

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND COMPLETION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SHALL TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DIGGING OR SCARPING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNIFORM COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING, AS REQUIRED TO ESTABLISH GRASSES/SODDED AREAS FREE OF EROSION OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING PIPE, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3568) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEARED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/PAVE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

NO NEW PROPOSED SIGNAGE WILL BE PART OF THIS DEVELOPMENT

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES

3363 WEST PARK PLACE  
PENSACOLA, FL 32505  
PHONE NO.: (850)-595-3475  
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET  
PENSACOLA, FL 32514  
PHONE NO.: (850)-476-5110  
FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 331 SOUTH  
DEFUNIAK SPRINGS, FL 32435  
PHONE NO.: (850)-951-4660  
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD  
TALLAHASSEE, FL 32399  
PHONE NO.: (866)-336-6312  
FAX NO.: (850)-297-1211

PROJECT DIRECTORY:

CIVIL ENGINEER

HAMMOND ENGINEERING, INC.  
3802 NORTH 'S' ST.  
PENSACOLA, FL 32505  
PHONE NO.: (850)-434-2603  
FAX NO.: (850)-434-2650

SURVEYOR

360 SURVEYING SERVICES, INC.  
213 A SOUTH BAYLEN STREET  
PENSACOLA, FL 32502  
PHONE NO.: (850)-857-4400  
FAX NO.: (850)-478-4924

# SITE DEVELOPMENT PLANS FOR WOODY CUSHING ROOFING ACCESSORY BUILDING

SECTION 46, TOWNSHIP 1 SOUTH, RANGE 30 WEST  
ESCAMBIA COUNTY, FLORIDA

525 MICHIGAN AVENUE  
PENSACOLA, FL 32505

OWNER/DEVELOPER:  
WOODY CUSHING ROOFING, INC.  
C/O WOODROW CUSHING  
525 W. MICHIGAN AVE.  
PENSACOLA, FL 32505  
(850)-478-8534

PROPERTY ID NO.:

46-1S-30-2001-021-052

ZONING DESIGNATION: HC/LI

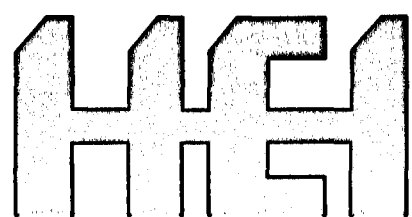
ADJACENT ZONING: HC/LI

FLU DESIGNATION: COM

ADJACENT FLU: COM

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE & GRADING PLAN
- C5 ~ UTILITY PLAN
- C6 ~ LANDSCAPING PLAN
- C7 ~ CONSTRUCTION DETAILS
- C8 ~ CONSTRUCTION DETAILS



HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850-434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

REVISED JANUARY 18, 2021

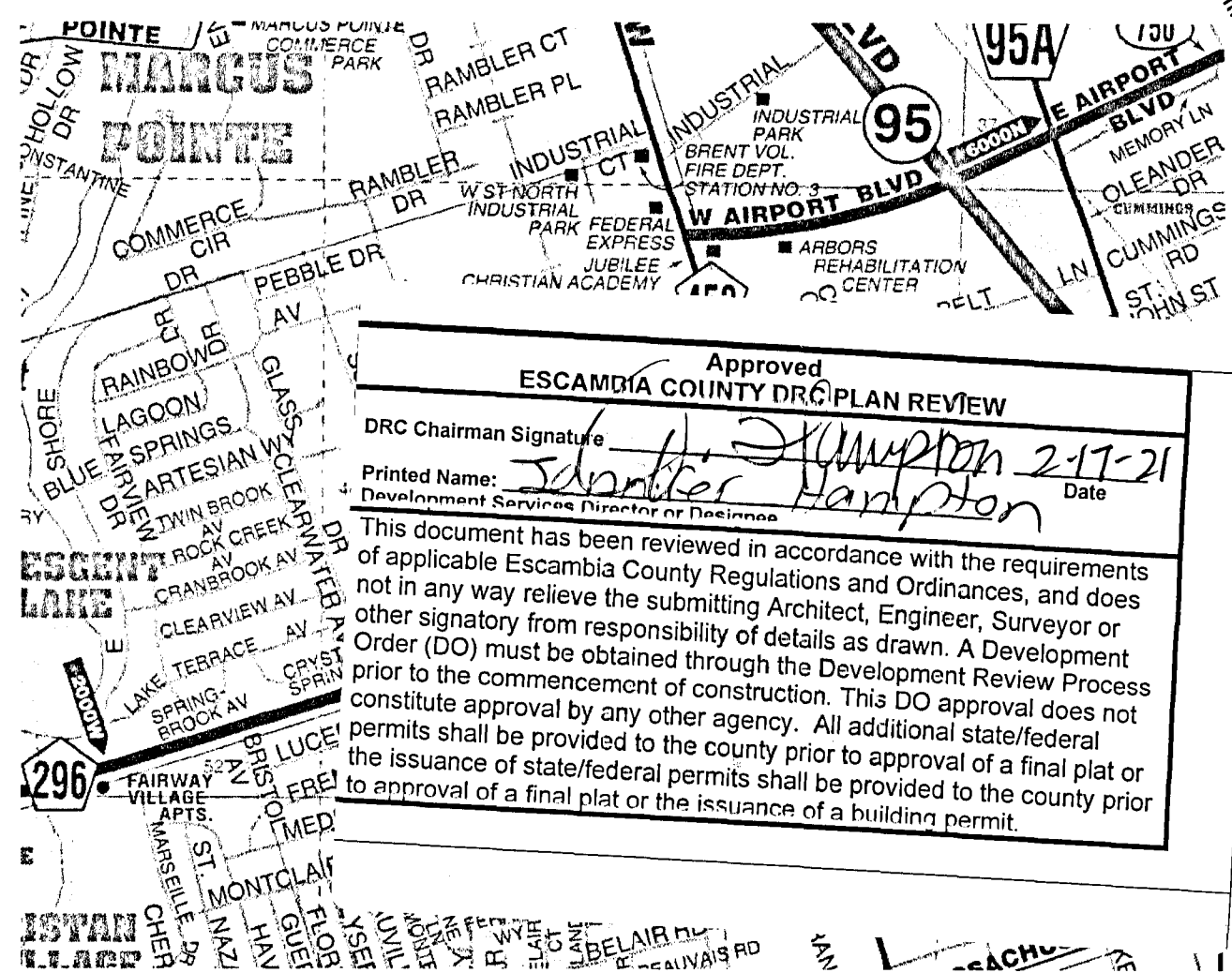
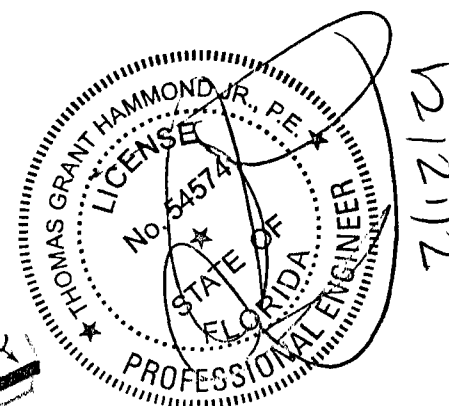
HEI PROJECT #: 20-039

GENERAL NOTES:

32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCE GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (i.e. SLOPES GREATER THAN 3:1).
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND EQIA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

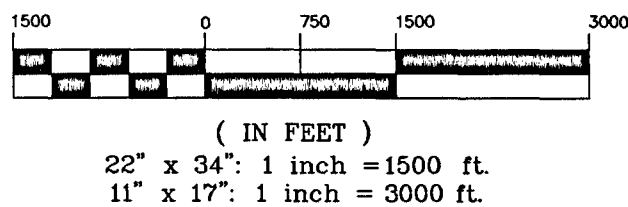
FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X. (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAIN, NO BFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C03606, MAP REVISIONS DATED SEPTEMBER 29, 2006.					
FLOOD ZONE(S)	NFIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0360	G	SEPTEMBER 29, 2006



PROJECT  
LOCATION

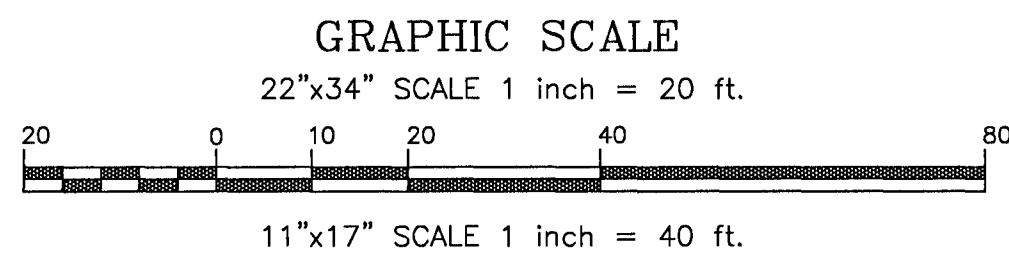
NO.	DATE	REVISIONS
1	01/18/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS



VICINITY MAP  
GRAPHIC SCALE

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H  
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E  
T  
  
C1





**LEGEND**

PROANE TANK  
CLEAN OUT  
MAIL BOX  
SIGN  
POWER POLE  
(P) = FIELD MEASUREMENT  
(D) = DEED MEASUREMENT  
(C) = CALCULATED  
(P) = PLAT MEASUREMENT  
R/W = RIGHT-OF-WAY  
O.R. = OFFICIAL RECORD  
P.G. = PAGE  
TYP. = TYPICAL

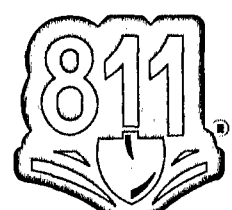
SHEET METAL FENCE  
CHAINLINK FENCE  
WOOD FENCE  
CONCRETE  
ASPHALT  
GRAVEL  
LANDSCAPE AREA  
MAJOR CONTOUR  
MINOR CONTOUR  
SPOT ELEVATION  
LIVE OAK  
SAGO PALM  
PALM

**TREE ID/REMOVAL TABLE**

TREE #	SIZE	TYPE	REASON FOR REMOVAL
T-1	32"	LIVE OAK	TO REMAIN
T-2	30"	LIVE OAK	TO REMAIN
T-3	60"	LIVE OAK	TO REMAIN
T-4	26"	LIVE OAK	TO REMAIN
T-5	48"	LIVE OAK	TO REMAIN
T-6	40"	LIVE OAK	TO REMAIN
T-7	16"	LIVE OAK	TO REMAIN
T-8	10"	LIVE OAK	TO REMAIN
T-9	6"	LIVE OAK	TO REMAIN
T-10	12"	LIVE OAK	TO REMAIN
T-11	6"	SAGO PALM	TO REMAIN
T-12	6"	SAGO PALM	TO REMAIN
T-13	10"	PALM	TO REMAIN
T-14	12"	SAGO PALM	TO REMAIN
T-15	24"	SAGO PALM	TO REMAIN
T-16	18"	SAGO PALM	TO REMAIN

**NOTES:**

- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 07-28-20.
- THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
- ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE SURVEYOR HAS MADE NO SEARCH TO DETERMINE THE CURRENT BUILDING SET BACK REQUIREMENTS FOR THE SUBJECT PROPERTY BEYOND THE CURRENT SUBDIVISION PLAT OF RECORD, CONTACT THE LOCAL CITY/COUNTY LAND DEVELOPMENT CODE OFFICIAL FOR THE APPROPRIATE BUILDING SET BACK DISTANCES.
- BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE EAST PROPERTY LINE OF THE SUBJECT PROPERTY AS IT RELATES TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (READJUSTED IN 2011).
- FENCE LINES ARE EXAGGERATED FOR CLARITY.
- ENCROACHMENTS ARE AS SHOWN.
- THE SOURCE OF VERTICAL DATUM IS FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL CONTROL MONUMENT, 49-00-112/2 ELEVATION: 82.14 FEET; VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), VERIFIED WITH SOKIA GCX3 UTILIZING FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
- MONUMENTATION ALONG THE NORTH AND SOUTH RIGHT OF WAY OF MICHIGAN AVENUE DOES NOT APPEAR TO MEET THE ALLOCATED PLATTED MICHIGAN AVENUE RIGHT OF WAY OF 60 FEET AS RECORDED IN PLAT BOOK 1, PAGE 11. FOUND MONUMENTATION ON THE NORTH LINE OF THE SUBJECT PROPERTY WAS HELD DUE TO THE EAST & WEST LINES MATCHING THE PLAT WITHIN A REASONABLE DISTANCE FROM THE REAR LINE.



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

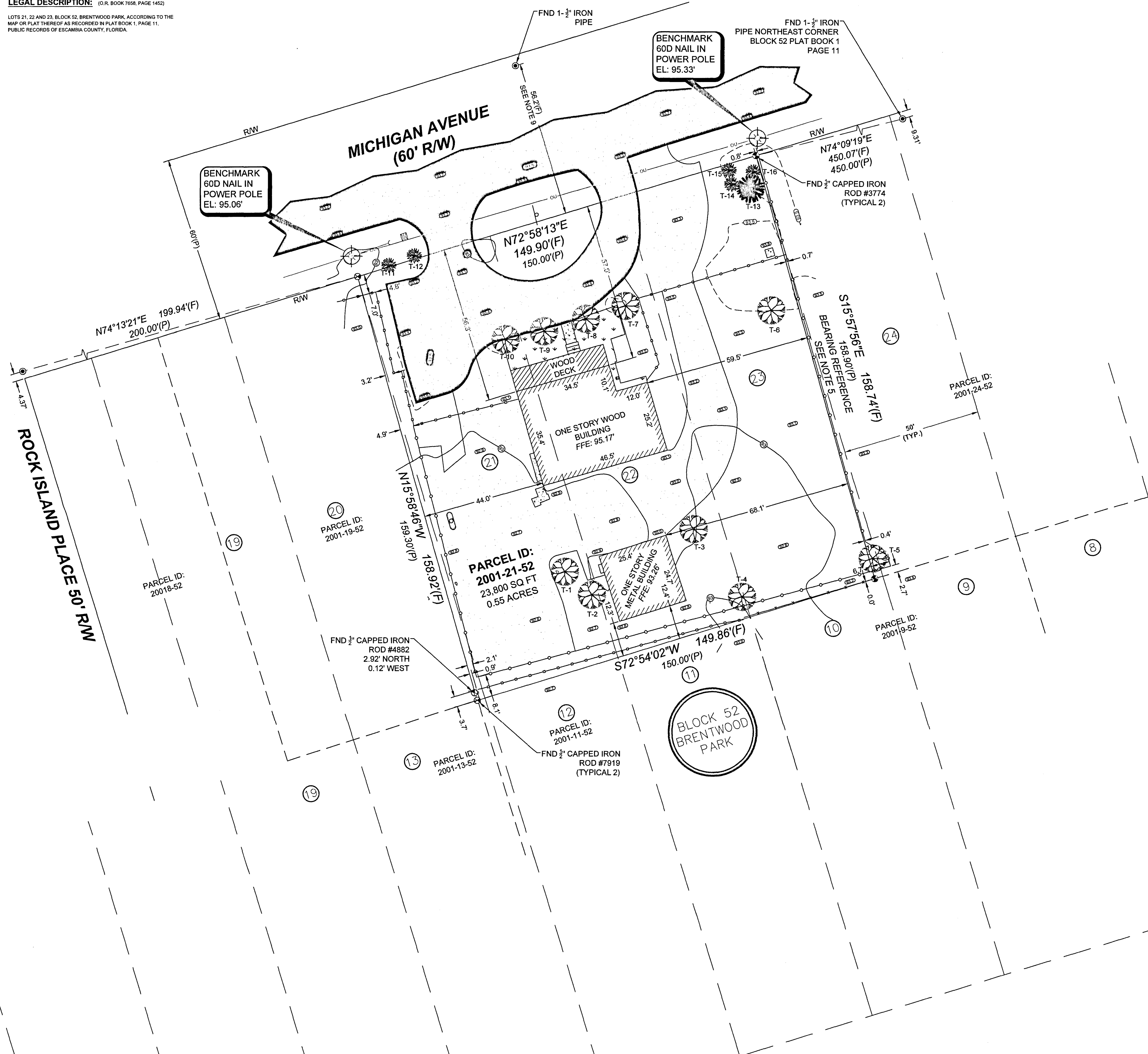
Know what's below  
Call before you dig

**SITE SURVEY COMPLETED BY:**



**360° Surveying Services, Inc.**  
Professional Land Surveyors  
1801 Creighton Road-Pensacola, Florida 32504  
Ph: (850) 857-4400

**LEGAL DESCRIPTION:** (O.R. BOOK 7558, PAGE 1452)  
LOTS 21, 22 AND 23, BLOCK 52, BRENTWOOD PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 11, PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.



NO.	DATE	REVISIONS	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
1	01/18/2021		

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 433-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

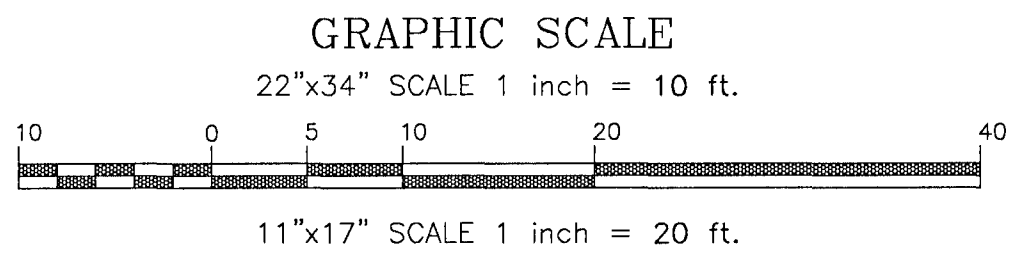
12/21/2

**SITE DEVELOPMENT PLANS FOR**  
WOODY CUSHING  
ROOFING BUILDING  
ACCESSORY BUILDING  
EXISTING CONDITIONS

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 01/07/21	SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION	BY:	DATE:
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PROJECT NO: 20-039  
SHEET: C2

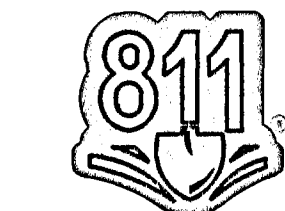


LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING SHEET METAL FENCE
	DENOTES EXISTING LANDSCAPING		DENOTES EXISTING WOOD FENCE
	DENOTES EXISTING GRAVEL TO BE REMOVED		DENOTES EXISTING LIVE OAK TREE
	DENOTES EXISTING MAIL BOX		DENOTES EXISTING PALM TREE
	DENOTES EXISTING WATER METER		DENOTES EXISTING SAGO PALM
	DENOTES EXISTING SILT FENCE		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING TREE PROTECTION BARRIER		DENOTES EXISTING SIGN
	DENOTES PROPOSED SILT FENCE		DENOTES EXISTING SANITARY SEWER LINE TO BE REMOVED
	DENOTES PROPOSED TREE PROTECTION BARRIER		

DEMOLITION/EROSION CONTROL NOTES

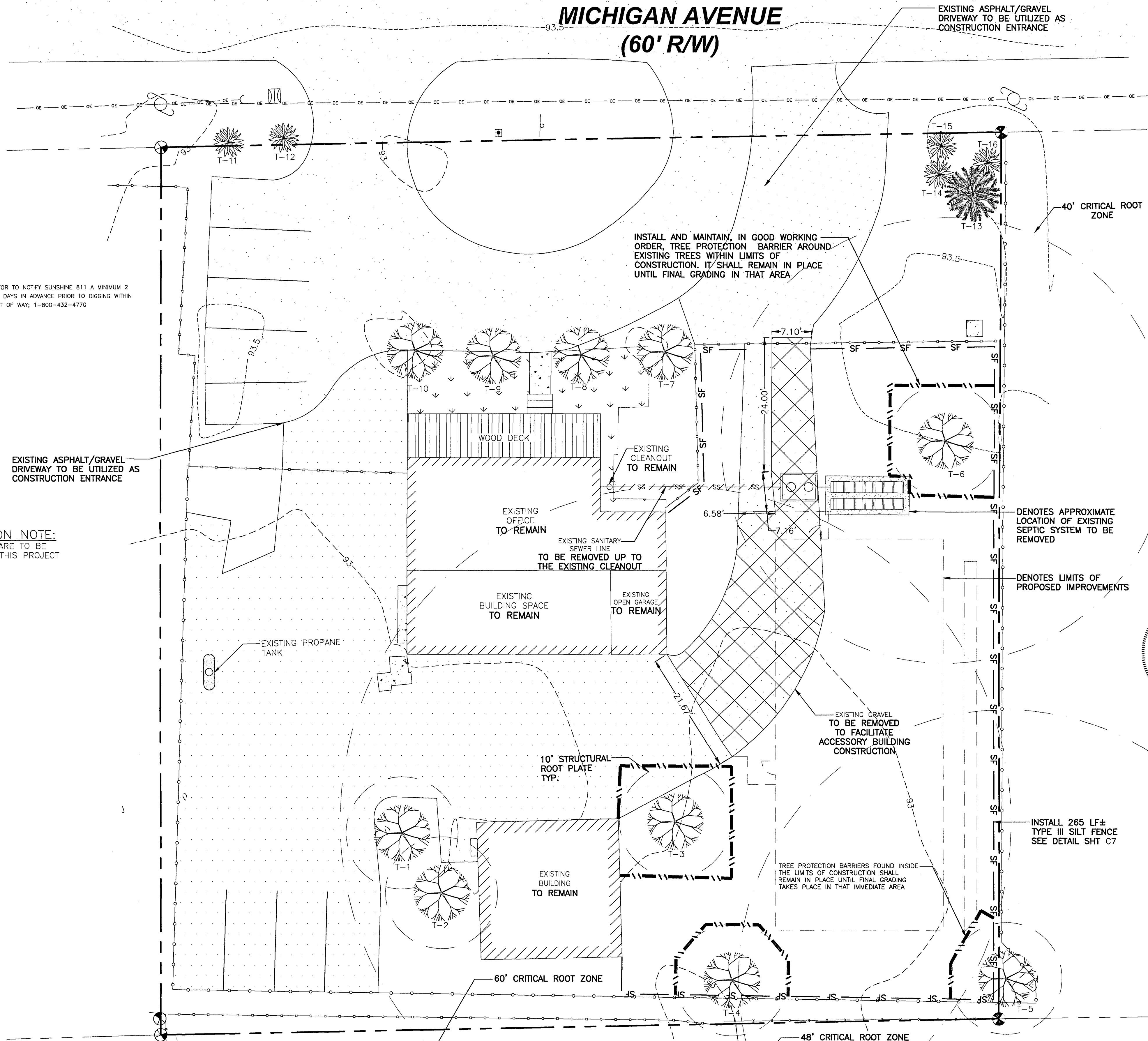
- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE EROSION CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) IS ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY. 1-800-432-4770

TREE PROTECTION NOTE:  
NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT

TREE ID/REMOVAL TABLE			
TREE #	SIZE	TYPE	REASON FOR REMOVAL
T-1	32"	LIVE OAK	TO REMAIN
T-2	30"	LIVE OAK	TO REMAIN
T-3	60"	LIVE OAK	TO REMAIN
T-4	26"	LIVE OAK	TO REMAIN
T-5	48"	LIVE OAK	TO REMAIN
T-6	40"	LIVE OAK	TO REMAIN
T-7	16"	LIVE OAK	TO REMAIN
T-8	10"	LIVE OAK	TO REMAIN
T-9	6"	LIVE OAK	TO REMAIN
T-10	12"	LIVE OAK	TO REMAIN
T-11	6"	SAGO PALM	TO REMAIN
T-12	6"	SAGO PALM	TO REMAIN
T-13	10"	PALM	TO REMAIN
T-14	12"	SAGO PALM	TO REMAIN
T-15	24"	SAGO PALM	TO REMAIN
T-16	18"	SAGO PALM	TO REMAIN



REVISIONS

NO.	DATE	REVISIONS
1	01/18/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM

12/21/21

THOMAS GRANT HAMMOND, P.E.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

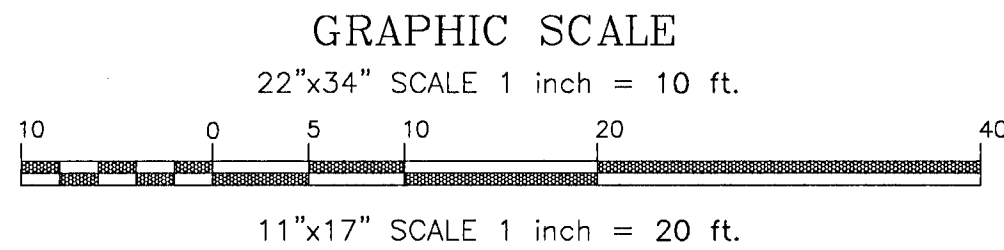
SITE DEVELOPMENT  
PLANS FOR  
WOODY CUSHING  
ROOFING  
ACCESSORY BUILDING  
DEMOLITION & EROSION  
CONTROL PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 01/07/21  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 20-039  
SHEET: C3





LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING SHEET METAL FENCE
	DENOTES EXISTING LANDSCAPING		DENOTES EXISTING WOOD FENCE
	DENOTES PROPOSED GRAVEL		DENOTES EXISTING LIVE OAK TREE
	DENOTES PROPOSED SOD (BAHAI RECOMMENDED)		DENOTES EXISTING PALM TREE
	DENOTES EXISTING MAIL BOX		DENOTES EXISTING SAGO PALM
	DENOTES EXISTING WATER METER		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING BENCHMARK LOCATION		DENOTES EXISTING SIGN
	DENOTES EXISTING SPOT ELEVATION		MATCH EXISTING GRADE
	DENOTES PROPOSED SPOT ELEVATION		DENOTES PROPOSED STORM PIPE
			DENOTES PROPOSED FENCE

SITE DATA:  
PARCEL ZONING: HC/LI  
FLU: C

OVERLAY DISTRICT: PALAFOX

BUILDING SETBACKS REQUIRED (PALAFOX OVERLAY DISTRICT):  
NEW CONSTRUCTION SHALL BE SET BACK A DISTANCE SIMILAR TO THAT OF ADJACENT BUILDINGS UNLESS CUSTOMER PARKING IS PROVIDED ADJACENT TO THE STREET IN SUPPORT OF OPTED PRINCIPLES. EXCEPTIONS MAY BE GRANTED IF THE SETBACK IS PEDESTRIAN ORIENTED AND CONTRIBUTES TO THE QUALITY AND CHARACTER OF THE STREETScape.

STRUCTURE HEIGHT:  
NEW OR REDEVELOPED BUILDINGS, OR BUILDING ADDITIONS, SHALL COMPLEMENT THE EXISTING PATTERN OF BUILDING HEIGHTS. NO STRUCTURE SHALL EXCEED 45 FEET IN HEIGHT AND ANY LOWER HEIGHT REQUIRED BY THE UNDERLYING ZONING DISTRICT SHALL GOVERN.

BUFFERS AND SCREENING OF OUTDOOR STORAGE:  
ALL OUTSIDE STORAGE MUST BE SCREENED FROM PUBLIC VIEW. THE SCREENING MUST USE THE SAME MATERIALS, COLOR, AND/OR STYLE AS THE PRIMARY BUILDING FOR ARCHITECTURAL COMPATIBILITY WITH THE PRIMARY BUILDING AND THE BUILDING IT IS ADJACENT TO. IF THE OUTSIDE STORAGE AREA IS SEPARATE FROM THE BUILDING IT SERVES THE FOLLOWING SHALL APPLY:

A. TYPE. ONLY FENCES CONSTRUCTED OF LEGITIMATE FENCING MATERIALS (MAY OR MAY NOT BE OPAQUE) OR MASONRY, CONCRETE OR STUCCO WALLS MAY SUPPLEMENT BUFFERS. SPECIFICALLY, GARAGE DOORS AND SHEETS OF ROOFING MATERIAL DO NOT QUALIFY FOR FENCING OR WALL MATERIALS.

B. SCREENING OF OUTDOOR STORAGE. OPAQUE FENCING SHALL MEAN CHAIN LINK FENCE WITH SLATS, PRIVACY WOODEN FENCE, OR PRIVACY PVC/VINYL FENCE. A SIX-FOOT CONCRETE OR STUCCO WALL MAY ALSO BE USED TO SCREEN OUTDOOR STORAGE.

MAXIMUM IMPERVIOUS SURFACE: 85%  
MAXIMUM BUILDING HEIGHT: 150'  
MAXIMUM FLOOR AREA RATIO: 1.0 (C)

PARKING CALCULATIONS:  
EXISTING OFFICE SPACE 1,386 SF

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
3.5 PARKING STALLS PER 1000 SQUARE FEET  
(1,386/1000)\*3.5 ~ 5 STALLS REQUIRED

PROPOSED ACCESSORY STORAGE BUILDING

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
0.5 PARKING STALLS PER 1000 SQUARE FEET OR 1 PER EMPLOYEE  
(2100/1000)\*0.5 ~ 2 STALLS REQUIRED

7 TOTAL PARKING STALLS REQUIRED

PARKING REQUIREMENTS MET BY EXISTING PARKING

#### REQUIRED MITIGATION:

NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

#### PROTECTED TREE NOTE:

1. PROTECTED TREES SHALL REMAIN ON-SITE AS SHOWN AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

3"-#57 CRUSHED LIMESTONE (UNIFORM GRADE)

6" SUB GRADE COMPACTED TO 98%  
PER ASTM D 1557, MIN. LBR 40

#### TYPICAL ROCK PARKING LOT SECTION

NTS

\*NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS

#### FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.

TOTAL SITE AREA: 23,801 SF - 0.55 ACRES					
IMPERVIOUS and PERVIOUS AREA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS	2,146 SF	0 SF	2,100 SF	4,246 SF	+2,100 SF
ASPHALT/CONCRETE	2,854 SF	0 SF	73 SF	2,927 SF	+73 SF
TOTAL IMPERVIOUS AREA	5,000 SF	0 SF	2,173 SF	7,173 SF	+2,173 SF
ROCK AREA	7,316 SF	966 SF	1,022 SF	7,372 SF	+56 SF
LANDSCAPE AREA	11,485 SF	3,195 SF	966 SF	9,256 SF	(-2,229 SF)
PERCENTAGE OF LANDSCAPE	48%			39%	(-9%)

46-1S-30-2001-019-052  
WHEATLEYS WHARF LLC  
PO BOX 1144  
GULF BREEZE, FL 32562  
ZONING: HC/LI  
FLU: COM  
USE: OPEN STORAGE

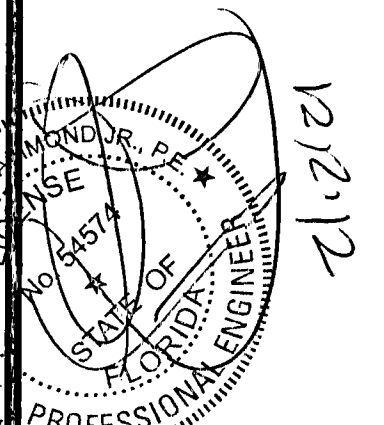
46-1S-30-2001-013-052  
CHESSER EARIUS JR  
524 YOKUM CT  
PENSACOLA, FL 32505  
ZONING: HC/LI  
FLU: COM  
USE: MULTI-FAMILY <=9

46-1S-30-2001-011-052  
CHESSER CARUS JR  
524 YOKUM CT  
PENSACOLA, FL 32505  
ZONING: HC/LI  
FLU: COM  
USE: VACANT COMMERCIAL

PROPOSED  
2,100 SF  
ACCESSORY BUILDING  
(STORAGE)

POND BERM TO  
MAINTAIN A MINIMUM  
HEIGHT OF 93.25'

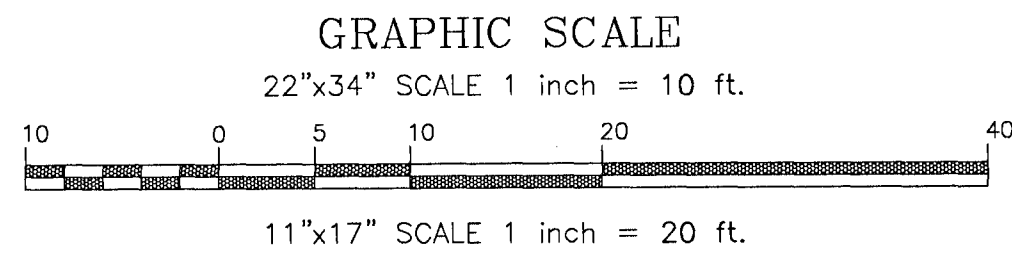
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SITE DEVELOPMENT  
PLANS FOR  
WOODY CUSHING  
ROOFING  
ACCESSORY BUILDING  
SITE & GRADING PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 01/07/21  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 20-039  
SHEET: C4



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING SHEET METAL FENCE
	DENOTES EXISTING LANDSCAPING		DENOTES EXISTING WOOD FENCE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING LIVE OAK TREE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING PALM TREE
	DENOTES EXISTING MAIL BOX		DENOTES EXISTING SAGO PALM
	DENOTES APPROXIMATE LOCATION OF EXISTING WATER METER		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING FIRE HYDRANT		DENOTES EXISTING SIGN
	DENOTES EXISTING SANITARY SEWER		DENOTES EXISTING WATER LINE
	DENOTES EXISTING WATERLINE		DENOTES EXISTING STORM PIPE

SEPTIC TANK & DRAIN FIELD DATA  
EXISTING 1,520 SF OFFICE BUILDING

AS PER 64E-6.008 TABLE I FAC;  
15 GPD EXPECTED PER EMPLOYEE/8 HR SHIFT, OR  
15 GPD EXPECTED PER 100 SF OF FLOOR SPACE, WHICHEVER IS GREATER  
(846 SF/100)\*15= 127 GPD (USE FLOOR SPACE)

PROPOSED 2,100 ACCESSORY BUILDING (STORAGE)  
2 ROLL-UP DOORS PROPOSED  
(1 PROPOSED ROLL-UP DOOR IS FOR VENTILATION PURPOSES ONLY AND  
WILL BE INACCESSIBLE BY VEHICLE)  
AS PER 64E-6.008 TABLE I FAC;  
100 GPD PER LOADING BAY  
100 GALLONS PER DAY EXPECTED

TOTAL OF 227 GPD EXPECTED

ASSUME SOIL RATING = 0.60  
227 GPD/0.6=379 SF DRAIN FIELD REQUIRED  
1.5 x 379 SF = 569 SF CLEAR AREA REQUIRED

UTILIZE 900 GALLON SEPTIC TANK

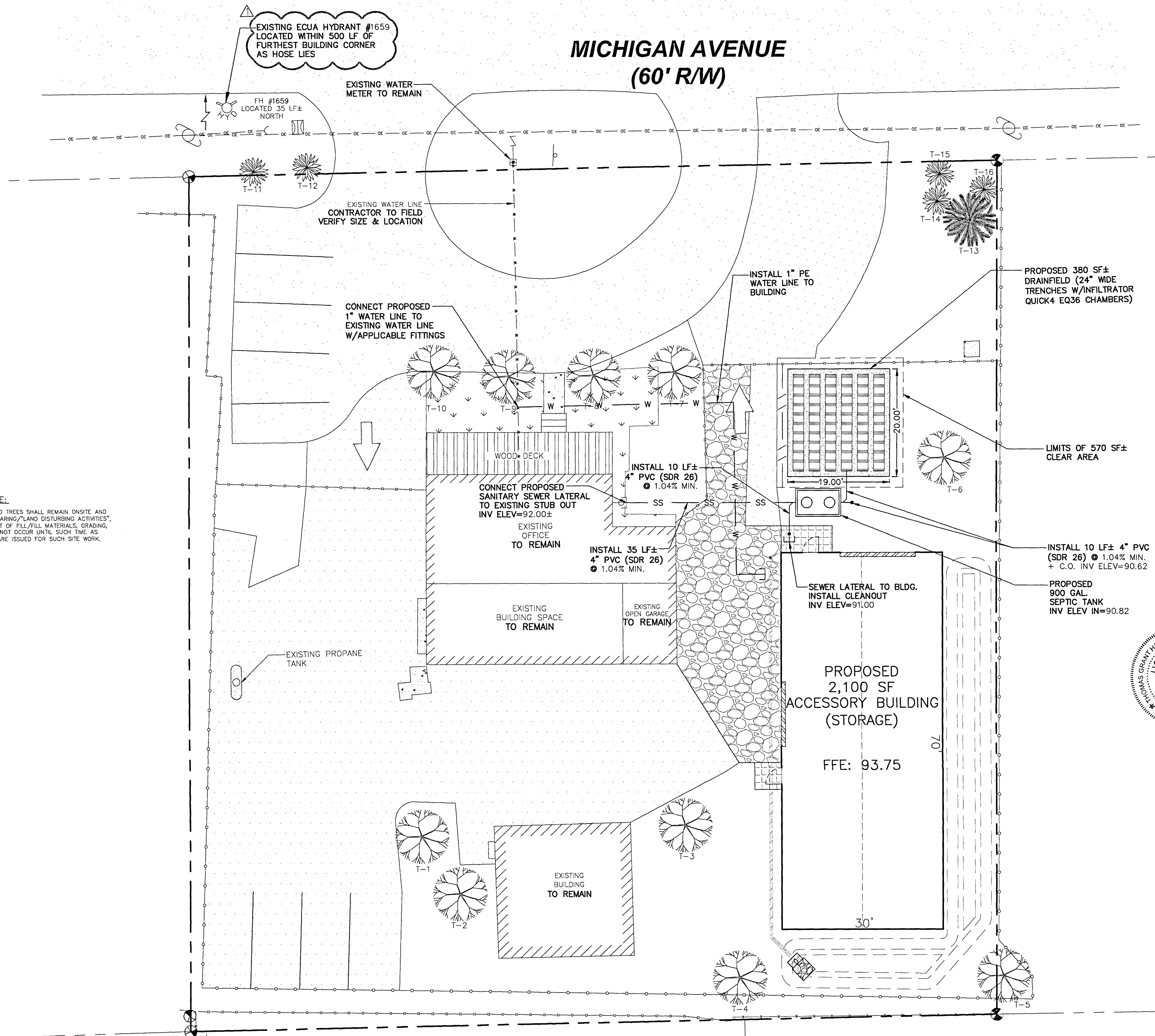
SETBACKS TO BE IN ACCORDANCE WITH SECTION 64E-6.005 FAC.

GENERAL UTILITY NOTES:

- All potable water and sanitary sewer work shall be done in accordance with Gonzales Utilities engineering manual.
- Contractor shall notify ECUA, F.D.O.T. and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with a Gonzales Utilities Inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished by the contractor to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated Gonzales Utilities Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within any county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet CB.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate any proposed natural gas service with Energy Services of Pensacola...850-983-5434.

PROTECTED TREE NOTE:

- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.



NO.	DATE	REVISIONS
1	01/18/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.  
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850 434-2603  
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SITE DEVELOPMENT  
PLANS FOR  
WOODY CUSHING  
ROOFING  
ACCESSORY BUILDING  
UTILITY PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: CUG  
DESIGNED BY: RLS  
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DATE: 01/07/21  
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BY: DATE:

PROJECT NO: 20-039

SHEET: C5



## GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.



11"x17" SCALE 1 inch = 20 ft.

## LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING SHEET METAL FENCE
	DENOTES EXISTING LANDSCAPING		DENOTES EXISTING WOOD FENCE
	DENOTES PROPOSED GRAVEL		DENOTES EXISTING LIVE OAK TREE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING SAGO PALM
	DENOTES PROPOSED SOD (BAHAI RECOMMENDED)		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING MAIL BOX		DENOTES EXISTING FIRE HYDRANT
	DENOTES APPROXIMATE LOCATION OF EXISTING WATER METER		DENOTES PROPOSED FENCE
	DENOTES EXISTING WAX MYRTLE UNDERSTORY TREE TO BE PLANTED (OR APPROVED EQUAL)		DENOTES PROPOSED STORM PIPE
	DENOTES EXISTING INDIAN HAWTHORN SHRUB (OR APPROVED EQUAL) TO BE PLANTED TYPICAL OF 10		DENOTES EXISTING RED MAPLE CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL)

## REQUIRED LANDSCAPE PLANTING DATA

**SOUTH BOUNDARY LINE:** PROVIDE TYPE 'B' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (COMMERCIAL ADJUTING SINGLE FAMILY RESIDENTIAL) ALONG EASTERN 47 LF ± OF PROPERTY LINE.  
16' WIDE x 47' LONG BUFFER

2.5 CANOPY TREES REQ'D/100 LF  
(47/100)\*2.5 = 2 CANOPY TREES REQ'D  
2 EXISTING  
NO NEW CANOPY TREES TO BE PLANTED  
2.0 UNDERSTORY TREES REQ'D/100 LF  
(47/100)\*2.0 = 1 UNDERSTORY TREE REQ'D  
PLANT 1 UNDERSTORY TREE  
20 SHRUBS REQ'D/100 LF  
(47/100)\*20 = 10 SHRUBS REQ'D  
PLANT 10 SHRUBS

**NORTH BOUNDARY LINE:** NO BUFFER REQUIRED, MICHIGAN AVENUE RIGHT OF WAY.  
PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

**EAST BOUNDARY LINE:** NO BUFFER REQUIRED, ADJACENT PROPERTY IS COMMERCIAL DEVELOPMENT.  
PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

**WEST BOUNDARY LINE:** NO BUFFER REQUIRED, ADJACENT PROPERTY IS COMMERCIAL DEVELOPMENT.  
PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

**INTERIOR PARKING LOT:** PLANT ONE (1) CANOPY TREE AT TERMINUS OF PARKING ROWS AS PER CH. 2, ART. 2, SEC. 2-2.2(c) DESIGN STANDARDS MANUAL. PLANT ONE (1) CANOPY TREE DUE TO PROXIMITY OF OVERHEAD UTILITY LINES & EXISTING TREES (T-1, T-2)

**REQUIRED MITIGATION:** NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

## ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.

- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:

1. NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.

- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL (SABAL PALMETTO).

- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.

- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, STRIPPED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.

- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.

## LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSEENED EXISTING SOIL, REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEED.

46-1S-30-2001-019-052  
WHEATLEYS WHARF LLC  
PO BOX 1144  
GULF BREEZE, FL 32562  
ZONING: HC/LI  
FLU: COM  
USE: OPEN STORAGE

EXISTING TREES (T-1 & T-2)  
TO SATISFY PARKING ISLAND  
PLANTING REQUIREMENT

TREE ID/MITIGATION TABLE				
TREE #	SIZE	TYPE	REASON FOR REMOVAL	CALIPER INCHES MITIGATION REQUIRED
T-1	32"	LIVE OAK	TO REMAIN	N/A
T-2	30"	LIVE OAK	TO REMAIN	N/A
T-3	60"	LIVE OAK	TO REMAIN	N/A
T-4	26"	LIVE OAK	TO REMAIN	N/A
T-5	48"	LIVE OAK	TO REMAIN	N/A
T-6	40"	LIVE OAK	TO REMAIN	N/A
T-7	16"	LIVE OAK	TO REMAIN	N/A
T-8	10"	LIVE OAK	TO REMAIN	N/A
T-9	6"	LIVE OAK	TO REMAIN	N/A
T-10	12"	LIVE OAK	TO REMAIN	N/A
T-11	6"	SAGO PALM	TO REMAIN	N/A
T-12	6"	SAGO PALM	TO REMAIN	N/A
T-13	10"	PALM	TO REMAIN	N/A
T-14	12"	SAGO PALM	TO REMAIN	N/A
T-15	24"	SAGO PALM	TO REMAIN	N/A
T-16	18"	SAGO PALM	TO REMAIN	N/A
TOTAL CALIPER INCHES REMOVED = 0"				
TOTAL CALIPER INCHES TO BE PLANTED = N/A				

46-1S-30-2001-011-052  
CHESSER GARUS JR  
524 YOKUM CT  
PENSACOLA, FL 32505  
ZONING: HC/LI  
FLU: COM  
USE: VACANT COMMERCIAL

PLANT INDIAN  
HAWTHORN SHRUB  
TYP. OF 10

PLANT  
WAX MYRTLE

46-1S-30-2001-009-052  
PERKINS ROBERT R  
6630 EAST BAY BLVD  
NAVARRE, FL 32596  
ZONING: HC/LI  
FLU: COM  
USE: SINGLE FAMILY RESIDENCE

MICHIGAN AVENUE  
(60' R/W)

REQUIRED PARKING ISLAND CANOPY TREE  
NOT TO BE PLANTED DUE TO PROXIMITY  
OF EXISTING OVERHEAD UTILITIES

PROVIDE A MINIMUM 50' SEPARATION  
BETWEEN CANOPY TREES TO BE PLANTED  
AND EXISTING OVERHEAD UTILITIES

WOOD DECK

EXISTING OFFICE  
TO REMAIN

EXISTING BUILDING SPACE  
TO REMAIN

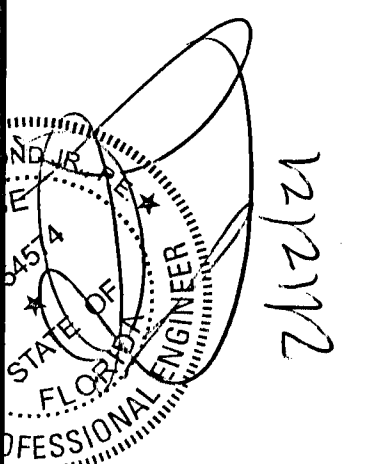
EXISTING OPEN GARAGE  
TO REMAIN

PROPOSED  
2,100 SF  
ACCESSORY BUILDING  
(STORAGE)

FFE: 93.75

46-1S-30-2001-024-052  
FAST EDDIES INC  
505 W MICHIGAN AVE  
PENSACOLA, FL 32505-2603  
ZONING: HC/LI  
FLU: COM  
USE: RACE TRACK

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM



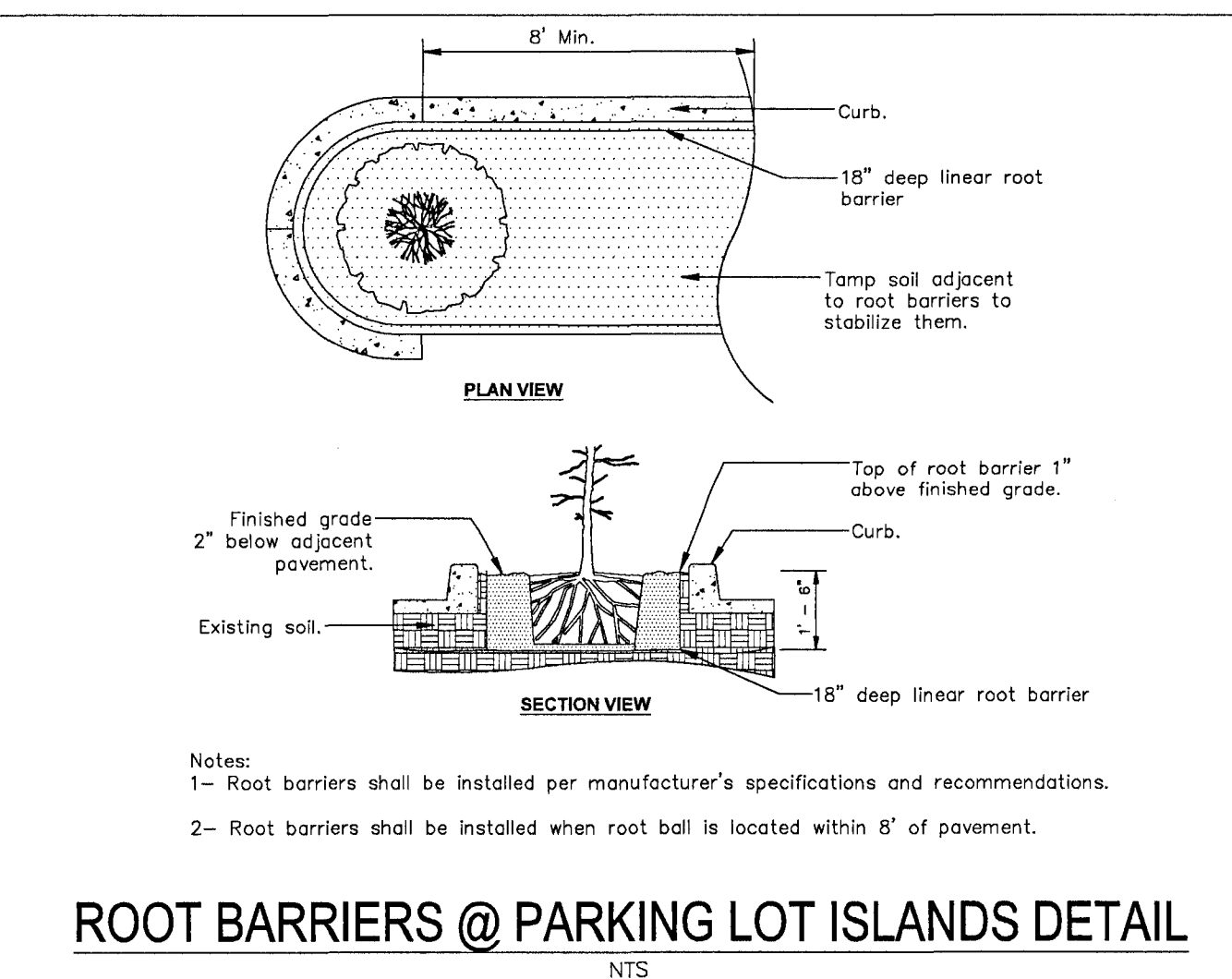
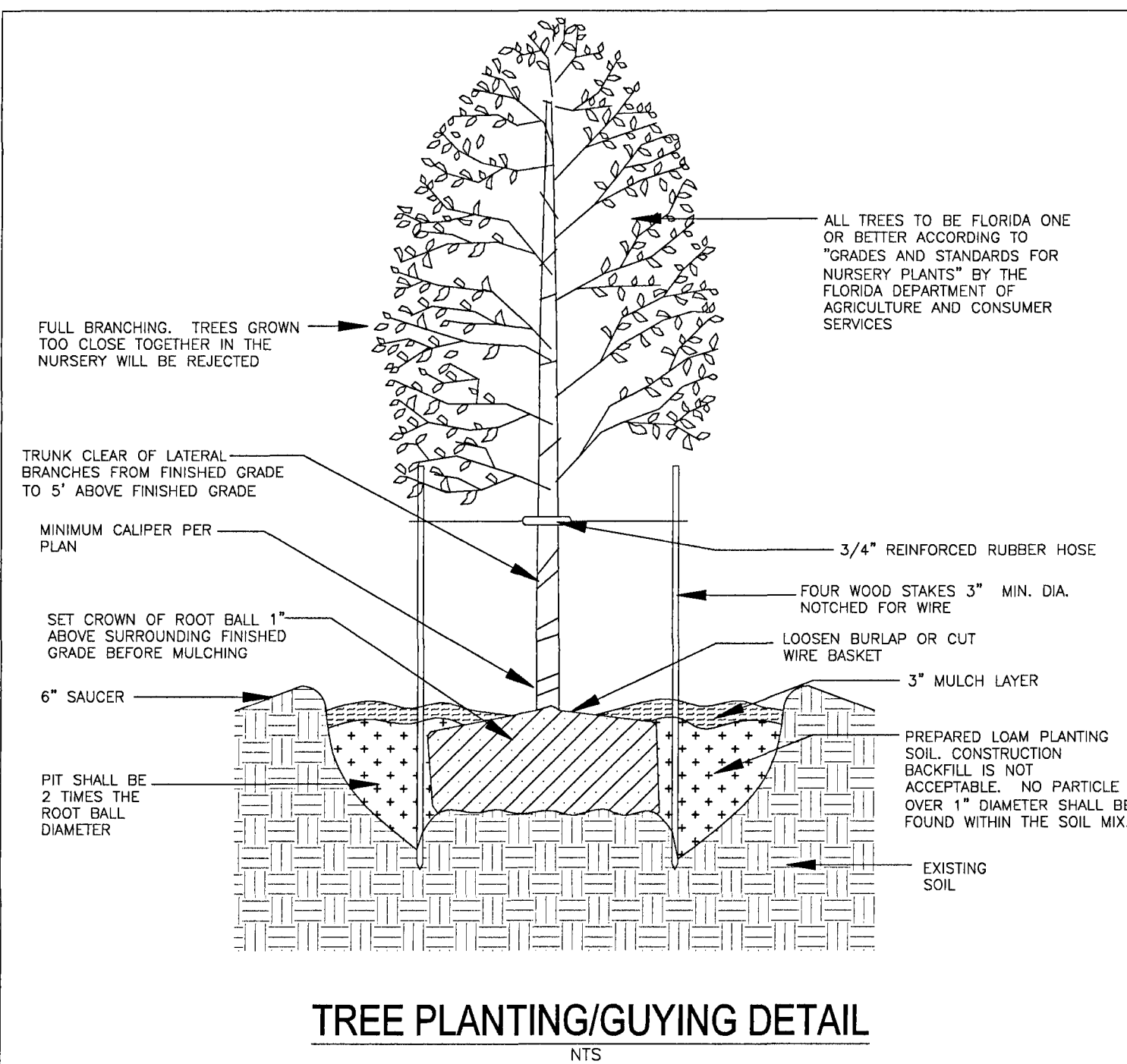
SITE DEVELOPMENT  
PLANS FOR  
WOODY GUSHING  
ROOFING  
ACCESSORY BUILDING  
LANDSCAPING PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 01/07/21  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

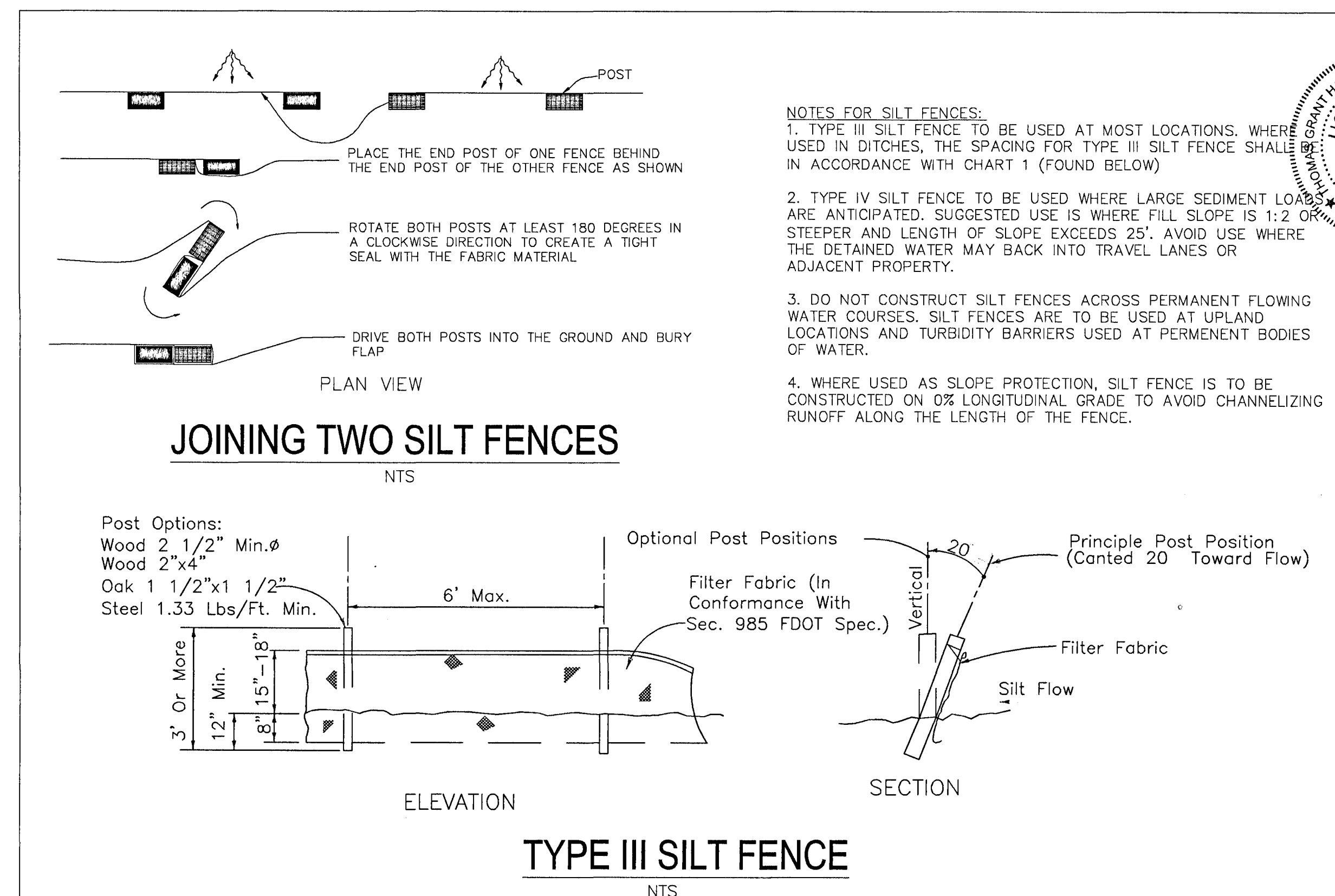
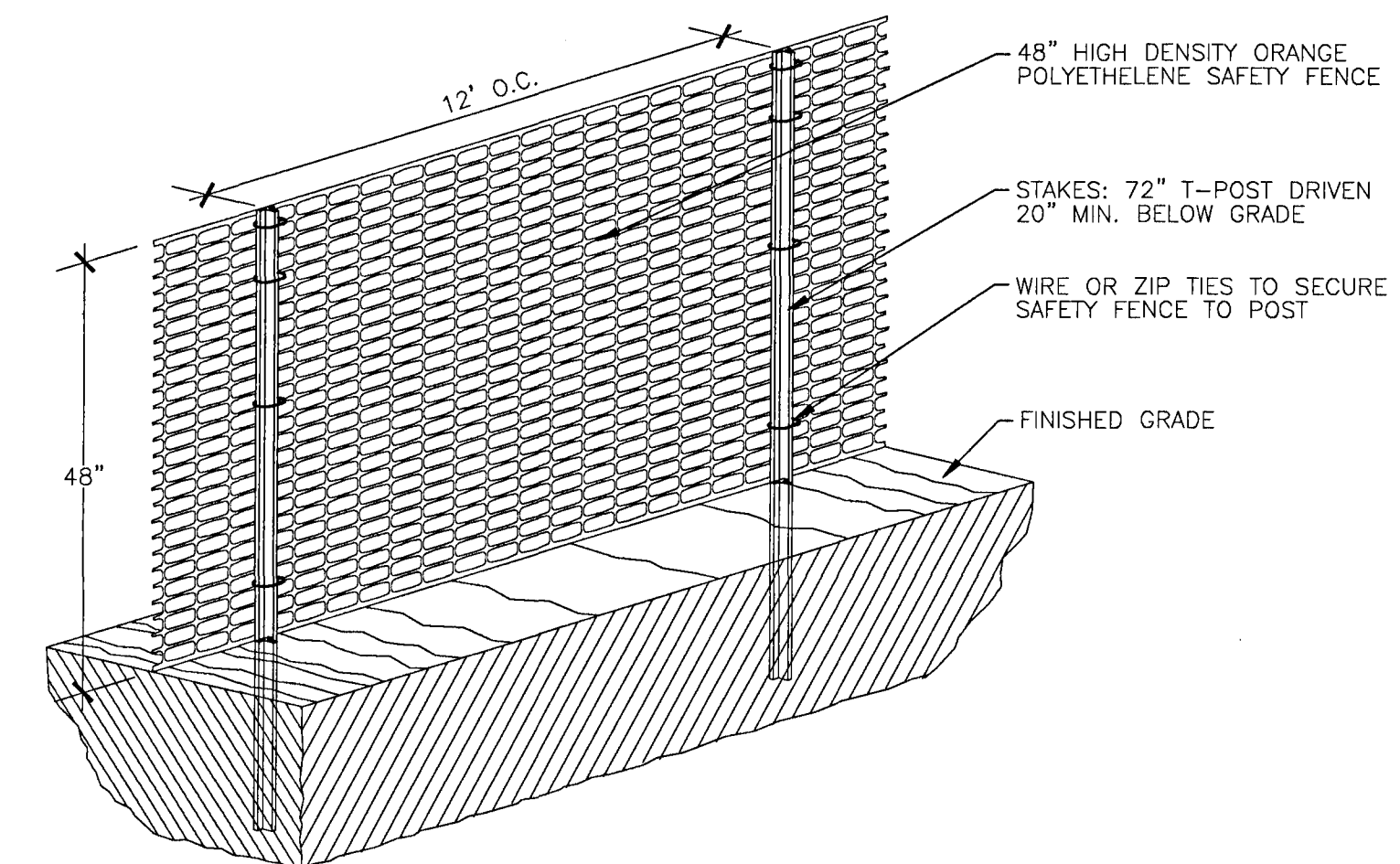
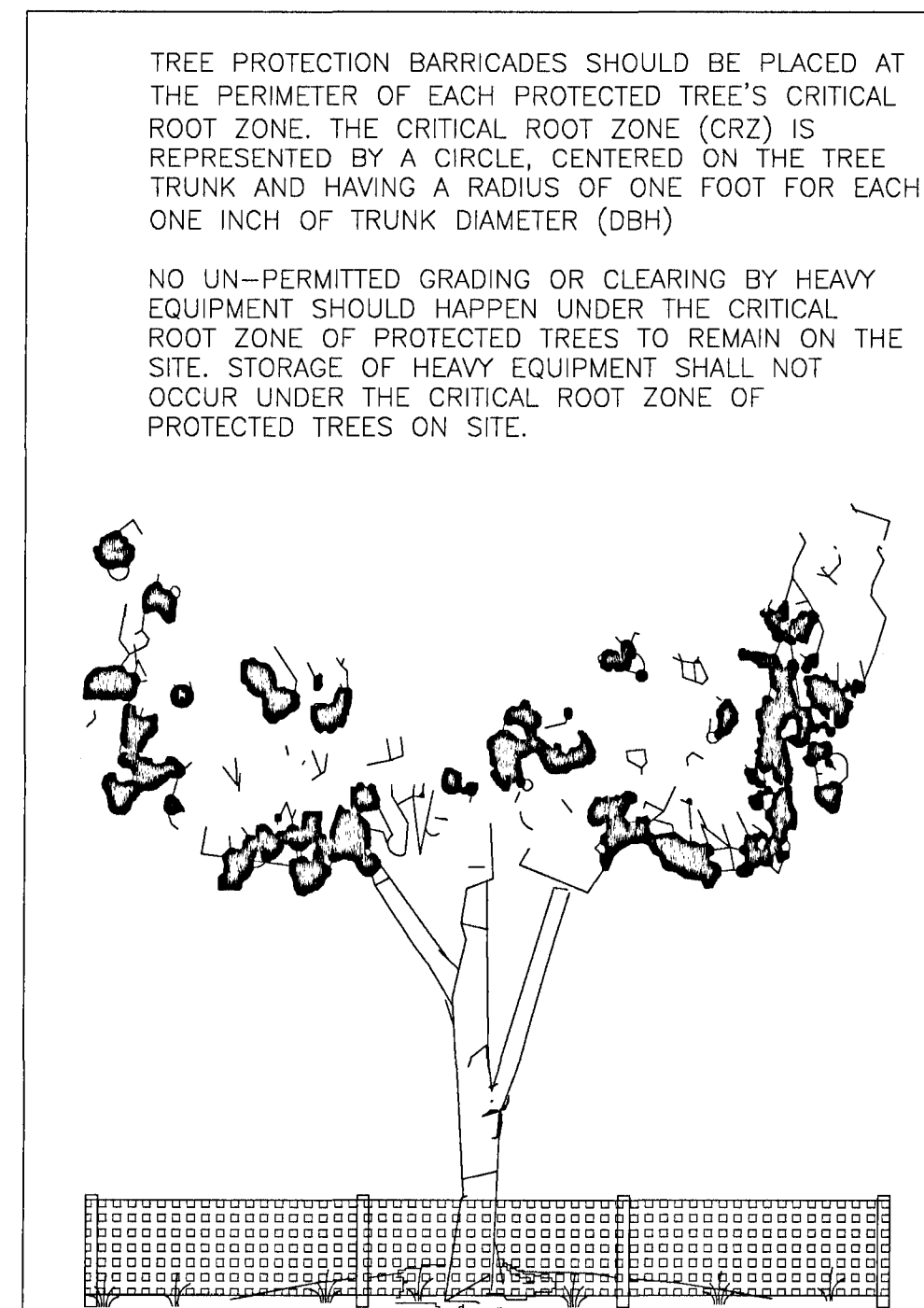
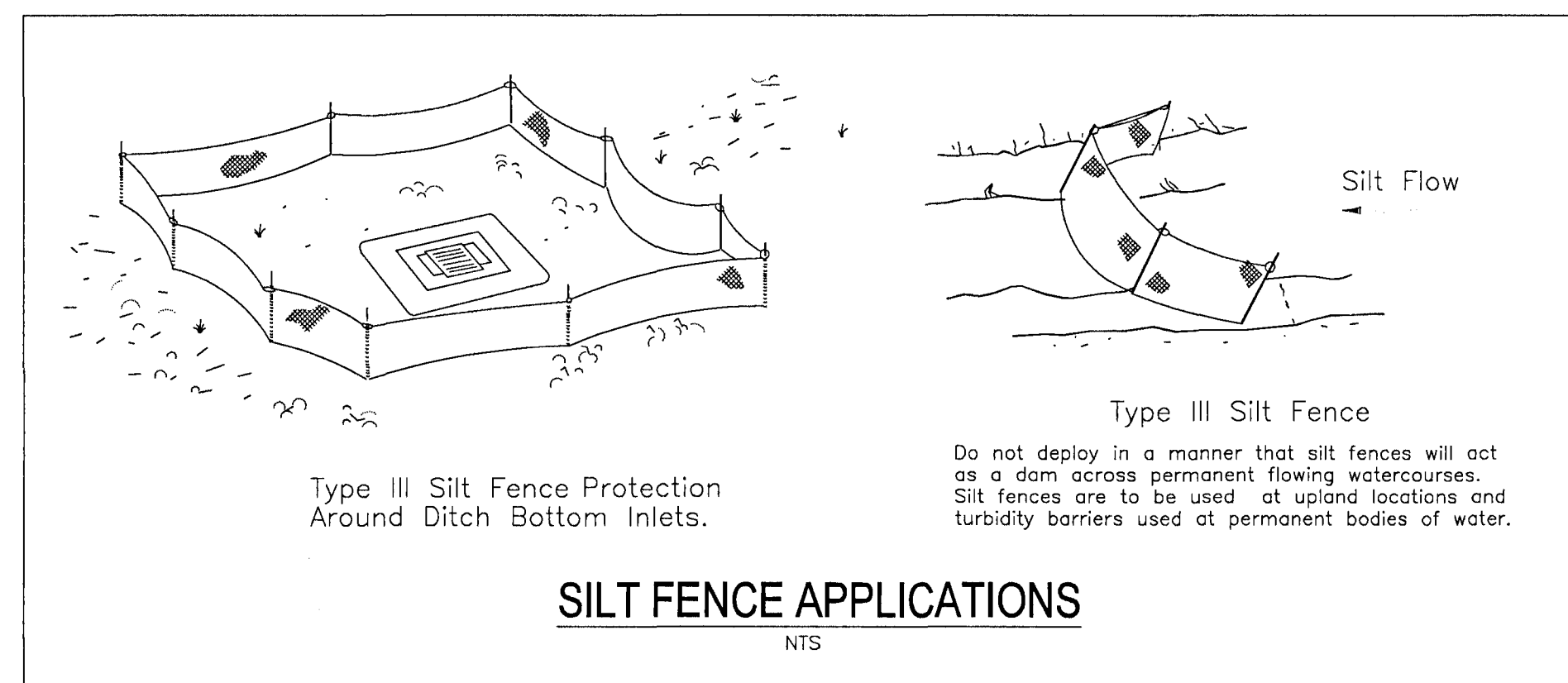
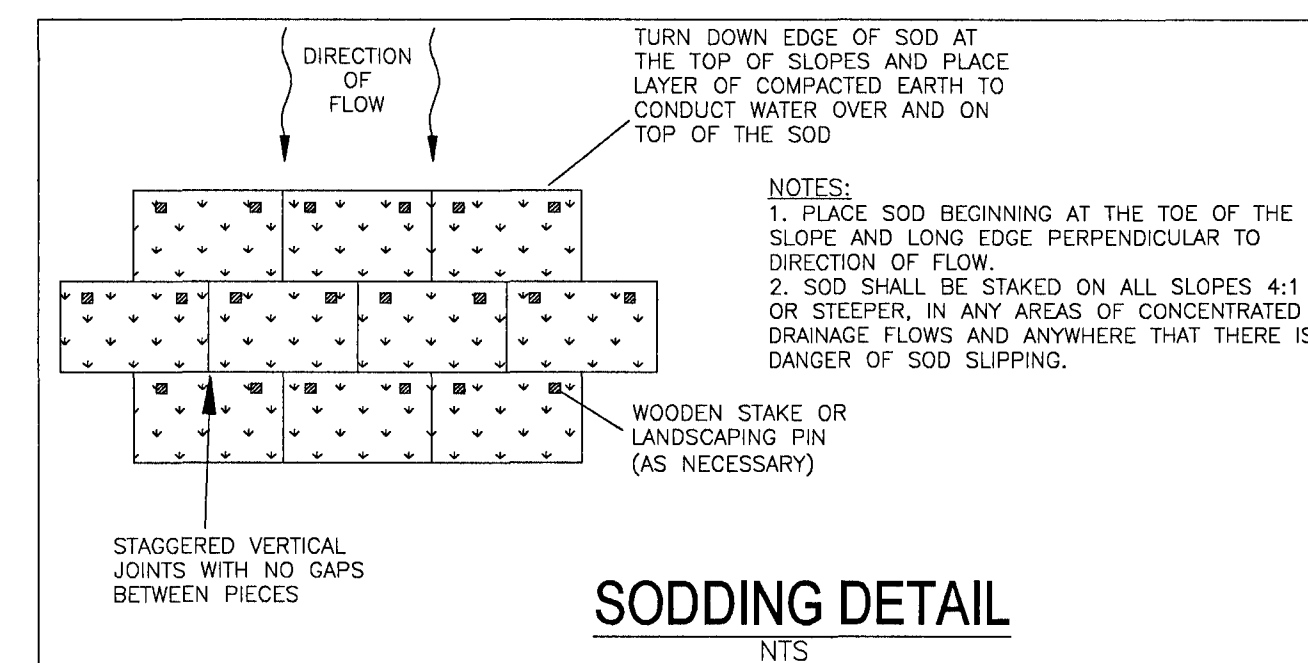
PROJECT NO: 20-039  
SHEET: C6

REVISIONS	
NO.	DATE
1	01/18/2021
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS	

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<u>List of Recommended Native and Non-Invasive Plants</u>		
Shrubs (mature height 36" min.)	Undersory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
<i>Abelia</i>	<i>Flowering Dogwood</i>	<i>Red Maple</i>
<i>Abelia grandiflora</i>	<i>Cornus florida</i>	<i>Acer rubrum</i>
<i>Aucuba japonica</i>	<i>Loblolly Bay</i>	<i>Silver Maple</i>
<i>Aucuba</i>	<i>Gordonia lasianthus</i>	<i>Acer saccharum</i>
<i>Barberry</i>	<i>American Holly</i>	<i>American Hornbeam</i>
<i>Barberry sp.</i>	<i>Nex opaco</i>	<i>Carpinus caroliniana</i>
<i>Japanese Bowwood</i>	<i>Dahoon Holly</i>	<i>Southern Red Cedar</i>
<i>Buxus microphylla</i>	<i>Nex castanea</i>	<i>Juniperus virginiana</i>
<i>Beauty Berry</i>	<i>Crape Myrtle</i>	<i>Leyland Cypress</i>
<i>Callisarcia Americana</i>	<i>Lagerstroemia indica</i>	<i>Cupressocypariss leylandii</i>
<i>Japanese Plum-Yew</i>	<i>Glossy Privet</i>	<i>River Birch</i>
<i>Cephalotaxa harringtonia</i>	<i>Ligustrum lucidum</i>	<i>Betula nigra</i>
<i>Silverthorn Elaeagnus</i>	<i>Saucer Magnolia</i>	<i>Pignol Hickory</i>
<i>Elaeagnus pungens</i>	<i>Magnolia x soulangeana</i>	<i>Carya glabra</i>
<i>Fatsia</i>	<i>Sweetbay Magnolia</i>	<i>Green Ash</i>
<i>Fatsia japonica</i>	<i>Magnolia virginiana</i>	<i>Fraxinus pennsylvanica</i>
<i>Gordonia</i>	<i>Southern Crab Apple</i>	<i>Maidenhair Tree</i>
<i>Gordonia jasminoides</i>	<i>Malus angustifolia</i>	<i>Ginkgo biloba (male)</i>
<i>Burford Holly</i>	<i>Wax Myrtle</i>	<i>Sweetgum</i>
<i>Nex cornuta</i>	<i>Myrica cerifera</i>	<i>Liquidambar styraciflua</i>
<i>Japanese Privet</i>	<i>Bradford Pear</i>	<i>Tulip Poplar</i>
<i>Ligustrum japonicum</i>	<i>Pyrus calleryana</i>	<i>Liriodendron tulipif</i>
<i>Southern Wax Myrtle</i>	<i>Yaupon Holly</i>	<i>Southern Magnolia</i>
<i>Myrica cerifera</i>	<i>Nex vomitoria</i>	<i>Magnolia grandiflora</i>
<i>Firethorn</i>	<i>Loquat</i>	<i>Tupelo/Sour Gum</i>
<i>Eriobotrya laevis</i>	<i>Eriobotrya japonica</i>	<i>Nyssa sylvatica</i>
<i>Dwarf Japanese Holly</i>	<i>Eastern Redbud</i>	<i>Sleigh Bells</i>
<i>Nex crenata</i>	<i>Cercis canadensis</i>	<i>Pinus elliptica</i>
<i>Chinese Holly</i>	<i>Fringe Tree</i>	<i>Longleaf Pine</i>
<i>Nex cornuta</i>	<i>Chionanthus virginicus</i>	<i>Pinus palustris</i>
<i>Dwarf Yaupon Holly</i>	<i>Hawthorn</i>	<i>Sycamore</i>
<i>Nex vomitoria "Nana"</i>	<i>Crataegus spp.</i>	<i>Platanus occidentalis</i>
<i>Chinese Juniper</i>	<i>Silverbell</i>	<i>White Oak</i>
<i>Juniperus chinensis</i>	<i>Hicoria caroliniana</i>	<i>Quercus alba</i>
<i>Indian Hawthorn</i>		<i>Live Oak</i>
<i>Rhapizolepis sp.</i>		<i>Quercus virginiana</i>
<i>Red-Tip Photinia</i>		<i>Shumard Oak</i>
<i>Photinia</i>		<i>Quercus shumardii</i>
<i>Rhododendron/Azalea</i>		<i>Southern Red Oak</i>
<i>Rhododendron sp.</i>		<i>Quercus bicolor</i>

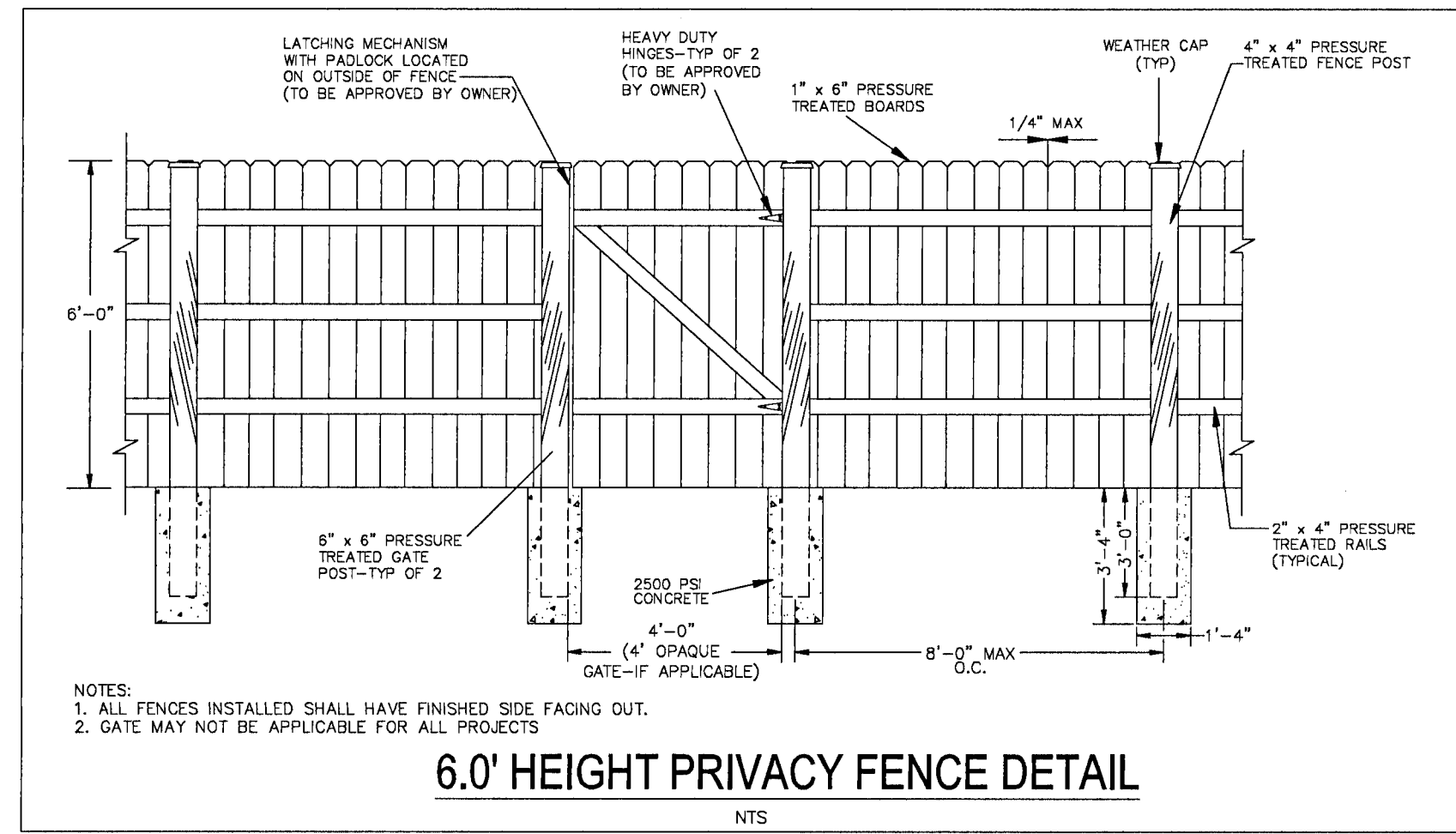
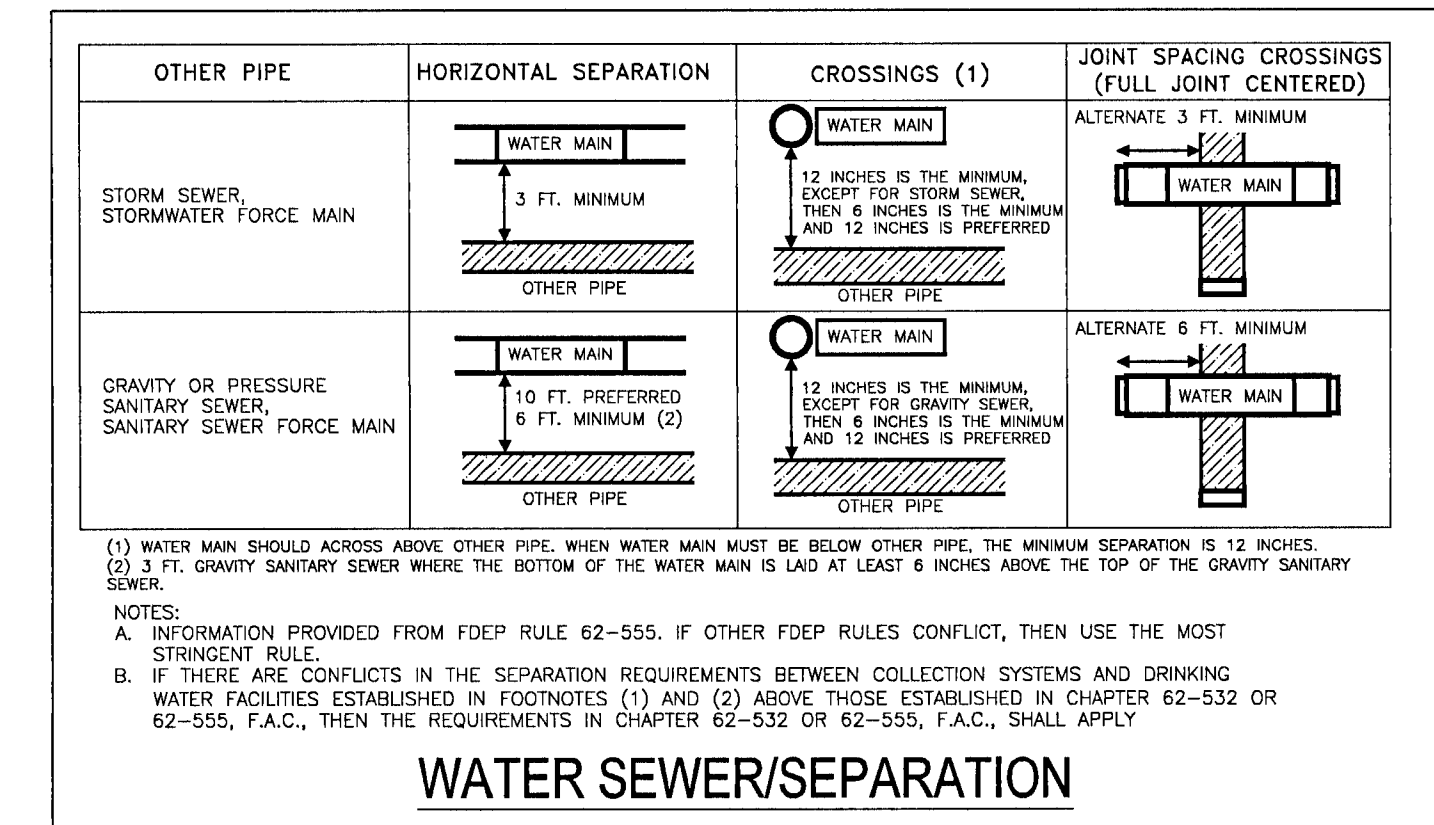
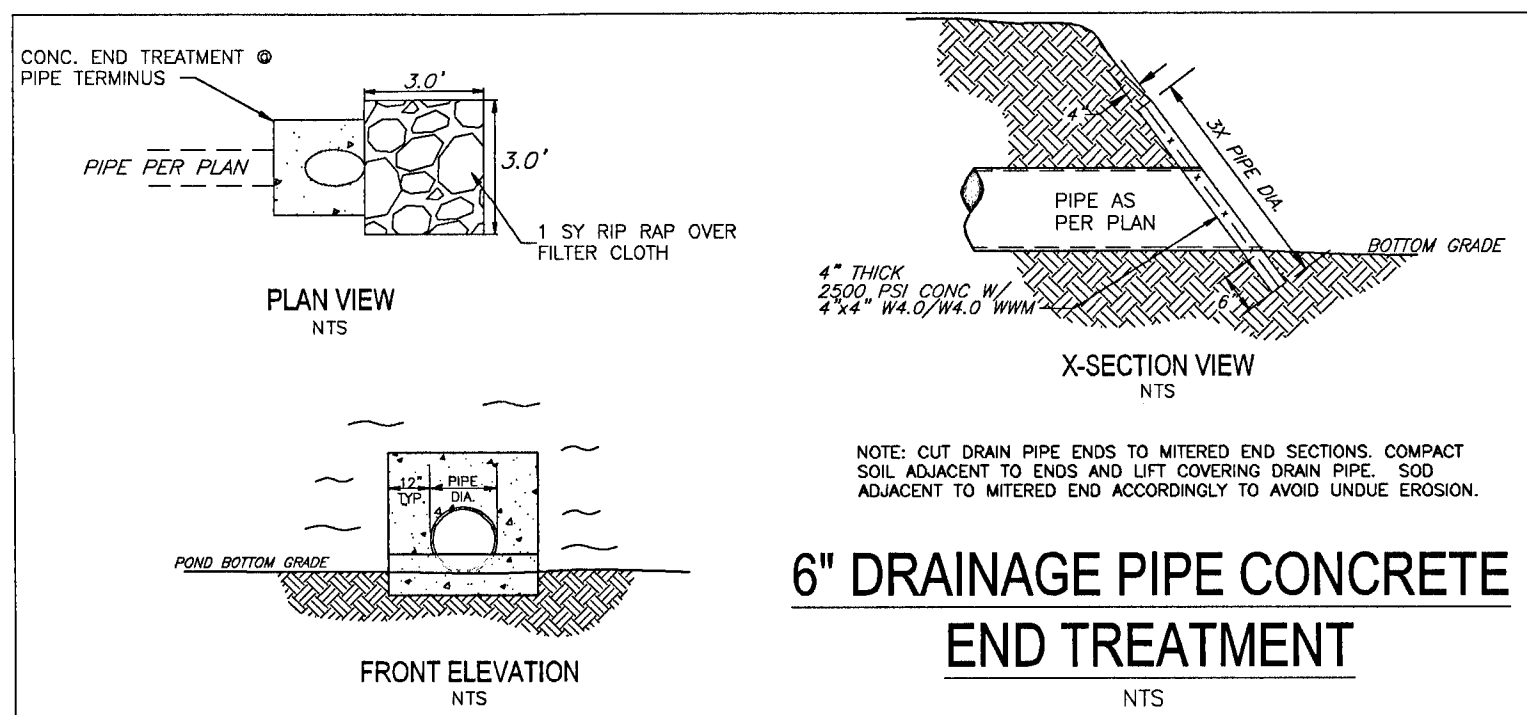
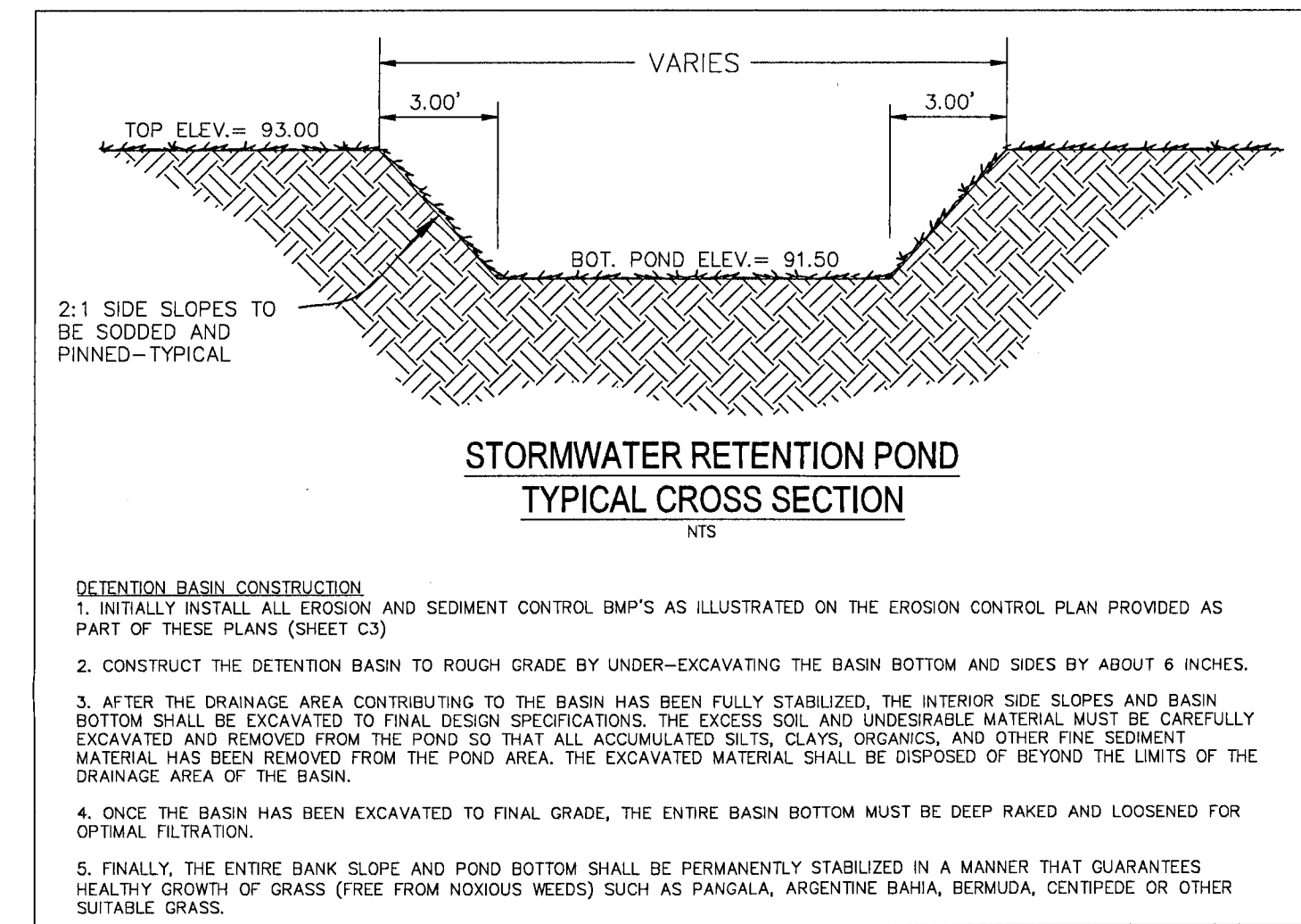
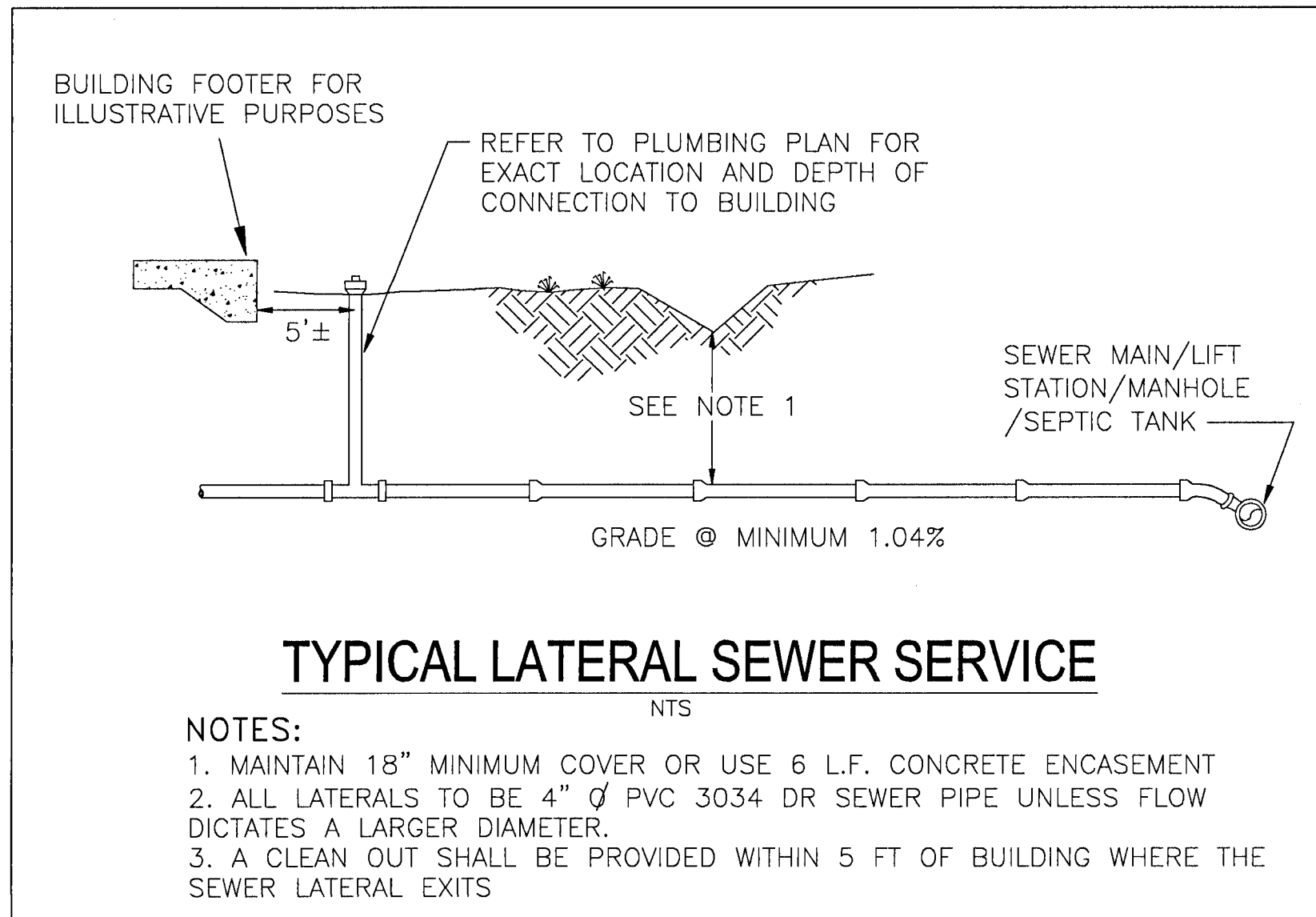
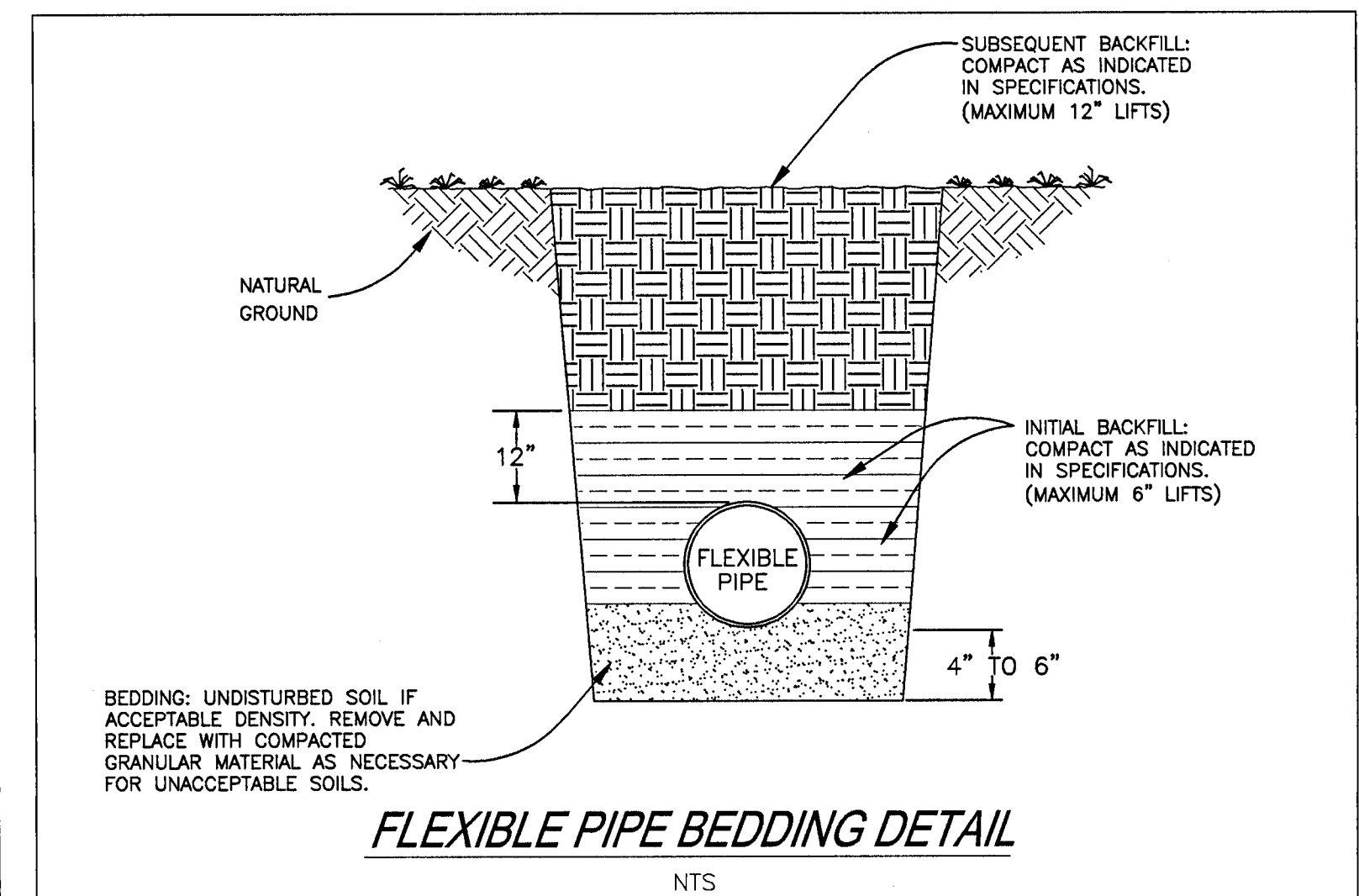
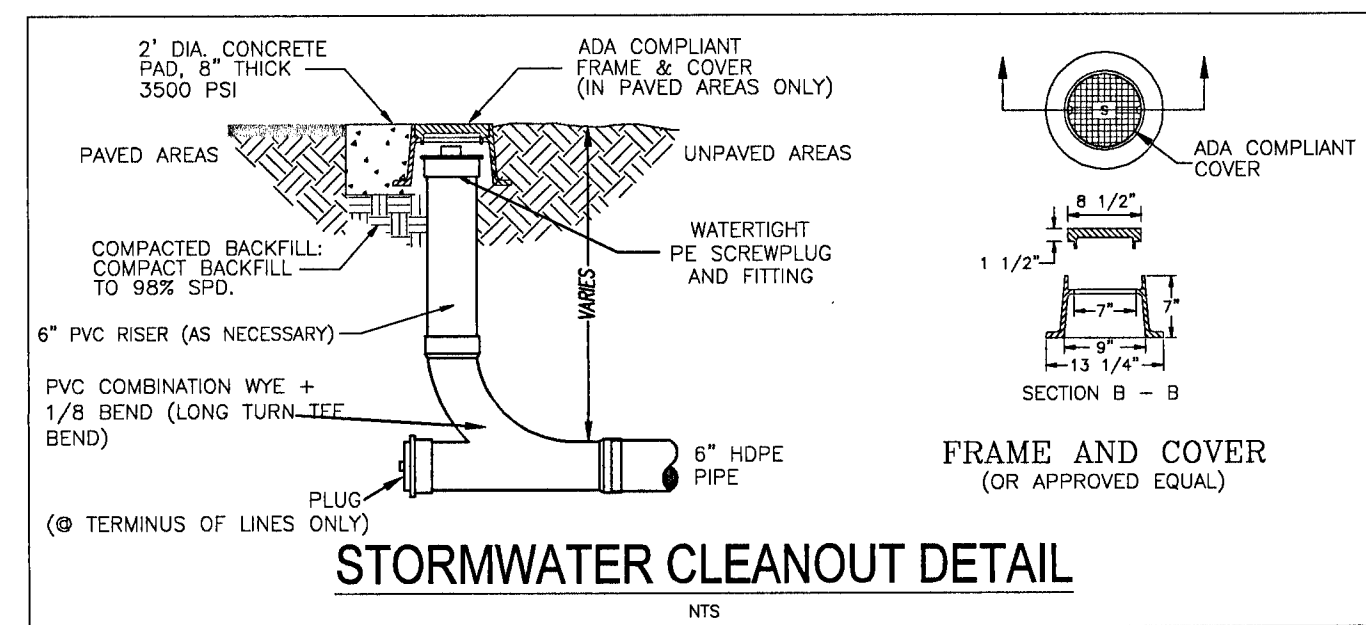
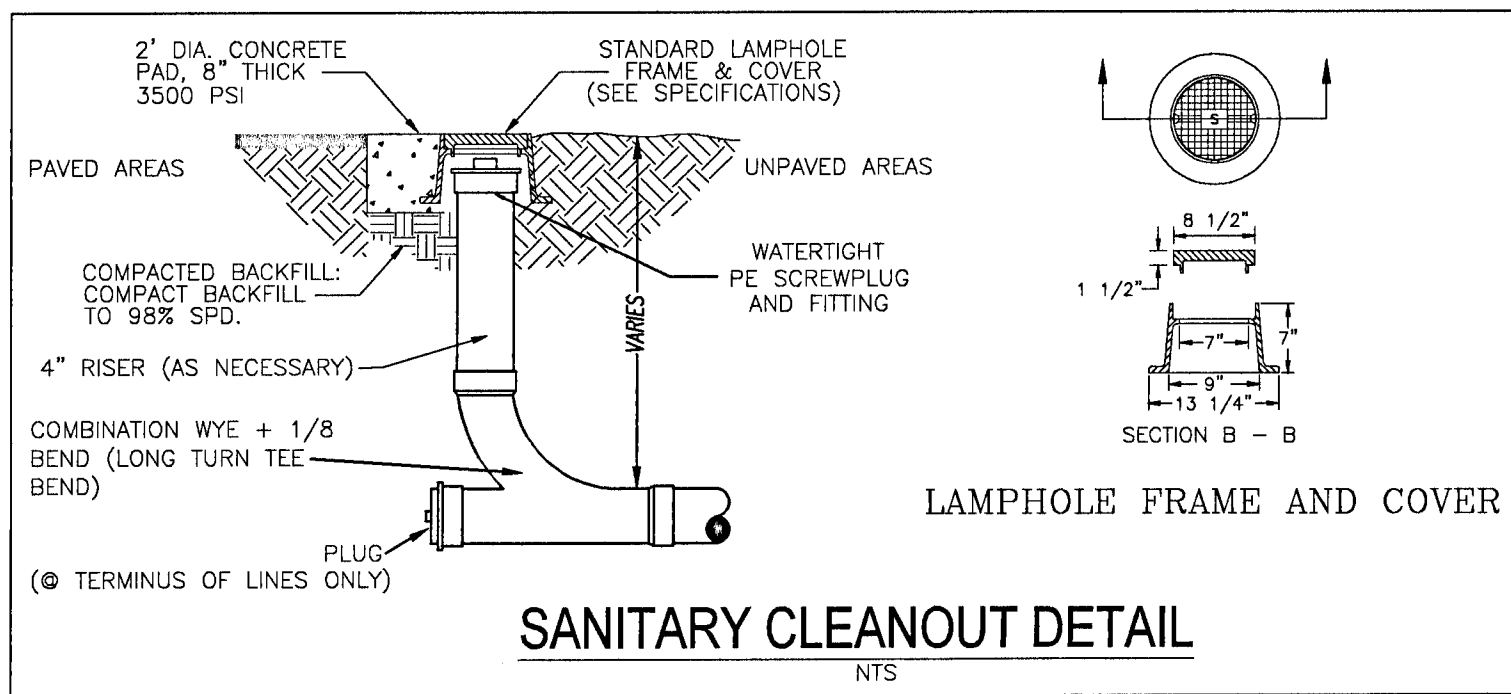
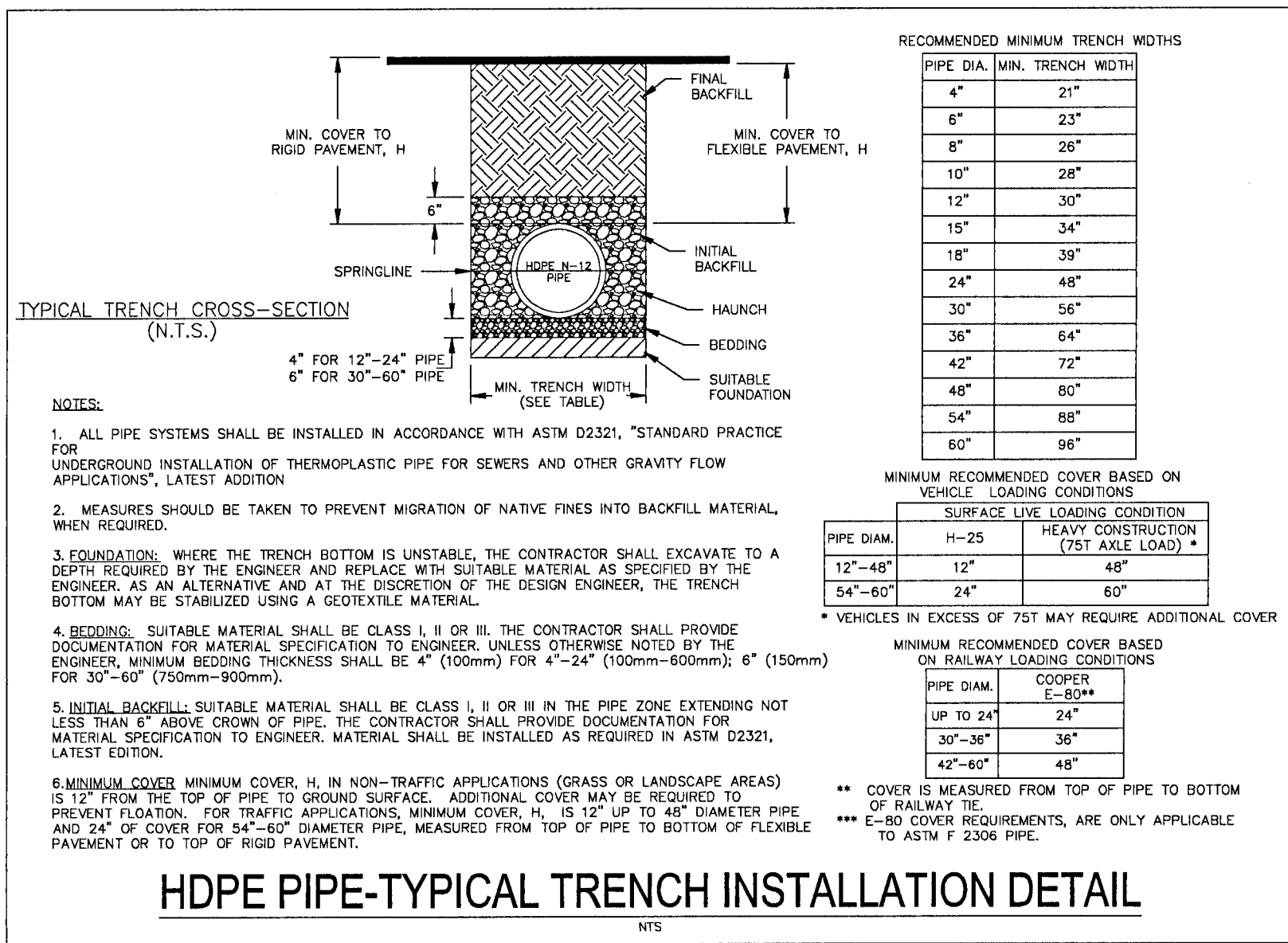


<b>HAMMOND ENGINEERING, INC.</b> FLORIDA AUTHORIZATION NO. 9130 ALABAMA AUTHORIZATION NO. 3277 3802 NORTH "S" STREET PENSACOLA, FLORIDA 32505 850 434-2603 FAX 850-434-2650 TOM@SELANDDESIGN.COM		NO. <input type="text"/> DATE <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/> <input type="text"/>	REVISIONS REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS
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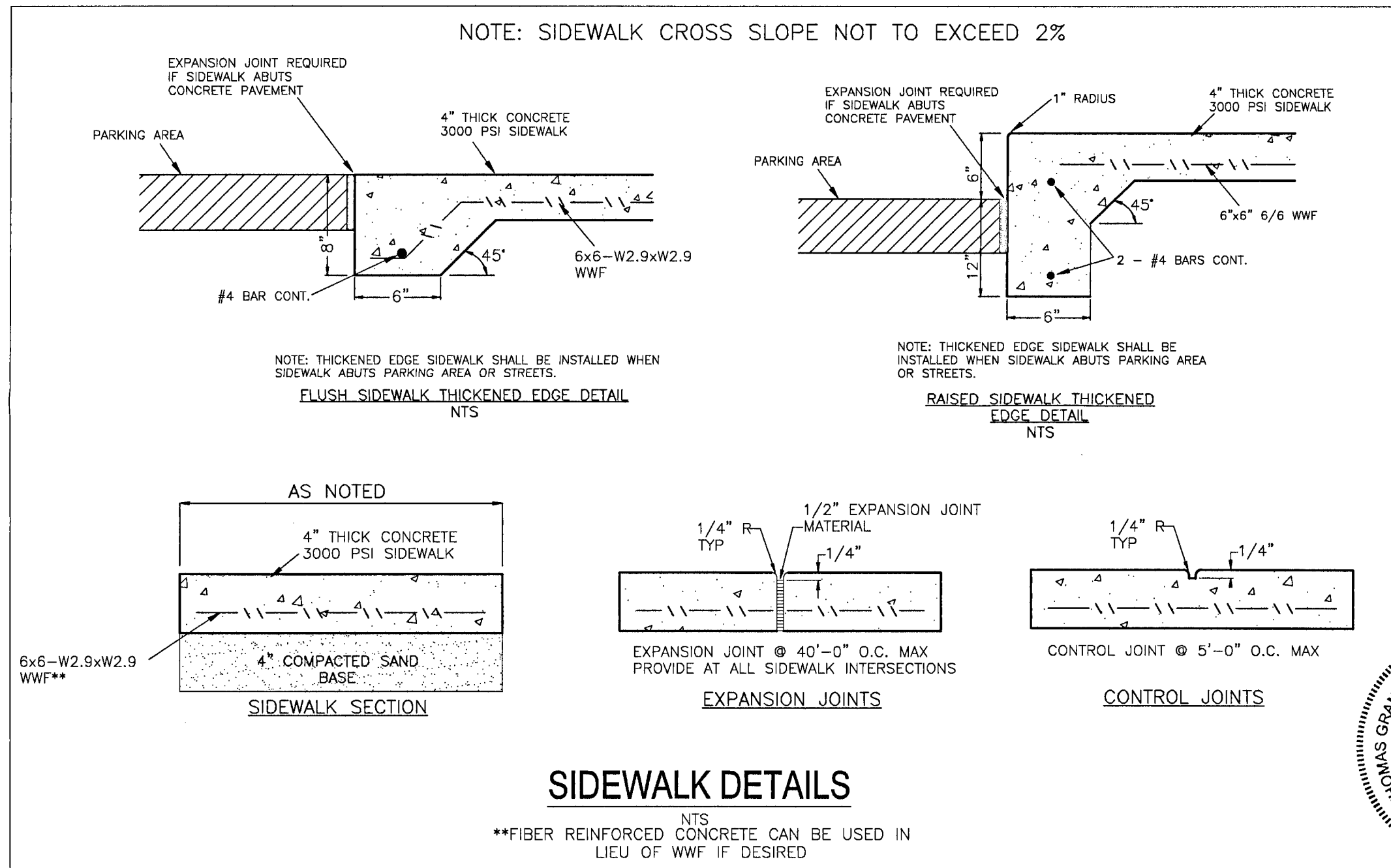
12/22/12

PROJECT NO: 20-039		SITE DEVELOPMENT PLANS FOR WOODY CUSHING ROOFING ACCESSORY BUILDINGS CONSTRUCTION DETAILS	
DRAWN BY: CUG		ESCAMBIA COUNTY FLORIDA	
DESIGNED BY: RLS			
CHECKED BY: TGH			
DATE: 01/07/21			
SCALE: AS SHOWN			
NOT RELEASED FOR CONSTRUCTION			
BY:		DATE:	





**NOTE:** ALL UTILITY DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL UTILITY WORK WITHIN THE PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
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850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

**PROFESSIONAL ENGINEER**  
STATE OF FLORIDA  
12/2/12

**SITE DEVELOPMENT PLANS FOR WOODY CUSHING ROOFING ACCESSORY BUILDING CONSTRUCTION DETAILS**  
FLORIDA  
ESCAMBIA COUNTY

**DRAWN BY:** GJB  
**DESIGNED BY:** RLS  
**CHECKED BY:** TGH  
**DATE:** 01/07/21  
**SCALE:** AS SHOWN  
**NOT RELEASED FOR CONSTRUCTION**  
**DATE:**  
**BY:**

**PROJECT NO:** 20-039  
**SHEET:** C8