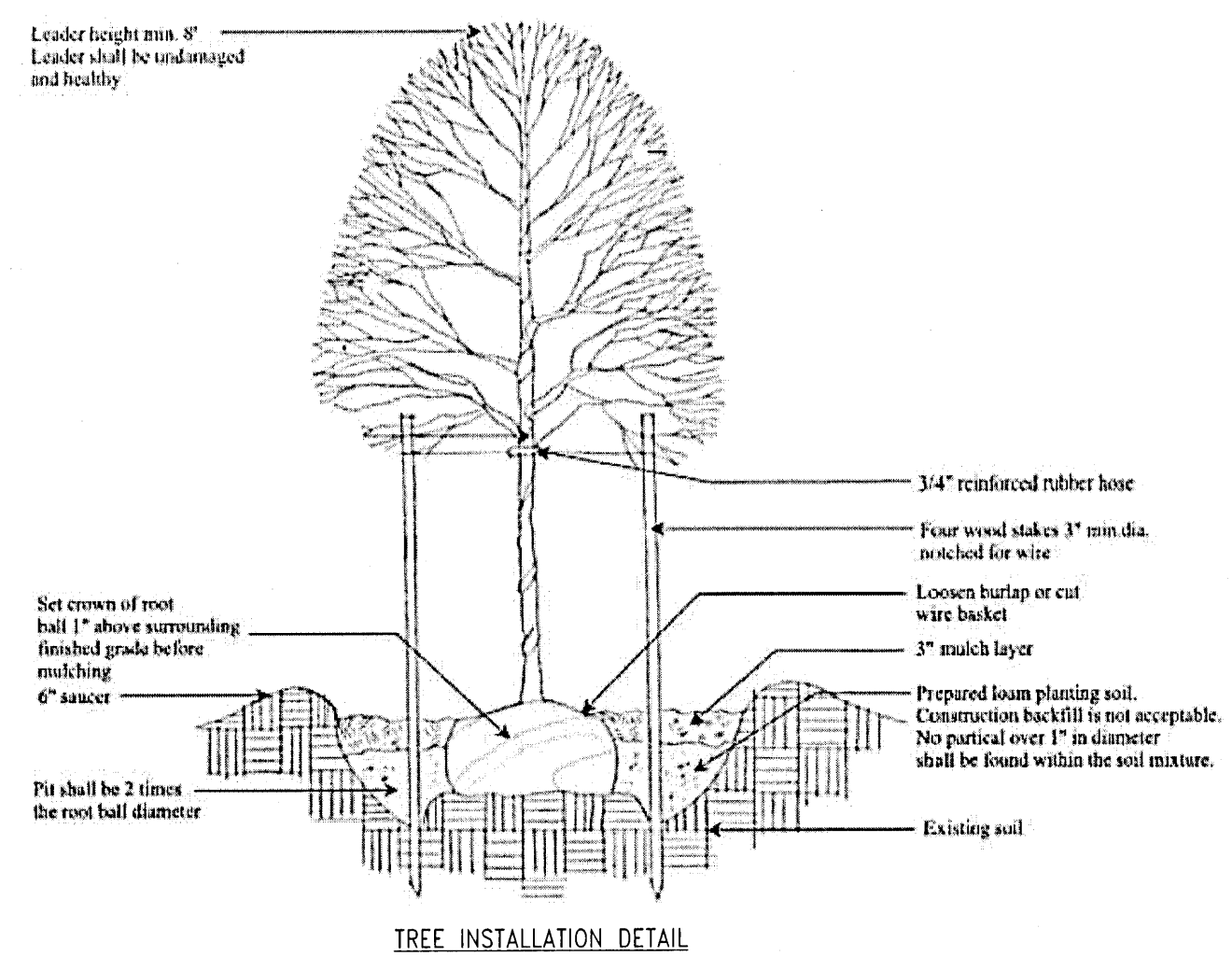
REVISION

DATE

APPR.

DATE: 10/05/21
CHECKED: SAG
DRAWN: KFD
DESIGNED: CAG
NOT RELEASED FOR CONSTRUCTION

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geciengineering.com



SIDEWALK NOTE :

ALL SIDEWALKS CONSTRUCTED IN ESCAMBIA COUNTY SHALL MEET THE FOLLOWING REQUIREMENTS:

A. THE CONCRETE SHALL HAVE A MINIMUM STRENGTH OF THREE THOUSAND (3,000) POUNDS PER SQUARE INCH (PSI).

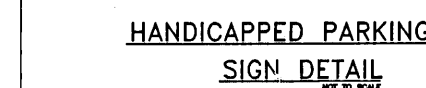
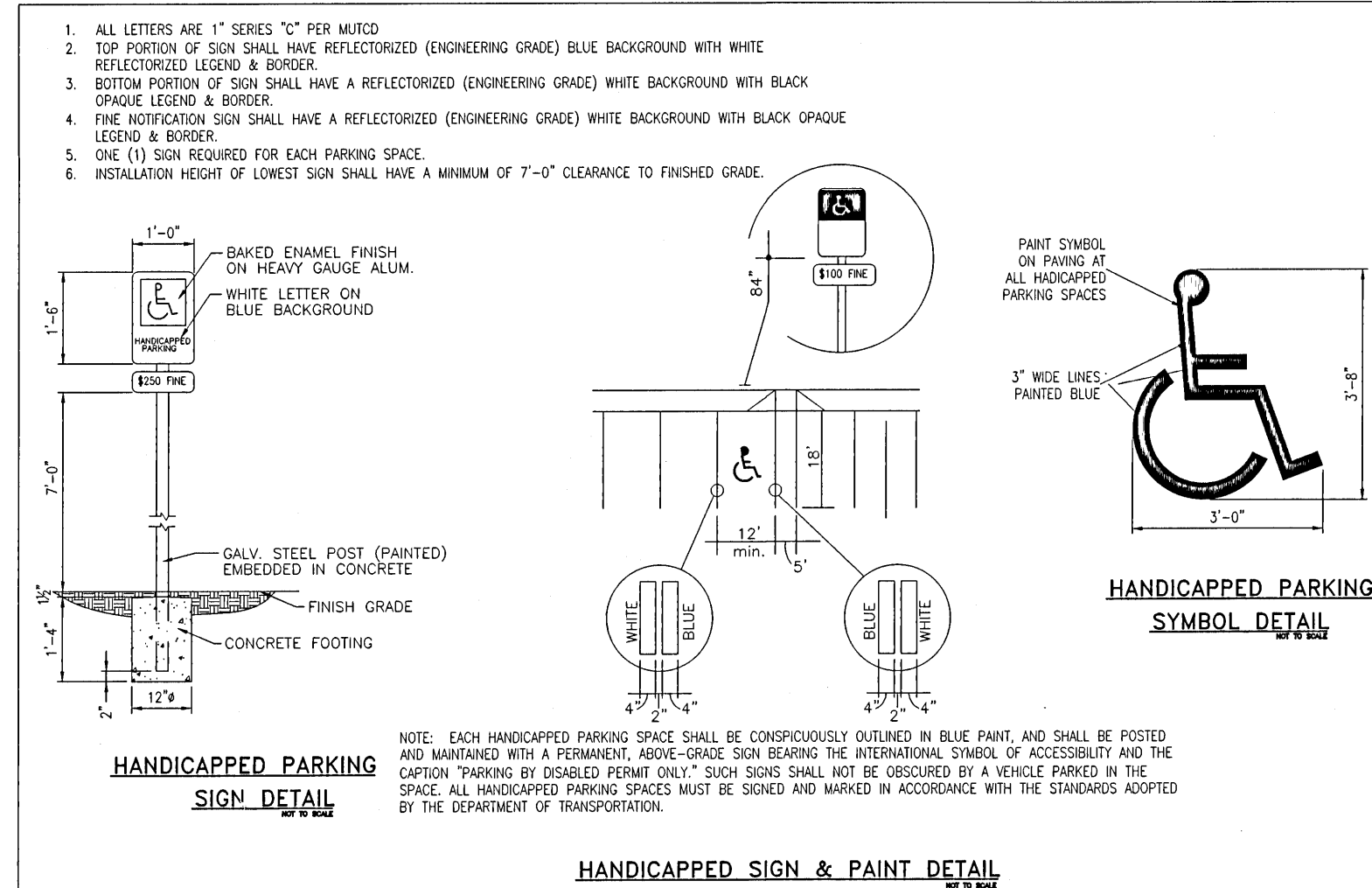
B. THE MINIMUM WIDTH OF SIDEWALKS SHALL NOT BE LESS THAN FIVE (5) FEET.

C. THE SIDEWALK SHALL NOT BE LESS THAN FOUR (4) INCHES THICK. AT DRIVEWAYS A MINIMUM THICKNESS OF SIX (6) INCHES OR FOUR (4) INCHES WITH WOVEN WIRE FABRIC REINFORCEMENT SHALL BE REQUIRED.

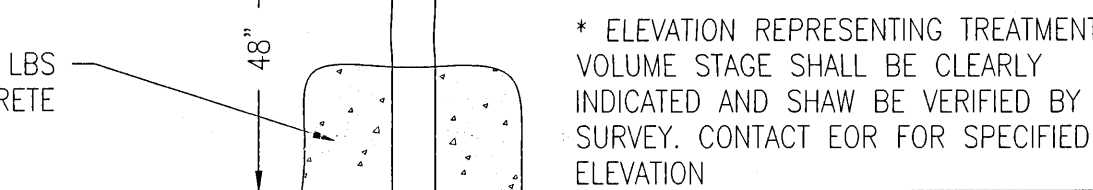
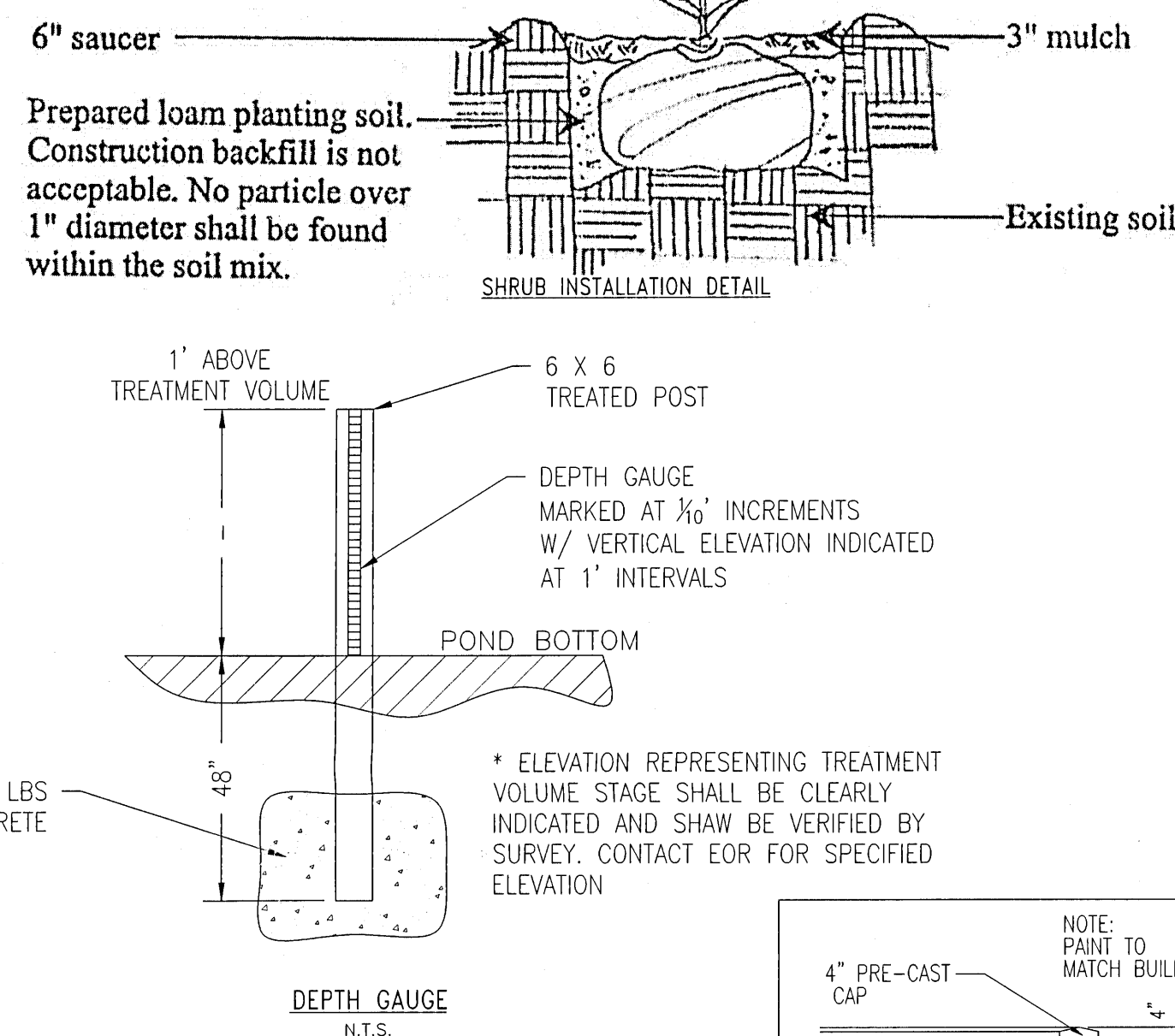
D. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.0% CROSS SLOPE

E. ONE-HALF (1/2) INCH EXPANSION JOINTS SHALL BE AT THIRTY (30) FOOT INTERVALS OR LESS, WITH CONTROL JOINTS AT TEN (10) FOOT INTERVALS.

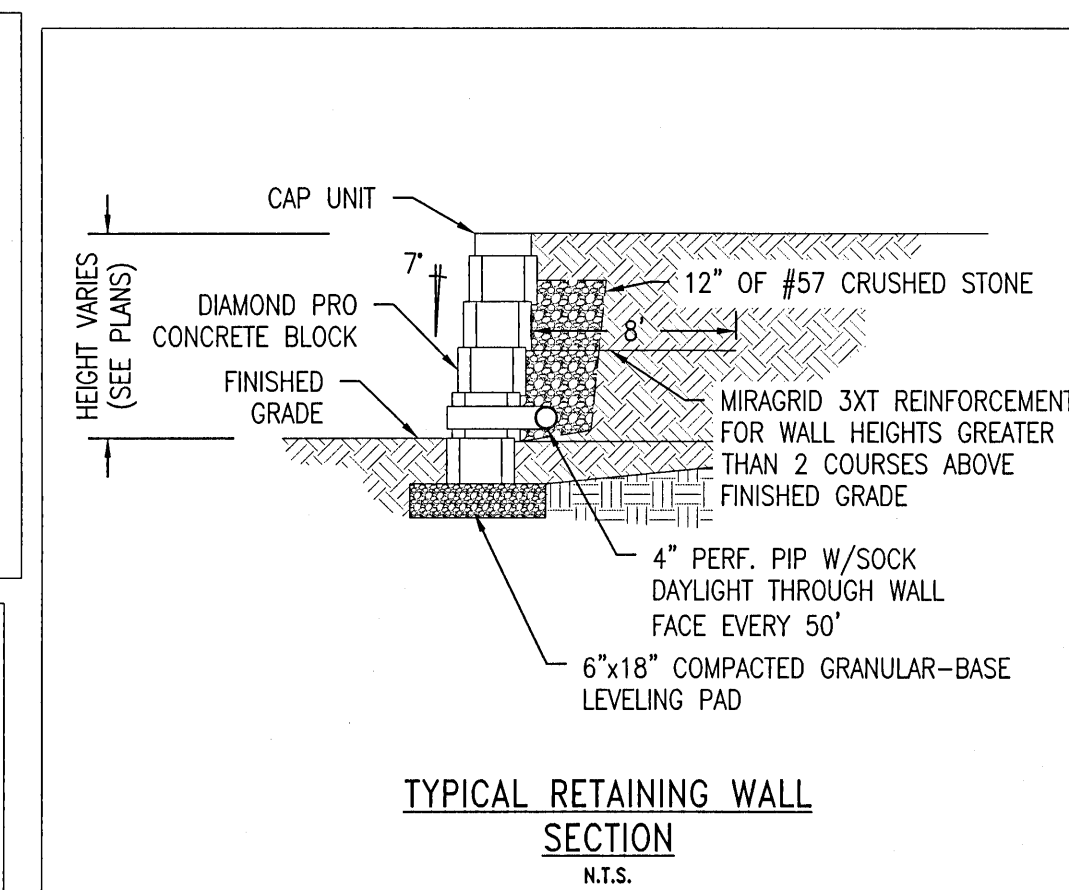
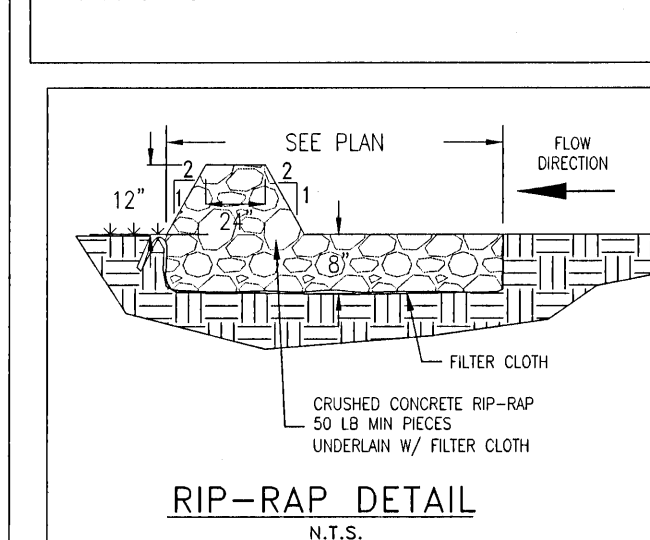
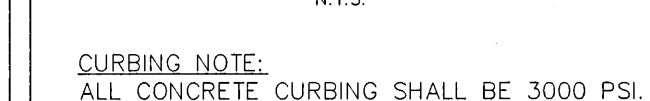
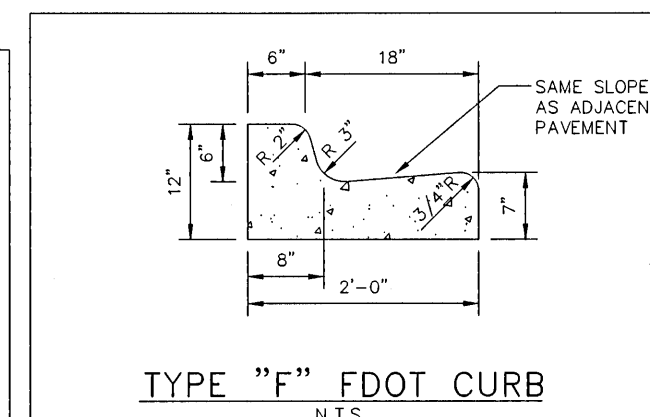
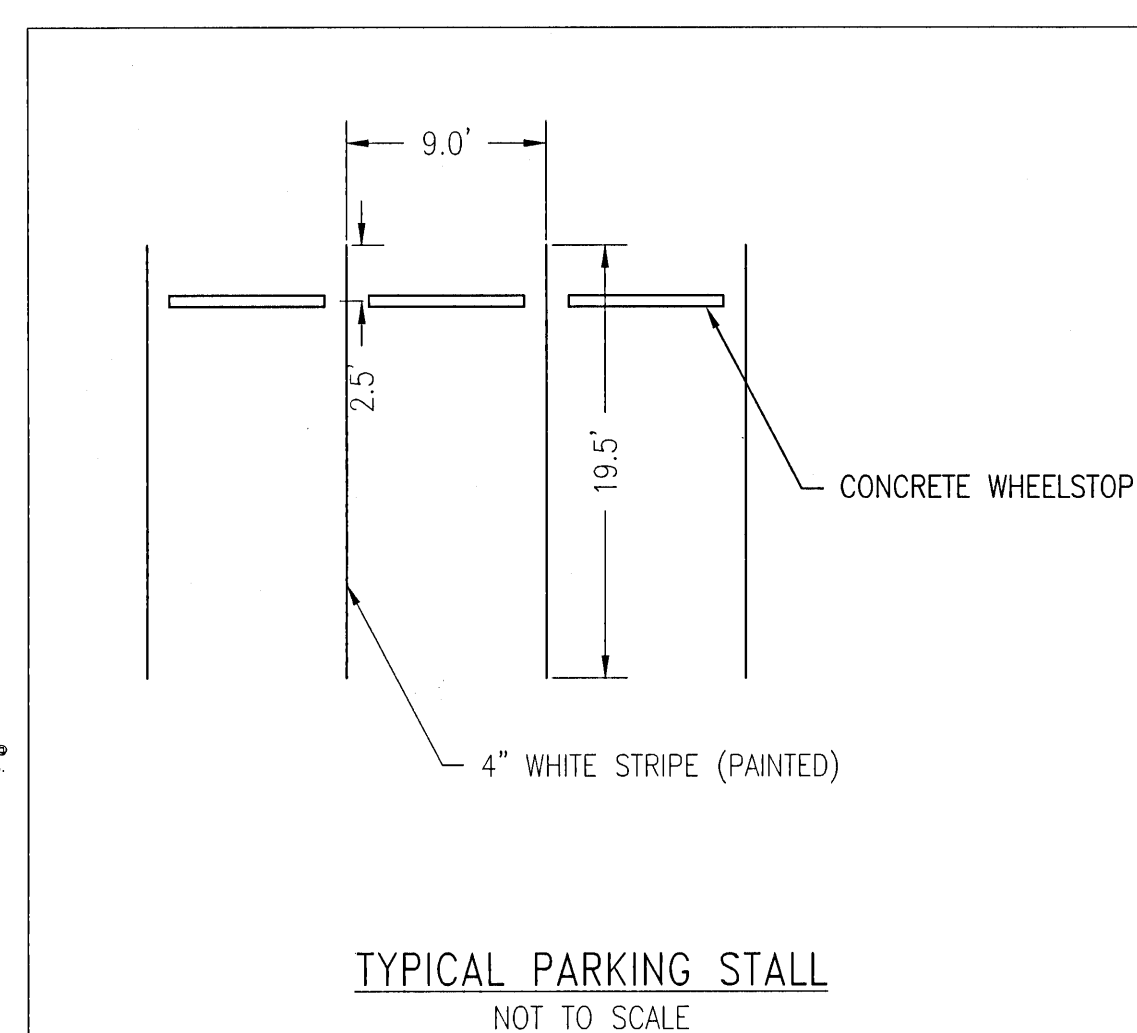
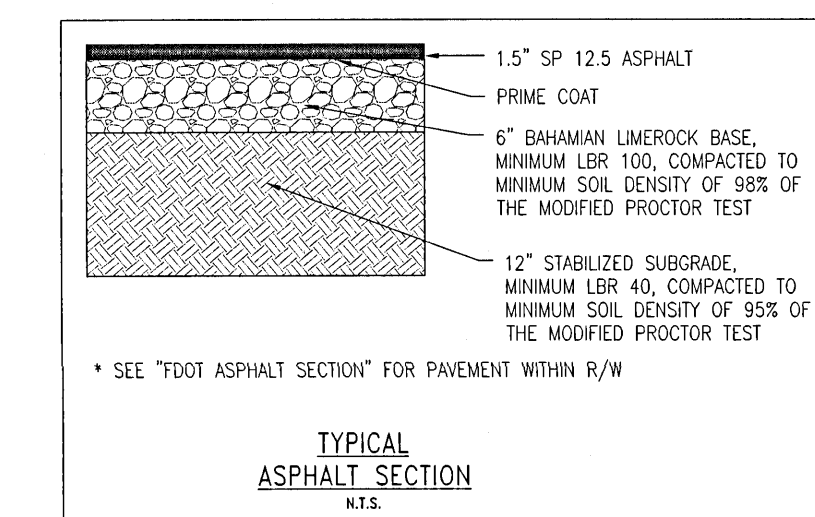
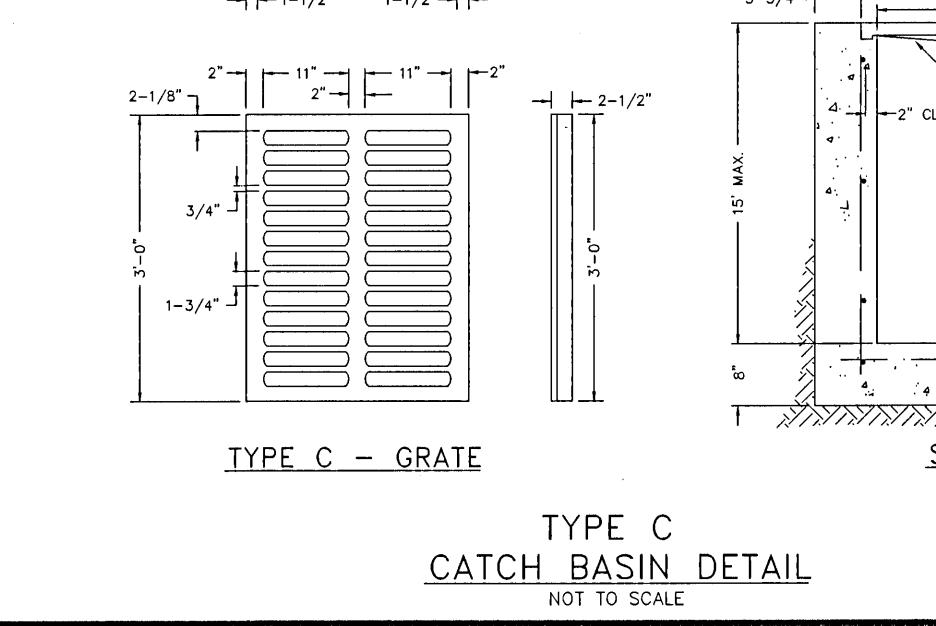
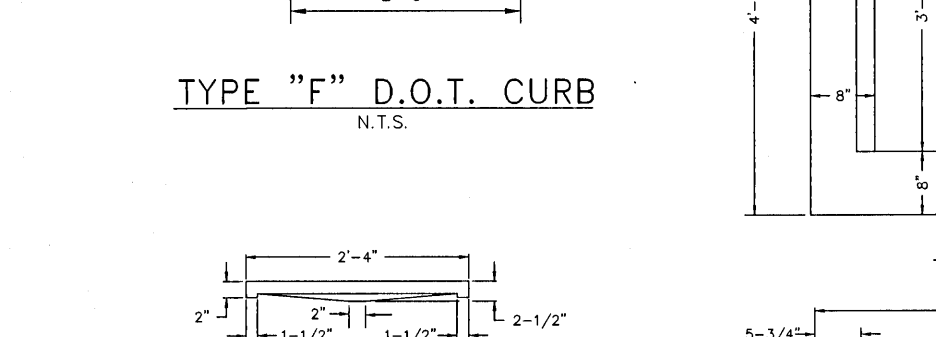
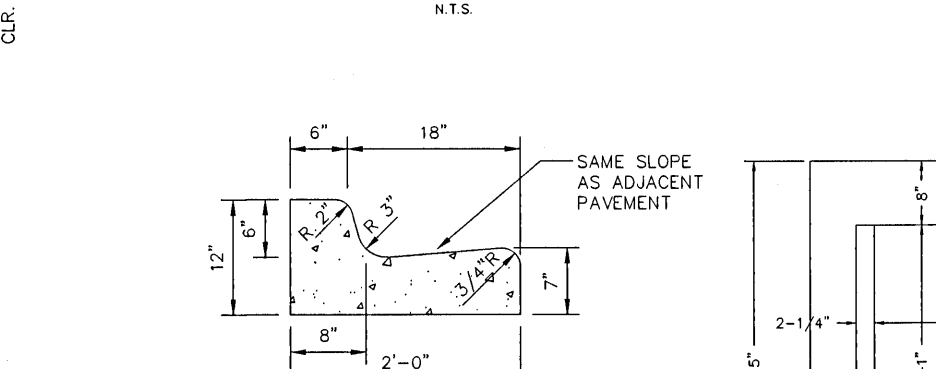
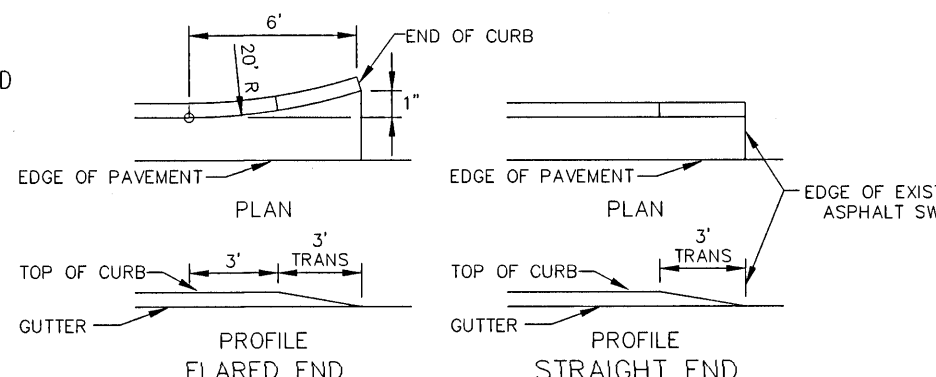
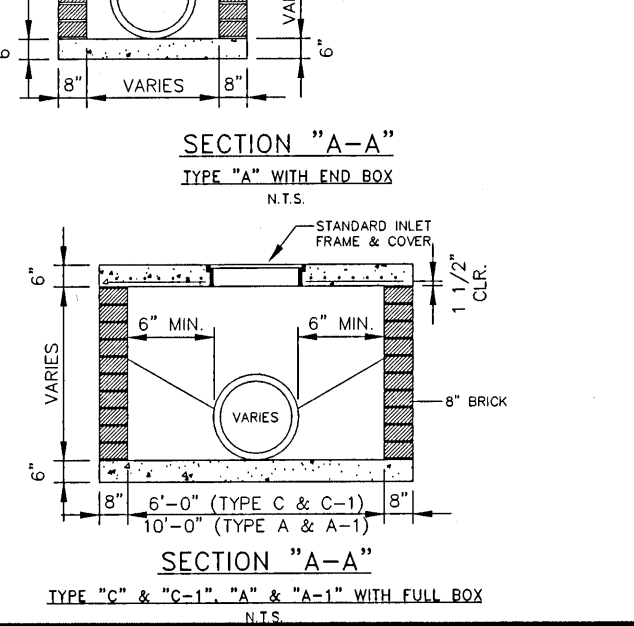
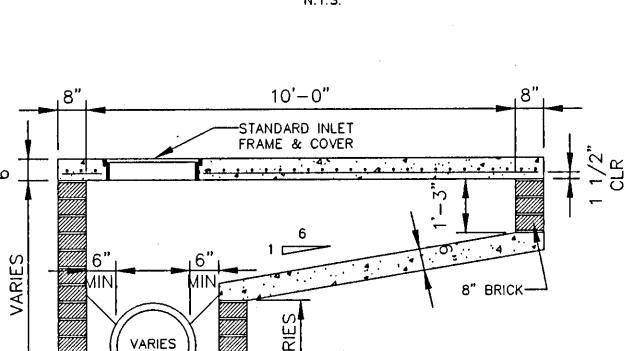
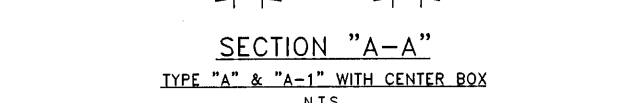
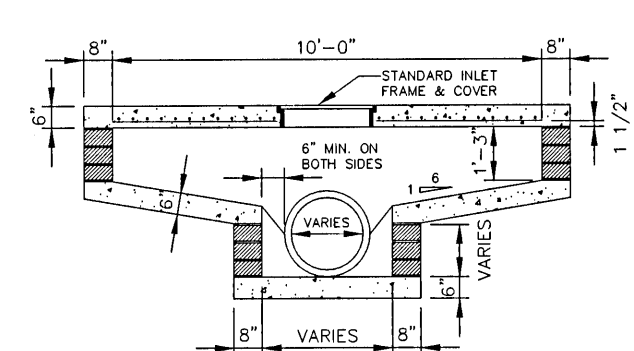
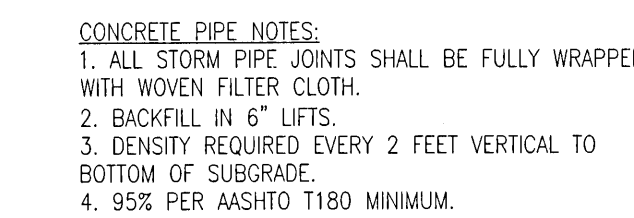
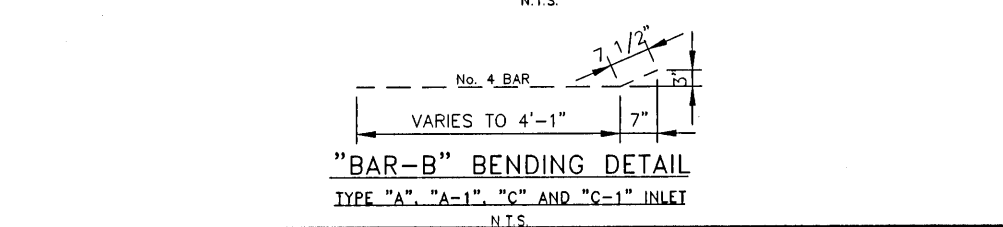
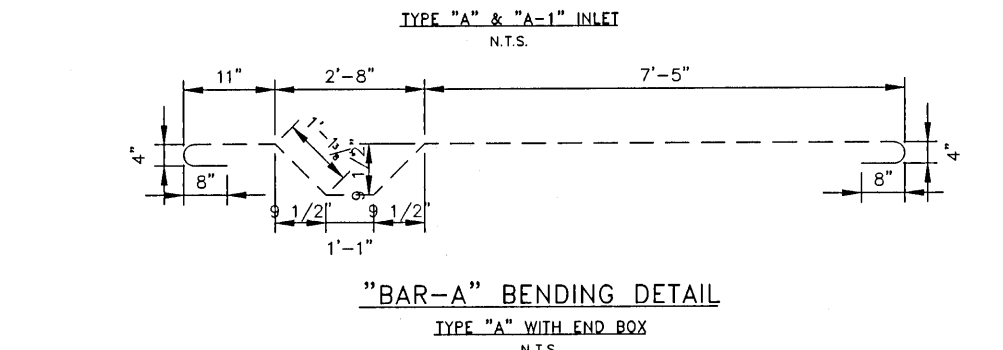
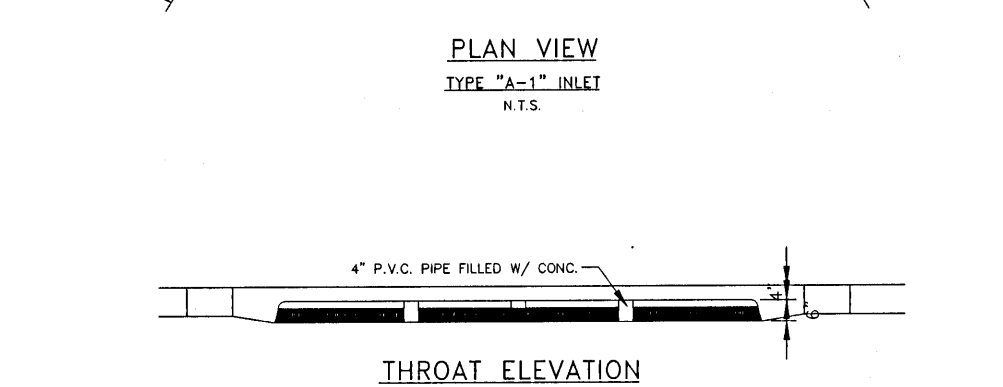
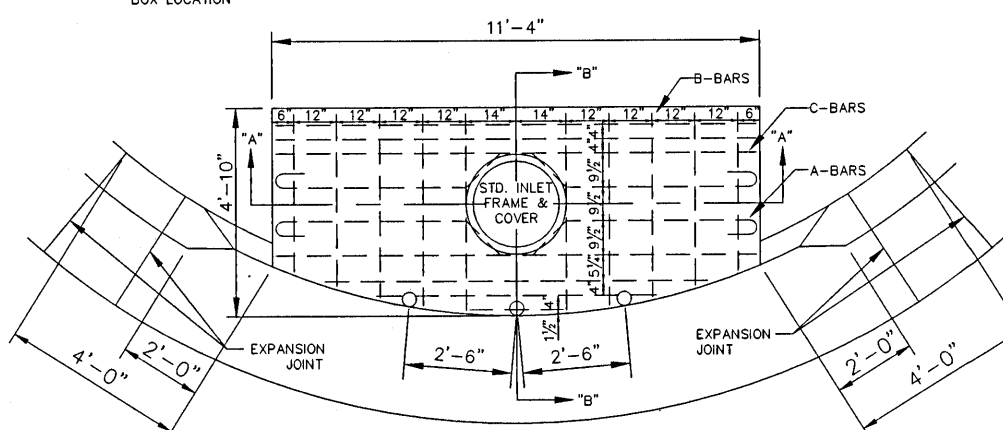
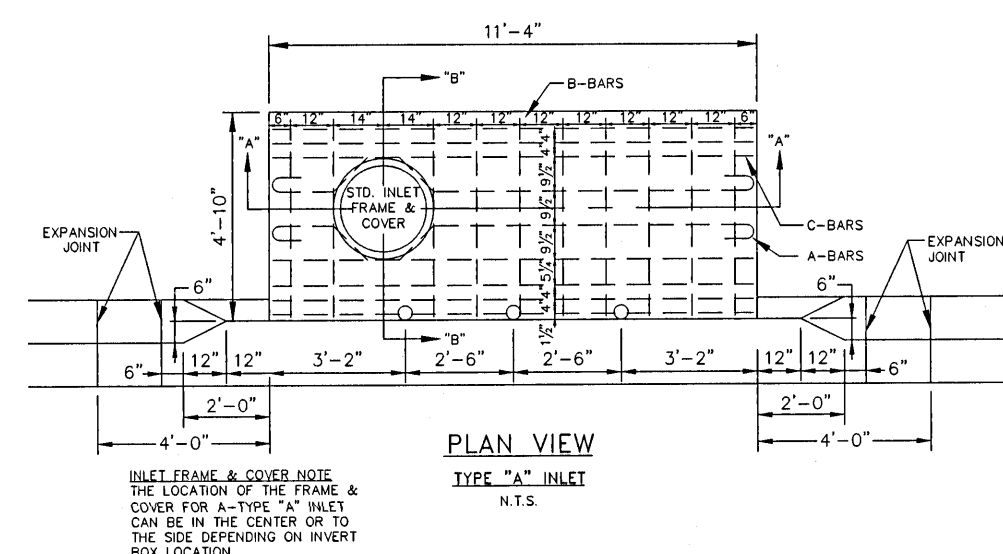
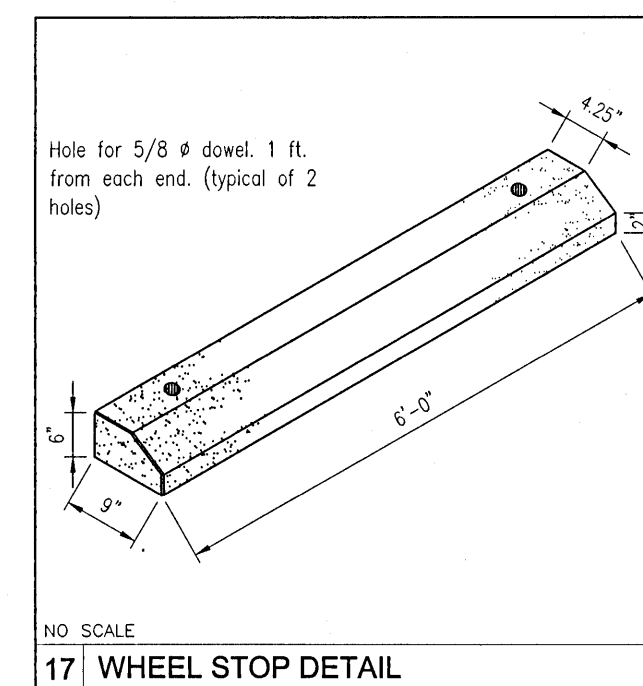
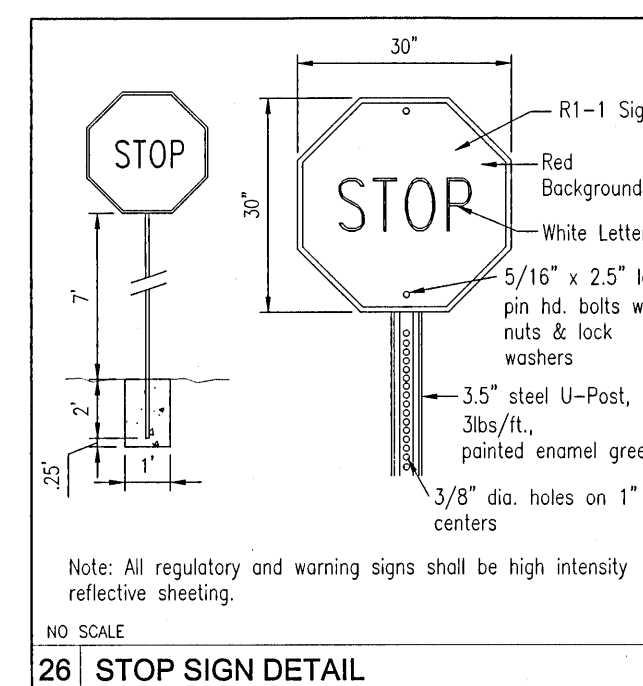
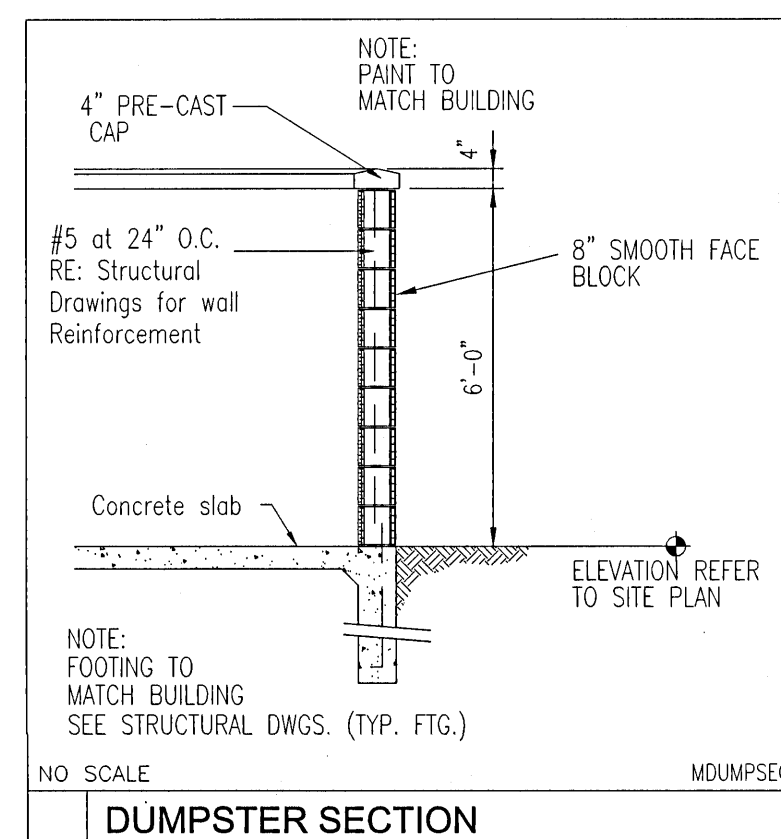
F. LOCATION OF PROPOSED IMPROVEMENTS SUCH AS SIDEWALKS, BIKEWAYS, OR BRIDLE PATHS SHALL BE INCLUDED ON CONSTRUCTION PLANS.




Woody shrub with min.
height of 12" from ———
finished grade.

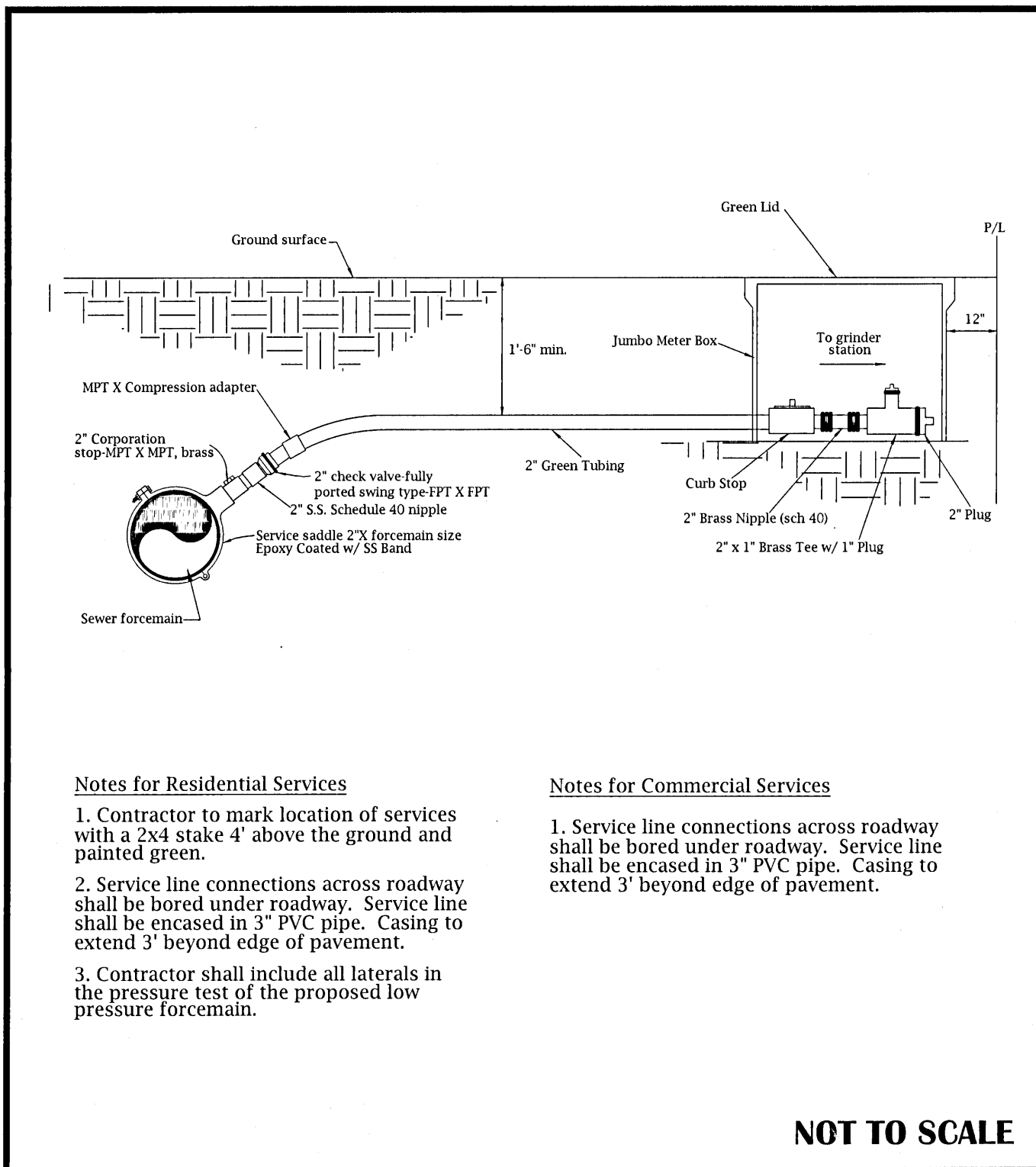


* ELEVATION REPRESENTING TREATMENT VOLUME STAGE SHALL BE CLEARLY INDICATED AND SHALL BE VERIFIED BY SURVEY. CONTACT EOR FOR SPECIFIED ELEVATION



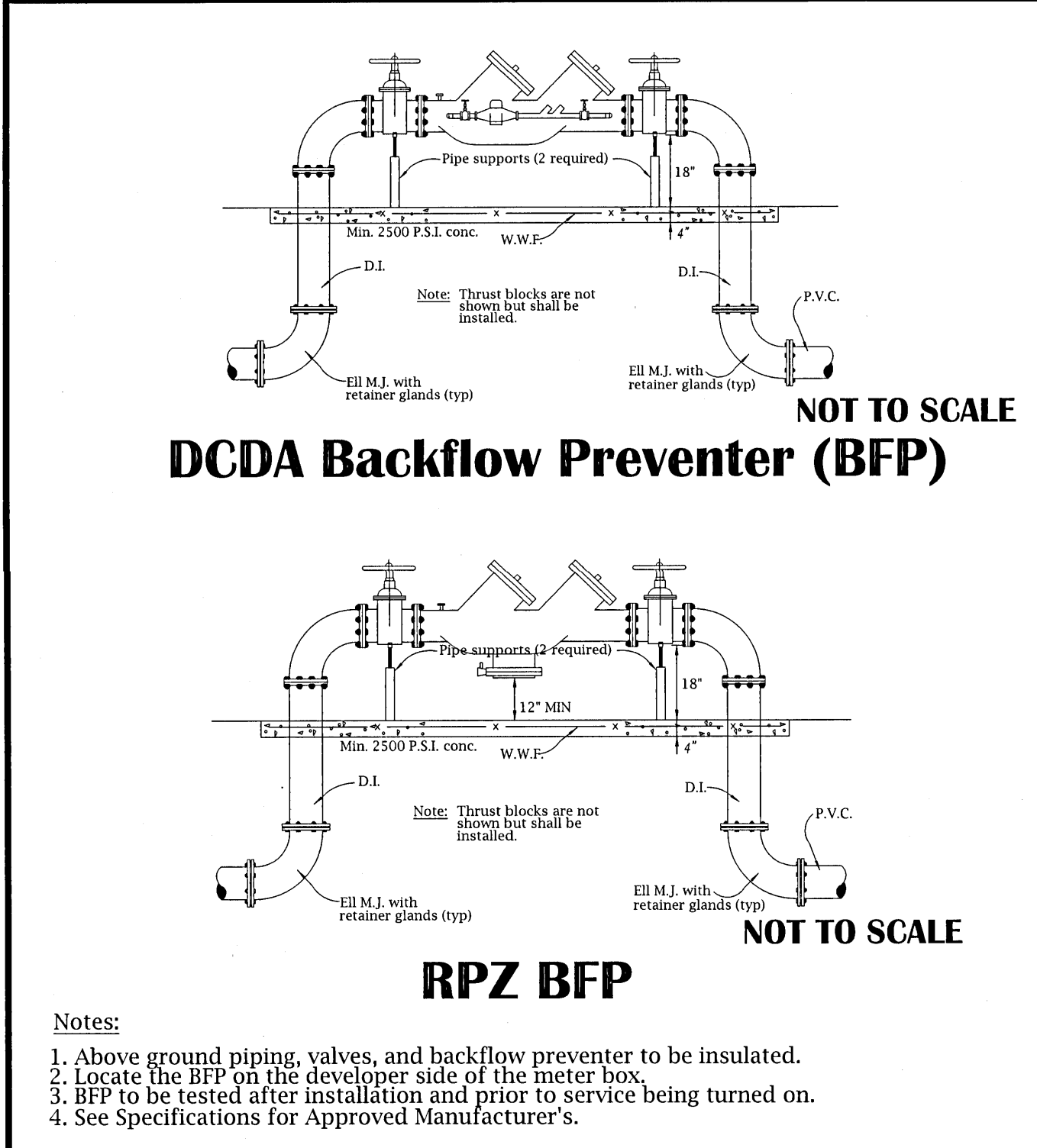
CONTRACTOR TO PROVIDE A CERTIFIED
WALL DESIGN PRIOR TO CONSTRUCTION.

PROJECT NO. 32101		SHEET NO. C500	
<div style="display: flex; justify-content: space-between;"> <div> <h1 style="margin: 0;">STAY APT SUITES</h1> <h2 style="margin: 0;">DETAILS 1</h2> <h3 style="margin: 0;">PAVING & STORM DRAINAGE PLANS</h3> </div> <div style="text-align: right;"> <p>FLORIDA PROFESSIONAL ENGINEERING</p> <p>STATE OF FLORIDA</p> <p>NO. 33058</p> <p>STEVE A GECI</p> </div> </div>			
		GECI & ASSOCIATES, INC. ENGINEERS 2950 N. 12th Ave., PENSACOLA, FL 32503 Phone: (904) 487-1234 Fax: (904) 487-2875 E-Mail: geci@geciengineering.com	
		CERTIFICATE OF AUTHORIZATION NUMBER 00005149	
SCALE: AS SHOWN		DESIGNED: CAG	DRAWN: KRD
NOT FOR CONSTRUCTION		CHECKED: SAG	DATE: 10/05/21
REVISION		NO.	DATE
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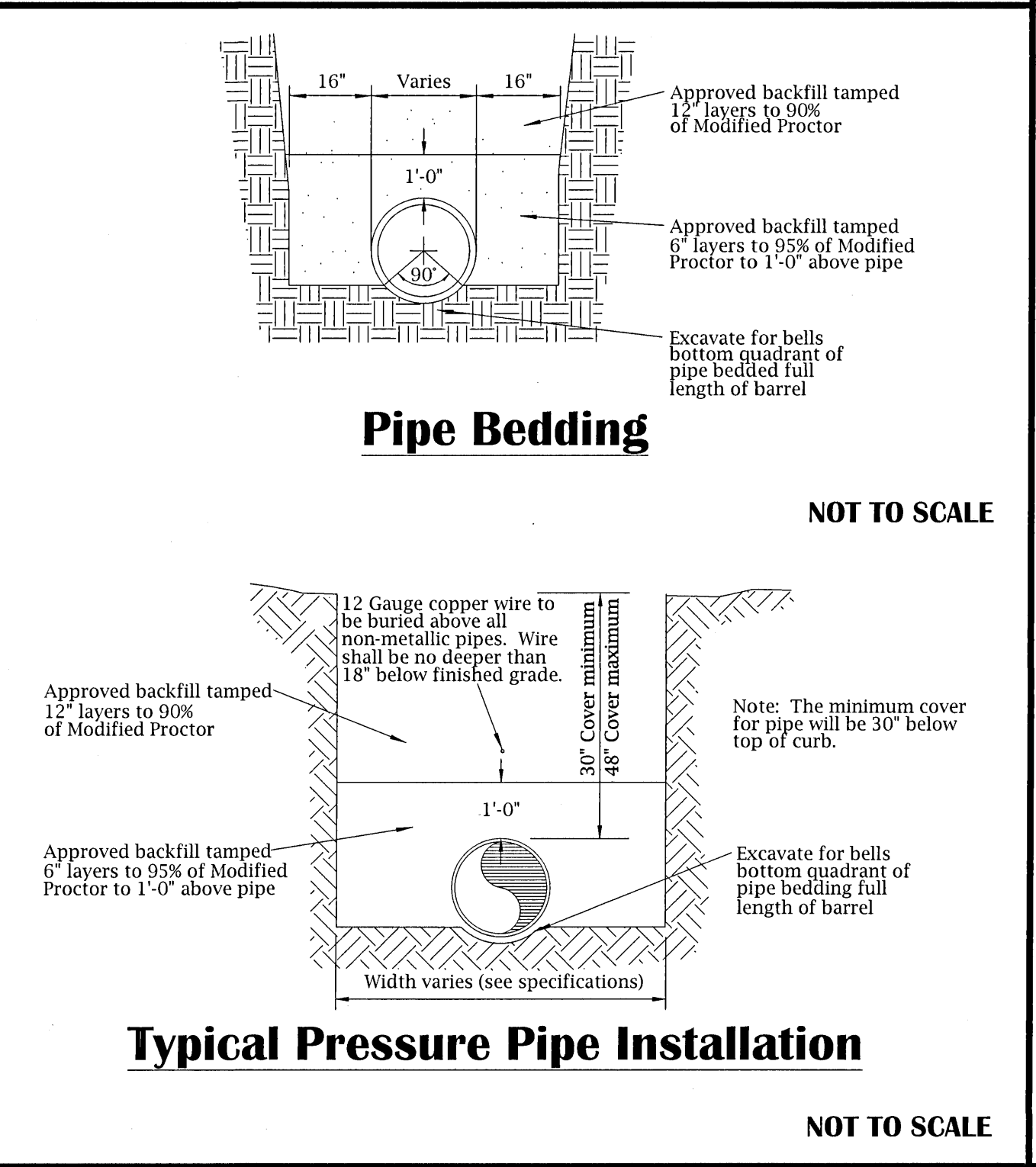
Residential and Commercial Low Pressure Service Connection on Mains 3" and Greater

Revision Date: 2018
Detail #: WW-15



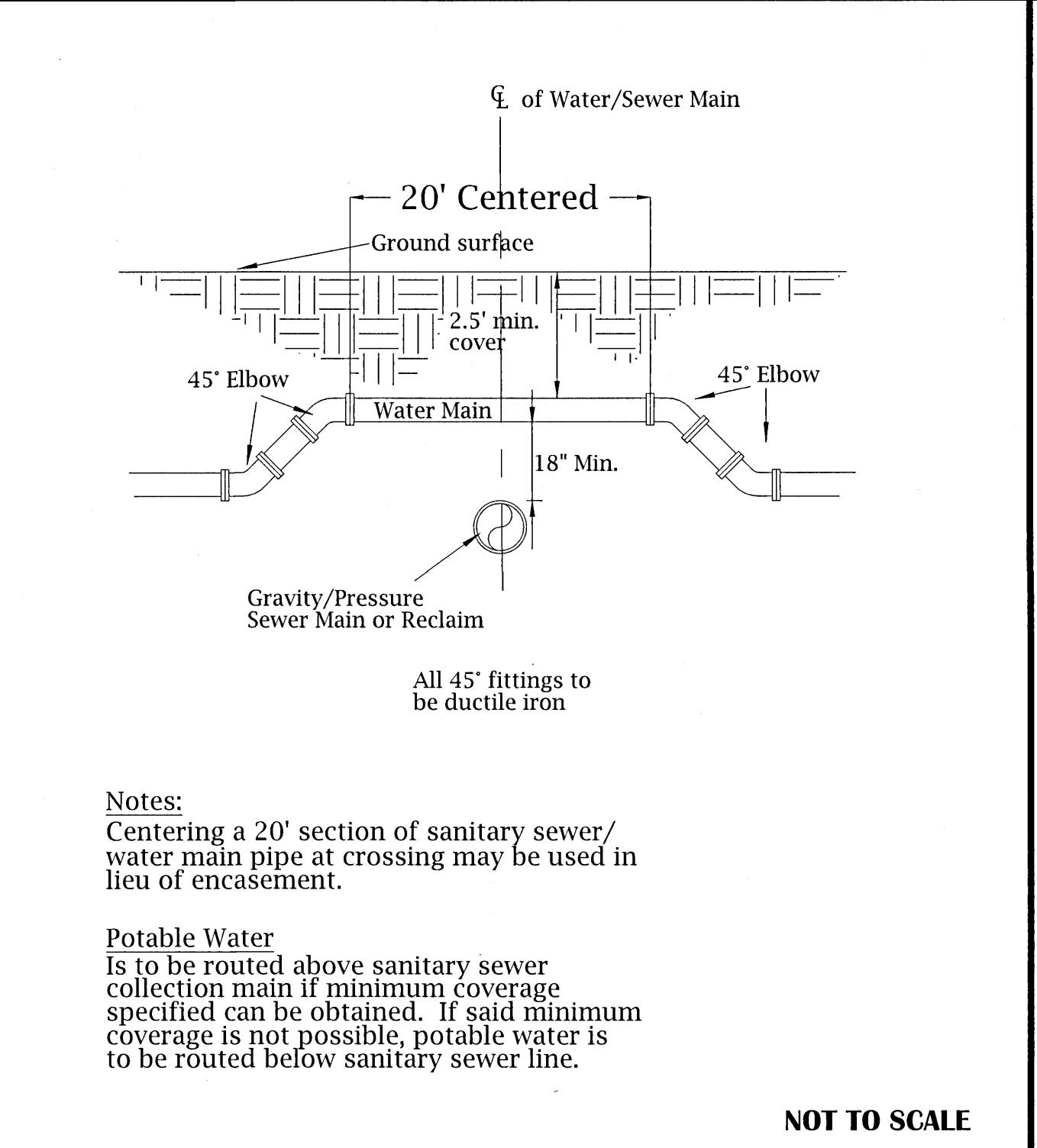
Backflow Preventer Detail

Revision Date: 2018
Detail #: PW-5



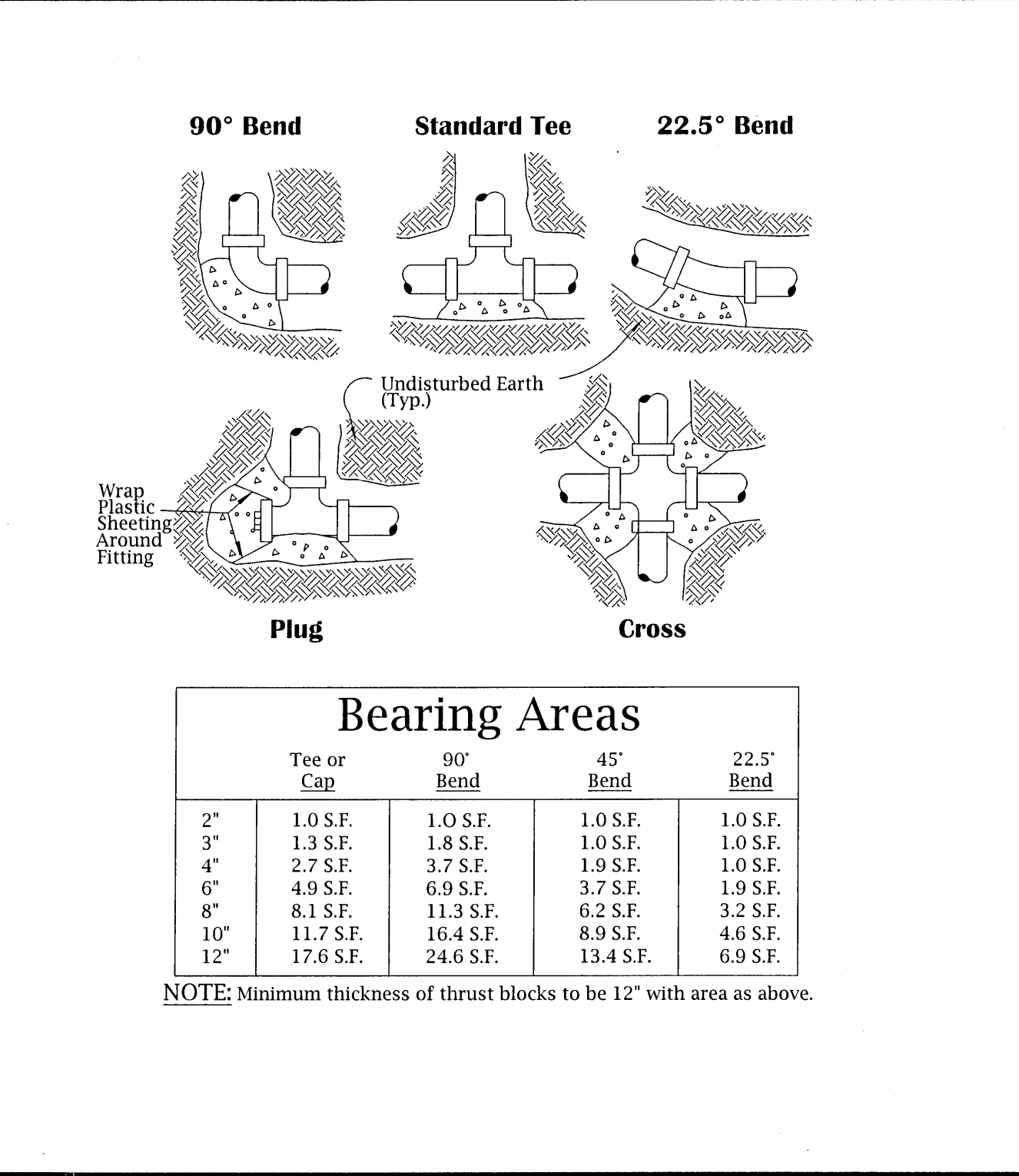
Pipe Bedding & Typical Pressure Pipe Installation Detail

Revision Date: 2018
Detail #: WW-8



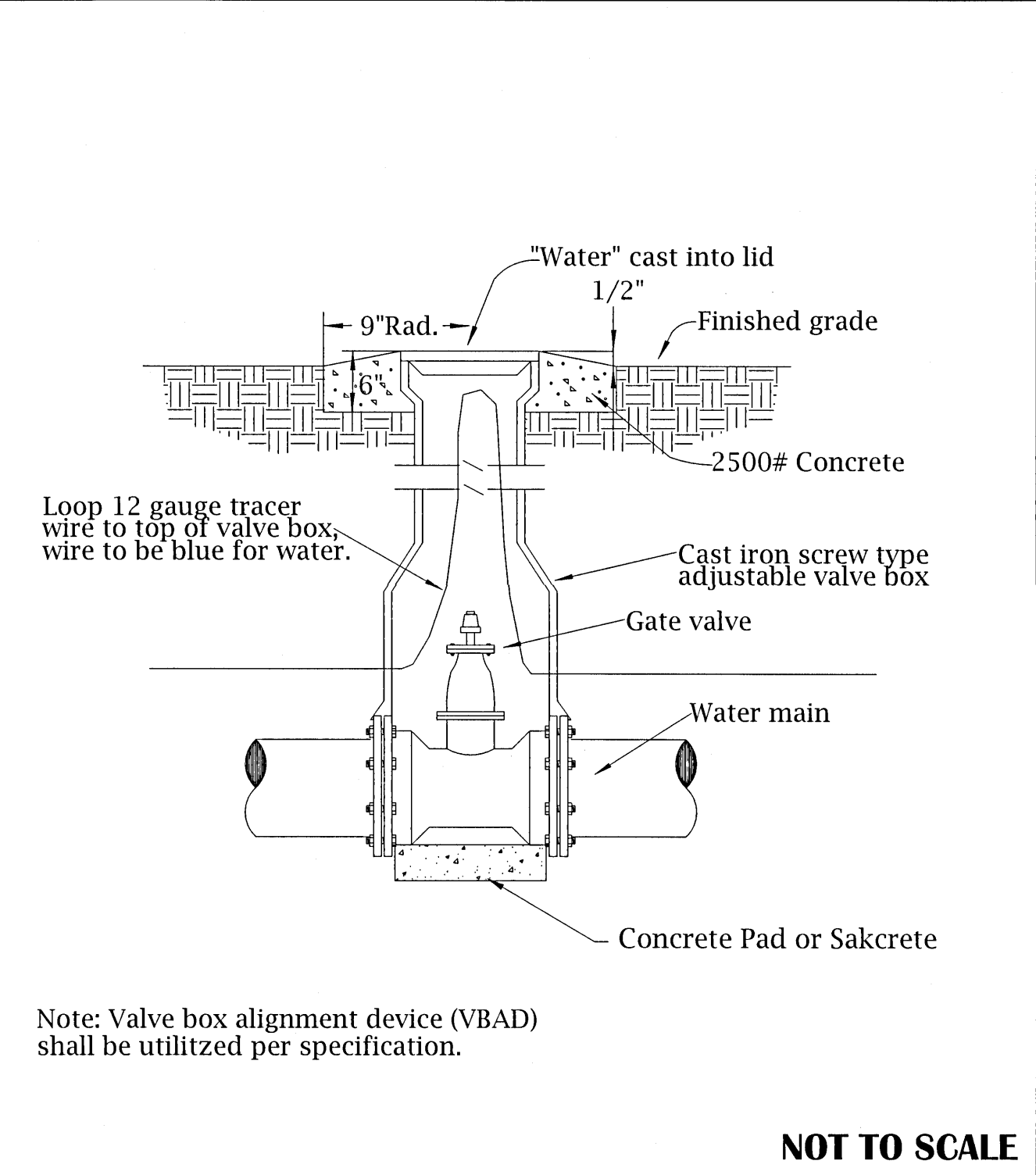
Conflict Detail

Revision Date: 2018
Detail #: PW-7



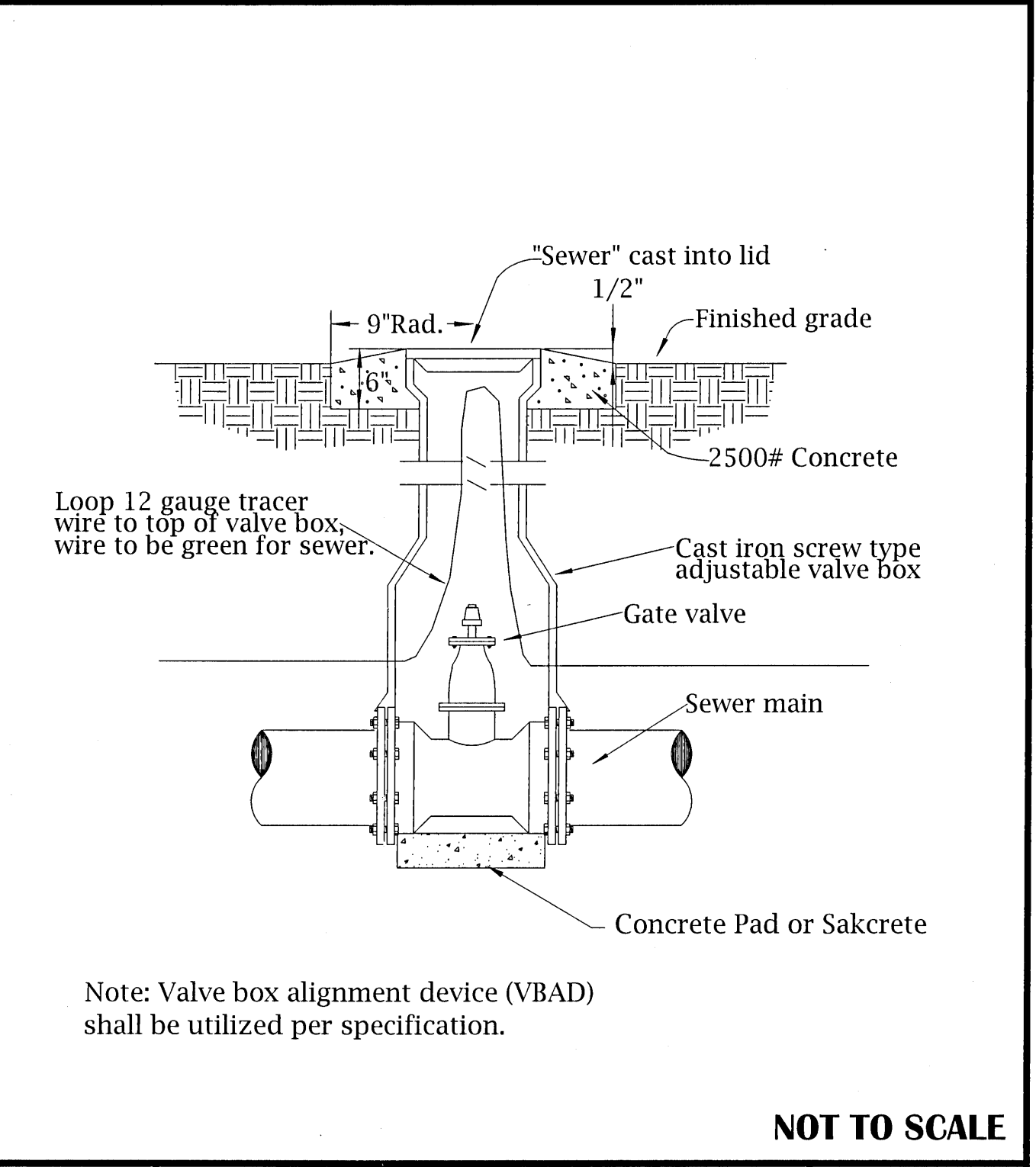
Thrust Block Details

Revision Date: 2018
Detail #: WW-10



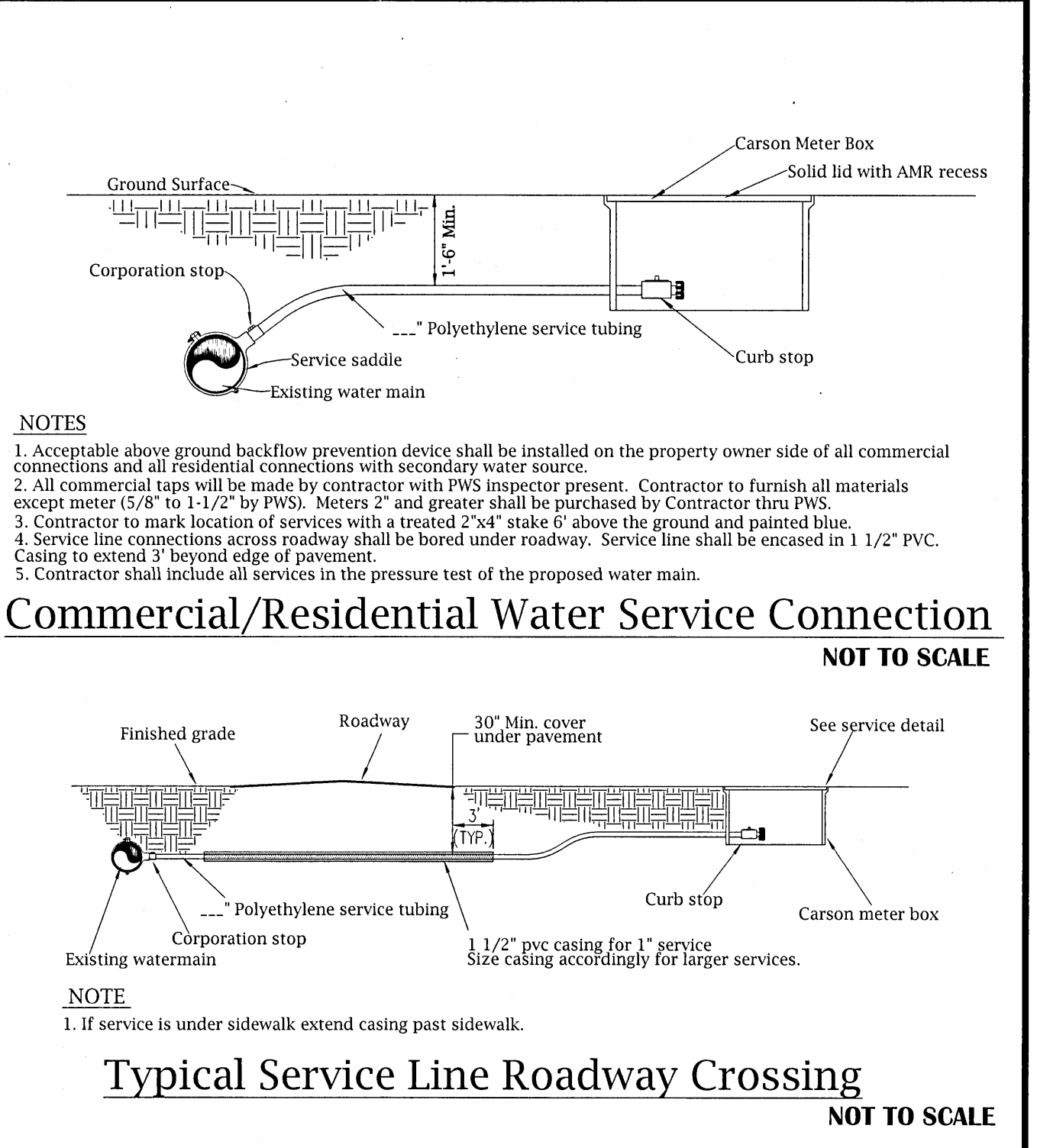
Valve Box Setting Detail

Revision Date: 2018
Detail #: PW-4



Valve Box Setting Detail

Revision Date: 2018
Detail #: WW-9



Water Service Details

Revision Date: 2018
Detail #: PW-9

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DATE: 10/05/21

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DRAWN: KRD

DESIGNED: CAG

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

PROJECT NO. 32101

SHEET NO. C510

STAY APT SUITES

DETAILS 2

PAVING & STORM DRAINAGE PLANS

GEI & ASSOCIATES, INC.

ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503

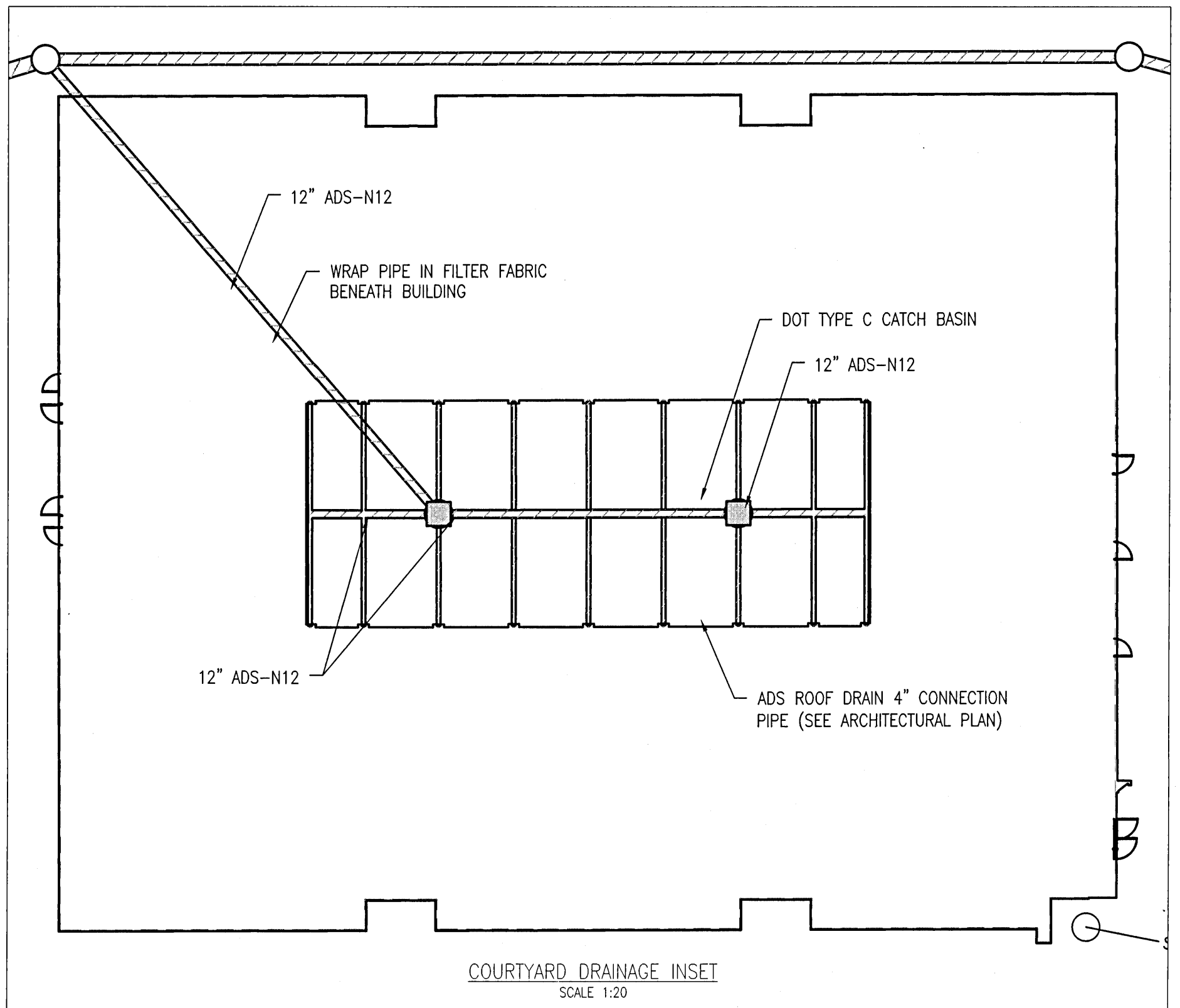
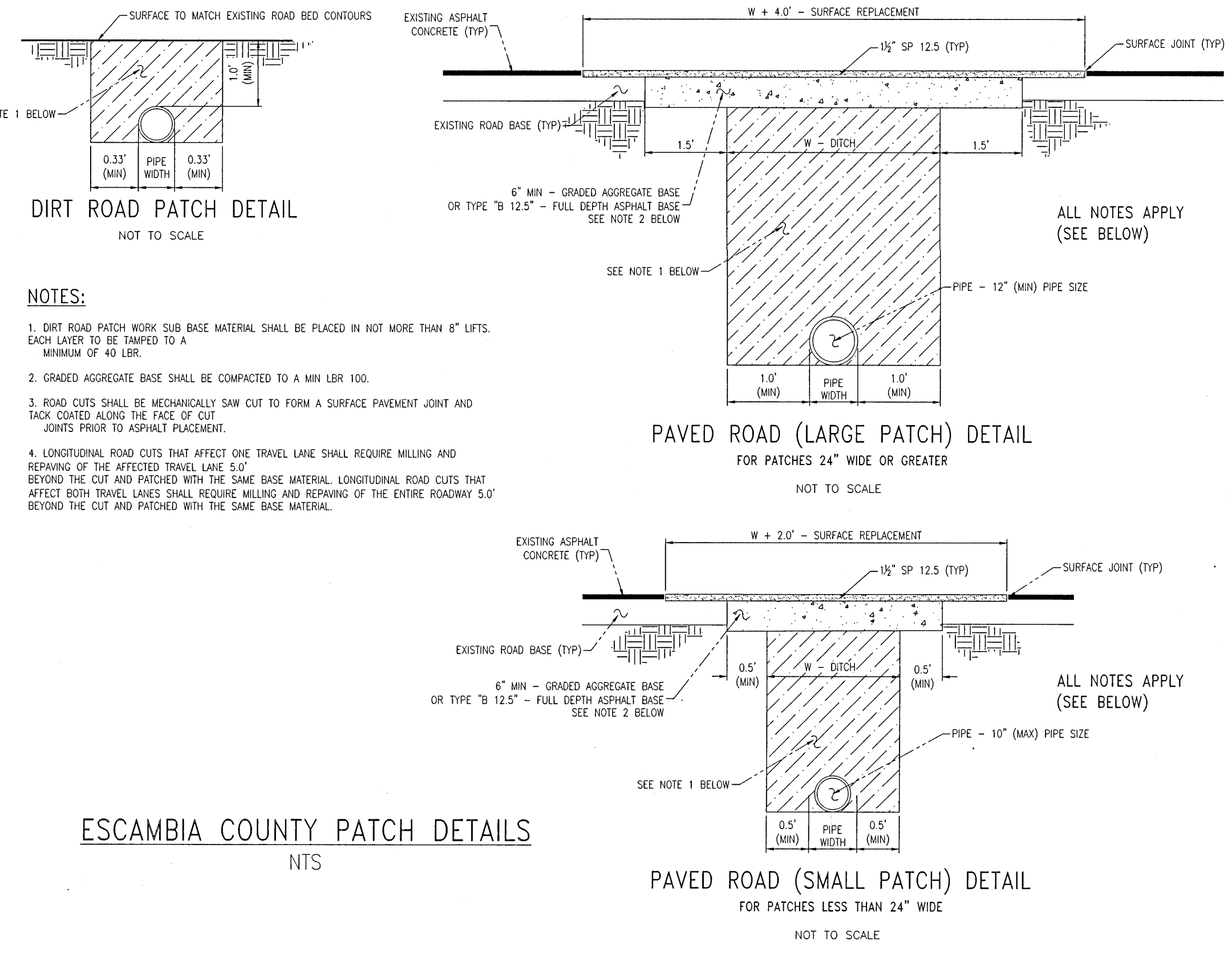
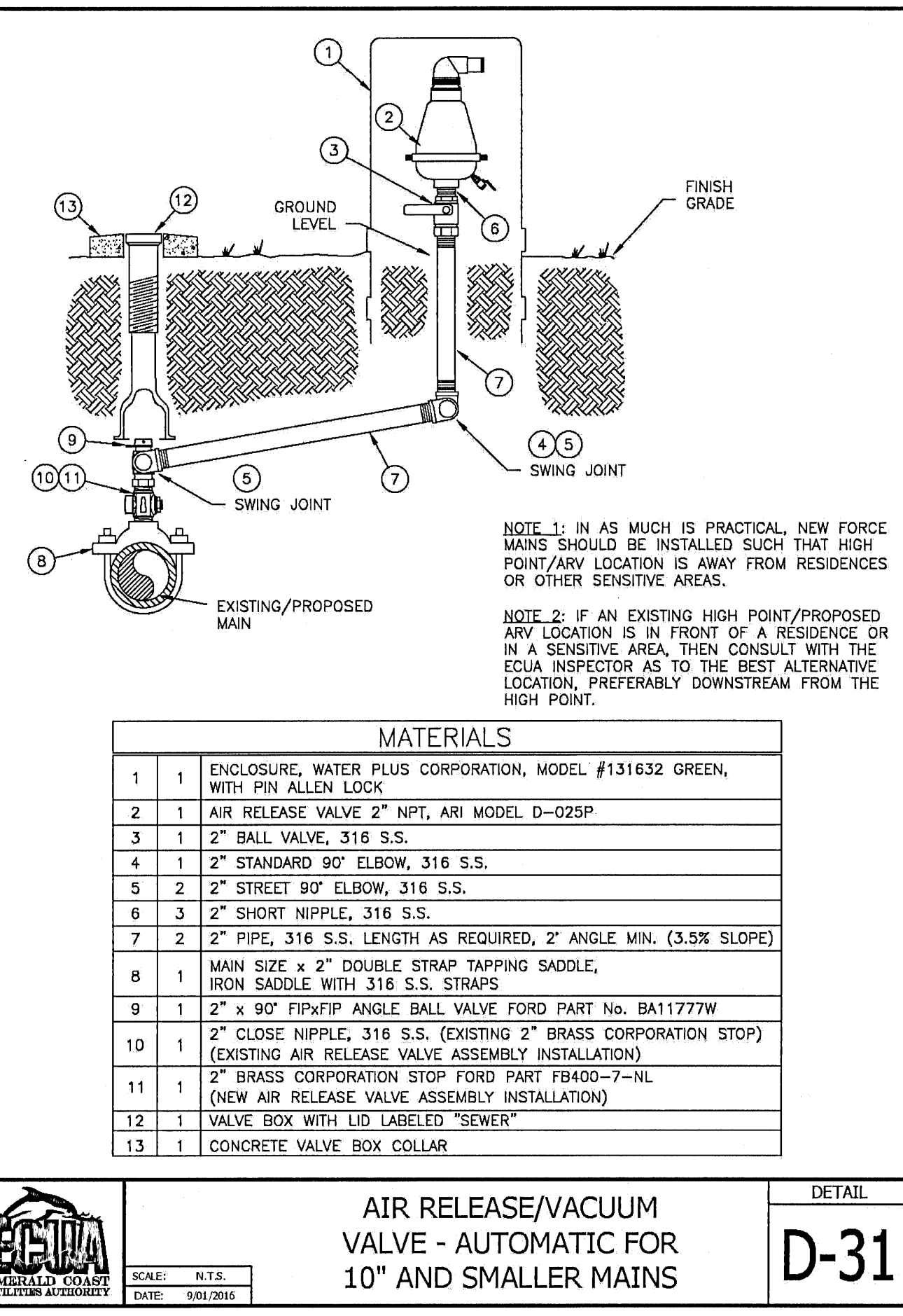
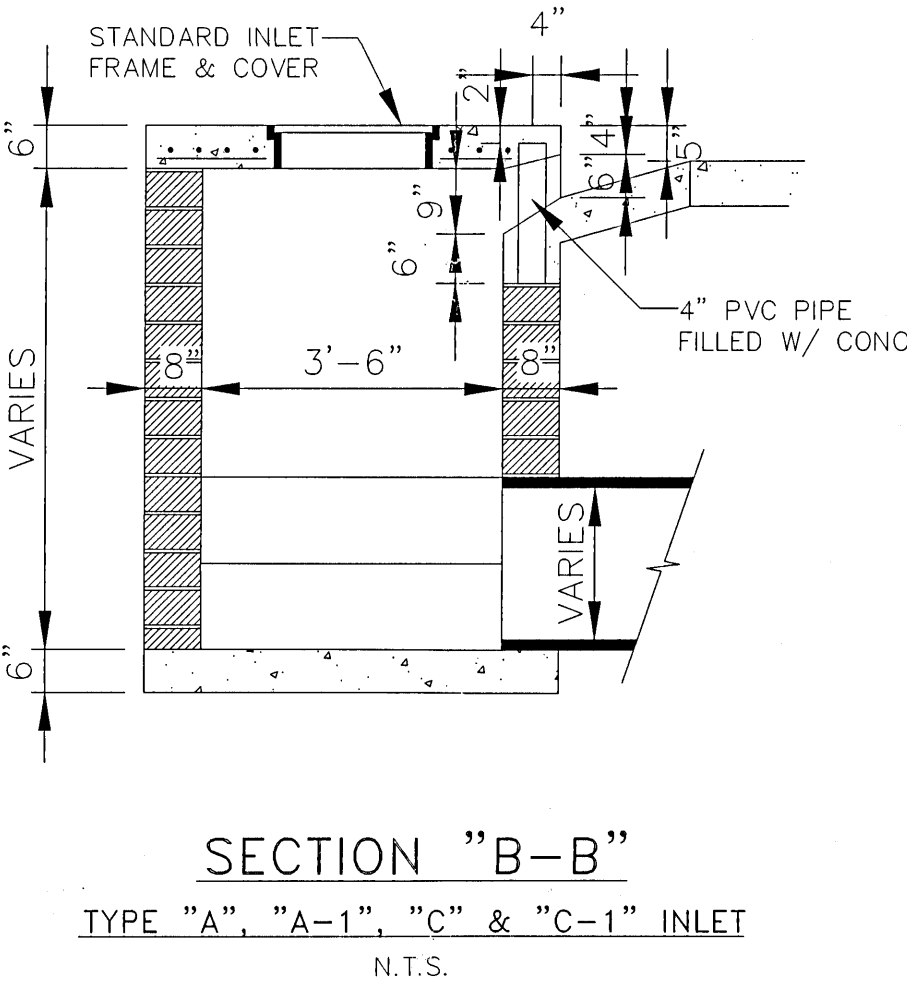
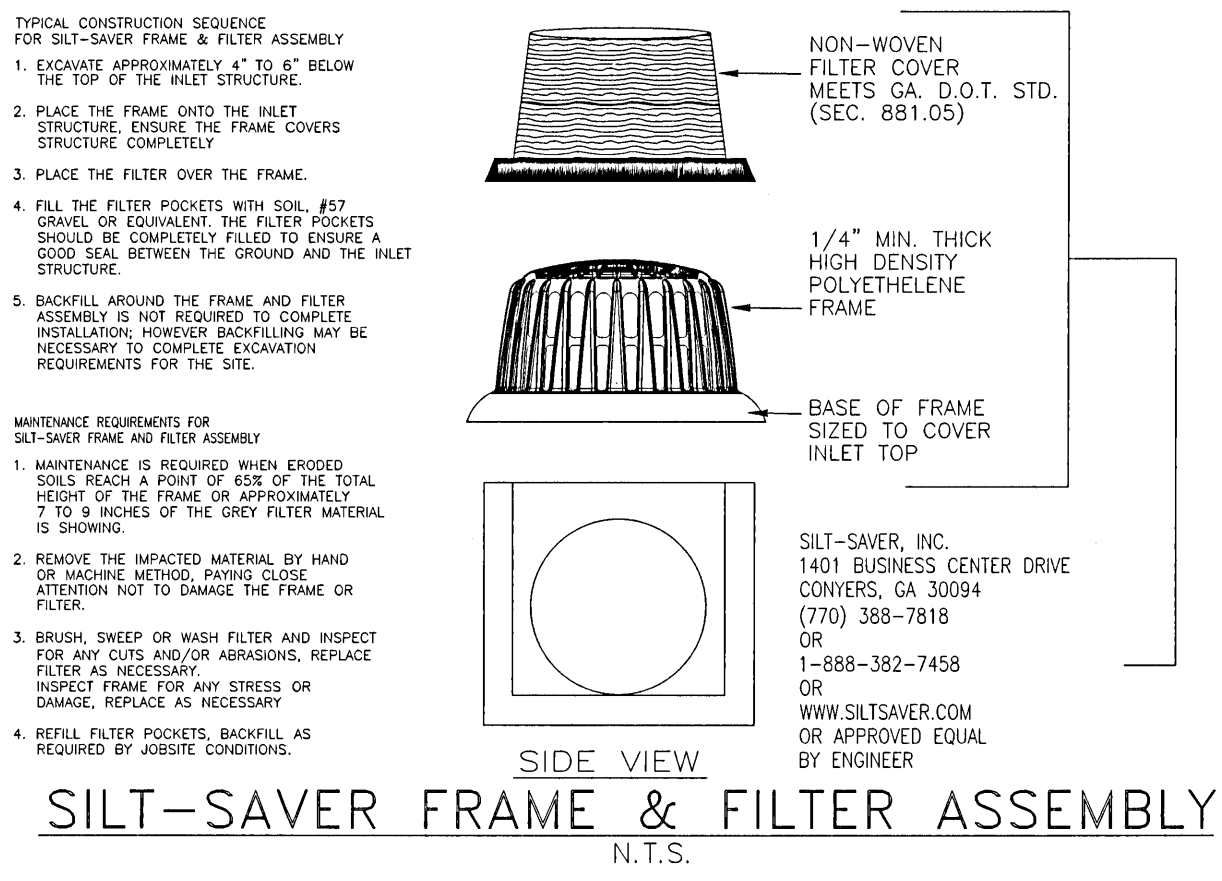
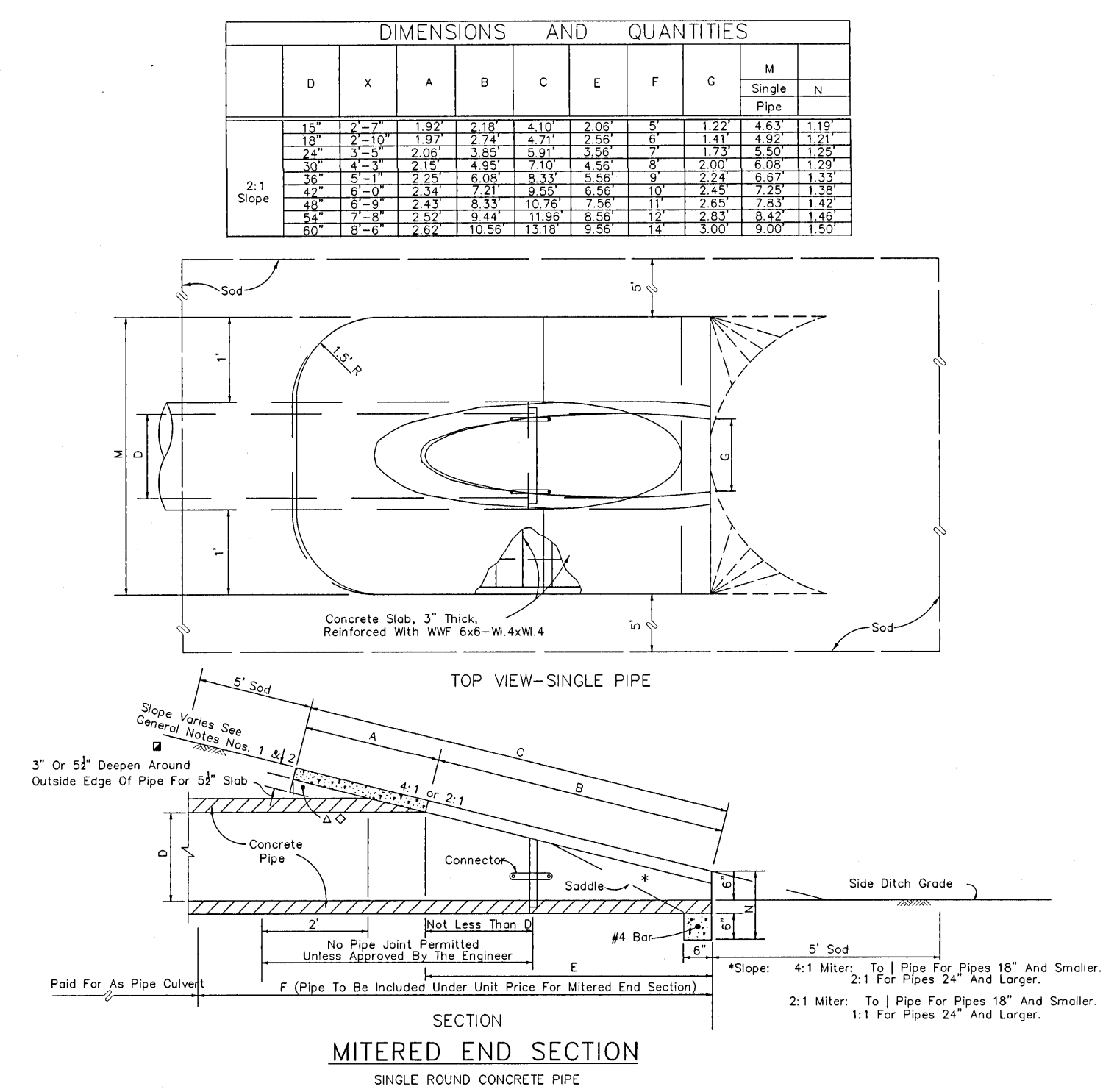
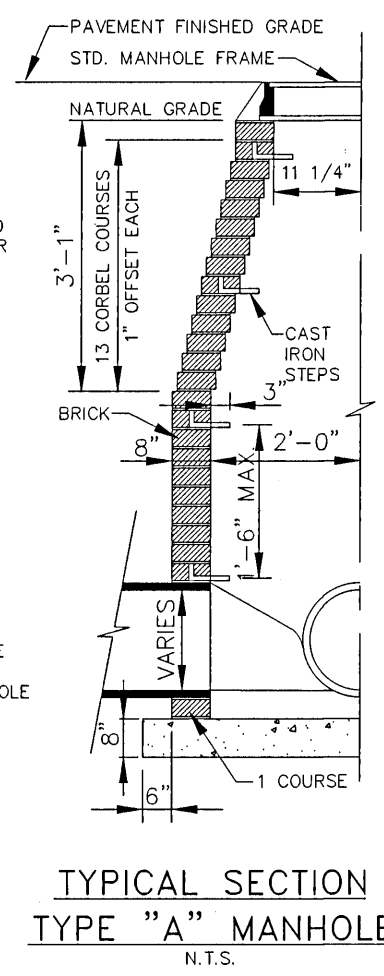
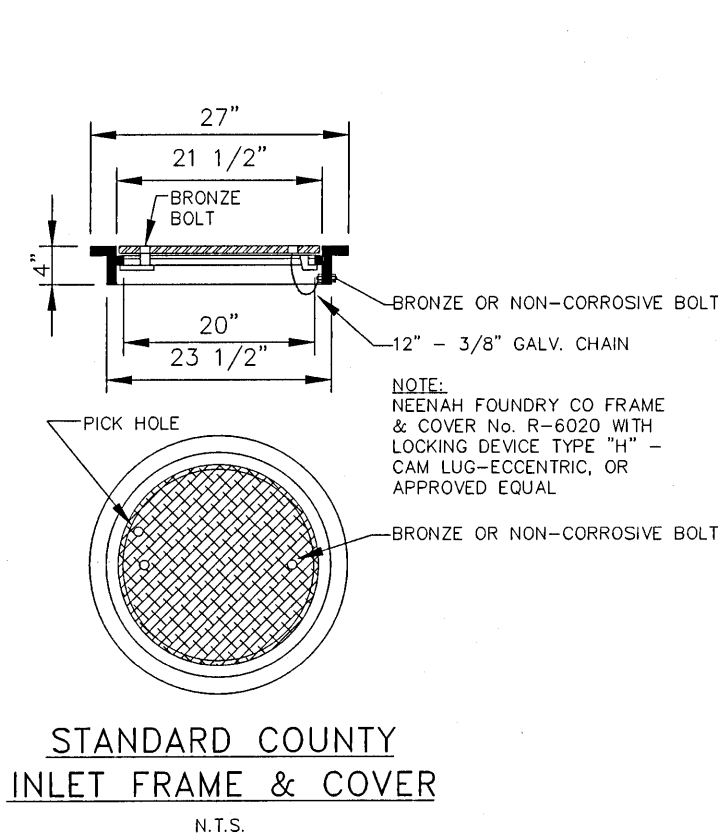
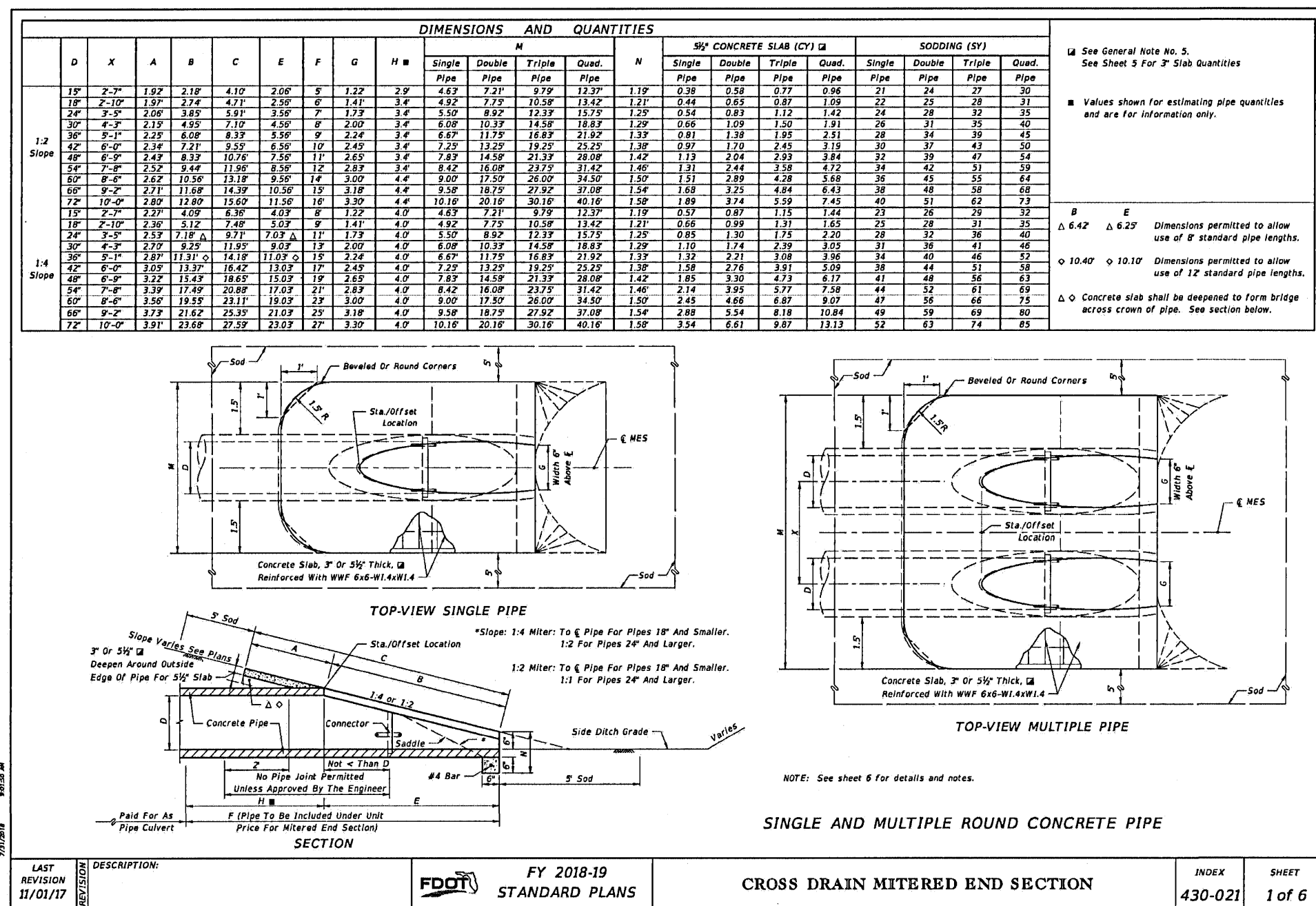
Phone (850) 432-2929 - Fax (850) 432-2875

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

Paul gei@geiengineering.com

FLORIDA PROFESSIONAL ENGINEER No. 33668

STEVE-A. GECI



REVISION

NO.	DATE	REVISION
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DATE 10/05/21

APPR.

DESIGNED: CAG **DRAWN:** KRD **CHECKED:** SAG

NOT RELEASED FOR CONSTRUCTION

SCALE: AS SHOWN

PROJECT NO. 32101 **SHEET NO.** C520

STAY APT SUITES

DETAILS 3

PAVING & STORM DRAINAGE PLANS

ENCLOSURE, WATER PLUS CORPORATION, MODEL #131632 GREEN, WITH PIN ALLEN LOCK

AIR RELEASE VALVE 2" NPT, ARI MODEL D-025P

2" BALL VALVE, 316 S.S.

2" STANDARD 90° ELBOW, 316 S.S.

2" STREET 90° ELBOW, 316 S.S.

2" SHORT NIPPLE, 316 S.S.

2" PIPE, 316 S.S. LENGTH AS REQUIRED, 2" ANGLE MIN. (3.3% SLOPE)

MAIN SIZE x 2" DOUBLE STRAP TAPPING SADDLE, IRON SADDLE WITH 316 S.S. STRAPS

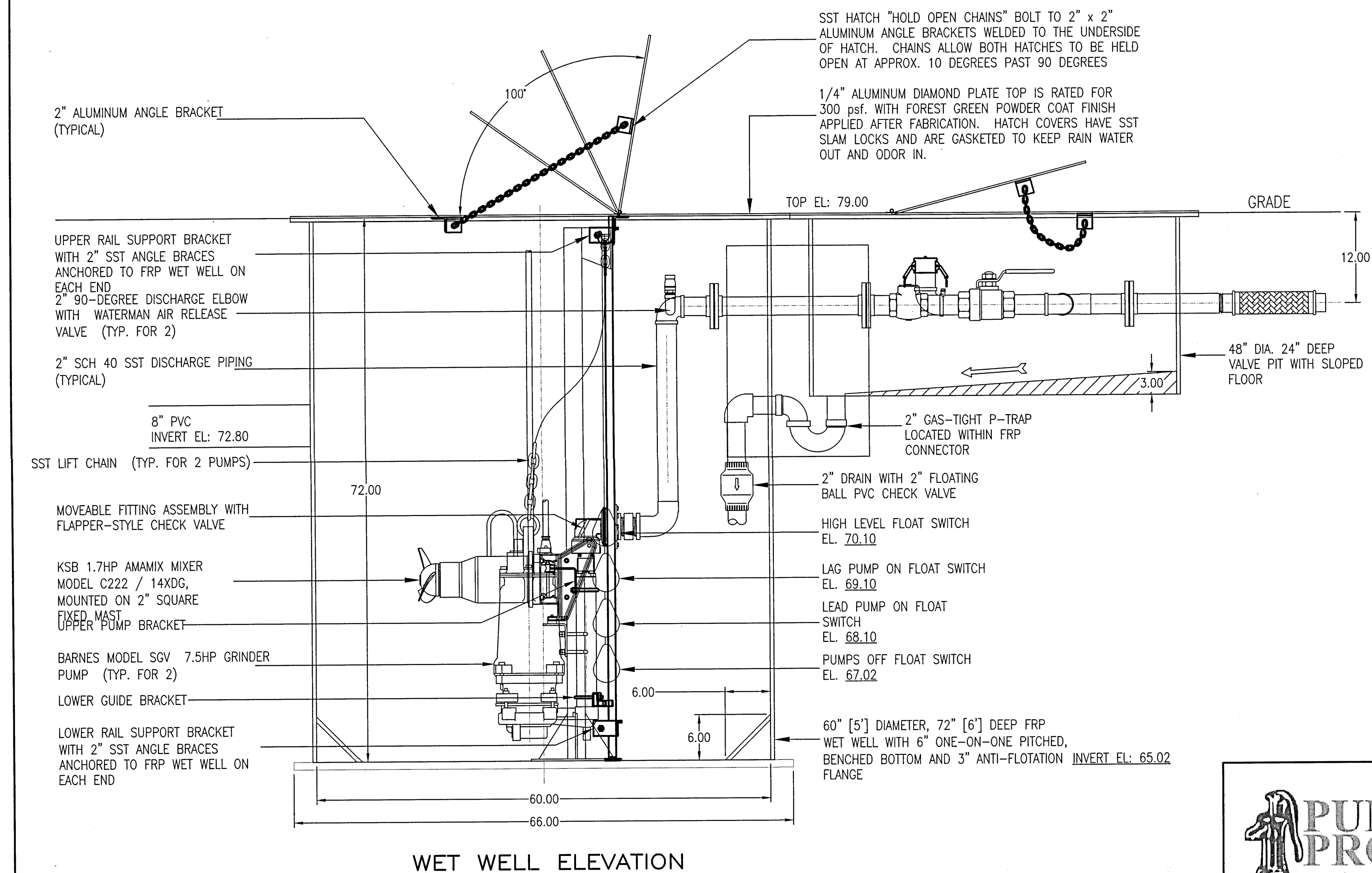
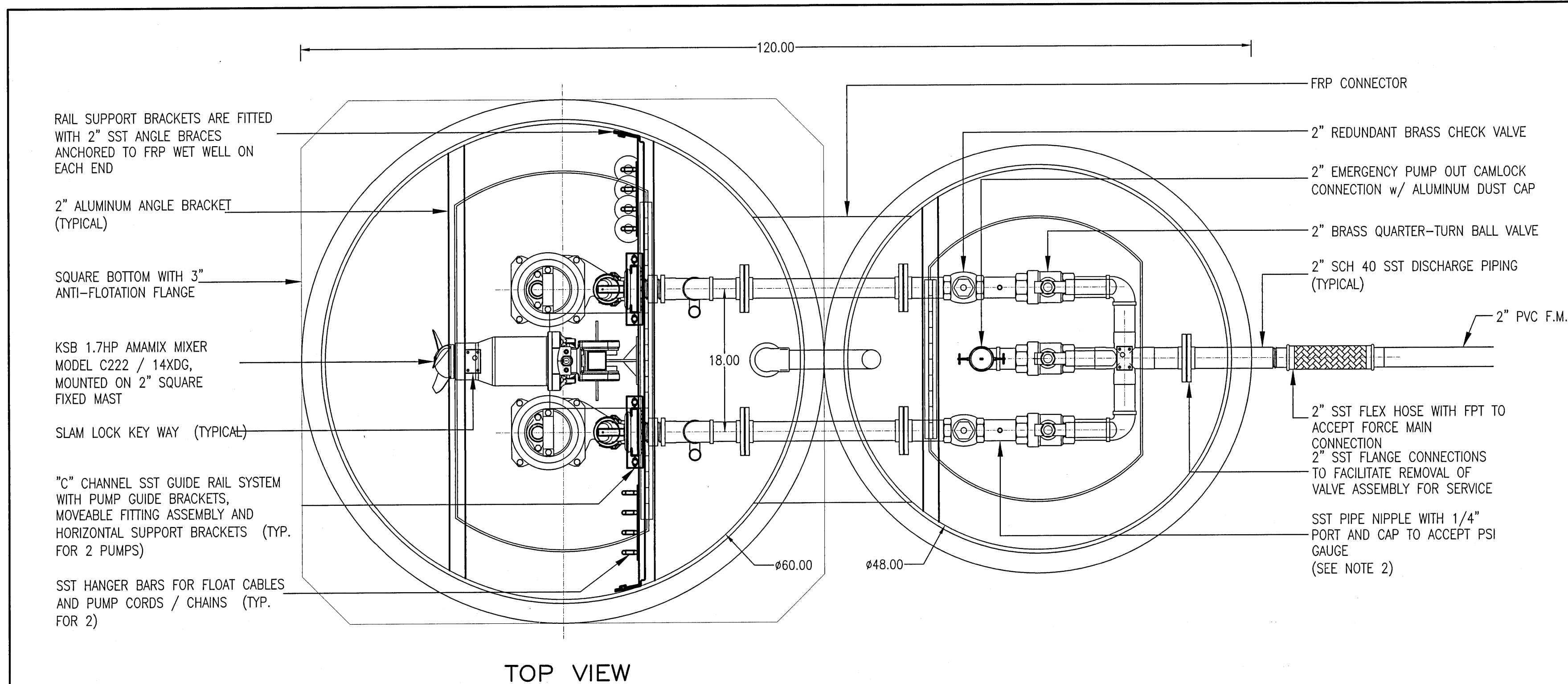
2" x 90° FIPXIP ANGLE BALL VALVE FORD PART NO. BA11777W

2" CLOSE NIPPLE, 316 S.S. (EXISTING 2" BRASS CORPORATION STOP)

2" BRASS CORPORATION STOP FORD PART FB400-7-NL (NEW AIR RELEASE VALVE ASSEMBLY INSTALLATION)

VALVE BOX WITH LID LABELED "SEWER"

CONCRETE VALVE BOX COLLAR



CONTROL PANEL MUST MEET DEP STANDARDS

DUPLEX PUMP CONTROL PANEL WITH ATTACHED SST "AIR BREAK" BOX MOUNTS TO ALUMINUM BACK BOARD

CONTROL PANEL ENCLOSURE AND "AIR BREAK" BOX TO RECEIVE FOREST GREEN POWDER COAT FINISH AFTER FABRICATION

THE 100 AMP POWER DISCONNECT AND METER TO BE INSTALLED BY ELECTRICAL CONTRACTOR.

CONDUIT HUBS SHALL BE PACKED WITH SEALING COMPOUND TO PREVENT PESTS, MOISTURE, AND SEWER GASES FROM ENTERING THE PANEL

ALUMINUM "AIR-BREAK" BOX HAS A HINGED EXPANDED METAL DOOR WITH LATCH AND PADLOCK HASP. 12"H WITH WIDTH AND DEPTH TO MATCH CONTROL PANEL

CUTAWAY TO SHOW CONDUIT HUBS AND ENTRY OF CONDUIT FROM WET WELL

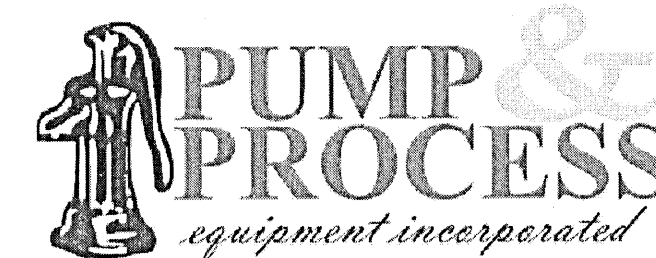
THREE 2" CONDUITS FROM WET WELL SHALL BE ROUTED FOR ENTRY INTO THE "AIR BREAK" BOX

CONTROL PANEL ENCLOSURE DETAIL

PUMP DATA TABLE	
MANUFACTURER	KSB
MODEL	AMAREZ KRTS 40-250/122XG-S
VOLTAGE	230
PHASE	3
HP	10
RPM	3500
GPM	70
TDH	195

NOTES:

1. THE PUMPS MUST HAVE A 5-YEAR 100% REPAIR PARTS AND LABOR WARRANTY AS PROVIDED BY THE PUMP MANUFACTURER.
2. PRESSURE GAUGE TO BE SIZED TO READ NO MORE THAN 1-1/2 TIMES THE MAXIMUM PRESSURE PUMP PROVIDES AT DEAD HEAD.
3. CONTROL PANEL MUST MEET DEP STANDARDS.
4. CONTROL PANEL ENCLOSURE AND "AIR BREAK" BOX TO RECEIVE FOREST GREEN POWDER COAT FINISH AFTER FABRICATION.



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TITLE: STA APT SUITES PENSACOLA, FLORIDA DUPLEX LIFT STATION with MIXER	
CREATED BY: DS	APPROVED BY: BB
SCALE: NTS	REVISION: 3
DATE: 07/19/21	SHEET: 1 OF: 1

REVISION

NO.	DATE	APPR.
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NOT RELEASED FOR CONSTRUCTION

SCALE: AS SHOWN

DESIGNED: CAG

DRAWN: KRD

CHECKED: SAG

DATE: 10/05/21

STAY APT SUITES

LIFT STATION DETAIL

PAVING & STORM DRAINAGE PLANS

GECI & ASSOCIATES, INC.

ENGINEERS

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CERTIFICATE OF AUTHORIZATION NUMBER 00005149

PROJECT NO. 32101

SHEET NO. C530