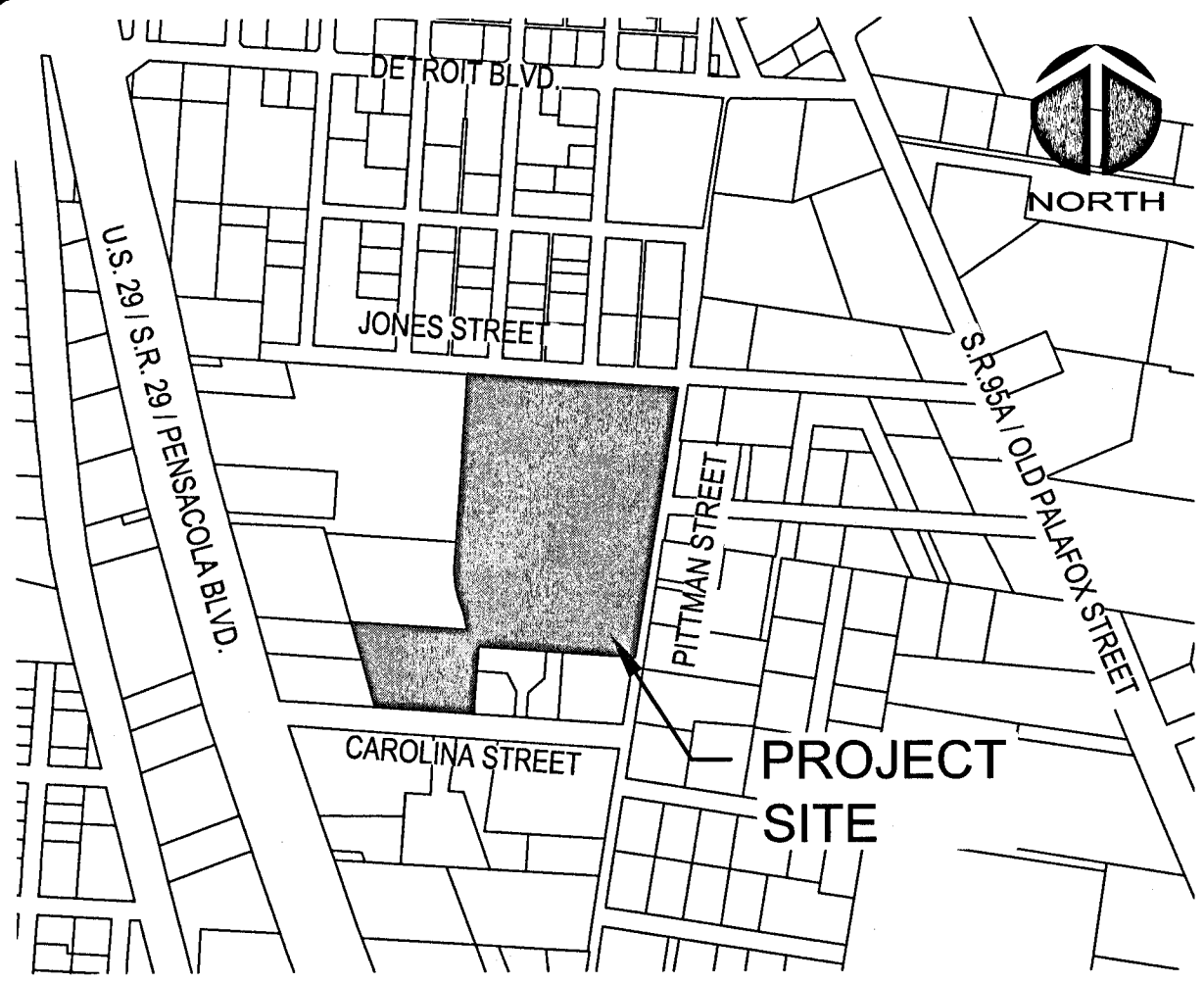


WOODLAND PLACE APARTMENTS PHASE 1
8221 PITTMAN AVENUE, PENSACOLA, FL 32534

PROJ. NO. 07952-0001
MARCH 19, 2021
COUNTY SUBMITTAL / NOT FOR CONSTRUCTION



VICINITY MAP NOT TO SCALE

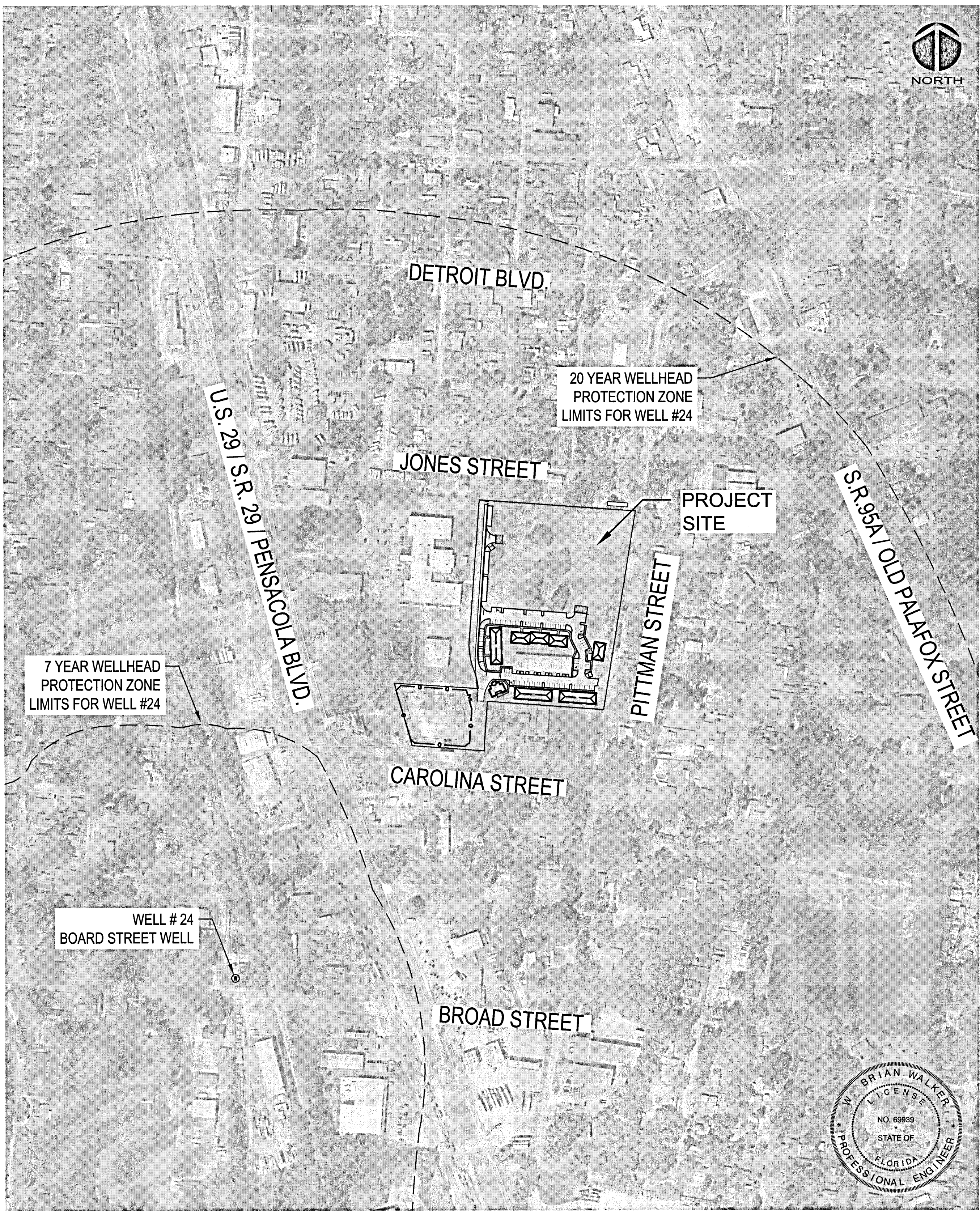
PROJECT NAME: WOODLAND PLACE APARTMENTS

OWNER/DEVELOPER:
SWEET BAY PROPERTIES, LLC
297 COBALT LANE (ERIC SAWYER)
MIRAMAR BEACH, FLORIDA
ESAWYER@SWEETBAY-PROPERTIES.COM



MCKIM & CREED
1206 N. Palafox St.
Pensacola, Florida 32501
Phone: (850) 994-9503
FL Certificate of Authorization# 29588
www.mckimcreed.com

PROJECT INFORMATION



SITE MAP

LEGAL DESCRIPTION

(AS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY)

PARCEL I (TOWNHOUSE PARCEL)
COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, AKA PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 912.14 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°29'04" EAST FOR A DISTANCE OF 414.34 FEET TO THE WEST RIGHT-OF-WAY OF PITTMAN AVENUE (50 FOOT R/W); THENCE NORTH 04°14'36" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 727.19 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID SOUTH RIGHT-OF-WAY FOR A DISTANCE OF 511.17 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 250.52 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE AND THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL II (RETENTION POND PARCEL)
COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, AKA PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST FOR A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 21°53'36" WEST FOR A DISTANCE OF 188.08 FEET; THENCE NORTH 20°36'00" WEST FOR A DISTANCE OF 49.46 FEET; THENCE NORTH 89°27'57" EAST FOR A DISTANCE OF 302.91 FEET TO A POINT ON THE ARC OF CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 FEET AND A DELTA OF 09°55'24"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 44.87 FEET (CHD. = 44.82 FEET, C.B. = SOUTH 00°42'28" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET; THENCE SOUTH 89°31'17" WEST FOR A DISTANCE OF 220.14 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL III (ROAD PARCEL):
COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, AKA PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 470.14 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE NORTH 89°31'17" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 42.00 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°40'29"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = NORTH 11°18'37" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 205.52 FEET AND A DELTA OF 20°40'29"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = NORTH 11°00'43" WEST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 00°40'29" WEST FOR A DISTANCE OF 533.80 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 36.00 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 286.52 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.39 FEET (CHD. = 102.83 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.65 FEET (CHD. = 90.18 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

NOTE: THERE ARE MULTIPLE OMISSIONS/ERRORS IN THE LEGAL DESCRIPTION FOR PARCEL 2. THE CALL "A RADIUS OF 258.67" SHOULD READ "A RADIUS OF 258.67 FEET" THE CALL "C.B. = SOUTH 00°42'29" EAST" SHOULD READ "C.B. = SOUTH 00°42'29" EAST" AND THE CALL "THENCE SOUTH 89°31'17" WEST" SHOULD READ "THENCE SOUTH 89°31'17" WEST".
THE DESCRIPTION FOR PARCEL III CONTAINS AN ERROR IN THE CALL "A RADIUS OF 205.52 FEET". THE CALL SHOULD READ "A RADIUS OF 250.52 FEET".

NOTES:

- ECUA REQUIRES A MINIMUM GRINDER OPERATING POINT OF 21 GPM @ 50 PSI.
- THE SUBJECT PARCELS FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITY AUTHORITY 850-476-5100 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.

SHEET LIST

SHEET No.	DRAWING TITLE
C-000	COVER AND SHEET INDEX
C-001	GENERAL NOTES
C-002	LEGEND AND ABBEVIATIONS
C-010	PHASING PLAN
C-011	OVERALL KEY PLAN
C-101	DEMOLITION AND EROSION CONTROL PLAN
C-102	DEMOLITION AND EROSION CONTROL PLAN
C-111	UTILITY SITE DEMOLITION
C-112	UTILITY SITE DEMOLITION
C-120	TREE PROTECTION AND REMOVAL SUMMARY
C-201	SITE LOCATION PLAN
C-202	SITE LOCATION PLAN
C-301	GRADING AND DRAINAGE PLAN
C-302	GRADING AND DRAINAGE PLAN
C-401	UTILITY PLAN
C-402	UTILITY PLAN
C-410	SEWER CONNECTION PLAN & PROFILE
C-801	LANDSCAPE PLAN
C-802	LANDSCAPE PLAN
C-910	EROSION CONTROL DETAILS
C-920	SITE DETAILS
C-930	DRAINAGE DETAILS
C-931	DRAINAGE DETAILS
C-940	UTILITY DETAILS

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRG Chairman Signature
Printed Name: *Eric Sawyer*
Development Services Director of Business

Date: *03/19/21*

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

W. BRIAN WALKER
LICENSE
No. 69939
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

W. Brian Walker
03/19/21

SCALE: 1" = 250'

SHEET INDEX

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPUTS, ETC.
3. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.
5. LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
6. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
7. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.
9. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).
10. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.
12. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.
13. REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED BY ORDINANCE #8-1-17, AND CHAPTERS 400-4 AND 400-40, F.A.C. WHICH CAN RESULT IN A PENALTY NOT TO EXCEED \$10,000 PER INFRACTION WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
15. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
16. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
17. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
18. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT Delineated ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
19. THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
20. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.

1. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED ON APRIL 19, 2020 BY THE FOLLOWING COMPANY:

McKim & Creed, Inc.
2. VERTICAL ELEVATIONS SHOWN ARE BASED ON NGS BENCHMARK #872 9511 C TIDAL, HAVING A PUBLISHED ELEVATION OF 30.00 (NAVD 88). HORIZONTAL COORDINATES BASED ON NAD27 FLORIDA STATE PLANS, NORTH ZONE, US FOOT.
3. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
4. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORDS AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THE SURVEYOR THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.
5. NO UNDERGROUND INSTALLATIONS, FOUNDATION FOOTINGS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS NOTED.

1. TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.
2. PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.
3. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.
4. REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:
 - a. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.
 - b. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.
 - c. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.
 - d. SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO INSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.
 - e. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS.
 - f. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN RECORDS.
 - g. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.
5. THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:
 - a. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.
 - b. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.
 - c. FOLLOW ALL MANUFACTURERS RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.
 - d. INSPECT DAILY TO INSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.
 - e. COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.
6. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND READY FOR REQUEST FOR INSPECTION.

1. IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - a. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - b. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - c. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
 - d. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
 - e. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
2. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR SEWER SERVICE SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.
4. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGING UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.
5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH FDOT PLAN NO. 580-001 TREE PROTECTION BARRICADE.
6. CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.
7. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
8. CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED AGAINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, WATER LINES TO THE METER LOCATION, MATERIALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
10. UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.
11. CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL. PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.
12. CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).
13. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECH REPORT.
2. COMPACT ALL UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T - 180) AND TO 95% WITHIN OTHER AREAS.
3. ALL EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
4. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OF THE PROJECT WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.
5. ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND PUMP STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BIDDING COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.
6. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. THE ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.
7. UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GRASS SEED OR SOD, APPLY STRAW AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL THE GRASS IS ESTABLISHED.
8. THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETION OF FINAL GRADES, AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND STEEPER SHALL BE STAKED.
9. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE BARRIERS AT ANY TIME THAT THERE BE ANY OFFSITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2 PERCENT-ANNUAL-CHANGE FLOODPLAIN. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0295G, MAP REVISION DATED SEPTEMBER 29, 2006.*

17. THE SUBJECT PARCEL FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE WELLHEADS, CONTRACTOR) SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA - EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ALONG THE ALIGNMENT OF ALL PROPOSED SIDEWALKS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW AND SHALL HAVE THE MARKERS REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES AS INDICATED.
3. SAWCUT EXISTING PAVEMENT AT THE CONNECTIONS TO THE EXISTING ROADWAYS TO FORM A SMOOTH TRANSITION.
4. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.
5. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.
6. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB AS SHOWN ON THE CONSTRUCTION DRAWINGS.
7. UPON COMPLETION OF FINAL ASPHALT PAVING, TOOL AND CLEAN ALL MANHOLE AND VALVE COVERS OF DIRT, DEBRIS AND ASPHALT. ALL MANHOLE AND VALVE COVERS SHALL BE CLEAN AND OPERABLE PRIOR TO OWNER'S ACCEPTANCE.
8. IN ADDITION TO THE REQUIREMENTS IN THE ENGINEER'S TECHNICAL SPECIFICATIONS, ALL ROADWAY CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE OR LOCAL GOVERNMENT SPECIFICATIONS.
9. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR REVIEW AND APPROVAL TO THE APPLICABLE STATE OR LOCAL GOVERNMENT PRIOR TO WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL EXECUTE AND IMPLEMENT THE MOT PLAN IN ACCORDANCE WITH FDOT STANDARDS.
10. STABILIZED SUBGRADE TO BE F.D.O.T. TYPE "B".
11. ASPHALTIC CONCRETE TO FDOT STANDARD SPECIFICATION (LATEST EDITION) SECTION 916.1.
12. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).
13. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH. ALL STRUCTURAL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.
14. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.
15. LEADING EDGE OF RAMP SHALL ALIGN WITH SIDEWALK OR RAMP ON OPPOSITE SIDE OF INTERSECTION.
16. WHERE A CURB CUT RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE DROP CURB OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG.
17. THE EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLAN OR IN SECTION) ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
18. SIDEWALK/RAMP CONSTRUCTION AND EXISTING CURB REMOVAL NECESSARY TO CONSTRUCT THE HANDICAP RAMPS (IF APPLICABLE) ARE INCLUDED IN THIS CONTRACT.
19. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN SIDEWALK CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS.
20. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.
21. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
22. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.
23. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.
24. THE INTENT OF THE GRADING DESIGN IS TO BALANCE THE EARTHWORK OF THE SITE SUCH THAT NO OFF-SITE FILL OR SPOIL REMOVAL IS REQUIRED. AS CONSTRUCTION PROCEEDS THE OWNER RESERVES THE RIGHT TO ALTER THE PROPOSED SITE GRADES TO ENSURE THE EARTHWORK IS BALANCED. ANY GRADE CHANGES PROPOSED TO MEET THIS GRADING INTENT SHALL BE ACCOMMODATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
25. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL PRIOR TO THE USE OF ANY GRANULAR FILL. GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8-INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN 3-PERCENT OF OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY OR AS REQUIRED BY CONTOUR ENGINEERING AS DETERMINED BY THE MODIFIED PROCTOR METHOD, ASTM D-1557.
26. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
29. ALL PIPES SHALL HAVE 3-FEET MINIMUM COVER UNLESS OTHERWISE SPECIFIED IN PLANS, CONTRACTOR SHALL TAKE CARE TO PROVIDE PROPER GRADE ELEVATIONS AND ALIGNMENTS.
30. ALL DRAINAGE PIPE 36" AND LARGER IN DIAMETER SHALL BE REINFORCED CONCRETE PIPE CLASS III (ASTM C-76), OR CLASS IV AT LOCATIONS WITH LESS THAN 2-FT OF COVER TO FINISHED SURFACE, UNLESS OTHERWISE NOTED.
31. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.
32. PROVIDE SOCK DRAIN OR SEDIMENT FILTER IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRAB OF ALL CATCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT AT THE DISCRETION OF THE CONSTRUCTION MANAGER) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.
33. TOP ELEVATION OF ALL CURB INLETS ARE SHOWN WHERE THE EDGE OF PAVEMENT ELEVATION MEETS THE THROAT APRON OF THE CURB INLET.
34. ALL PIPE CALL OUTS ARE MEASURED CENTER LINE TO CENTER LINE FOR MANHOLES AND INLETS AND FROM THE END OF THE PIPE FOR MITERED END SECTIONS.
36. ALL DRAINAGE PIPE JOINTS TO BE WRAPPED WITH FILTER FABRIC CLOTH PER FDOT PLAN 430-001.
37. CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION.

1. ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE, ALKYL THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYL THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.
2. PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINTS (MIN). ALL PAINTED STRIPING SHALL BE LATEX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.
3. ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.
4. SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.
5. REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706-001.
6. PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.
7. CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.
8. SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC. MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD AND OWNER.
9. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
10. ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE.

1. ALL UTILITY WORK SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE WORK SHALL ALSO CONFORM TO THE APPROVED PROJECT SPECIFICATIONS, AND/OR FDEP PERMIT.
2. WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.
3. PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
4. ALL POTABLE WATER MAINS MUST BEAR "NSF" "PW" LOGO.
5. UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE THE ROADWAY BASE AND SURFACE ARE CONSTRUCTED.
7. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 3- FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
8. ALL RIGHT-OF-WAY INSTALLATIONS SHALL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.
9. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE, TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITY COMPANIES LISTED IN THE TABLE BELOW SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.
10. LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
11. CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
12. ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
14. A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.
15. WHEN TRENCH EXCAVATION EXCEEDS 5- FEET IN DEPTH:
 - a. CONTRACTOR SHALL CONFORM TO OSHA STANDARDS (29CFR SECTION 1926.650)
 - b. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH ALL APPLICABLE LAWS.
 - c. TRENCH SAFETY SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS AT THE JOB SITE. MONTHLY PROGRESS AS-BUILTS AND A FINAL SET SHALL BE SUBMITTED TO THE OWNER UPON THE COMPLETION OF EACH PHASE.
15. UTILITY MAINS DESIGNATED TO BE OWNED AND MAINTAINED BY LOCAL UTILITY IN THE PLANS SHALL CONFORM TO THE FOLLOWING NOTES AND "ECUA ENGINEERING MANUAL 2016, UPDATE #1".
16. PROPOSED FIRE LINE PIPING FOR THE FIRE PROTECTION SYSTEM, INCLUDING BACKFLOW PREVENTER SHALL BE INSTALLED BY A CLASS I, II, OR V CONTRACTOR PER CHAPTER 633.102 F.S. THE UNDERGROUND FIRE RISER SHALL EXTEND TO 1- FOOT ABOVE FINISH FLOOR (AFF) OR FINISH GRADE.

17. CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AS INDICATED ON THE DRINKING WATER PERMIT OR AS DIRECTED BY THE PERMITTING AGENCY. SAMPLES SHALL BE TAKEN AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.

18. CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTION WATER MAINS".

UTILITY	STREET ADDRESS	CITY, STATE, ZIP	PHONE	POINT OF CONTACT
ECUA	39255 STURDEVANT STREET	PENSACOLA, FL 32505	(850) 969-6643	PETE KUMMER
GULF POWER	ONE ENERGY PLACE	PENSACOLA, FL 32520	(850) 429-2449	CHAD SWAILS
GULF POWER (ECUA LIAISON)	2501 W. WRIGHT STREET	PENSACOLA, FL 32505	(850) 505-5346	TERRY RUSSELL
AT&T	605 GARDEN STREET	PENSACOLA, FL 32501	(850) 436-1701	ROB ST. PIERRE
COX COMMUNICATIONS	2205 LAWISTA DRIVE	PENSACOLA, FL 32504	(850) 857-4510	TROY YOUNG
PENSACOLA ENERGY	1625 ALWOOD DRIVE	PENSACOLA, FL 32514	(850) 474-5319	DIANE MOORE
LEVEL 3 COMMUNICATIONS	1025 ELORADO BOULEVARD	BROOMFIELD, CO 80021	(720) 888-5686	KEN WHITING

PROJ. START DATE: 3/19/21	SCALE	C-001
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN VERTICAL: N/A	DRAWING NUMBER REVISION
DRAWN GTP		
DESIGNED AMM		
CHECKED DPJ		
PROJ. MGR. WBW	STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION	

HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

- VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

- SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.

- ### UTILITY - WATER SYSTEM NOTES

- ### UTILITY - SEWER SYSTEM NOTES

- [illegible]

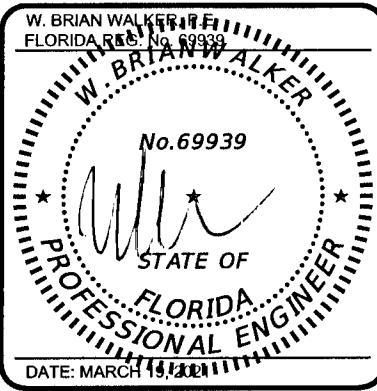
- FOUND 1/2" DIA CAPPED IRON ROD (LB7073)
FOUND 1 1/2" DIA CAPPED IRON ROD (LB4400)
FOUND 1" DIA IRON PIPE (UNNUMBERED)
FOUND 1/2" DIA IRON ROD (UNNUMBERED)
FOUND 4"x4" CONCRETE MONUMENT (UNNUMBERED)
SET BENCHMARK
LINE SHOWN NOT TO SCALE
CHAIN LINK FENCE
WOOD PANEL FENCE
OVERHEAD UTILITIES
BURIED WATER LINE
BURIED GAS LINE
BURIED FIBER OPTIC CABLE
SEWER LINE
SEWER FORCE MAIN
STORMWATER MANHOLE
DROP INLET
WATER METER
WATER VALVE
FIRE HYDRANT
POST INDICATOR VALVE
BACK FLOW PREVENTER
IRRIGATION VALVE
SEWER MANHOLE
CLEANOUT
SEWER VALVE

- 100 —

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE ESCAMBIA COUNTY WITH THE SIGNED/SEALED "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. ALL ASPECTS OF THE STORM DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION PRIOR TO CONSTRUCTION AND MAINTENANCE/REPAIRS DURING CONSTRUCTION OF SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS AS SHOWN HEREON REPRESENT THE MINIMUM EROSION CONTROL MEASURES TO BE TAKEN. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING ANY ADDITIONAL REQUIRED MEASURES IN HIS BASE BID OR PROVIDING ADDITIONAL MEASURES AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING SODDED AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND/OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED, AND/OR SOD.
7. ALL SITE DRAINAGE INCLUDING NEW ROOF DRAINS, DOWN SPOUTS, OR GUTTERS MUST BE ROUTED TO CARRY ALL STORM WATER AWAY FROM BUILDINGS, WALKS AND PAVES TO THE PROPOSED DRAINAGE SYSTEM.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY FOR THE ENGINEER'S USE IN PREPARING AS-BUILT CERTIFICATIONS AND RECORD DRAWINGS FOR THE OWNER. AS-BUILT INFORMATION MUST INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES TO LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; AND REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.
9. CONTRACTOR MUST MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TPO OF POND(S), OUTLET CONTROL STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS MUST BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
10. OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION OF CONSTRUCTION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
11. PRIOR TO CONSTRUCTION, A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL HIGHER THAN 2-FEET.
12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W: 1-800-432-4770.
13. ANY DAMAGE TO EXISTING ROADS, CURBS, SIDEWALKS, PARKING LOTS OR OTHER IMPROVEMENTS DURING CONSTRUCTION MUST BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY AT NO ADDITIONAL COST TO THE OWNER.
14. CONTRACTOR SHALL NOTIFY FDOT 48-HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK WITHIN THE STATE RIGHT-OF-WAY.

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±	MORE OR LESS	ELEV ELEVATION	MFR MANUFACTURER	SPCG SPACING
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	ELEC ELECTRIC	MGD MILLION GALLONS PER DAY	SPEC SPECIFICATION
ABD	ABANDONED	ELLIP ELLIPTICAL	MH MANHOLE	SF SQUARE FOOT
AC	ACRE	EOP EDGE OF PAVEMENT	MI MILE	SQ SQUARE
ADDL	ADDITIONAL	EQ EQUATION	MIN MINIMUM	SAN SANITARY SEWER
ALT	ALTERNATE	ESMT EASEMENT	MISC MISCELLANEOUS	SS SANITARY SEWER
ALUM	ALUMINUM	EX ELEV EXISTING ELEVATION	MJ MECHANICAL JOINT	SSC SANITARY SEWER CONNECTION
APPROX	APPROXIMATE	EXIST EXISTING	MON MONUMENT	SST STAINLESS STEEL
ARV	AIR RELEASE VALVE	EXP EXPANSION	N NORTH	ST STREET
ARW	AIR RELEASE VALVE VACUUM	EXT EXTENSION	N&C NAIL AND CAP	STA STATION
ASPH	ASPHALT	(F) FIELD INFORMATION	NE NORTH EAST	STD STANDARD
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FDEP FLORIDA DEPT OF ENVIRONMENTAL PROTECTION	No NUMBER	STL STEEL
BFP	BACKFLOW PREVENTER	FDOT FLORIDA DEPT OF TRANSPORTATION	NOM NOMINAL	STR STRUCTURE
B/L	BASE LINE	FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY	NTS NOT TO SCALE	STS STORM SEWER
BLDG	BUILDING	FFE FINISH FLOOR ELEVATION	NW NORTHWEST	SW SOUTHWEST
BLK	BLOCK	FH FIRE HYDRANT	NWL NORMAL WATER LEVEL	S/W SIDEWALK
BLVD	BOULEVARD	FT FITTING	OC ON CENTER	SYM SYMMETRICAL
BM	BENCHMARK	FLG FLANGE	OD OUTSIDE DIAMETER	T TANGENT
BO	BLOW-OFF	FM FORCE MAIN	OE OVERHEAD ELECTRICAL	TBM TEMPORARY BENCH MARK
BOC	BACK OF CURB	FL FLOW LINE	OEU OVERHEAD UTILITIES	TBR TO BE REMOVED
BRG	BEARING	FO FIBER OPTIC	OPNG OPENING	TOB TOP OF BANK
BS	BOTTOM STEP ELEVATION	FPSC FIRE SERVICE CONNECTION	OPP OPPOSITE	TOC TOP OF CURB
BSL	BUILDING SETBACK LINE	FT FEET OR FOOT	ORB OFFICIAL RECORDS	TEL TELEPHONE
BV	BUTTERFLY VALVE	G GAUGE	OT OVERHEAD TELEPHONE CABLE	TEMP TEMPORARY
BW	BOTTOM OF WALL	GAL GALLON	OTV OVERHEAD CABLE TV LINE	THK THICKNESS
C&G	CURB AND GUTTER	GALV GALVANIZED	OVFL OVERFLOW	TOS TOE OF SLOPE
CB	CATCH BASIN	GM GAS MAIN	OVHD OVERHEAD	TRANS TRANSITION
CBR	CALIFORNIA BEARING RATIO	GPM GALLONS PER MINUTE	PB PLAT BOOK	TSE TOP STEP ELEVATION
CD	CONDENSATE PIPE	GR GRADE	PCC POINT OF COMPOUND CURVE	TW TOP OF WALL
CEM	CEMENT	GRT GRATE	PEP POLYETHYLENE PIPE	TWP TOWNSHIP
CFS	CUBIC FEET PER SECOND	GRTG GRATING	PI POINT OF INTERSECTION	TYP TYPICAL
CH	CHORD LENGTH	GV GATE VALVE	PG PAGE	UD UNDERDRAIN W/ SOCK
CH BRG	CHORD BEARING	GPM GALLONS PER MINUTE	P/L PROPERTY LINE	USC&GS U.S. COASTAL & GEODETIC SURVEY (NOW NATIONAL GEODETIC SURVEY)
CI	CAST IRON	HB HOSE BIBB	POB POINT OF BEGINNING	USGS U.S. GEODETTIC SURVEY
CIR	CIRCLE	HDPE HIGH DENSITY POLYETHYLENE	POC POINT OF CONNECTION	UT UNDERGROUND TELEPHONE CABLE
CV	CHECK VALVE	HORIZ HORIZONTAL	PC POINT OF CURVATURE	UTV UNDERGROUND TELEVISION CABLE
C/L	CENTER LINE	HP HORSEPOWER	PKWY PARKWAY	UE UNDERGROUND ELECTRICAL CABLE
CL	CLEARANCE	HT HEIGHT	POJ PUSH ON JOINT	VC VERTICAL CURVE
CM	CONCRETE MONUMENT	HP HIGH POINT	PP POWER POLE	VCP VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	H/W HEAD WALL	PRC POINT OF REVERSE CURVATURE	VERT VERTICAL
CMPA	CORRUGATED METAL PIPE ARCH	HWL HIGH WATER LEVEL	PRM PERMANENT REFERENCE MONUMENT	VPC VERTICAL POINT OF CURVE
CND	CONDUIT	ID INSIDE DIAMETER	PROP PROPOSED	VPI VERTICAL POINT OF INTERSECTION
CO	CLEAN OUT	IN INCHES	PROJ PROJECT	VPT VERTICAL POINT OF TANGENCY
COL	COLUMN	INL INLET	PT POINT OF TANGENCY	W WEST
CONC	CONCRETE	INSTL INSTALL	PV POLYVINYL CHLORIDE	W/ WITH
CONN	CONNECTION	INTR INTERIOR	PVMT PAVEMENT	WM WATER MAIN
CONST	CONSTRUCT	IP IRON PIPE	PW POTABLE WATER	W/O WITHOUT
CONT	CONTINUOUS	INV INVERT	Q DISCHARGE (FLOW RATE)	WSC WATER SERVICE CONNECTION
CONTR	CONTRACTOR	IW INDUSTRIAL WATER (FIRE)	R RADIUS	WWF WELDED WIRE FABRIC
COR	CORNER	JJB JUNCTION BOX	RD ROAD	WT WEIGHT
CPLG	COUPLING	JBL JURISDICTIONAL BOUNDARY LINE	RIM RIM ELEVATION (STRUCTURE)	X X
CR	SIDEWALK CURB RAMP	JCT JUNCTION	RNG RANGE	XING CROSSING
CT	CUT	JT JOINT	RCP REINFORCED CONCRETE PIPE	Y Y
CTG	COATING	L ARC LENGTH	RCPA REINFORCED CONCRETE PIPE ARCH	YDS YARDS
CTR	CENTER	LAT LATERAL	RD ROOF DRAIN	
CATV	CABLE TELEVISION	LBS POUNDS	RED REDUCED	
CULV	CULVERT	LBR LIMEROCK BEARING RATIO	REINF REINFORCED	
CY	CUBIC YARD	LF LINEAR FEET	REQD REQUIRED	
(D)	DEED INFORMATION	LN LANE	RPZBFP REDUCED PRESSURE ZONE BACKFLOW PREVENTER	
Δ	DELTA	LOD LIMITS OF DISTURBACE	RT RIGHT	
D	DEGREE OF CURVATURE	LOW LIMITS OF WORK	R/W RIGHT-OF-WAY	
DA	DRAINAGE AREA	LP LIGHT POLE	S SOUTH	
DBL	DOUBLE	LS SANITARY LIFT STATION	SCH SCHEDULE	
DDCA	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	LT LEFT	SE SOUTHEAST	
DIA	DIAMETER	LWL LOW WATER LEVEL	SECT SECTION	
DIP	DUCTILE IRON PIPE	MATL MATERIAL	SGL SINGLE	
DR	DRAIN	MAX MAXIMUM	SHTG SHEETING	
DWG	DRAWING	MECH MECHANICAL	SL SLOPE	
E	EAST	MES MITERED END SECTION		
EA	EACH			
ECC	ECCENTRIC			

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CIVIL

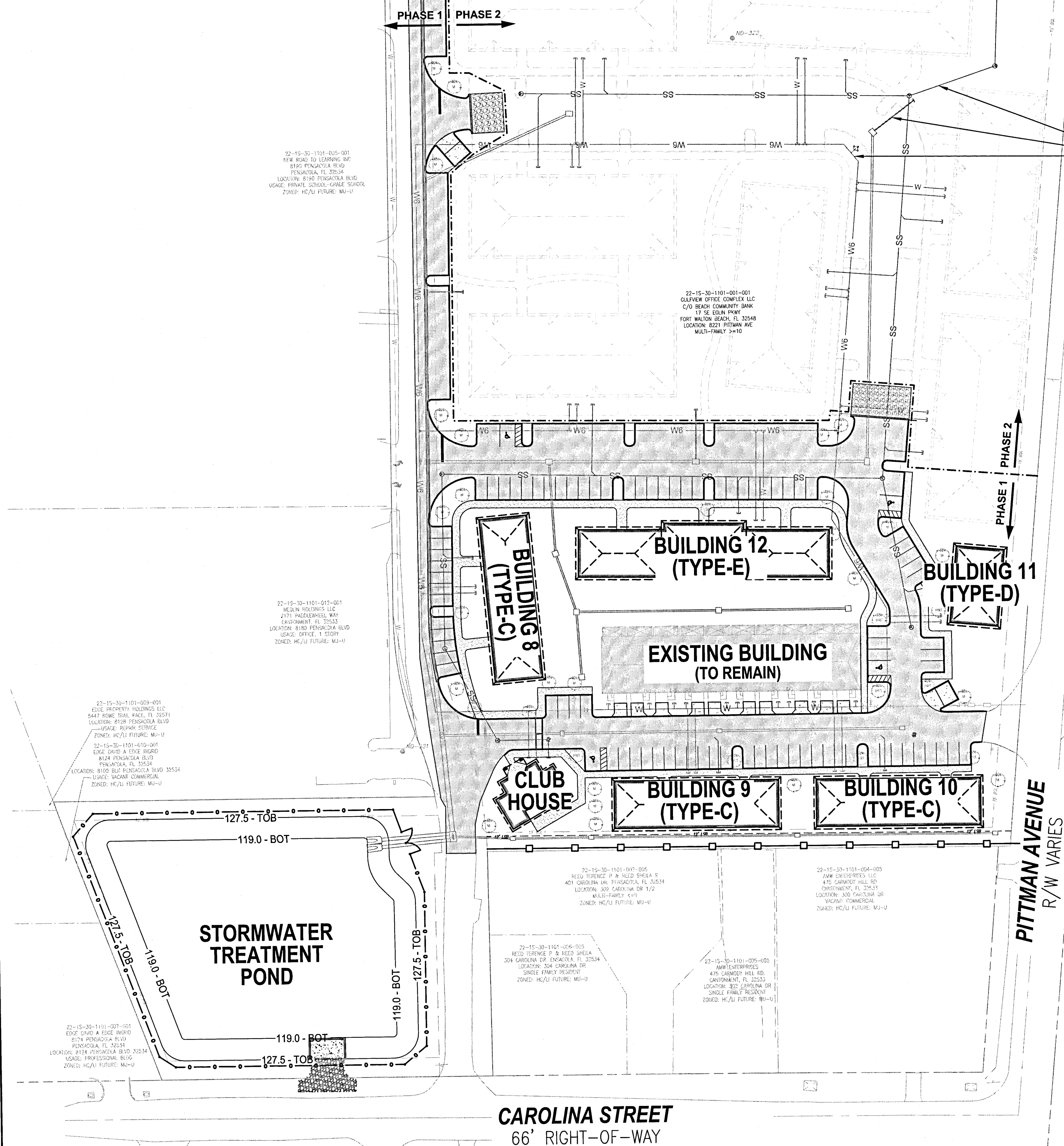
LEGEND AND ABBEVIATIONS

PROJ. START DATE: 3/19/21	SCALE	<div style="font-size: 2em; font-weight: bold;">C-002</div>
MCE PROJ. # 07952-0001	HORIZONTAL:	DRAWING NUMBER
DRAWN GTP	AS SHOWN	
DESIGNED AMM	VERTICAL:	
CHECKED DPJJ	N/A	REVISION
PROJ. MGR. WBW		

STATUS:

**COUNTY SUBMITTAL
NOT FOR CONSTRUCTION**

JONES STREET
50' RIGHT-OF-WAY



PHASE 1 IMPROVEMENTS:

INCLUDES THE FOLLOWING SITE ELEMENTS.

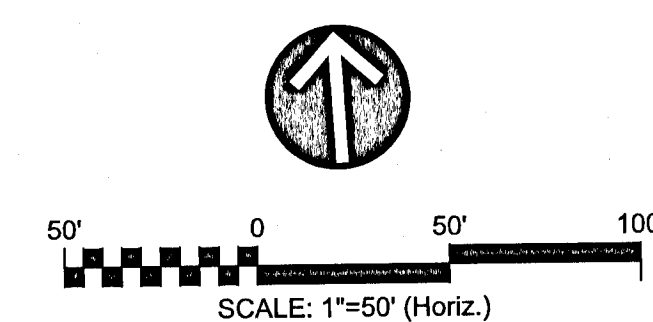
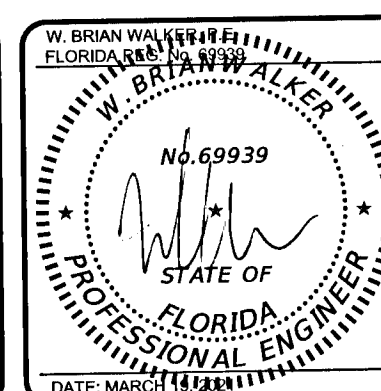
- INCLUDES THE FOLLOWING SITE ELEMENTS:
 - REFURBISHMENT OF EXISTING RESIDENTIAL BUILDING.
 - CONSTRUCTION OF BUILDINGS 8-12 AND CLUBHOUSE.
- ALL PAVEMENT, CURBING AND SIDEWALKS AS SHOWN IN SOLID, BLACK LINES GENERALLY SOUTH AND WEST OF THE PHASE LINE.
- ALL STORMWATER, CONVEYANCE AND TREATMENT FACILITIES FOR COMPLETE BUILDOUT (INCLUDING THOSE IN PHASE 2).
- ALL POTABLE WATER AND SANITARY SEWER MAINLINES FOR COMPLETE BUILDOUT (INCLUDING THOSE FOR PHASE 2).
- ALL POTABLE WATER AND SANITARY SEWER SERVICE CONNECTION FOR COMPLETE BUILDOUT. WATER AND SEWER CONNECTION STUBOUT WILL BE PROVIDED FOR ALL PHASE 2 BUILDING.

PHASE 2 IMPROVEMENTS:

INCLUDES THE FOLLOWING SITE ELEMENTS.

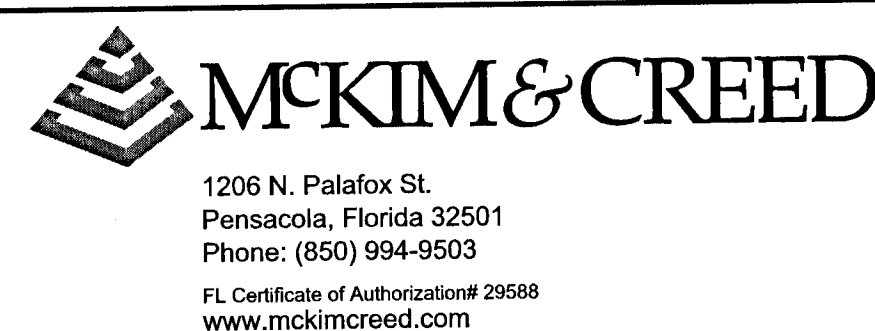
- CONSTRUCTION OF BUILDINGS 1-7.
- ALL PAVEMENT, CURBING AND SIDEWALKS AS SHOWN IN HIDDEN, GRAY LINES GENERALLY NORTH AND EAST OF THE PHASE LINE.
- ALL POTABLE WATER AND SANITARY SEWER CONNECTION TO BUILDING FROM PHASE 1.

AUSTIN STREET
50' RIGHT-OF-WAY

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 297 Colbalt Lane
 Miramar Beach, FL 32550
www.sweetbay-properties.com

**WOODLAND PLACE APARTMENTS
PHASE 1**

**CIVIL
PHASING PLAN**

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

SCALE	C-010
HORIZONTAL: AS SHOWN	
VERTICAL: N/A	

STATUS: COUNTY SUBMITTAL
NOT FOR CONSTRUCTION

JONES STREET
50' RIGHT-OF-WAY

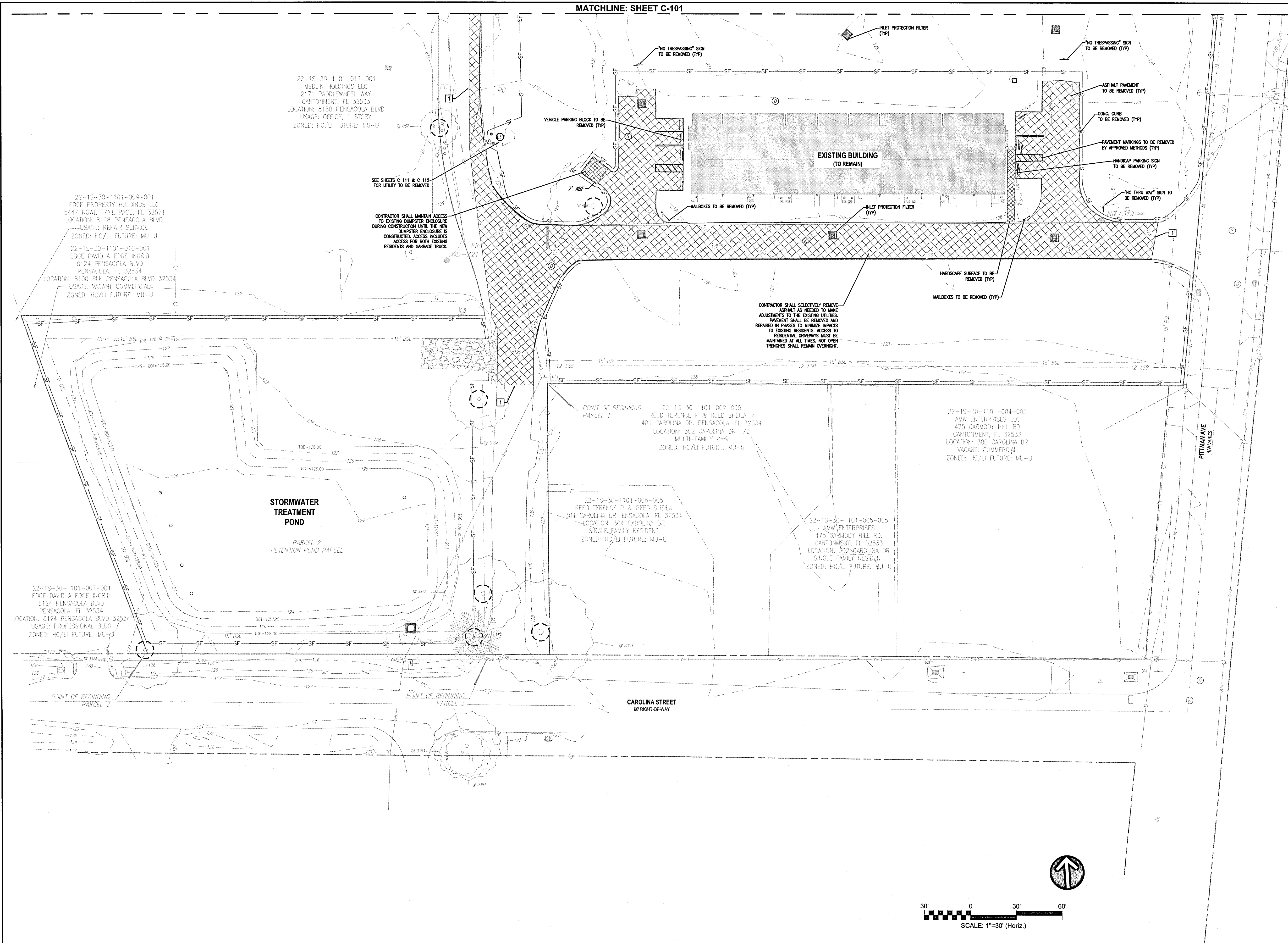
AUSTIN STREET
50' RIGHT-OF-WAY








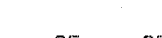










SEE SHEETS
C-102, C-112, C-202, C-302 & C-402

WELL HEAD PROTECTION NOTE:

THE PROJECT AREA IS LOCATED WITHIN THE 20-YEAR TRAVEL TIME CONTOUR OF THE ECUA POTABLE WATER WELL LOCATED AT 690 BROAD STREET. DURING CONSTRUCTION, ALL MACHINERY BROUGHT TO THE SITE WILL BE IN GOOD WORKING ORDER WITH NO SIGNIFICANT LEAKS OF PETROLEUM LUBRICANTS, PETROLEUM FUELS, RADIATOR FLUID, OR OTHER SIMILAR CONTAMINANTS. ANY RELEASE OF THE FLUIDS MENTIONED ABOVE WILL BE ADDRESSED IMMEDIATELY. ANY RELEASE OF TWENTY-FIVE GALLONS OR MORE WILL BE REPORTED TO THE FDEP STATE WARNING POINT (800-320-0519), EMERALD COAST UTILITIES AUTHORITY (850-476-5110) AND LOCAL ESCAMBIA COUNTY HEALTH/ENVIRONMENTAL HEALTH (850-595-6712) AGENCIES.

STATUS: COUNTY SUBMITTAL
NOT FOR CONSTRUCTION



- | | |
|---|--|
|  | PROPERTY BOUNDARY |
|  | RIGHT-OF-WAY LINE |
|  | LIMITS OF WORK |
|  | EASEMENT LINE |
|  | SITE ELEMENTS TO REMAIN |
|  | SITE ELEMENTS TO BE REMOVED |
|  | SILT FENCE — SINGLE ROW |
|  | SILT FENCE — DOUBLE ROW |
|  | EXISTING BUILDING TO REMAIN |
|  | GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA |
|  | |
|  | INLET PROTECTION FILTER |
|  | SIGN TO BE REMOVED/RELOCATED |
|  | TREE TO BE PROTECTED |
|  | TREE TO BE RELOCATED |
|  | TREE TO BE REMOVED |
|  | LIMITS OF CLEARING AND GRUBBING |
|  | LIGHT POLE TO BE REMOVED |

KEYNOTES
KEYNOTES

- 1 SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
- 2 SAW CUT AND REMOVE EXISTING CONCRETE CURB
- 3 EXISTING SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION
- 4 PROVIDE SEDIMENT FILTER TO PROTECT EXISTING DRAINAGE INLET

EROSION CONTROL NOTES

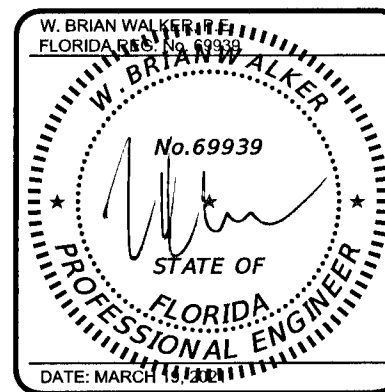
1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
2. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
4. CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
5. A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY RCID COMPLIANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED.
7. IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
8. ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
9. DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION.
10. ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

DEMOLITION NOTES

1. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
2. DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY.
3. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
4. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

BENCHMARK TABLE

NUMBER	DESCRIPTION	ELEV (FT)
TBM 321	SET NAIL & DISK (LB7917)	129.78
TBM 319	SET NAIL & DISK (LB7917)	127.71
TBM 322	SET NAIL & DISK (LB7917)	129.55

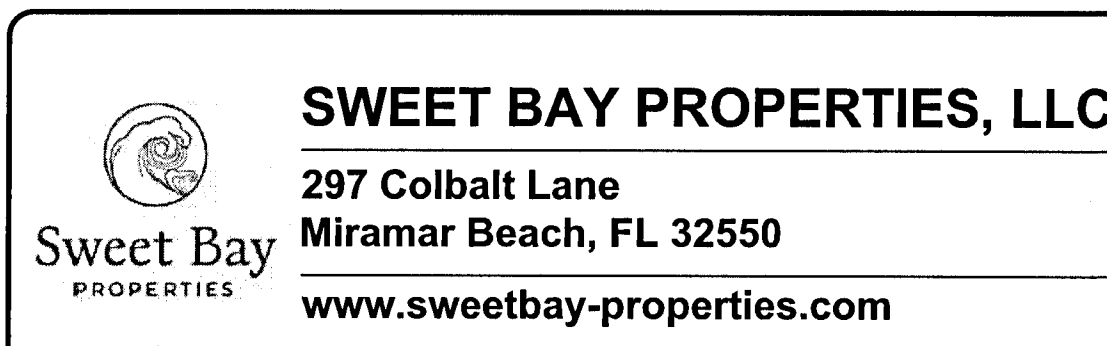
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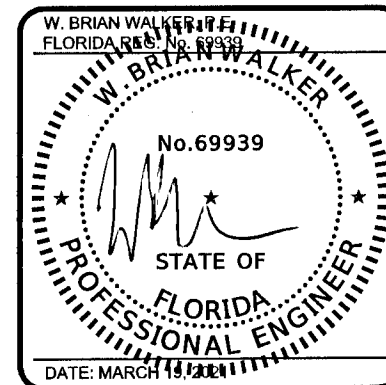
WOODLAND PLACE APARTMENTS PHASE 1
CIVIL DEMOLITION AND EROSION CONTROL PLAN

PROJ. START DATE:	3/19/21	SCALE	C-102
MCE PROJ. #	07952-GTP		
DRAWN	KDD	HORIZONTAL:	DRAWING NUMBER
DESIGNED	AMM	AS SHOWN	
CHECKED	DPJJ	VERTICAL:	REVISION
PROJ. MGR:	WBW	N/A	

TREE #	SPECIES	PROTECTED	CANOPY	DIAMETER	REMOVE	MITIGATION
857	OAK	YES	25'	14"	---	---
906	OAK	YES	60'	30"	---	---
1256	OAK	YES	50'	36"	---	---
1257	OAK	YES	40'	24"	---	---
1258	OAK	YES	40'	24"	---	---
1259	OAK	YES	40'	25"	---	---
1260	OAK	YES	30'	19"	---	---
1261	OAK	YES	40'	25"	---	---
1262	OAK	YES	40'	18"	---	---
				12"	---	---
1263	OAK	YES	35'	20"	---	---
1264	OAK	YES	40'	24"	---	---
1265	OAK	YES	30'	19"	---	---
1266	OAK	YES	60'	33"	---	---
1267	OAK	YES	60'	28"	---	---
				15"	---	---
1268	OAK	YES	40'	26"	---	---
1269	OAK	YES	60'	38"	---	---
1270	OAK	YES	50'	36"	---	---
1271	OAK	YES	40'	26"	---	---
1272	OAK	YES	50'	34"	XX	17"
1273	OAK	YES	60'	36"	XX	18"
1274	OAK	YES	30'	20"	XX	10"
1275	OAK	YES	30'	20"	XX	10"
1276	OAK	YES	60'	36"	---	---
2853	OAK	YES	25'	12"	---	---
2854	OAK	YES	40'	16"	---	---
2855	OAK	YES	35'	12"	---	---
2856	PECAN	YES	40'	14"	---	---
2858	OAK	YES	40'	18"	---	---
2859	OAK	YES	60'	20"	---	---
2860	OAK	YES	45'	14"	---	---
2862	OAK	YES	30'	12"	---	---
2863	PECAN	YES	50'	15"	---	---
2864	PECAN	YES	30'	12"	---	---
2866	CAMPHOR	NO	70'	28"	XX	14"
				20"		
2867	CAMPHOR	NO	35'	12"	XX	6"
2868	CAMPHOR	YES	40'	15"	---	---
3164	OAK	YES	60'	36"	---	---
3165	OAK	YES	30'	12"	---	---
3166	OAK	YES	25'	12"	---	---
3167	OAK	YES	60'	36"	---	---
3168	CAMPHOR	YES	30'	12"	---	---
3353	OAK	YES	70'	36"	---	---
3354	OAK	YES	40'	38"	---	---
3355	OAK	YES	50'	20"	---	---
				20"	---	---
3356	CEDAR	YES	35'	24"	---	---
3386	OAK	YES	50'	20"	---	---

TREE POTECTION AND REMOVAL SUMMARY	
Total Protected Inches Being Removed	122"
Mitigation Inches Required	75"

TOTAL PROTECT INCHES	1116"
TOTAL REMOVED & ROOT IMPACTION INCHES	150"
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%	75
REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 10.53 ACRES	264
GRAND TOTAL REPLACEMENT INCHES REQUIRED	75
STANDARD REPLACEMENT TREES (2.5" DBH) REQUIRED	30
REPLACEMENT TREES PROPOSED	30

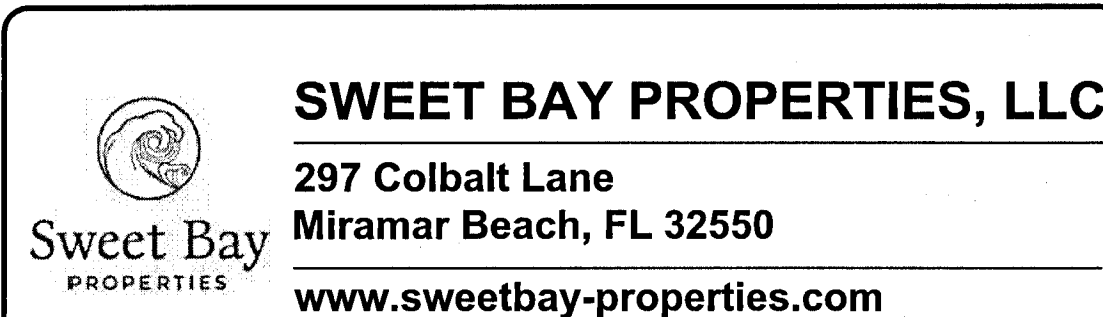
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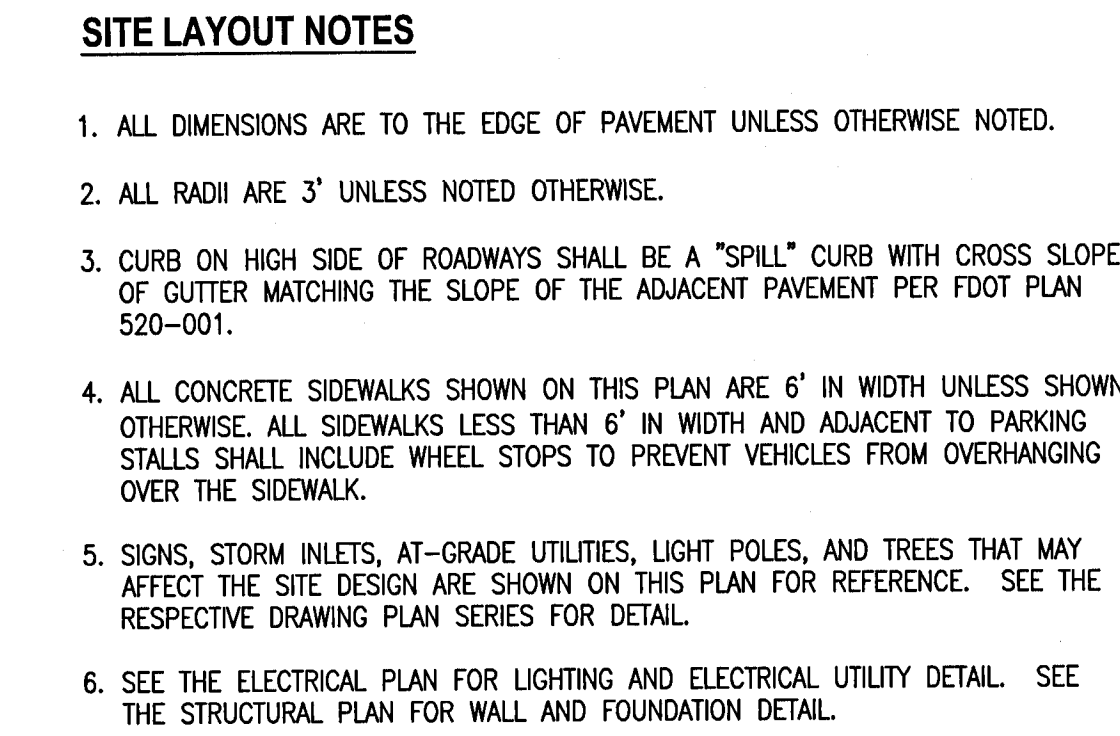
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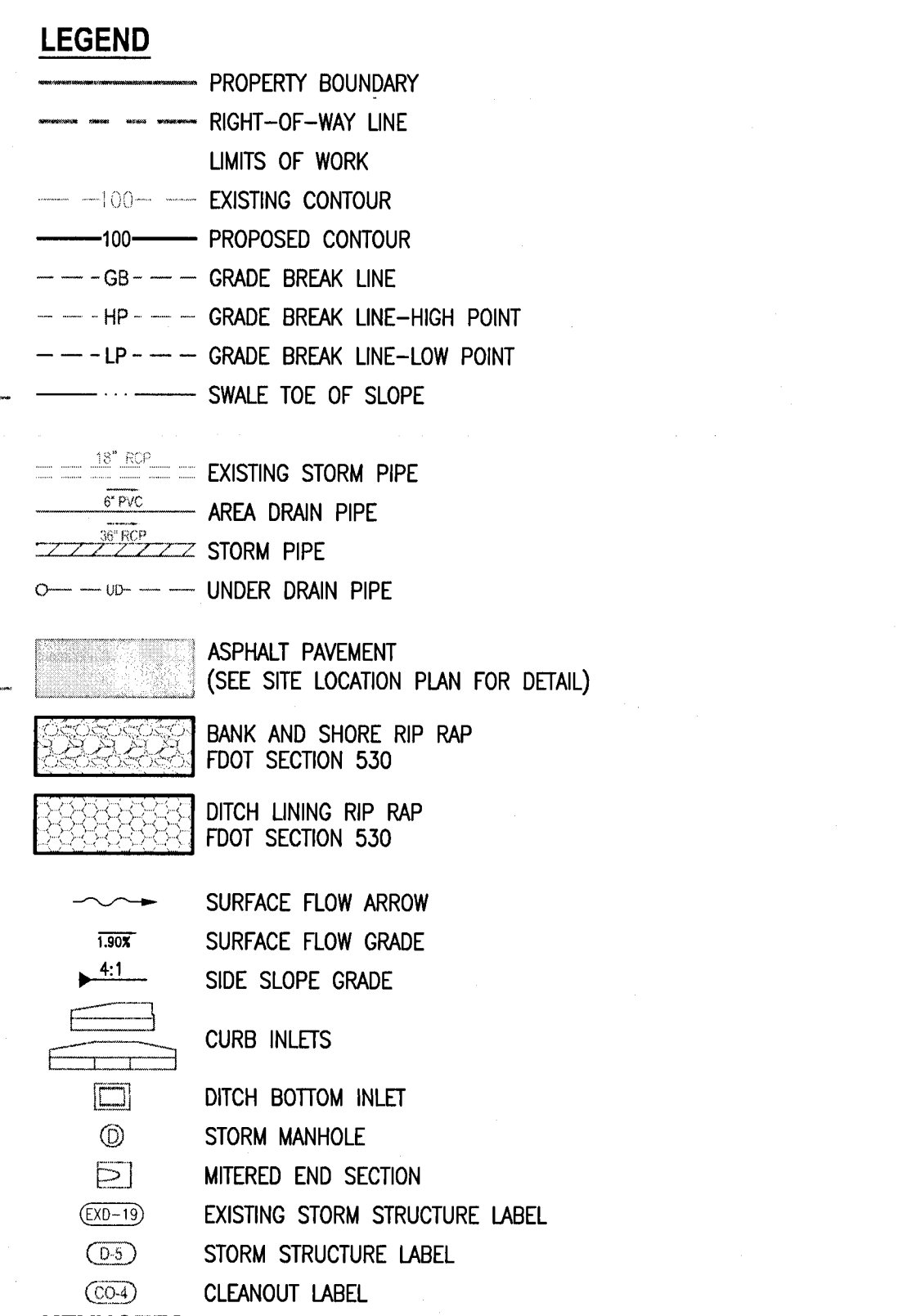


WOODLAND PLACE APARTMENTS PHASE 1
CIVIL TREE PROTECTION AND REMOVAL SUMMARY

PROJ. START DATE: 3/19/21 MCE PROJ. # 07952-0001 DRAWN GTP DESIGNED AMM CHECKED DPJJ PROJ. MGR. WBW	SCALE HORIZONTAL: AS SHOWN VERTICAL: N/A	<div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">C-120</div> DRAWING NUMBER REVISION
--	--	---



PROJ. START DATE: 3/19/21		SCALE	
MCE PROJ. # 07952-0001		HORIZONTAL:	
DRAWN		AS SHOWN	
DESIGNED		VERTICAL:	
CHECKED		N/A	
PROJ. MGR. WBW		REVISION	



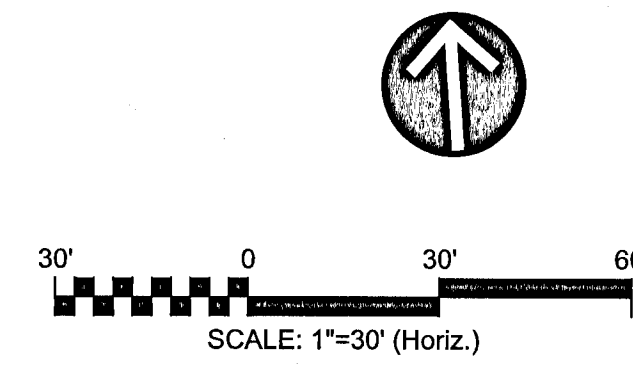
KEYNOTES

1	MATCH EXIST. PAVEMENT GRADE
2	MATCH PROPOSED GRADE

GRADING AND DRAINAGE NOTES

1. EXISTING DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
2. ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE THE C-400 DRAWING SERIES FOR UTILITY INFORMATION.
3. ALL DOWNSPOUTS AND ROOF DRAINS MUST BE TIED TO ON-SITE STORM WATER CONVEYANCE PIPING WITH WITH MANUFACTURED PIPE, BENDS AND FITTINGS. COORDINATE ROOF DRAIN QUANTITY, SIZE AND LOCATION WITH ARCHITECTURAL ROOF PLAN.
4. ALL COLLECTION INLETS MUST BE IMMEDIATELY PROTECTED WITH PERIMETER AND OPEN TOP PROTECTION MEASURES TO PREVENT SEDIMENT FROM ENTERING THE INSTALLED SYSTEM. MAINTAIN INLET PROTECTION UNTIL ALL UPSTREAM CONTRIBUTING AREAS ARE PERMANENTLY STABILIZED.
5. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOMS OF EACH OF THE CHIMNEYS ARE KEYING INTO THE MORE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS.
6. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEYS, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIMI/GRATE ELEVATION	PIPE INVERT
DI-10	Index No. 232 - Ditch Bottom Inlet - Type E	N:561939.73 E:1096637.54	130.42	18" INV OUT=127.41 W RCP
DI-20	Index No. 232 - Ditch Bottom Inlet - Type E	N:561905.59 E:1096875.35	127.98	18" INV OUT=124.90 S RCP
DI-30	Index No. 232 - Ditch Bottom Inlet - Type E	N:561644.39 E:1096850.07	128.00	18" INV IN=123.59 N RCP 24" INV OUT=123.59 W RCP
DI-40	Index No. 232 - Ditch Bottom Inlet - Type E	N:561655.23 E:1096715.03	128.23	24" INV IN=122.91 E RCP 24" INV OUT=122.91 W RCP
DI-50	Index No. 232 - Ditch Bottom Inlet - Type E	N:561664.51 E:1096599.40	129.61	24" INV IN=122.33 E RCP 12" INV IN=121.67 S Pipe Culv 24" INV OUT=122.33 S RCP
GI-10	INDEX NO. 220- GUTTER INLET-TYPE S	N:561999.94 E:1096528.43	130.94	18" INV OUT=127.30 S RCP
GI-20	INDEX NO. 220- GUTTER INLET-TYPE S	N:561896.29 E:1096519.20	130.44	18" INV IN=126.78 N RCP 18" INV IN=126.78 E RCP 24" INV OUT=126.28 S RCP
GI-30	Index No. 220 - Gutter Inlet - Type S	N:561807.33 E:1096513.08	130.45	24" INV IN=125.83 N RCP 24" INV OUT=125.83 S RCP
GI-40	Index No. 220 - Gutter Inlet - Type S	N:561672.19 E:1096503.71	130.75	24" INV IN=123.80 N RCP 24" INV IN=121.85 E RCP 30" INV OUT=121.35 S RCP

[illegible]

W. BRIAN WALKER
FLORIDA REG. NO. 69939

W. BRIAN WALKER
No. 69939

STATE OF
FLORIDA
PROFESSIONAL ENGINEER

DATE: MARCH 15, 2021

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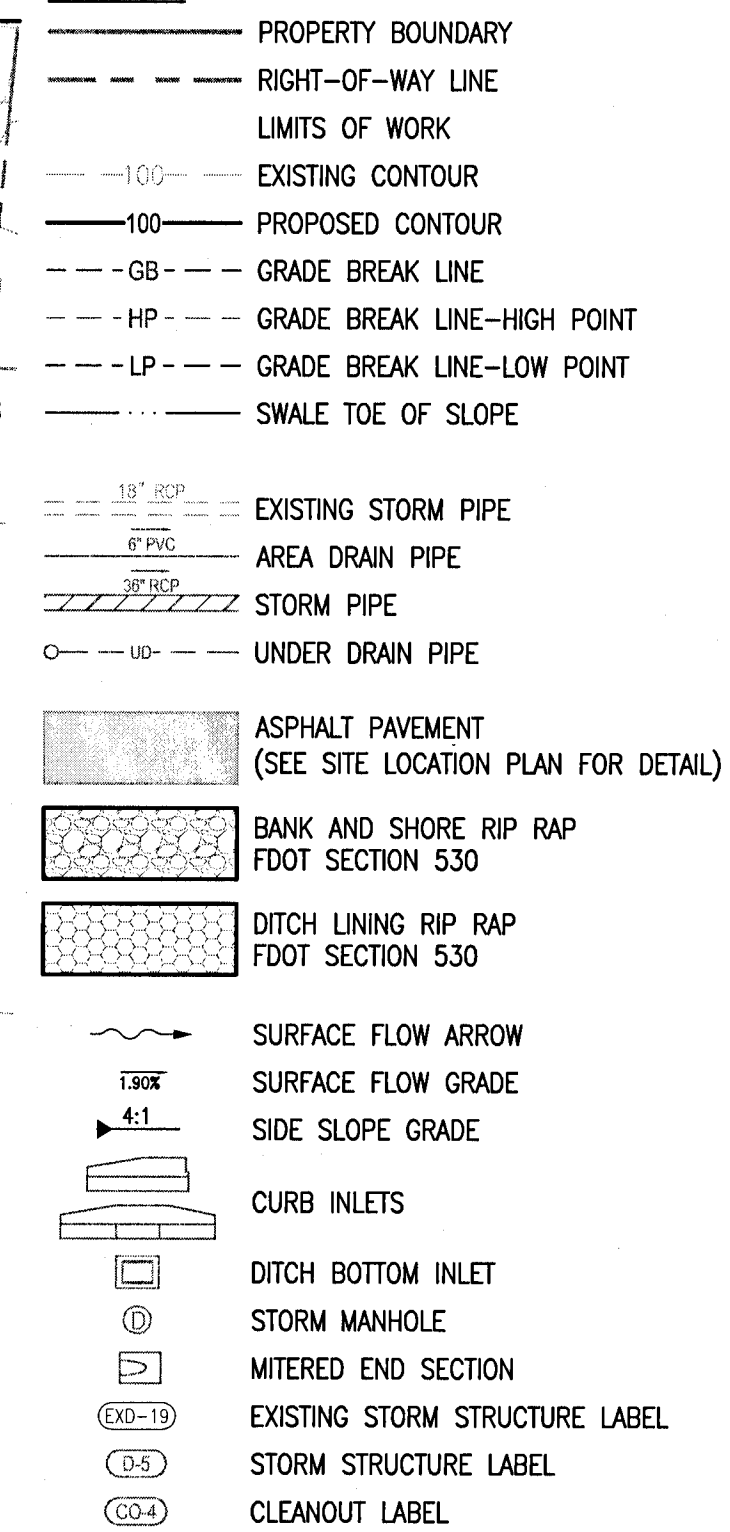
 **Sweet Bay**
PROPERTIES

SWEET BAY PROPERTIES, LLC
297 Colbalt Lane
Miramar Beach, FL 32550
www.sweetbay-properties.com

WOODLAND PLACE APARTMENTS PHASE 1
CIVIL GRADING AND DRAINAGE PLAN

PROJ. START DATE: 3/19/21	SCALE	C-301 DRAWING NUMBER REVISION
MCE PROJ. # 07952-GTP	HORIZONTAL:	
DRAWN	AS SHOWN	
DESIGNED AMM	VERTICAL:	
CHECKED DPJJ	N/A	
PROJ. MGR. WBW		

STATUS: **COUNTY SUBMITTAL NOT FOR CONSTRUCTION**

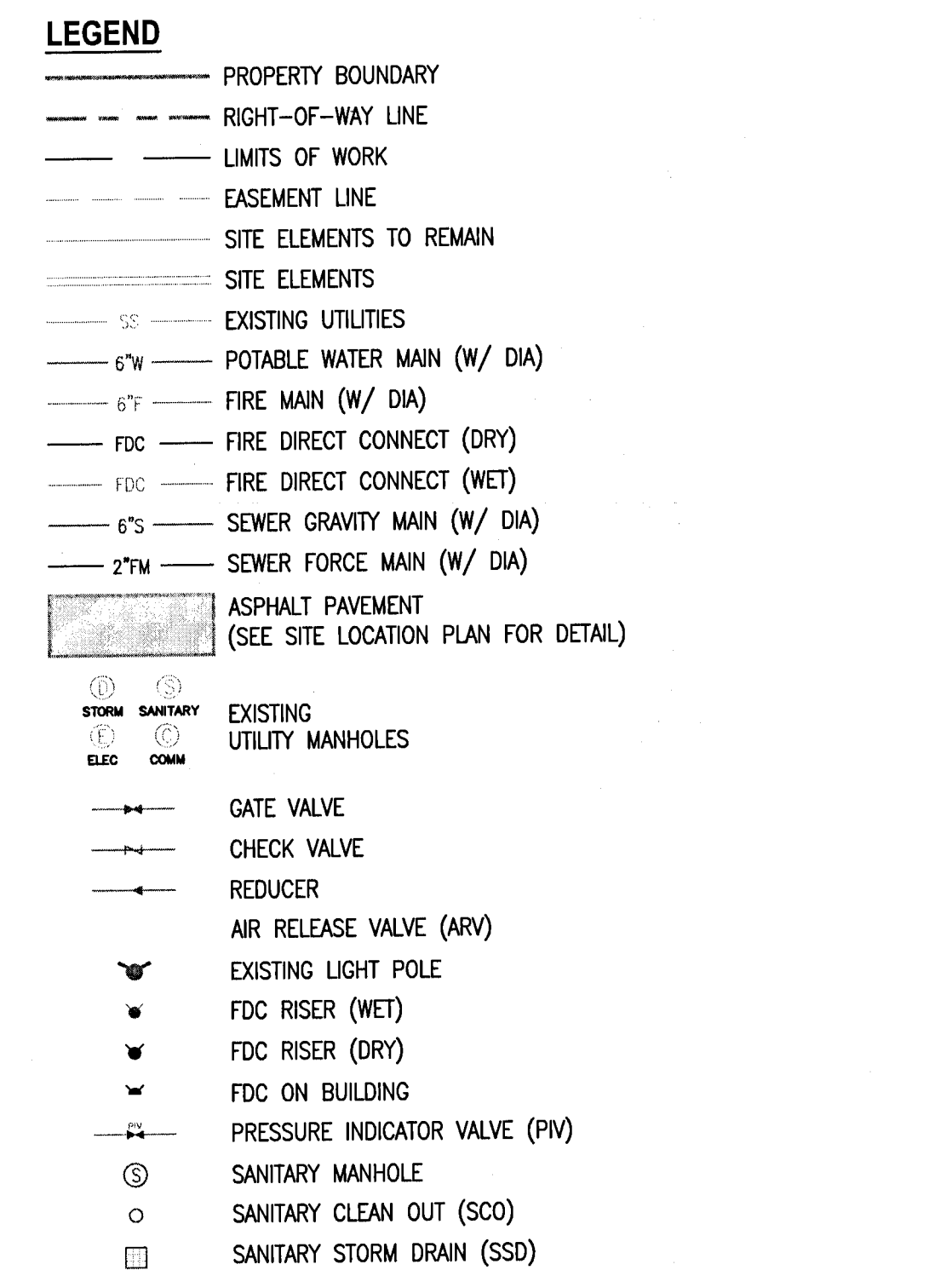


- 1 MATCH EXIST. PAVEMENT GRADE
 - 2 MATCH PROPOSED GRADE

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
JB-10	INDEX NO. 201 - TYPE 8 MANHOLE (CONCENTRIC CONE WITH, RECTANGULAR BOTTOM 48X84). PROVIDE A 12"x12" OPENING IN BOTTOM OF STRUCTURE	N:561373.15 E:1096498.97	128.47	BOT = 115.00 42" INV IN=119.33 N RCP 12" INV IN=122.01 E HDPE 30" INV OUT=119.33 W RCP 30" INV OUT=119.33 W RCP
JB-20	EXISTING JUNCTION BOX	N:561454.02 E:1096497.15	0.00	BOT = -10.24 36" INV IN=119.78 N RCP 18" INV IN=123.37 E RCP 42" INV OUT=119.76 S RCP

-

PROJ. START DATE: 3/19/21	SCALE	<div>C-302</div> <div>DRAWING NUMBER</div> <div>REVISION</div>
MCE PROJ. # 07952-0001	HORIZONTAL:	
DRAWN GTP	AS SHOWN	
DESIGNED AMM	VERTICAL:	
CHECKED DPJJ	N/A	
PROJ. MGR. WBW		



1. SEE THE GENERAL NOTES DRAWING (SHEET C 001) FOR GENERAL UTILITY NOTES THAT ALSO APPLY TO THIS UTILITY PLAN.
2. ALL DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. SEE THE DRAINAGE PLAN (C 200 SERIES) FOR INFORMATION FOR THE DRAINAGE INFRASTRUCTURE.
3. LOCAL UTILITY REPRESENTATIVES SHALL WITNESS TAP TO EXISTING WATER AND SANITARY FORCE MAINS. 48-HOUR NOTICE MUST BE GIVEN TO THE LOCAL UTILITY TO SCHEDULE A REPRESENTATIVE TO BE ON SITE DURING THE CONNECTION INSTALLATION. VERIFY IF THE LOCAL GAS COMPANY SHALL WITNESS INSTALLATION OF ALL UTILITIES CROSSING EXISTING GAS MAINS.
4. ALL PROPOSED WATER MAIN AND FORCE MAIN UTILITY WORK IS TO BE DONE PRIOR TO CONNECTING TO THE EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH OWNER ON WHEN THE EXISTING MAIN WILL BE OUT OF SERVICE. THE EXISTING WATER MAIN SHALL NOT BE OUT OF SERVICE DURING THE DOWN STREAM'S NORMAL OPERATING HOURS.
5. WHERE PROPOSED UTILITY MAINS CONNECT TO EXISTING UTILITY MAINS AND/OR WHERE EXISTING UTILITY MAINS ARE TO BE MODIFIED, CONTRACTOR SHALL INSTALL PIPE RESTRAINTS ON THE EXISTING UTILITY MAINS APPROPRIATE FOR THE FIELD CONDITION. SEE DETAIL FOR PIPE RESTRAINT REQUIREMENTS.
6. FIRE MAIN SHALL EXTEND INTO PROPOSED BUILDING TO 1.0' ABOVE FINISHED FLOOR FOR CONTINUATION BY THE FIRE PROTECTION CONTRACTOR. SEE PLUMBING PLAN FOR MORE INFORMATION.
7. CONTRACTOR SHALL FIELD ADJUST LOCATION OF FIRE HYDRANTS TO ENSURE 3-FEET CLEARANCE TO ALL ADJACENT VERTICAL STRUCTURES. PLACEMENT OF HYDRANTS SHALL ALSO BE IN ACCORDANCE WITH THE FIRE HYDRANT DETAILS. BOLLARDS MAY BE REQUIRED TO PROTECT FIRE HYDRANTS IN CERTAIN SITUATIONS.

SANITARY STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM ELEVATION	PIPE INVERT
EX SMH-20	EXISTING MANHOLE	N:561444.00 E:1096580.80	127.60	INV OUT=122.50 W PVC
SMH-10	MANHOLE	N:561509.70 E:1096874.48	128.71	INV OUT=120.33 N PVC
SMH-30	MANHOLE	N:561446.38 E:1096540.58	128.85	INV IN=122.34 E PVC INV OUT=122.24 NW PVC
SMH-40	MANHOLE OLD LIFTSTATION	N:561522.70 E:1096504.99	130.08	INV IN=121.90 SE PVC INV OUT=121.80 N PVC

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Phone: (850) 994-9503

FL Certificate of Authorization# 29588
www.mckimcreed.com

 **SWEET BAY PROPERTIES, LLC**
 297 Colbalt Lane
 Miramar Beach, FL 32550
www.sweetbay-properties.com


**WOODLAND PLACE APARTMENTS
PHASE 1**

**CIVIL
UTILITY PLAN**

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

SCALE	C-402
HORIZONTAL:	
AS SHOWN	
VERTICAL:	
N/A	DRAWING NUMBER
	REVISION

STATUS: COUNTY SUBMITTAL
NOT FOR CONSTRUCTION

 **SWEET BAY PROPERTIES, LLC**
297 Colbalt Lane
Miramar Beach, FL 32550
www.sweetbay-properties.com

MATCHLINE: SHEET C-801

BUILDING 8 (TYPE-C) FFE: 131.5'

BUILDING 9 (TYPE-C) FFE: 129.5'

BUILDING 10 (TYPE-C) FFE: 129.5'

BUILDING 11 (TYPE-D) FFE: 130.5'

BUILDING 12 (TYPE-G) FFE: 130.5'

EXISTING BUILDING (TO REMAIN)

CLUBHOUSE FFE: 129.0'

NEW CANOPY TREE PARKING (TYP. OF 9) SEE 7/C-910

STORMWATER TREATMENT POND

CAROLINA STREET 66' RIGHT-OF-WAY

PITMAN AVE 66' RIGHT-OF-WAY

APPROX. LIMITS OF AREAS THAT MUST BE FULLY STABILIZED WITH APPROVED SODDING/SEEDING, SEE 8/C-910

CANOPY TREES MUST BE PLANTED A MIN. 25' CLEAR OF ALL OVERHEAD UTILITIES

ELEVATIONS:
 127.5 - TOB
 119.0 - BOT
 127.5 - TOB
 119.0 - BOT

SCALE: 1"=20' (Horiz.)

TOTAL PROTECT
TOTAL REMOVE
SUB-TOTAL REP
REPLACEMENT I
GRAND TOTAL F
STANDARD REP
REPLACEMEN

M LIVE OAK

M SOUTHERN MAGNOLIA

M RED BUD

TREES PLANTS TO FULFILL THE REQUIREMENTS OF ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE SHALL NORMALLY ATTAIN MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL AT PLANTING.

A PLANT SPECIES SMALL AND TOLERANT THAT TYPICALLY GROWS BENEATH CANOPY TREES AND HAVE A MATURE HEIGHT OF 20 FEET. UNDERSTORY TREES EXAMPLES DAHOON HOLLY, WAXMYRTLE, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBA COUNTY EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENT OR PROTECTED TREE. SPECIES OF PALMS INCLUDE: DATE PALM (PHOENIX), SPANISH EXCEL P. RECLINATA AND CABBAG OR SABA (SABAL PALMETTO). THE DIVERSITY OF ANY TREE REQUIRED TO BE PLANTED ON SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE. LIVE OAKS, SOUTHERN MAGNOLIAS, RED BUDS TO BE PLANTED TO MEET 40% DIVERSITY REQUIREMENT.

1. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
2. NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED
3. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF FLADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF AGRICULTURE, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
4. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. IT IS RECOMMENDED THE CONTRACTOR/OWNER CONSULT A LANDSCAPE ARCHITECT FOR TREE SPECIES DETERMINATION OF NEW PLANTINGS.
5. NEW TREE PLANTING MUST CONTAIN A 6' RADIUS CLEAR ZONE FOR ROOTING.

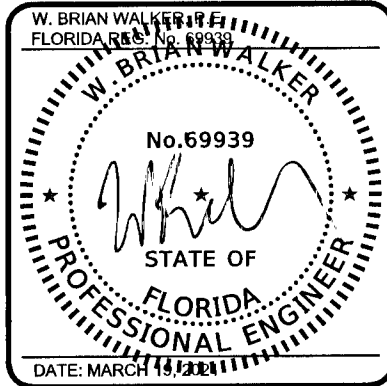
THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.

LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 5 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE. THE TRUNKS OF MATURE TREES TRIMMED OF FOLIAGE TO NINE FEET, AND NEWLY PLANTED TREES WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS.2.MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE FOOTING OF A MINIMUM PERMANENT PERIODIC MAINTENANCE CURB OF ALL OBSTRUCTIONS TO VISIBILITY.3. MINIMUM TREE CANOPY. THE MINIMUM RADIUS OF THE TREE CANOPY SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.

EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.

WHERE OVERHEAD UTILITIES EXIST, ONLY PLANTS THAT WILL NOT CREATE
PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE
INSTALLED. TO PREVENT TREES FROM BECOMING ENERGIZED OR DISRUPTING
ELECTRICAL SERVICE, TREE PLANTING DIRECTLY BELOW POWER LINES SHALL BE
AVOIDED AND ONLY UNDERSTORY TREES PLANTED NEAR POWER LINES. WITHIN AN
ESTABLISHED ELECTRIC UTILITY RIGHT-OF-WAY NO VEGETATION SHALL BE PLANTED
THAT WILL REQUIRE A TEN FOOT CLEARANCE FROM THE POWER LINES. TREES
PLANTED CLOSER THAN TEN FEET TO POWER LINES OR EXCEED CLEARANCES
OTHERWISE REQUIRED BY APPLICABLE ANSI STANDARDS, ANY CANOPY TREES
PLANTED SHALL BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING
SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.

TOTAL PROTECT INCHES	1116"
TOTAL REMOVED & ROOT IMPACTION INCHES	150"
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%)	75
REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 10.53 ACRES	264
GRAND TOTAL REPLACEMENT INCHES REQUIRED	75
STANDARD REPLACEMENT TREES (2.5" DBH) REQUIRED	30
REPLACEMENT TREES PROPOSED	30

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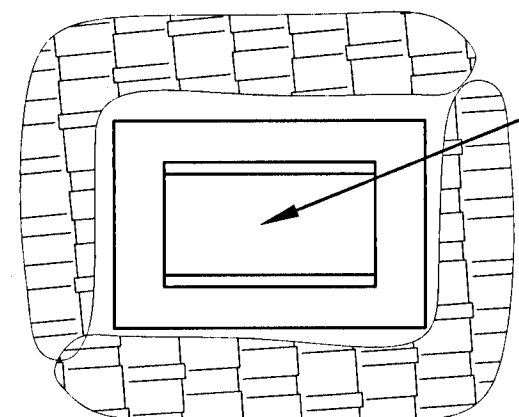
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WOODLAND PLACE APARTMENTS
PHASE 1

CIVIL
LANDSCAPE PLAN

PROJ. START DATE: 3/19/21	SCALE	C-801
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN VERTICAL: N/A	DRAWING NUMBER REVISION
DRAWN GTP		
DESIGNED AMM		
CHECKED DPJJ		
PROJ. MGR. WBW		
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 30%;"> STATUS: </div> <div style="width: 70%; text-align: center;"> COUNTY SUBMITTAL NOT FOR CONSTRUCTION </div> </div>		



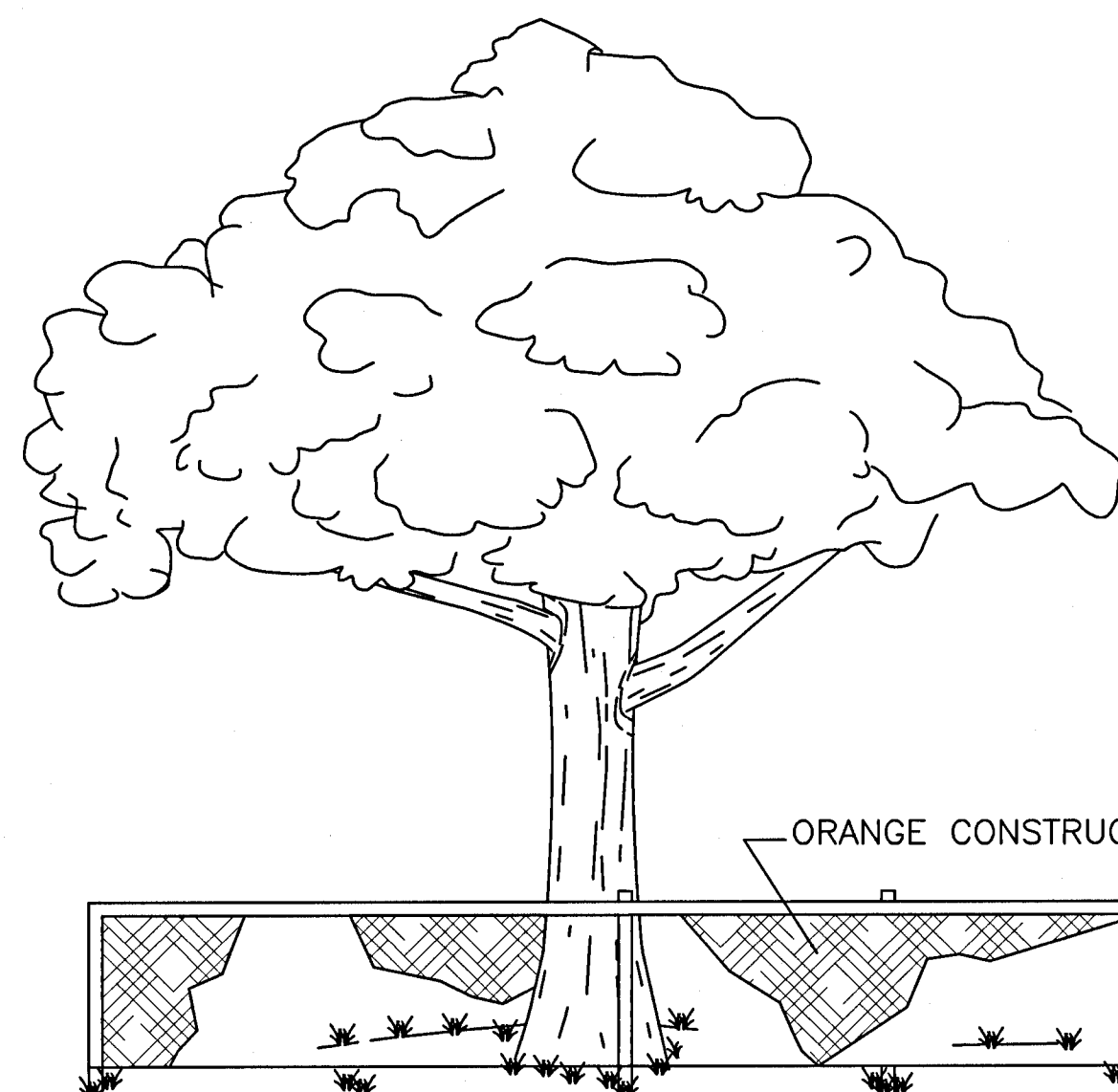
INSTALL FILTER FABRIC UNDER INLET GRATE
- IMMEDIATELY UPON INSTALLATION. REMOVE AND
REPLACE WITH NEW FABRIC REGULARLY TO MAINTAIN
FLOW AND REDUCE SEDIMENT ACCUMULATION.

NOTE:
SYNTHETIC BALES OR SEDIMENT LOG WILL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

INLET PROTECTION

NOT TO SCALE

1
C-910



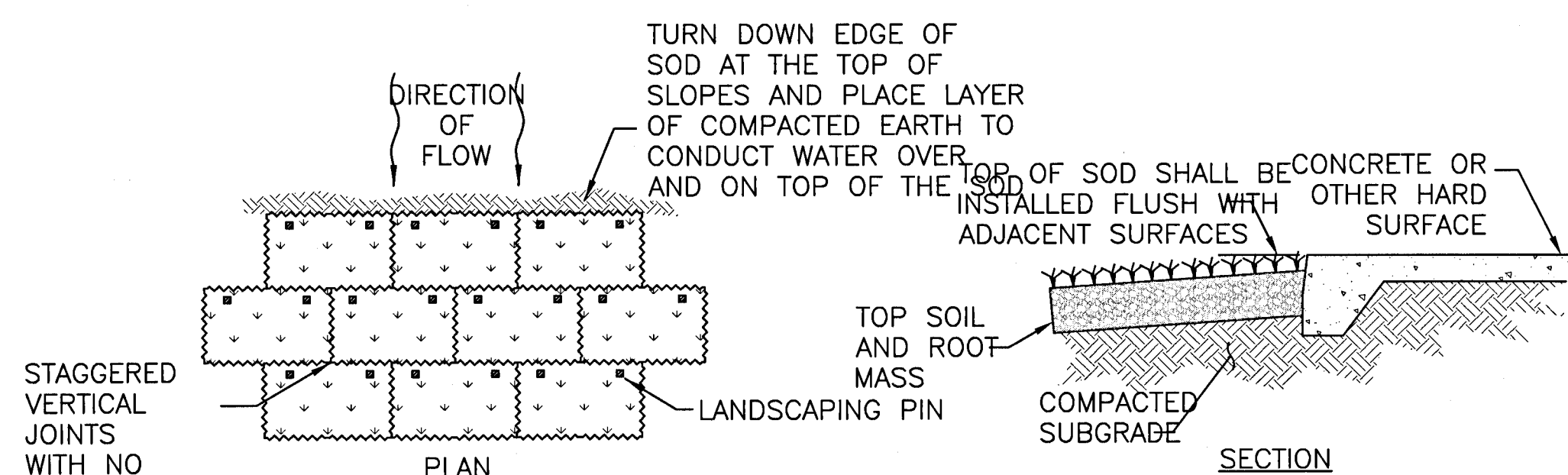
PROFILE

—ORANGE CONSTRUCTION FENCE

TREE PROTECTION

NOT TO SCALE

5
C-910



STAGGERED
VERTICAL
JOINTS
WITH NO
GAPS
BETWEEN
PIECES

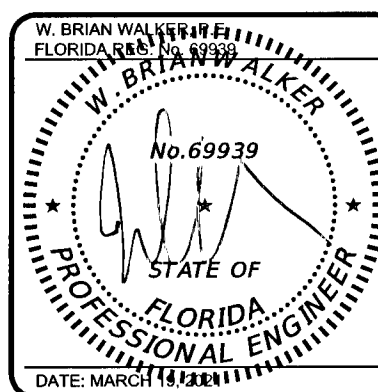
NOTES:

- NOTES:**
1. SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
 2. PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
 3. SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
 4. INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

SODDING DETAIL

NOT TO SCALE

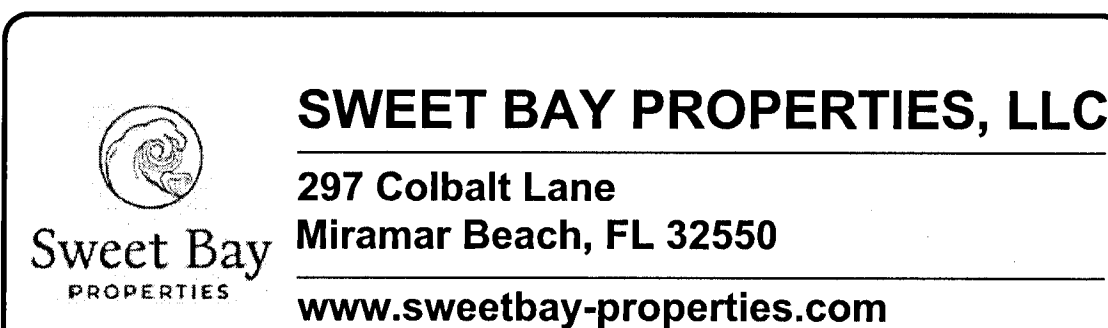
6
C-910

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WOODLAND PLACE APARTMENTS

PHASE 1

EROSION CONTROL DETAILS

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

STATUS

19/21	SCALE
0001	HORIZONTAL:
GTP	AS SHOWN
AMM	VERTICAL:
DPJJ	N/A
NBW	

C-910

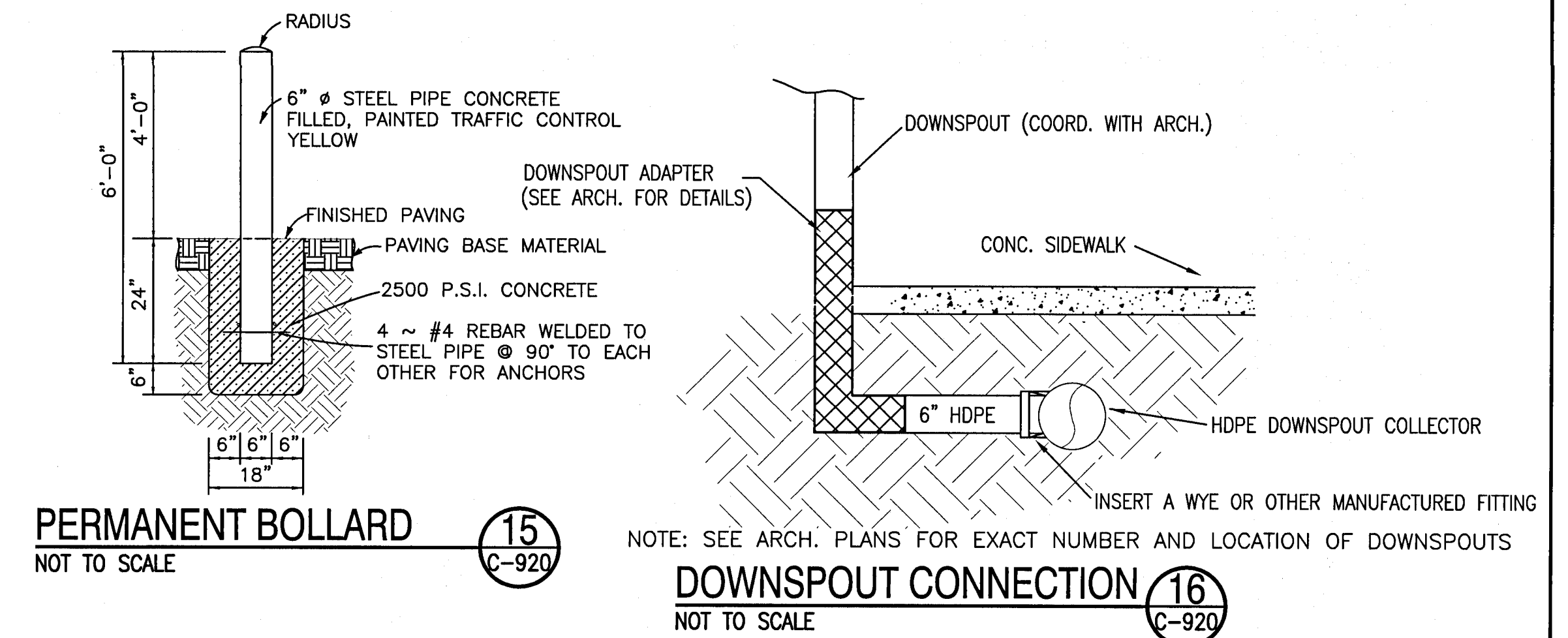
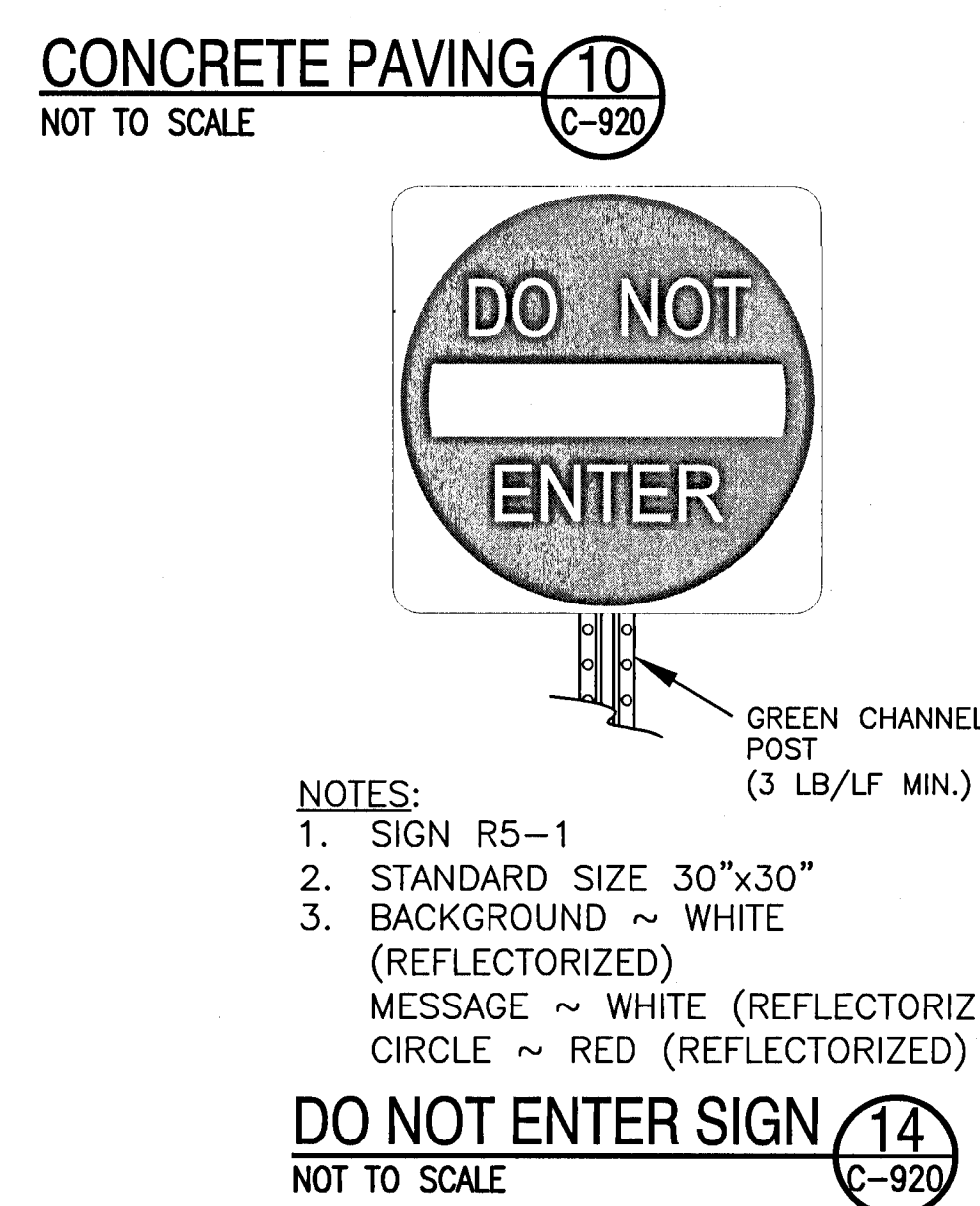
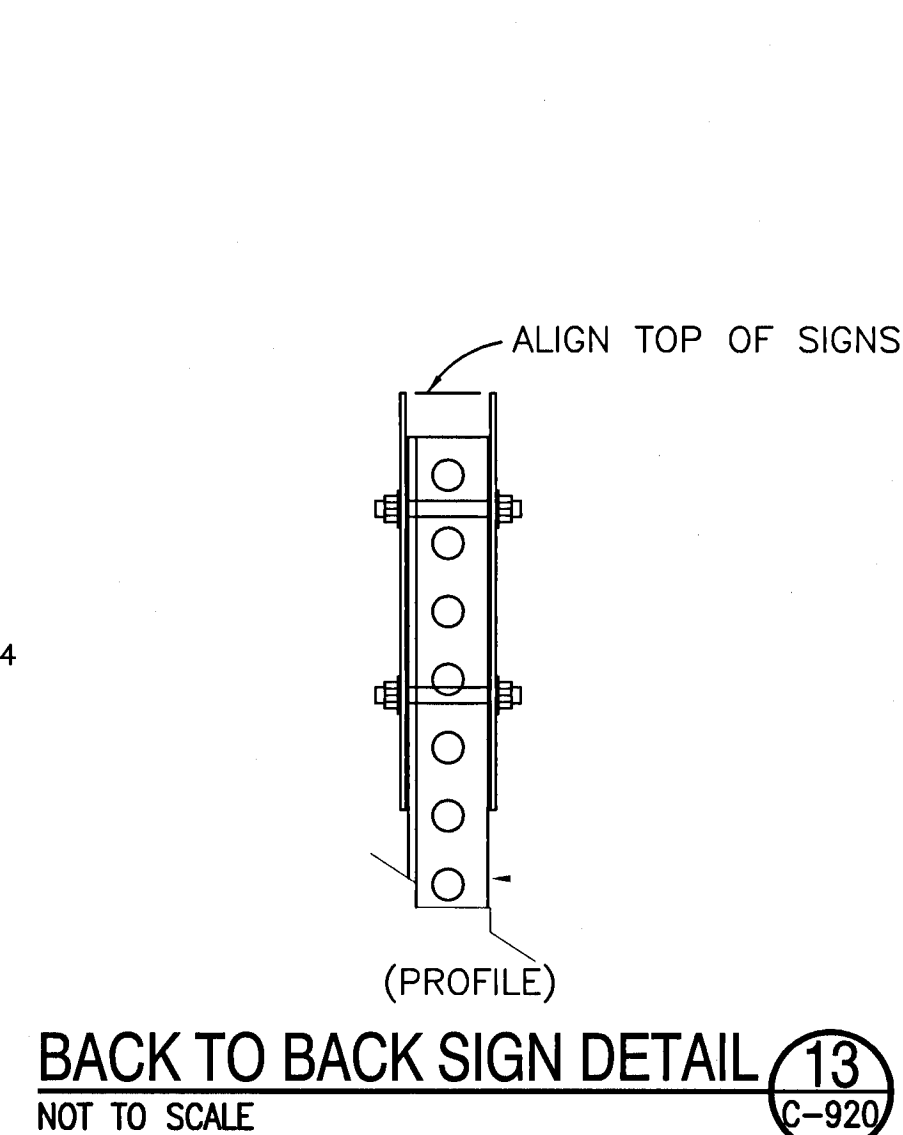
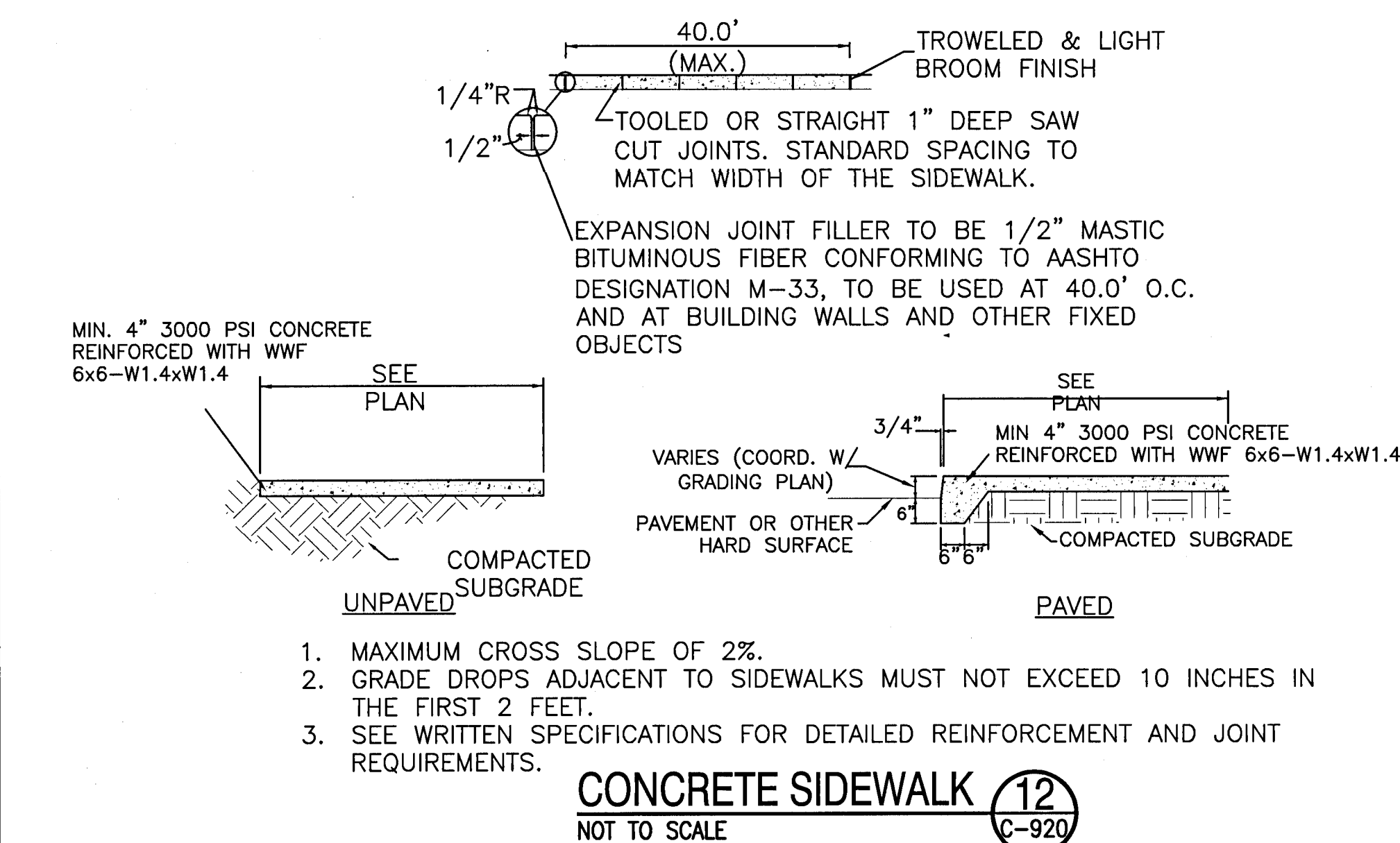
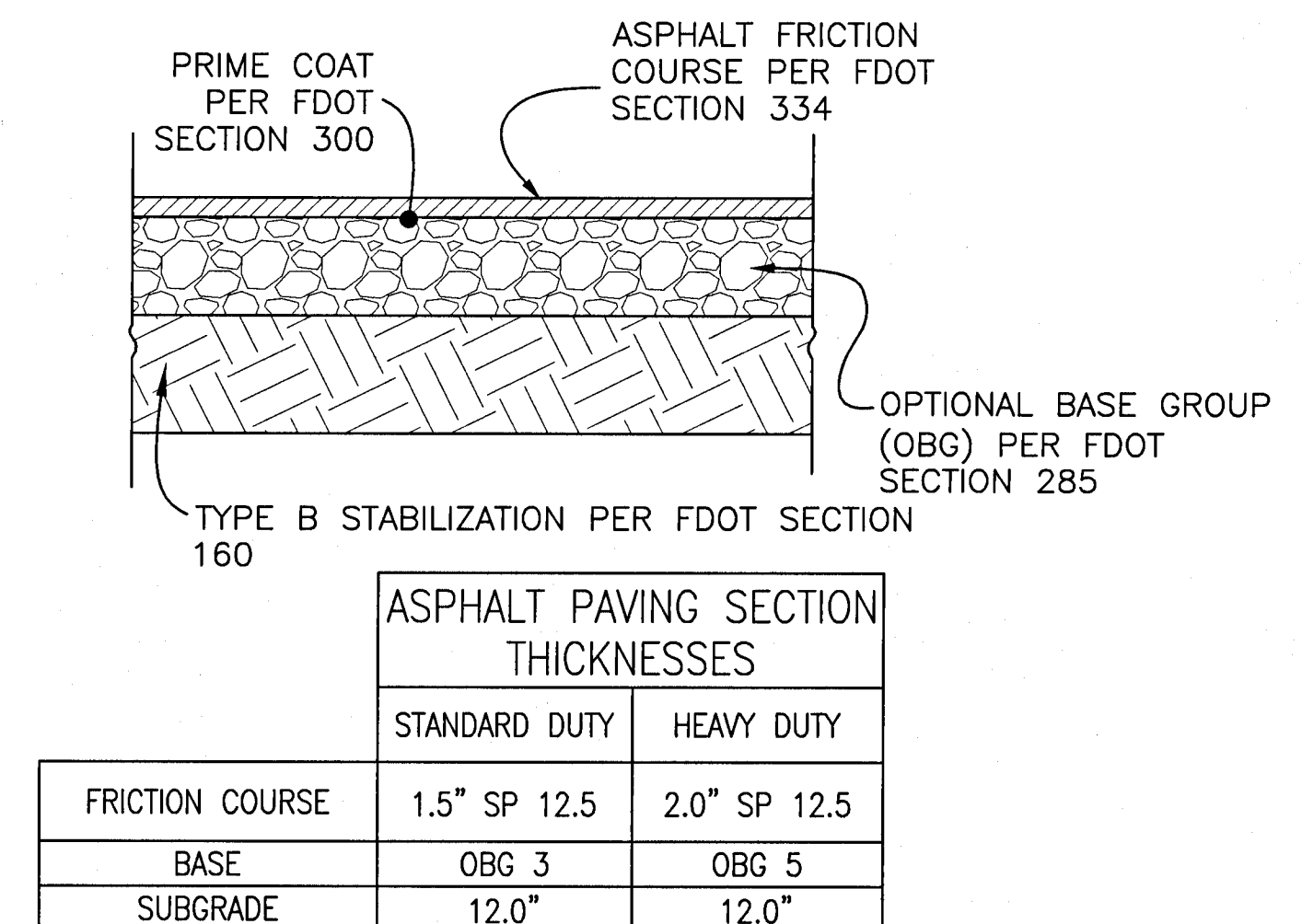
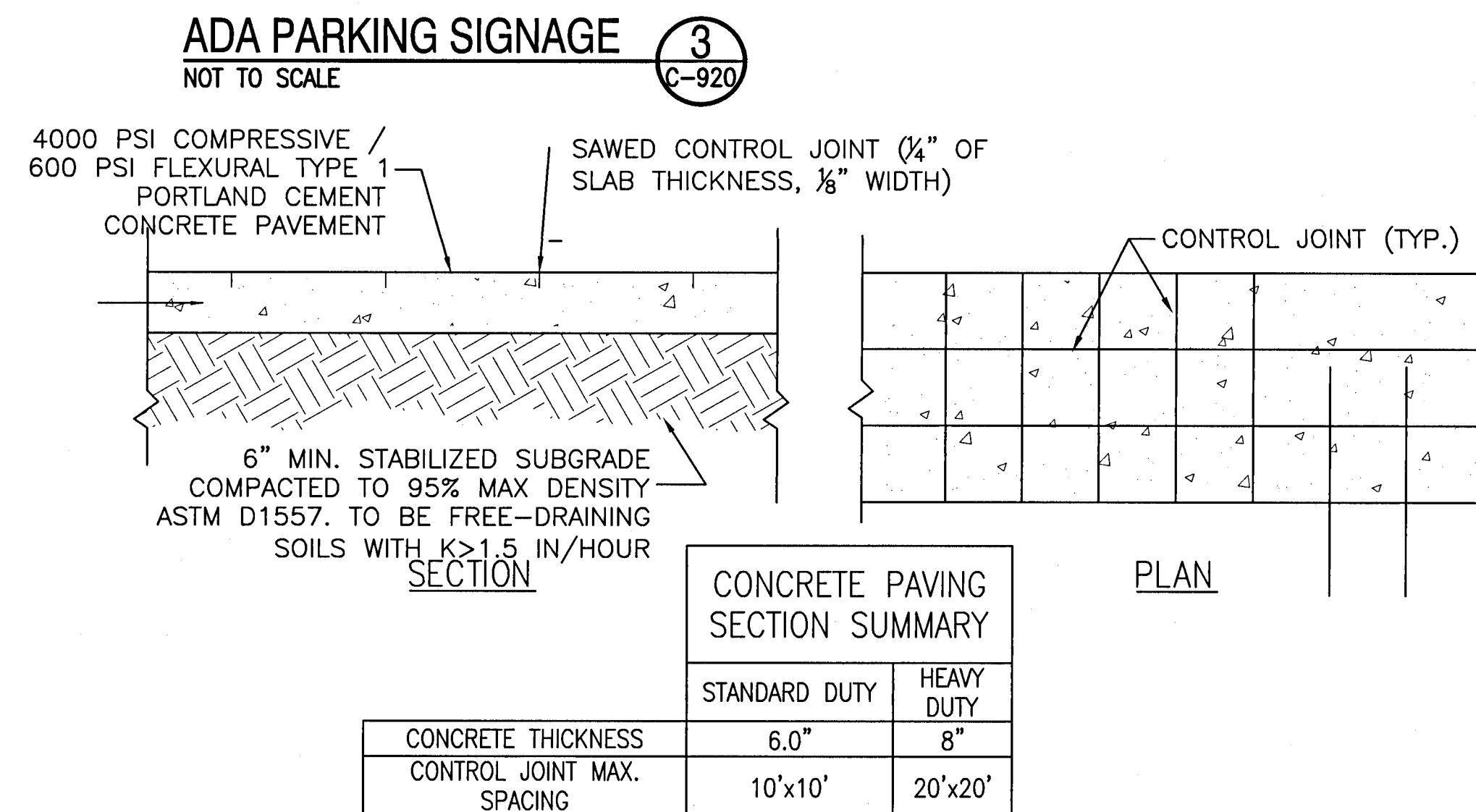
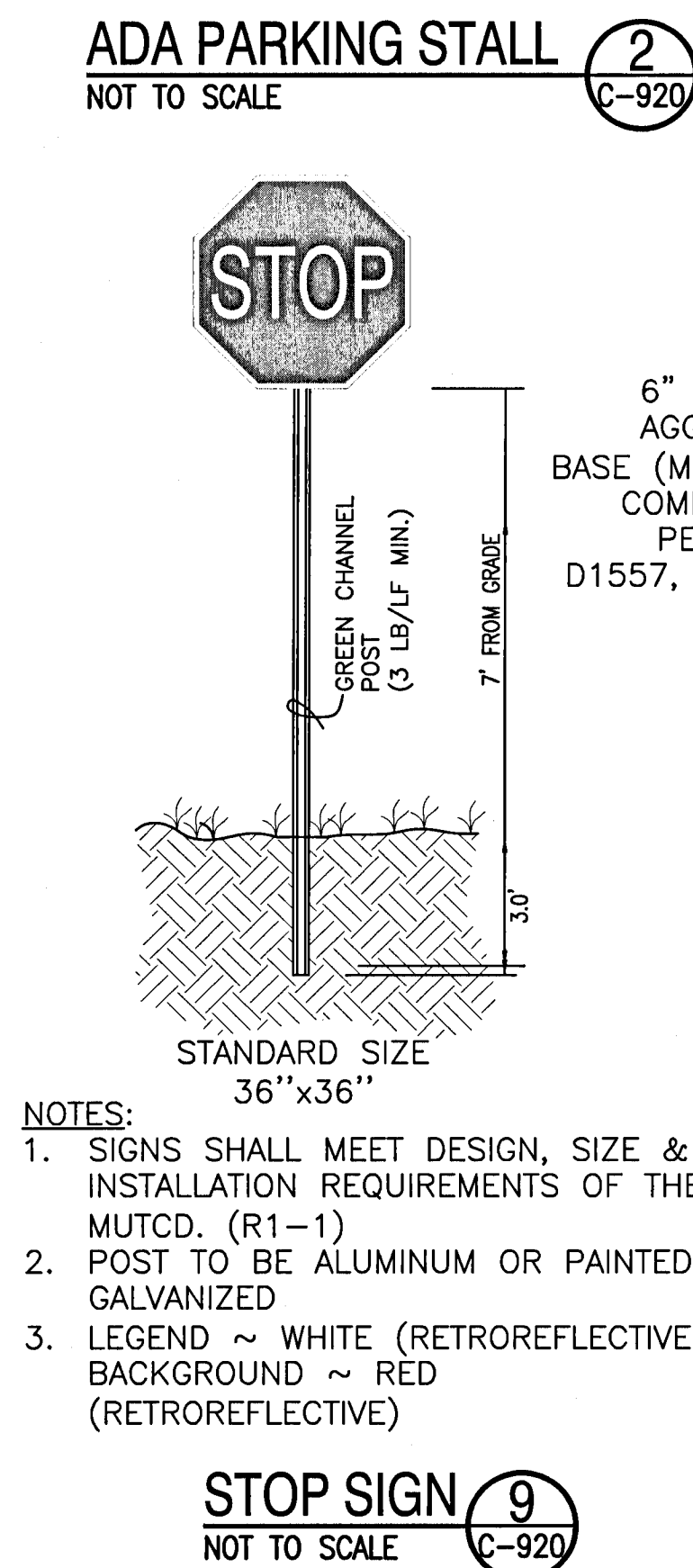
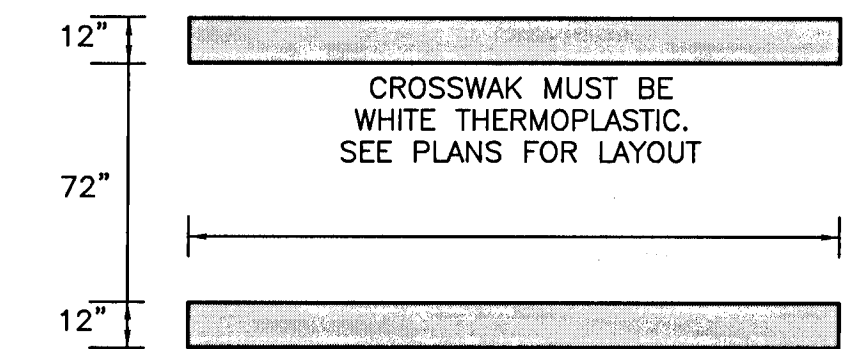
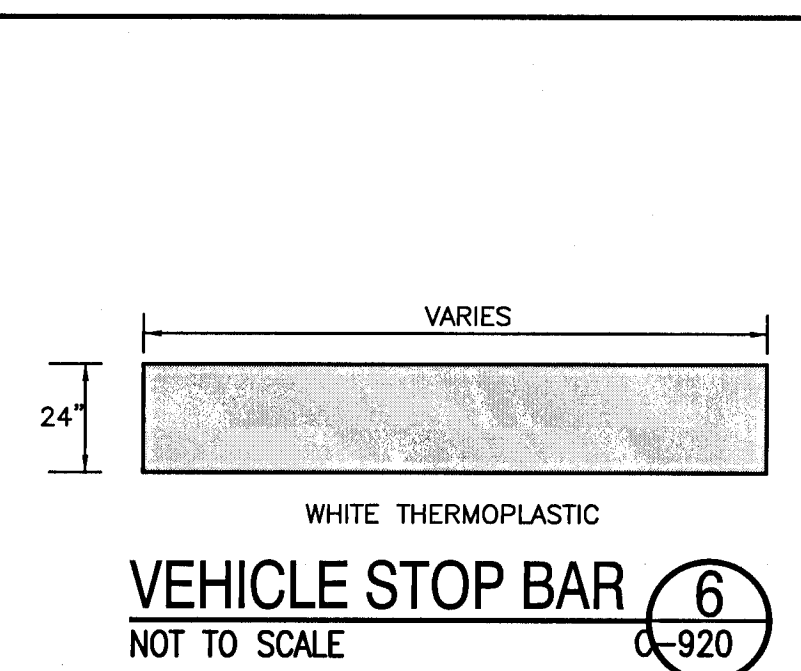
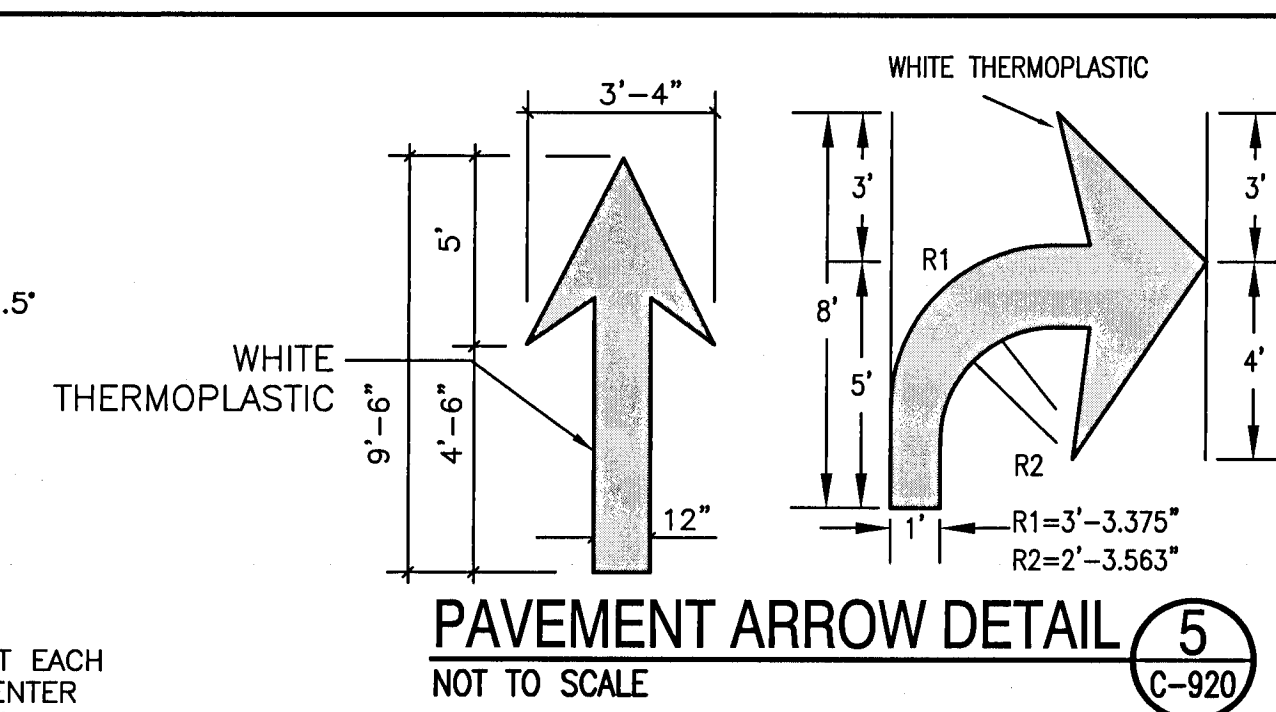
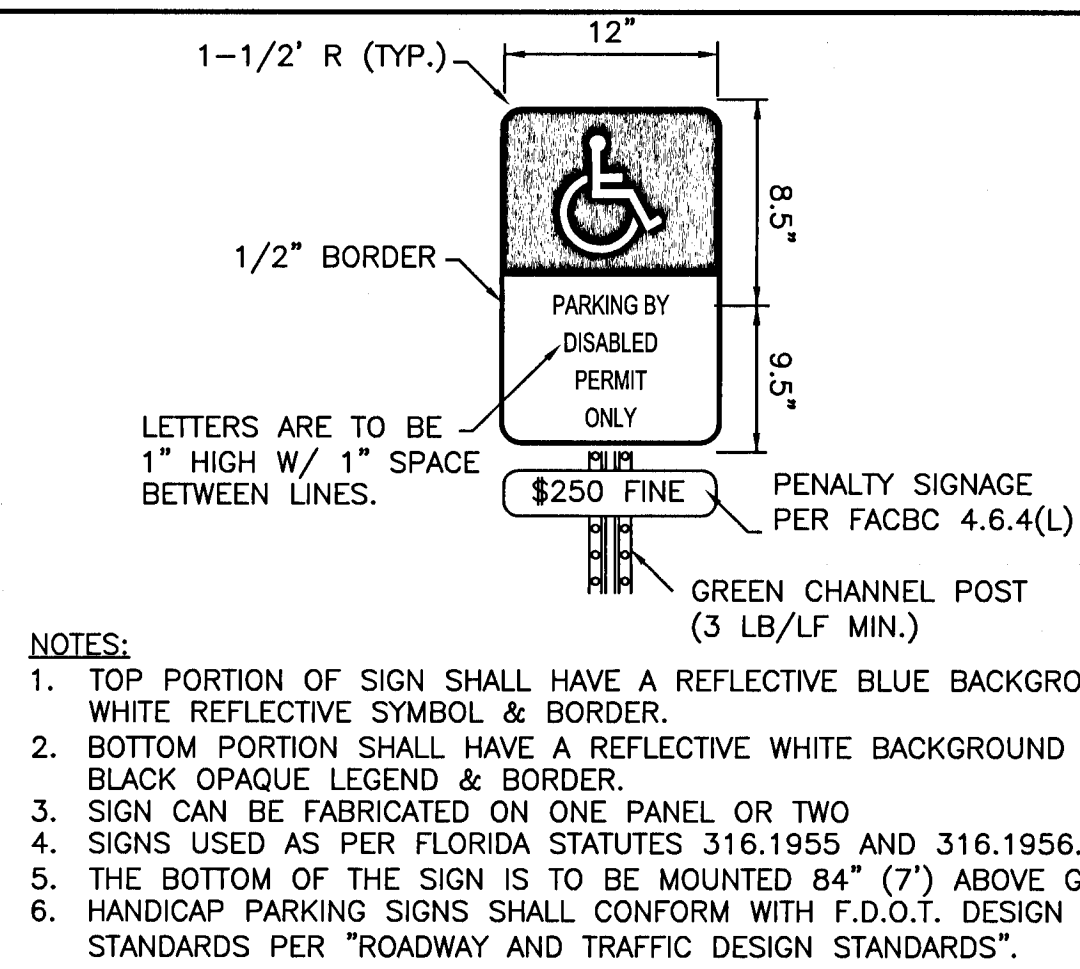
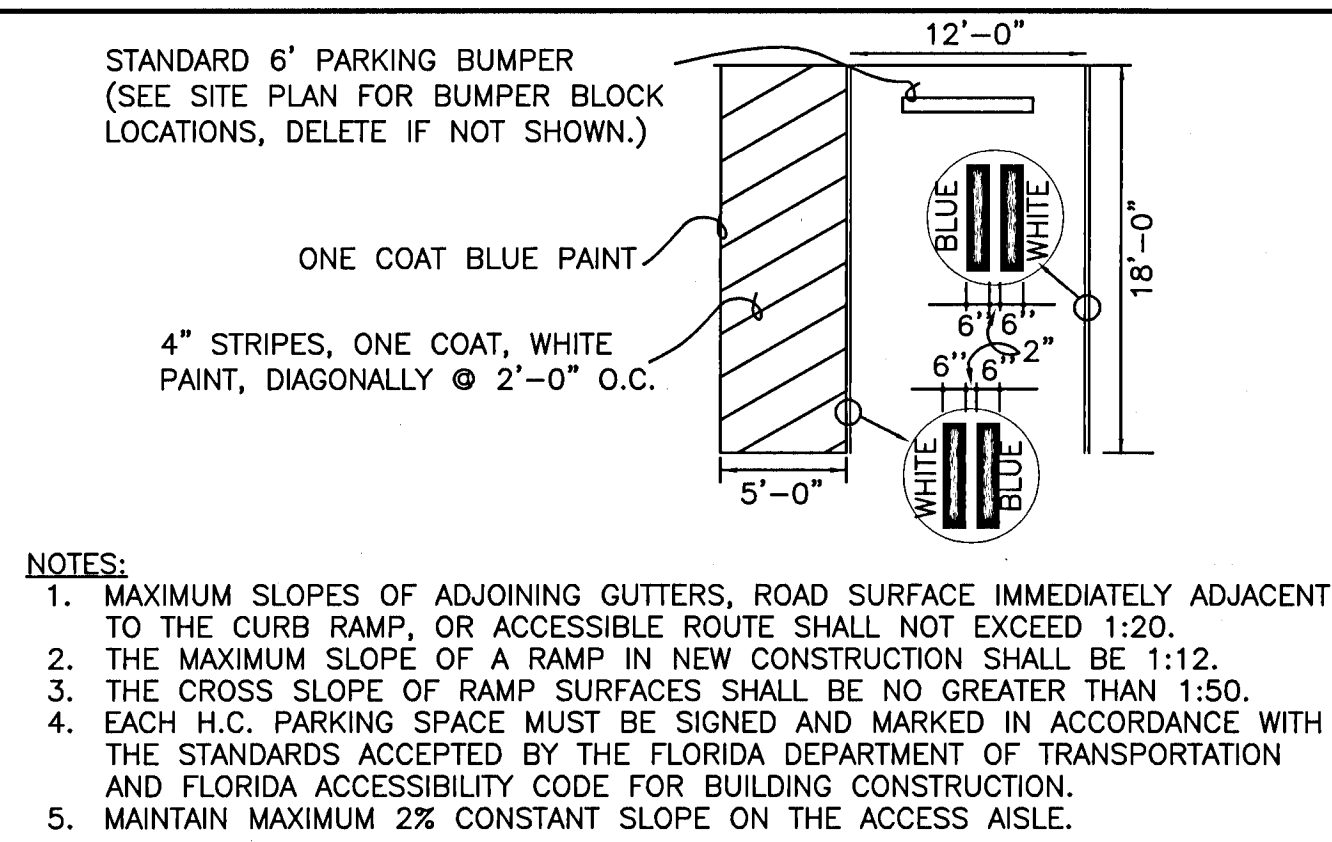
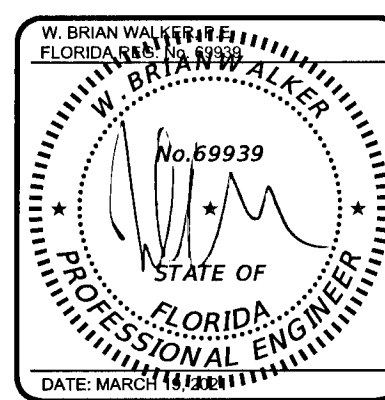
DRAWING NUMBER

A

REVISION

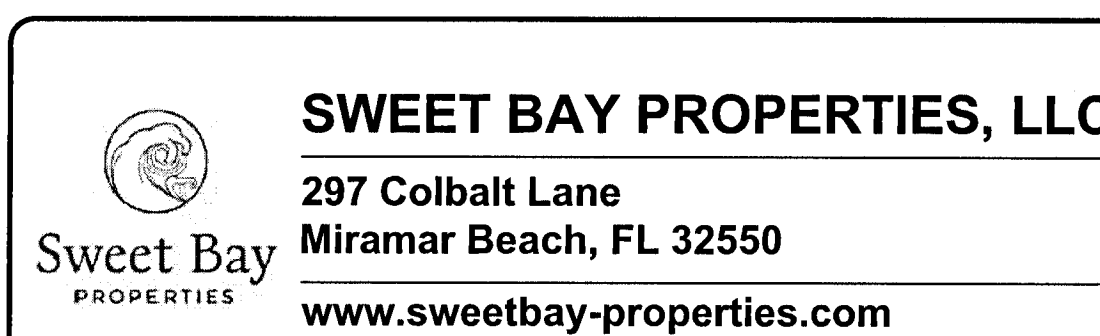
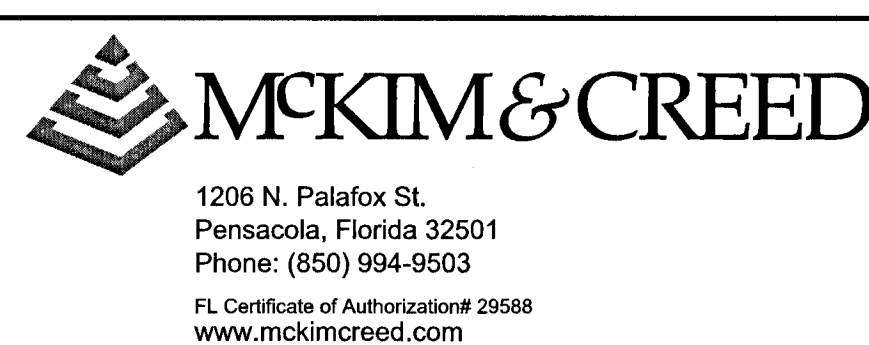
ADMITTED

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WOODLAND PLACE APARTMENTS

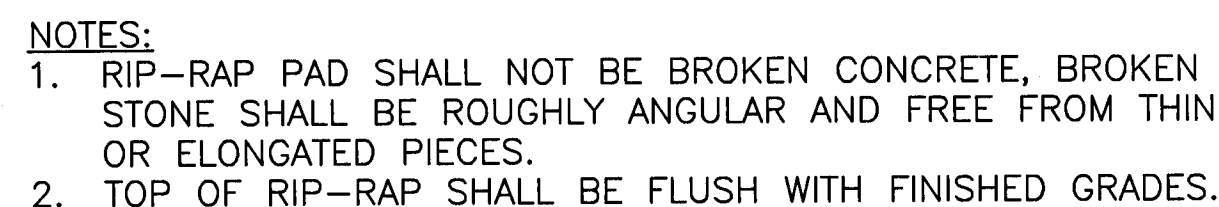
PHASE 1

DETAILS

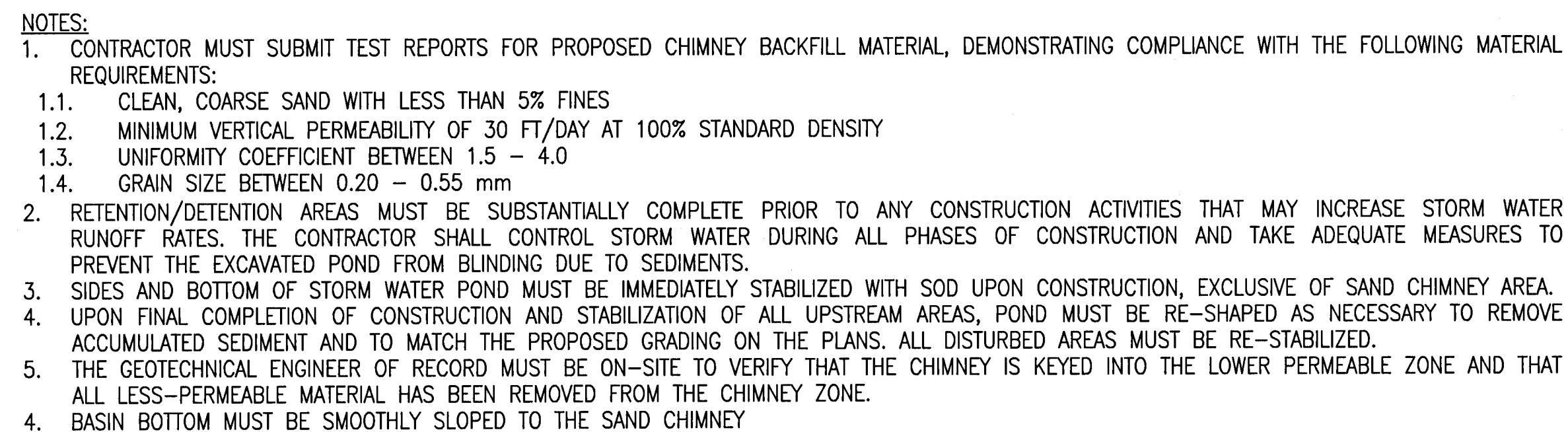
SITE DETAILS

PROJ. START DATE:	3/19/21	SCALE	<div style="text-align: center;"> C-920 <small>DRAWING NUMBER</small> A <small>REVISION</small> </div>
MCE PROJ. #	07952-GTP	HORIZONTAL:	
DRAWN	001	AS SHOWN	
DESIGNED	AMM	VERTICAL:	
CHECKED	DPJJ	N/A	
PROJ. MGR.	WBW		

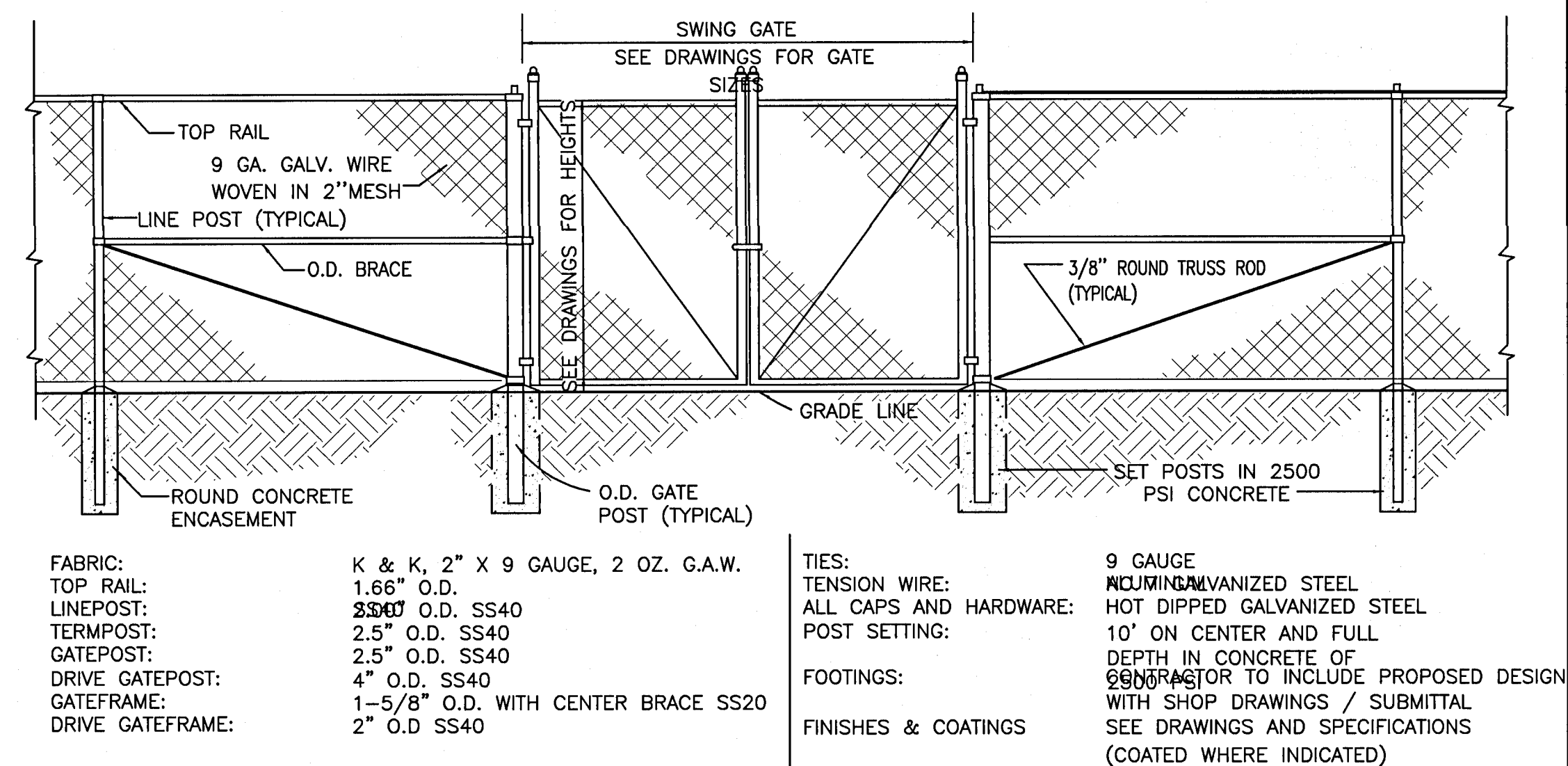
STATUS: **COUNTY SUBMITTAL
NOT FOR CONSTRUCTION**



RIP-RAP PAD (3)
NOT TO SCALE C-930



STORM WATER POND W/ SAND CHIMNEY 1
NOT TO SCALE C-930



CHAIN LINK FENCE AND GATES

NOT TO SCALE

7
C-930

STATUS: COUNTY SUBMITTAL
NOT FOR CONSTRUCTION

Diagram illustrating a DIRT ROAD PATCH DETAIL. The patch is 1' wide and 1' high. The patch is made of dirt and is surrounded by existing road bed contours. A note points to the sub base information.

NOTE: SEE NOTE 1 BELOW FOR SUB BASE INFORMATION.

Labels in diagram:

- SURFACE TO MATCH EXISTING ROAD BED CONTOURS
- 1'
- 1'
- 0.33' (MIN) PIPE WIDTH
- 0.33' (MIN)

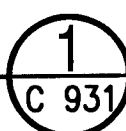
DIRT ROAD PATCH DETAIL

NOT TO SCALE

1. PATCH WORK SUB BASE MATERIAL TO BE PLACED IN 8" LAYERS (MAX)
EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR
2. ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
3. LONGITUDINAL ROAD CUTS OF LESS THAN ONE-HALF PAVEMENT WIDTH TO BE PATCHED SAME AS LATERAL PATCH.
LONGITUDINAL ROAD CUTS ONE-HALF OR GREATER TO BE PATCHED WITH SAME BASE MATERIAL AND ENTIRE ROAD WIDTH SURFACED.

PATCH DETAILS

NOT TO SCALE



1. ENVIRONMENT AVAILABLE WITH ALL 18\" - 30\" STRUCTURE OPTIONS (CONCRETE BASIN, ROAD & HIGHWAY & CURB INLET)

2. FRAMES, GRATES, COVERS, HOODS & BASE PLATES SHALL EQUIVATE IRON PER ASTM A536 (GRADE 70-60-45)

3. CHAIN BRACE TO EJECTOR MANUFACTURED ACCORDING TO PLAN DETAILS. REINERS ARE NEEDED FOR BASINS OVER 8' DUE TO SHIPPING RESTRICTIONS (SEE DRAWING 10-110-105)

4. DRAINAGE CONNECTION STR. JOINT THICKNESS SHALL CONFORM TO INLET DESIGN FOR CORRUGATED HOPE HDS IN DRAINAGE DUAL WALL IN C/P & PVC SEWER (8\" - 12\")

5. ADAPTER ANGLE BE MOUNTED ON ANY ANGLE 0\" - 30\" TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS (SEE DRAWING 10-110-111)

6. BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS 1, CLASS 8, OR CLASS 9 MATERIAL AS DEFINED IN ASTM D2231. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLET SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2231

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8. DRAWING 10-110-105

9. DRAWING 10-110-106

10. DRAWING 10-110-107

11. DRAWING 10-110-108

12. DRAWING 10-110-109

13. DRAWING 10-110-110

14. DRAWING 10-110-111

15. DRAWING 10-110-112

16. DRAWING 10-110-113

17. DRAWING 10-110-114

18. DRAWING 10-110-115

19. DRAWING 10-110-116

20. DRAWING 10-110-117

21. DRAWING 10-110-118

22. DRAWING 10-110-119

23. DRAWING 10-110-120

24. DRAWING 10-110-121

25. DRAWING 10-110-122

26. DRAWING 10-110-123

27. DRAWING 10-110-124

28. DRAWING 10-110-125

29. DRAWING 10-110-126

30. DRAWING 10-110-127

31. DRAWING 10-110-128

32. DRAWING 10-110-129

33. DRAWING 10-110-130

34. DRAWING 10-110-131

35. DRAWING 10-110-132

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135. DRAWING 10-110-232

136. DRAWING 10-110-233

137. DRAWING 10-110-234

138. DRAWING 10-110-235

139. DRAWING 10-110-236

140. DRAWING 10-1

TOP ELEV. = 127.50

6" L

2500 P.S.I. CONCRETE WITH 6"x6"-W1.4XW1.4 WW MESH

OVERFLOW ELEV. = 127.00

4"

COMPACTED POND EMBANKMENT

6" 20' 6"

2'

1.5'

EMERGENCY OVERFLOW WEIR

PLAN VIEW

DISCHARGE ELEV. = 127.00

OVERFLOW ELEV. = 127.00

SKIMMER BOTTOM ELEV. = 126.00

TREATED (4)

WOODEN SKIMMER DETAIL 5
NOT TO SCALE C-931

DETAILS

DRAINAGE DETAILS

SCALE
HORIZONTAL:
AS SHOWN
VERTICAL:
N/A

**COUNTY SUBMITTAL
NOT FOR CONSTRUCTION**

[illegible]

W. BRIAN WALKER
FLORIDA REGISTERED PROFESSIONAL ENGINEER
No. 69939
STATE OF FLORIDA
PROFESSIONAL ENGINEER
DATE: MARCH 15, 2001

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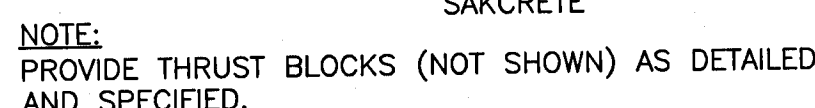
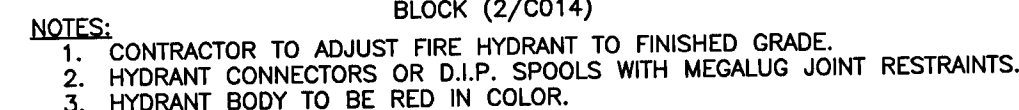
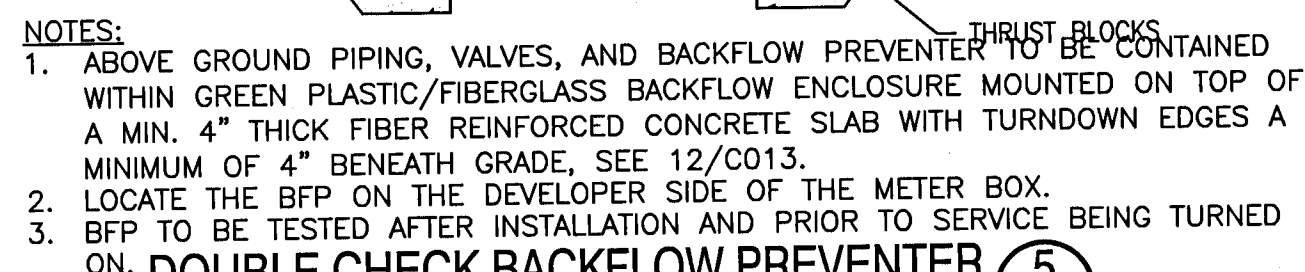
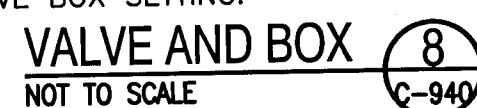
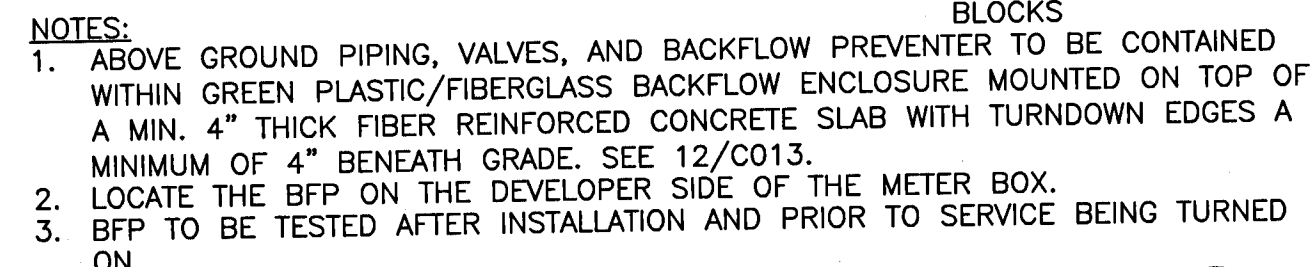
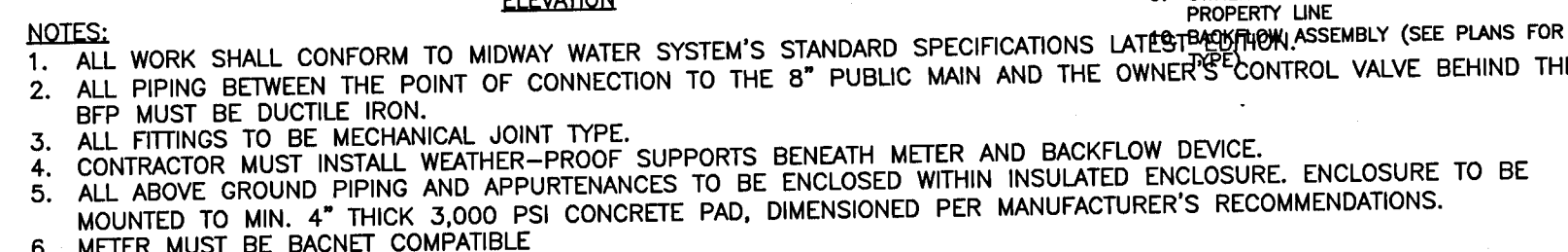
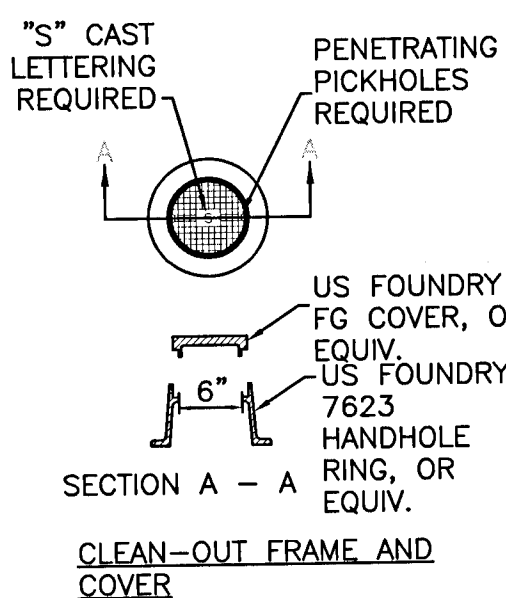
SWEET BAY PROPERTIES, LLC
297 Colbalt Lane
Miramar Beach, FL 32550
www.sweetbay-properties.com

**WOODLAND PLACE APARTMENTS
PHASE 1**

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

STATUS:

**COUNTY SUBMITTAL
NOT FOR CONSTRUCTION**



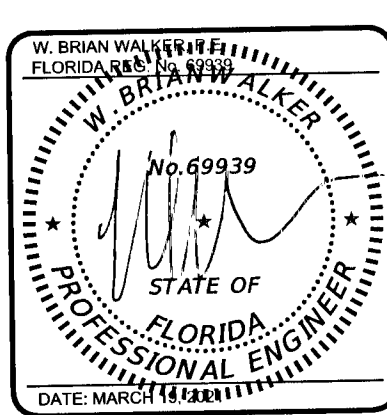
	FITTING	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND
PPE SIZE					
4"	1' X 2'	1.5' X 1.5'	1' X 1.5'	1' X 1'	
6"	2' X 2'	2.5' X 2.5'	2' X 1.5'	1' X 1.5'	
8"	2.25' X 3'	3' X 3'	2' X 2'	1.5' X 1.5'	
10"	3.5' X 3'	4' X 3.75'	2.75' X 3'	2' X 2'	
12"	4' X 4'	4' X 5'	3' X 4'	2' X 3'	
16"	5' X 5.5'	6' X 6.5'	4' X 5'	3' X 3.5'	

- NOTES:
1. ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
 2. ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL.
 3. THRUST BLOCK DIMENSIONS BASED ON SM SOIL CLASSIFICATION.
 4. CONCRETE MUST BE 2,500 PSI.
 5. JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS. THRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, TEES, TAPPING SLEEVES, AND DEAD ENDS.

METER SIZE	METER BOX (INSIDE DIMENSIONS)	
		B
1 1/2"	6'6"	4'6"
2"	6'6"	4'6"
3"	9'0"	4'6"
4"	9'0"	5'0"

- LEGEND
1. GATE VALVE (OS&Y TYPE)
 2. GATE VALVE (OPERATING NUT TYPE) & BOX
 3. STRAINER
 4. METER (OMNI SENSUS C2)
 5. TEE
 6. ELBOW
 7. BYPASS PIPING
 8. BYPASS CONTROL GATE VALVE
 9. OWNER CONTROL GATE VALVE AT PROPERTY LINE
- LATEST REVISION ASSEMBLY (SEE PLANS FOR OWNER'S CONTROL VALVE BEHIND THE FLOW DEVIATOR)
- ENCLOSURE, ENCLOSURE TO BE FOLLOWED BY THE OWNER'S RECOMMENDATIONS.

PAINT SCHEDULE	
INLET BODY CAST IRON CAP COVER SLEEVE	RED GLOSSY POLYESTER
UUG	NONE

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297 Colbalt Lane
Miramar Beach, FL 32550
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WOODLAND PLACE APARTMENTS

PHASE 1

DETAILS

UTILITY DETAILS

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

STATUS: COUNTY SUBMITTAL
NOT FOR CONSTRUCTION

C-940
DRAWING NUMBER
A
REVISION