

SHEET INDEX

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SITE INFORMATION

PROPERTY REFERENCE NO'S:	16-1S-31-2000-510-005
PROPERTY ADDRESS:	STEEPLECHASE BOULEVARD
TOTAL SITE AREA:	82.87 ACRES
TOTAL UPLAND AREA:	30.01 ACRES
ACREAGE & DENSITY:	TOTAL NUMBER OF LOTS = 69 0.83 LOTS/ACRE
ZONING DISTRICT:	LDR
FUTURE LAND USE:	MU-S
PROPOSED MINIMUM LOT WIDTH:	60.0'
BUILDING SETBACK REQUIREMENTS:	FRONT: 25 FEET REAR: 25 FEET SIDE: 10% OF LOT WIDTH OR 5 FEET MIN. (15' MAX)

UTILITY SERVICE NOTES:

POTABLE WATER/ FIRE PROTECTION:
ALL LOTS WILL BE SERVICED BY 6" POTABLE WATER MAIN. THE POINT OF CONNECTION WILL BE THE EXISTING 10" WATER MAIN ON THE SIDE OF PADDOCK WAY. ALL POTABLE WATER/ FIRE PROTECTION IMPROVEMENTS WILL BE OWNED AND MAINTAINED EQUA.

SANITARY SEWER:
THE DEVELOPMENT WILL BE SERVICED BY A LOW PRESSURE FORCE MAIN SYSTEM. EACH HOME WILL HAVE ITS OWN GRINDER PUMP. ALL SEWER WILL BE CONVEYED TO A GRAVITY SYSTEM ON PADDOCK WAY. THE FORCE MAIN WILL BE OWNED AND MAINTAINED BY EQUA. THE PUMPS AND LATERALS WILL BE PRIVATE AND OWNED BY EACH HOME OWNER.

STORM SEWER:
AFTER RECEIVING ALL NWFWM/DEP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER WILL INSTALL A STORMWATER SYSTEM COMPRISED OF GRASSED SWALES, INLETS, PIPING, AND STORMWATER PONDS. OUTFALL FROM THE PONDS WILL DISCHARGE TO THE SURROUNDING WETLAND AREAS. THE WETLANDS AREAS REACH AN EVENTUAL OUTFALL IN THE ELEVEN MILE CREEK. ALL STORMWATER IMPROVEMENTS WILL BE OWNED AND MAINTAINED BY ESCAMBIA COUNTY.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED UTILITY COMPANY.

SITE ENVIRONMENTAL INFORMATION		
OVERALL SITE AREA		82.87 ACRES
ACOE/NWFWM/ESCAMBIA COUNTY JURISDICTIONAL WETLANDS		52.86 ACRES
WETLAND BUFFER		3.07 ACRES
WETLAND IMPACT		0.18 ACRES
WETLAND BUFFER IMPACT		0.37 ACRES
CONSERVATION EASEMENTS		29.58 ACRES

EXISTING ACOE DREDGE & FILL PERMIT No. SAJ-2018-02935 (SP-HMM)
HAS BEEN OBTAINED FOR THIS PROJECT

UTILITY SERVICE PROVIDERS:

AT&T, INC. 605 W. GARDEN ST. PENSACOLA, FL 32501	PENSACOLA ENERGY 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504
GULF POWER ONE ENERGY PLACE PENSACOLA, FL 32520-0047	EQUA ENGINEERING DEPARTMENT 9300 STURDEVANT STREET PENSACOLA, FL 32514-0311

FLOOD ZONE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 37'-43" (AREAS SUBJECT TO INUNDATION BY THE 1-PERCENT-ANNUAL-CHANCE FLOOD EVENT DETERMINED BY DETAILED METHODS. BFES ARE SHOWN WITHIN THESE ZONES), AND FLOOD ZONE X, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0290G, MAP REVISION DATED SEPTEMBER 29, 2006.

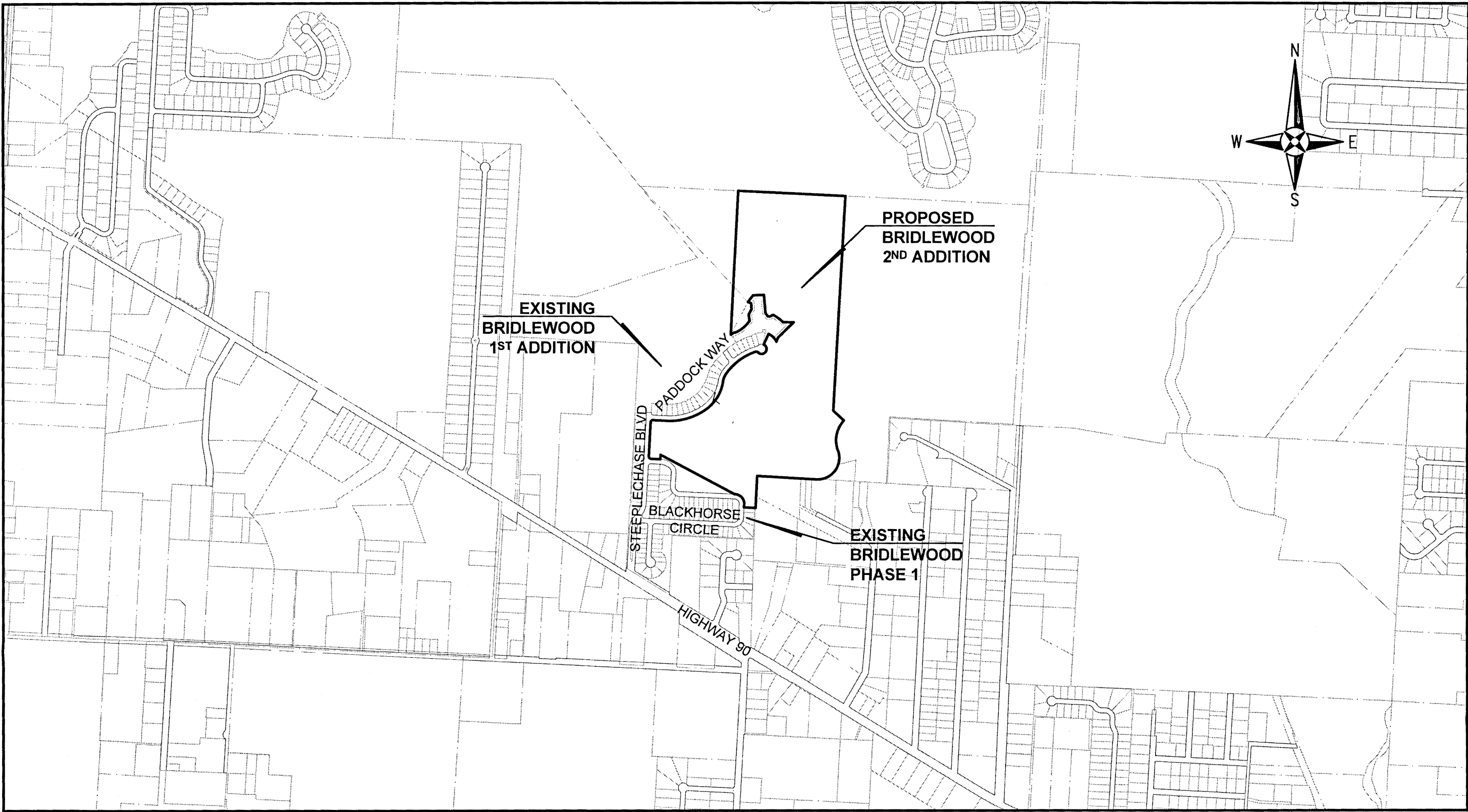
GENERAL NOTES

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF SOUTH 87°10'23" EAST ALONG THE NORTH LINE OF BRIDLEWOOD (PLAT BOOK 19, PAGES 21-21H), AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER II GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; RECORDED PLAT OF BRIDLEWOOD (PLAT BOOK 19, PAGES 21-21H), DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER II GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
- THE CONTOURS AS SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED FOR THIS FIRM BY SETTIMIO CONSULTING SERVICES INC. (LB 7982 & LS 6619), DATED MARCH 12, 2016, AND ARE RECREATED HEREON. THE ELEVATIONS WERE OBTAINED USING LIDAR METHODOLOGY AND REFERENCED TO NAVD88 USING MULTIPLE AERIAL CONTROL TARGETS SET BY THIS FIRM.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES). THE FOLLOWING SUNSHINE ONE CALL TICKETS WERE ISSUED FOR THIS PROJECT: 093811543 AND 093811435
- VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- A TITLE SEARCH WAS PERFORMED BY ALLIANT NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. FL2010-1711951, WITH AN EFFECTIVE DATE OF NOVEMBER 14, 2017 AT 6:00 A.M., AND WAS PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ALL LOT LINES THAT FALL IN CURVES ARE RADIAL UNLESS OTHERWISE NOTED.

A PRELIMINARY PLAT OF BRIDLEWOOD 2ND ADDITION A 69 LOT SUBDIVISION

LYING IN SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST,
ESCAMBIA COUNTY, FLORIDA
AND BEING A RESUBDIVISION OF ALL OF PARCELS C-4, C-8 AND D-4
AND A PORTION OF C-3, C-5, C-6 AND D-5
OF BRIDLEWOOD AS RECORDED
IN PLAT BOOK 19, PAGES 21, 21A - 21H OF THE PUBLIC RECORDS
OF ESCAMBIA COUNTY, FLORIDA

June 16, 2021



VICINITY MAP
SCALE: 1" = 1000'

PREPARED BY



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. NINTH AVENUE, SUITE 300
PENSACOLA, FLORIDA 32503
TELEPHONE 850.438.0400
FAX 850.438.0448
EB 00009657 LB7916

OWNER
MOBILE HWY PENSACOLA LLC
2000 VILLAGE DR.
PENSACOLA, FL 32503
TELEPHONE 850.474.0313

DEVELOPER
68V BRIDLEWOOD (FL) 2019, LLC
29891 WOODROW LANE SUITE 300
SPANISH FORT, AL 36527

PROFESSIONAL SURVEYOR AND MAPPER

MARK A. NORRIS, P.S.M.
REBOL-BATTLE & ASSOCIATES, LLC
2301 NORTH NINTH AVE., SUITE 300
PENSACOLA, FL 32503
TELEPHONE 850.438.0400

ANDREW SETTIMIO, PSM
REBOL-BATTLE & ASSOCIATES, LLC
3139 BELLE CHRISTIANE PLACE
PENSACOLA, FL 32503
TELEPHONE 850.341.0507

CIVIL ENGINEER
JEREMY KING, P.E.
REBOL-BATTLE & ASSOCIATES, LLC
2301 NORTH NINTH AVE., SUITE 300
PENSACOLA, FL 32503
TELEPHONE 850.438.0400

GENERAL NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE DEVELOPER/CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3475. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
- TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- PROTECTED TREES MUST BE PRESERVED UNTIL CONSTRUCTION PLAN APPROVAL. UPON CONSTRUCTION PLAN APPROVAL, PROTECTED TREES MAY BE REMOVED FROM AND CONSTRUCTION ACTIVITIES MAY COMMENCE IN INFRASTRUCTURE AREAS ONLY (RIGHTS-OF-WAY, STORMWATER PARCELS AND DRAINAGE EASEMENTS). ALL RESIDENTIAL LOTS MUST REMAIN UNDISTURBED, INCLUDING PLACEMENT OF FILL, UNTIL EACH INDIVIDUAL BUILDING PERMIT IS ISSUED.
- THERE ARE NO HERITAGE TREES WITHIN THIS PHASE.

DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES, INC.) (RBA PROJECT NO. 2017.274.2ND)

ALL OF PARCELS C-4, C-8, & D-4 AND A PORTION OF PARCELS C-3, C-5, C-6, & D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL D-5 OF BRIDLEWOOD, AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE PROCEED SOUTH 02°50'19" WEST ALONG THE EAST LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 330.75 FEET; THENCE DEPARTING SAID EAST LINE PROCEED NORTH 87°00'46" WEST ALONG THE SOUTH LINE OF PARCEL C-8 OF SAID BRIDLEWOOD FOR A DISTANCE OF 120.08 FEET TO THE EAST RIGHT-OF-WAY (R/W) LINE OF BLACKHORSE CIRCLE (50' PUBLIC R/W); THENCE PROCEED NORTH 03°05'19" EAST ALONG SAID EAST R/W LINE AND ALONG SAID SOUTH LINE FOR A DISTANCE OF 31.94 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWEST, SAID CURVE HAVING A RADIUS OF 100.00 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE AND SAID CURVED SOUTH LINE FOR AN ARC DISTANCE OF 157.15 FEET (DELTA ANGLE = 90°02'21", CHORD DISTANCE = 141.47 FEET, CHORD BEARING = NORTH 42°21'02" WEST) TO THE POINT OF TANGENCY; THENCE PROCEED NORTH 87°18'32" WEST ALONG SAID R/W LINE AND SAID SOUTH LINE FOR A DISTANCE OF 1.66 FEET; THENCE DEPARTING SAID R/W LINE PROCEED NORTH 62°08'25" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 868.80 FEET; THENCE PROCEED SOUTH 03°08'48" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 47.88 FEET TO THE NORTH R/W LINE OF THE AFORESAID BLACKHORSE CIRCLE; THENCE PROCEED NORTH 86°55'52" WEST ALONG SAID NORTH R/W LINE FOR A DISTANCE OF 94.93 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 39.30 FEET (DELTA ANGLE = 90°04'40", CHORD DISTANCE = 35.38 FEET, CHORD BEARING = NORTH 41°53'32" WEST) TO THE POINT OF TANGENCY, SAID POINT BEING ON THE EASTERLY R/W LINE OF STEEPCCHASE BOULEVARD (50' PUBLIC R/W); THENCE PROCEED NORTH 03°08'48" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 349.93 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 39.27 FEET (DELTA ANGLE = 89°59'32", CHORD DISTANCE = 35.35 FEET, CHORD BEARING = NORTH 46°08'34" EAST) TO THE POINT OF TANGENCY SAID POINT BEING ON THE SOUTHEASTERLY R/W LINE OF PADDOCK WAY (50' PUBLIC R/W); THENCE PROCEED SOUTH 86°51'40" EAST ALONG SAID SOUTHEASTERLY R/W LINE FOR A DISTANCE OF 139.10 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 640.00 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 427.94 FEET (DELTA ANGLE = 38°18'40", CHORD DISTANCE = 420.01 FEET, CHORD BEARING = NORTH 73°59'00" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 430.00 FEET; THENCE PROCEED NORTHERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 342.66 FEET (DELTA ANGLE = 45°39'29", CHORD DISTANCE = 333.66 FEET, CHORD BEARING = NORTH 32°03'47" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 200.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 89.69 FEET (DELTA ANGLE = 28°39'58", CHORD DISTANCE = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 600.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 386.10 FEET (DELTA ANGLE = 36°52'11", CHORD DISTANCE = 379.47 FEET, CHORD BEARING = NORTH 53°17'09" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 27.71 FEET (DELTA ANGLE = 63°30'31", CHORD DISTANCE = 28.31 FEET, CHORD BEARING = SOUTH 78°31'06" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 50.00 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 174.63 FEET (DELTA ANGLE = 20°06'32", CHORD DISTANCE = 98.46 FEET, CHORD BEARING = NORTH 35°10'53" EAST); THENCE DEPARTING SAID SOUTHEASTERLY R/W LINE PROCEED NORTH 24°39'21" EAST ALONG THE NORTHWESTERLY LINE OF PARCEL D-5 OF THE AFORESAID BRIDLEWOOD FOR A DISTANCE OF 119.92 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY, SAID CURVE HAVING A RADIUS OF 170.01 FEET; THENCE PROCEED SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 113.95 FEET (DELTA ANGLE = 38°24'11", CHORD DISTANCE = 111.83 FEET, CHORD BEARING = SOUTH 46°00'25" EAST); THENCE DEPARTING SAID NORTHWESTERLY LINE PROCEED NORTH 23°02'17" EAST ALONG THE NORTHWESTERLY LINE OF PARCEL C-6 OF SAID BRIDLEWOOD FOR A DISTANCE OF 43.42 FEET; THENCE PROCEED NORTH 45°41'29" EAST ALONG SAID NORTHWESTERLY LINE FOR A DISTANCE OF 226.12 FEET; THENCE DEPARTING SAID NORTHWESTERLY LINE PROCEED NORTH 88°47'38" WEST ALONG THE SOUTHERLY LINE OF PARCEL C-5 OF SAID BRIDLEWOOD FOR A DISTANCE OF 111.83 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWEST, SAID CURVE HAVING A RADIUS OF 578.32 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 125.98 FEET (DELTA ANGLE = 12°28'52", CHORD DISTANCE = 125.73 FEET, CHORD BEARING = NORTH 52°59'04" WEST); THENCE PROCEED SOUTH 62°45'55" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 38.07 FEET; THENCE PROCEED SOUTH 86°53'43" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 16.59 FEET; THENCE PROCEED NORTH 36°29'09" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 46.21 FEET; THENCE PROCEED NORTH 04°59'08" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 189.49 FEET; THENCE PROCEED SOUTH 86°55'18" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 111.88 FEET; THENCE PROCEED SOUTH 37°47'09" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 85.78 FEET; THENCE DEPARTING SAID SOUTHERLY LINE PROCEED SOUTH 68°52'01" EAST ALONG THE EASTERLY LINE OF PARCEL C-4 OF THE AFORESAID BRIDLEWOOD FOR A DISTANCE OF 35.37 FEET; THENCE PROCEED SOUTH 04°35'21" EAST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 60.98 FEET; THENCE PROCEED SOUTH 27°58'32" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 64.74 FEET; THENCE PROCEED SOUTH 08°16'19" EAST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 63.96 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 328.82 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 197.31 FEET (DELTA ANGLE = 34°35'30", CHORD DISTANCE = 194.33 FEET, CHORD BEARING = SOUTH 50°26'23" WEST); THENCE PROCEED NORTH 66°30'34" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 6.46 FEET; THENCE PROCEED SOUTH 59°48'27" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 43.84 FEET; THENCE DEPARTING SAID EASTERLY LINE PROCEED NORTH 02°49'37" EAST FOR A DISTANCE OF 1486.47 FEET TO THE NORTHERLY LINE OF SAID BRIDLEWOOD AND THE SOUTHERLY LINE NATURE TRAIL SUBDIVISION AS RECORDED IN PLAT BOOK 18 AT PAGES 60, 60A - 60R OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE PROCEED SOUTH 87°10'23" EAST ALONG SAID SOUTHERLY LINE OF NATURE TRAIL SUBDIVISION AND SAID NORTHERLY LINE OF BRIDLEWOOD FOR A DISTANCE OF 1106.89 FEET; THENCE DEPARTING SAID SOUTHERLY LINE OF NATURE TRAIL SUBDIVISION AND SAID NORTHERLY LINE OF BRIDLEWOOD PROCEED SOUTH 07°04'37" WEST FOR A DISTANCE OF 2219.88 FEET; THENCE PROCEED SOUTH 47°11'18" EAST FOR A DISTANCE OF 146.47 FEET TO THE WESTERLY LINE OF PARCEL C-7 OF SAID BRIDLEWOOD ALSO BEING THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 300.00 FEET; THENCE PROCEED SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 331.17 FEET (DELTA ANGLE = 63°14'58", CHORD DISTANCE = 314.61 FEET, CHORD BEARING = SOUTH 11°12'27" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 219.99 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 436.41 FEET (DELTA ANGLE = 11°33'46", CHORD DISTANCE = 368.29 FEET, CHORD BEARING = SOUTH 36°24'43" WEST) TO THE POINT OF TANGENCY; THENCE DEPARTING SAID CURVE PROCEED NORTH 86°32'31" WEST ALONG THE SOUTH LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 614.10 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AND CONTAINING 82.87 ACRES MORE OR LESS.

FENCE RESTRICTION NOTE:

NO FENCES OR OTHER STRUCTURES ARE ALLOWED IN PUBLIC OR PRIVATE DRAINAGE/ACCESS EASEMENTS. THESE EASEMENTS SHALL BE ACCESSIBLE AT ALL TIMES. FENCES OR OTHER STRUCTURES IN 10' PRIVATE DRAINAGE EASEMENTS ALONG ALL LOT LINES BEING 5' ON EACH LOT LINE SHALL NOT OBSTRUCT OR IMPEDE STORMWATER FLOW.

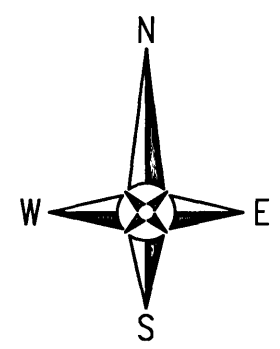
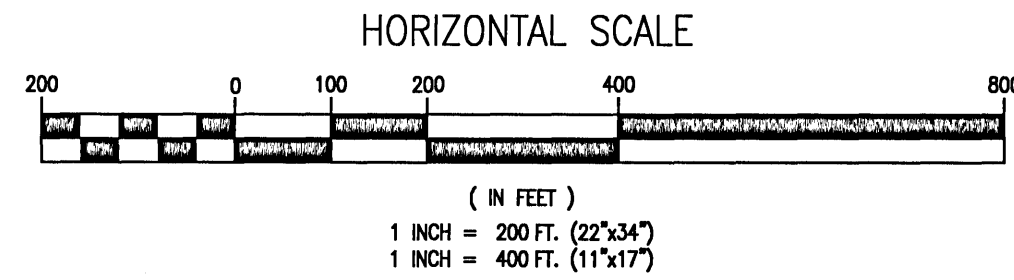
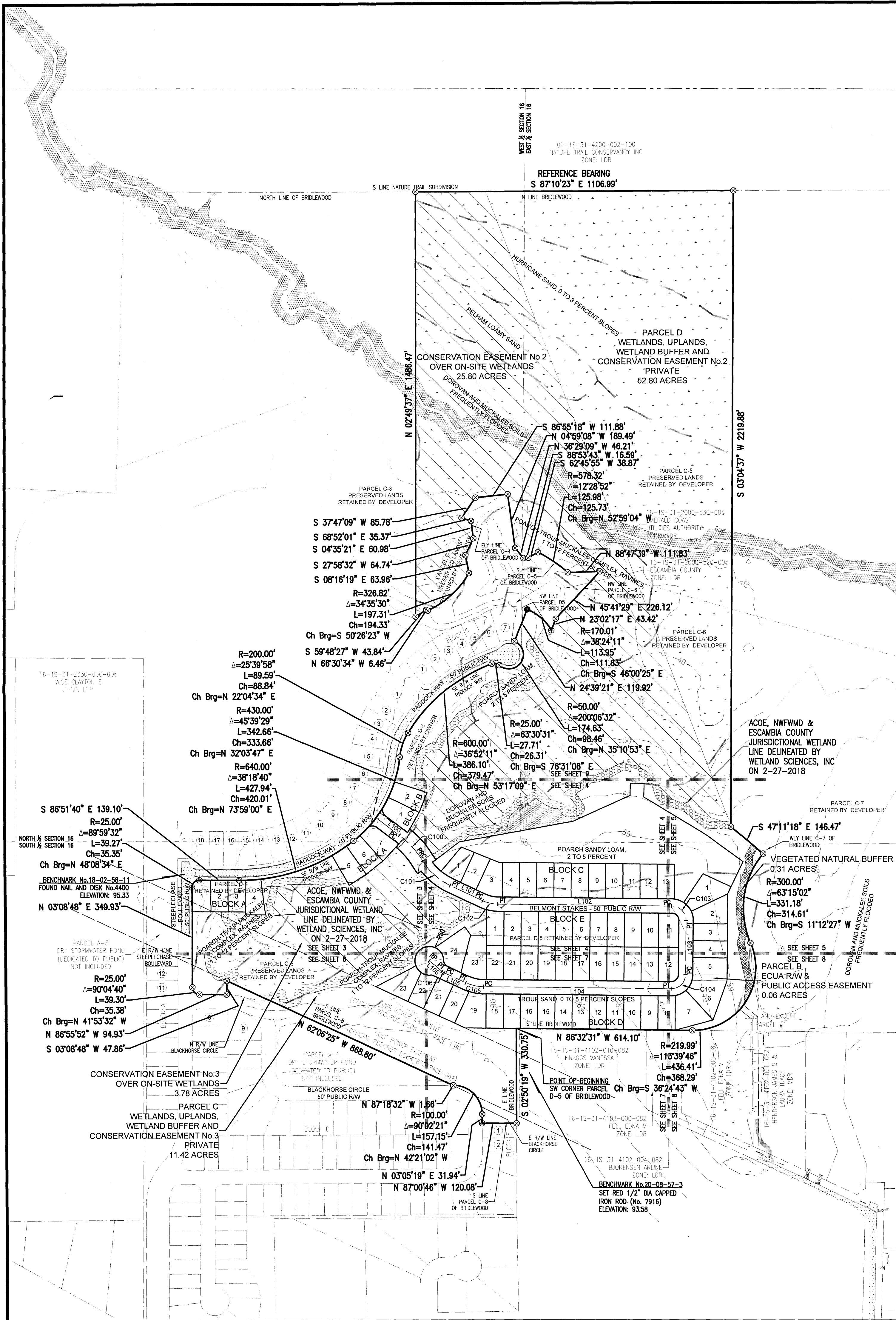
SUBDIVISION ENTRANCE MARKER SIGN NOTE:

NO ENTRANCE MARKER SIGN IS PROPOSED.

ENGINEER'S CERTIFICATE

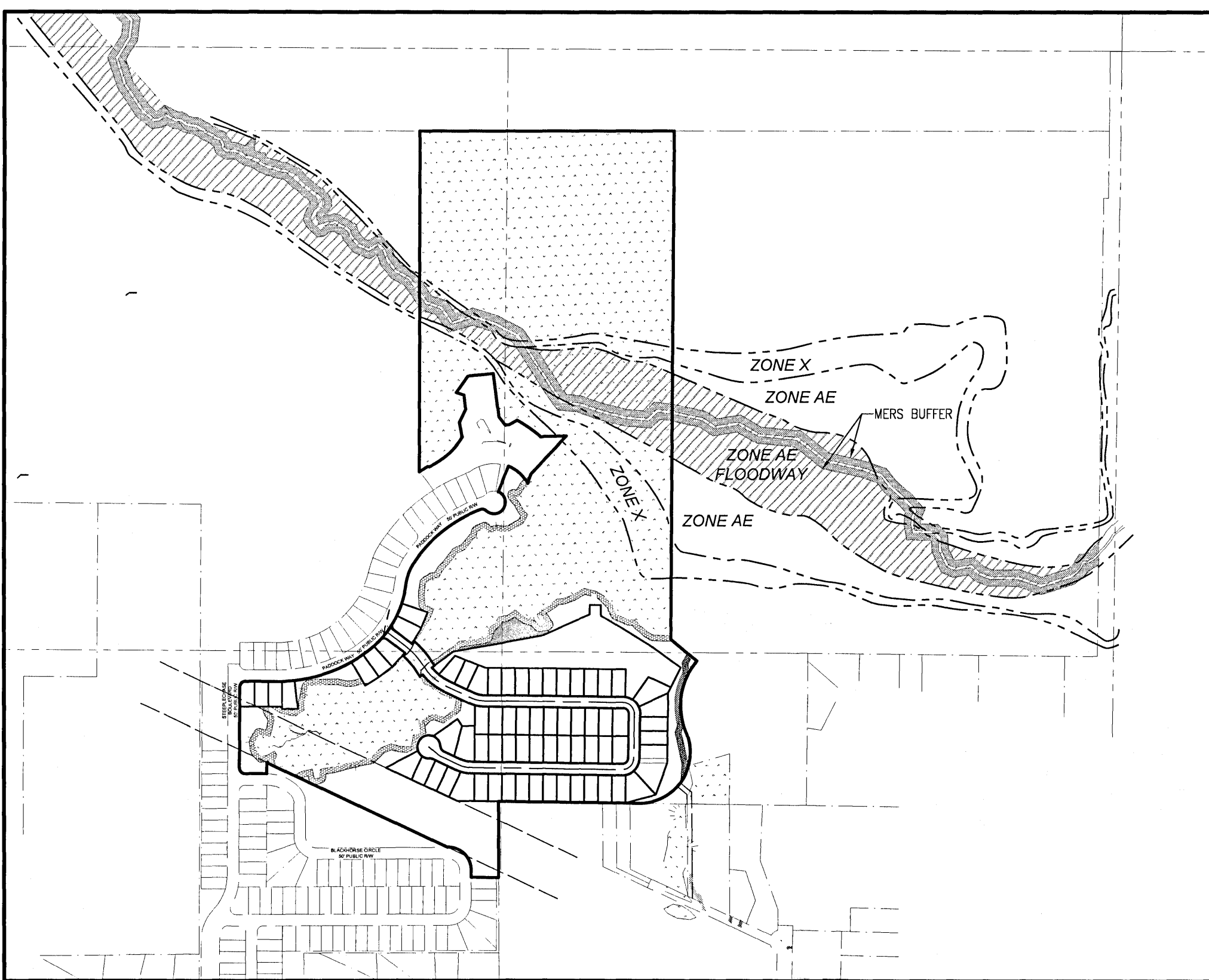
I, JEREMY KING, HEREBY CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR THE BRIDLEWOOD 2ND ADDITION.

JEREMY KING, P.E.
PROFESSIONAL ENGINEER No. 76144



CENTERLINE LINE TABLE		
Line #	Length	Direction
L100	102.25'	S 50°12'38" E
L101	125.35'	S 61°55'48" E
L102	606.42'	S 86°32'31" E
L103	190.00'	S 3°27'29" W
L104	654.34'	N 86°32'31" W
L105	83.14'	N 62°06'25" W
L106	57.65'	N 47°19'13" W

CENTERLINE CURVE TABLE					
Curve #	Radius	Delta	Length	Chord Direction	Chord
C100	325.00	21°22'36"	121.26	S 39°31'20" E	120.55
C101	225.00	33°05'47"	129.97	S 45°22'55" E	128.17
C102	125.00	24°36'42"	53.69	S 74°14'10" E	53.28
C103	50.00	90°00'00"	78.54	S 41°32'31" E	70.71
C104	50.00	90°00'00"	78.54	S 48°27'29" W	70.71
C105	150.00	24°26'06"	63.97	N 74°19'28" W	63.49
C106	37.00	14°47'12"	9.55	N 54°42'49" W	9.52



LEGEND	
	EXISTING ASPHALT PAVEMENT
	WETLAND
	EXISTING 25' WETLAND BUFFER
	PROPOSED ASPHALT
	PROPOSED ADDITIONAL WETLAND BUFFER
	VEGETATED NATURAL BUFFER
	CONSERVATION EASEMENT
	30' MERS BUFFER
	ECUA EASEMENT
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	WETLAND LINE
	MERS LINE
	WATER LINE
	GRAVITY SEWER LINE
	SEWER FORCE MAIN
	EXISTING CONTOURS
	SET 1/2" DIA CAPPED IRON ROD (No. 7916)
	DENOTES 4" X 4" CONCRETE MONUMENT (NO I.D.)
	FOUND 1/2" DIA IRON ROD (UNNUMBERED)
	FOUND 1/2" DIA CAPPED IRON ROD (No. 7312)
	FOUND 1/2" DIA CAPPED IRON ROD (No. 4400)
	DENOTES STORMWATER MANHOLE
	DENOTES SEWER MANHOLE
	DENOTES LOT NUMBER
	DENOTES WATER VALVE
	DENOTES FIRE HYDRANT
	DENOTES GAS VALVE
	DENOTES TELEPHONE BOX
	DENOTES FIBER OPTIC CABLE MARKER
	DENOTES TELEPHONE VAULT
	DENOTES FIBER OPTIC CABLE STUBOUT
	DENOTES SEWER STUBOUT
	DENOTES WATER STUBOUT
	DENOTES FLOW ARROW
	DENOTES DROP INLET
	DENOTES CURB INLET
	DENOTES JUNCTION BOX
	DENOTES MITERED END SECTION
	SILT FENCE
	SILT FENCE/STRAW BALES
ACOE	DENOTES ARMY CORPS OF ENGINEERS
C1	DENOTES CURVE IDENTIFICATION (SEE CURVE TABLE)
CH	DENOTES CHORD
CH BRG	DENOTES CHORD BEARING
Δ	DENOTES CENTRAL ANGLE
DIA	DENOTES DIAMETER
ECUA	DENOTES EMERALD COAST UTILITIES AUTHORITY
I.D.	DENOTES IDENTIFICATION
L	DENOTES ARC LENGTH
L1	DENOTES LINE IDENTIFICATION (SEE LINE TABLE)
±	DENOTES MORE OR LESS
MERS	DENOTES MARINE, ESTUARINE AND RIVERINE SETBACK
N/A	DENOTES NOT APPLICABLE
No.	DENOTES NUMBER
NTS	DENOTES NOT TO SCALE
NFWMD	DENOTES NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
OR	DENOTES OFFICIAL RECORD BOOK
PB	DENOTES PLAT BOOK
PG	DENOTES PAGE
PC	DENOTES POINT OF CURVATURE
PCC	DENOTES POINT OF COMPOUND CURVATURE
PRC	DENOTES POINT OF REVERSE CURVATURE
PT	DENOTES POINT OF TANGENCY
R	DENOTES RADIUS
RP	DENOTES RADIUS POINT
R/W	DENOTES RIGHT-OF-WAY
△	DENOTES 35' SIGHT TRIANGLE

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Phone: 904.650.4343
Fax: 904.650.4448
E-mail: rba@rba-engineers.com

**A PRELIMINARY PLAT OF
BRIDLEWOOD 2ND ADDITION
A 69 LOT SUBDIVISION**

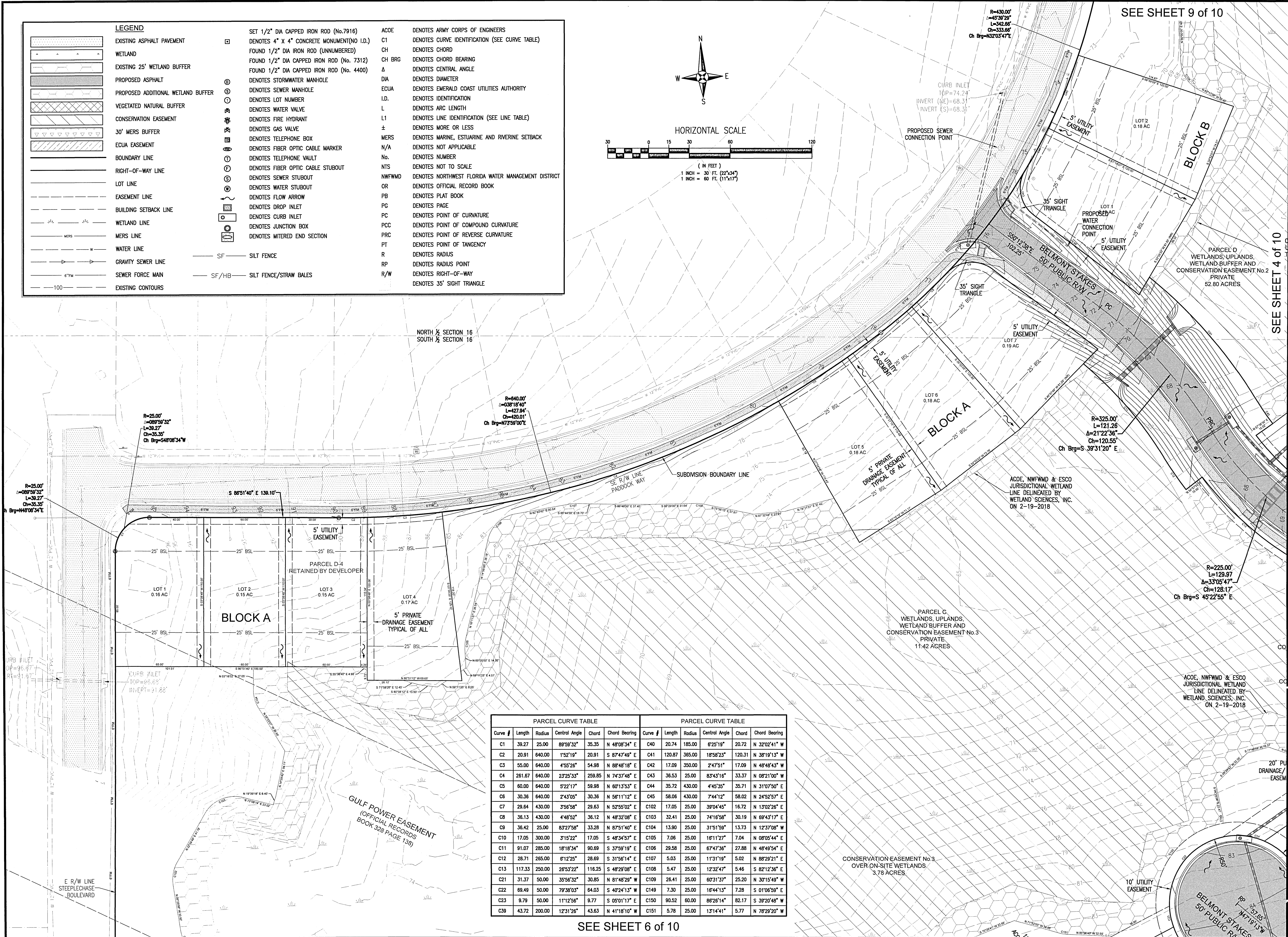
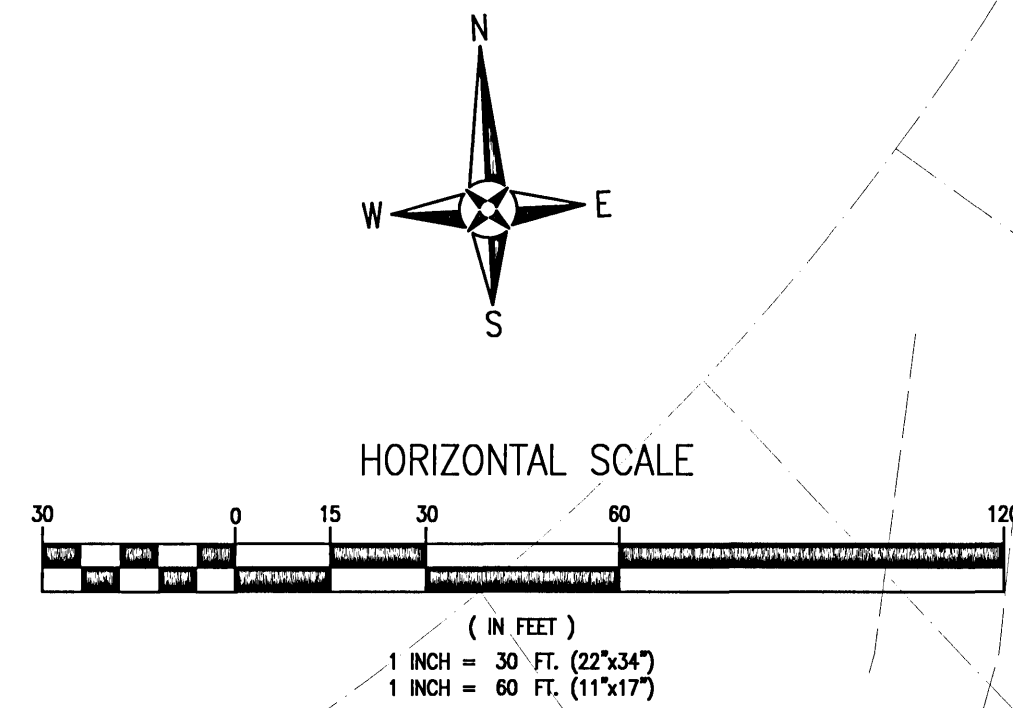
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ENGINEER'S CERTIFICATE
I, JEREMY KING, HEREBY CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR THE BRIDLEWOOD 2ND ADDITION.

JEREMY KING, P.E.
PROFESSIONAL ENGINEER No. 76144

SHEET 2 of 10

LEGEND			
	EXISTING ASPHALT PAVEMENT		WETLAND
	EXISTING 25' WETLAND BUFFER		PROPOSED ASPHALT
	PROPOSED ADDITIONAL WETLAND BUFFER		VEGETATED NATURAL BUFFER
	CONSERVATION EASEMENT		30' MERS BUFFER
	ECUA EASEMENT		BOUNDARY LINE
	RIGHT-OF-WAY LINE		EASEMENT LINE
	BUILDING SETBACK LINE		WETLAND LINE
	MERS LINE		WATER LINE
	GRAVITY SEWER LINE		SEWER FORCE MAIN
	EXISTING CONTOURS		SET 1/2" DIA CAPPED IRON ROD (No.7916)
	DENOTES 4" X 4" CONCRETE MONUMENT(No I.D.)		FOUND 1/2" DIA IRON ROD (UNNUMBERED)
	FOUND 1/2" DIA CAPPED IRON ROD (No. 7312)		FOUND 1/2" DIA CAPPED IRON ROD (No. 4400)
	DENOTES STORMWATER MANHOLE		DENOTES SEWER MANHOLE
	DENOTES LOT NUMBER		DENOTES WATER VALVE
	DENOTES FIRE HYDRANT		DENOTES GAS VALVE
	DENOTES TELEPHONE BOX		DENOTES FIBER OPTIC CABLE MARKER
	DENOTES TELEPHONE VAULT		DENOTES FIBER OPTIC CABLE STUBOUT
	DENOTES SEWER STUBOUT		DENOTES WATER STUBOUT
	DENOTES FLOW ARROW		DENOTES DROP INLET
	DENOTES CURB INLET		DENOTES JUNCTION BOX
	DENOTES MITRED END SECTION		SILT FENCE
	SILT FENCE/STRAW BALES		
ACOE	DENOTES ARMY CORPS OF ENGINEERS	C1	DENOTES CURVE IDENTIFICATION (SEE CURVE TABLE)
CH	DENOTES CHORD	CH BRG	DENOTES CHORD BEARING
Δ	DENOTES CENTRAL ANGLE	DIA	DENOTES DIAMETER
ECUA	DENOTES EMERALD COAST UTILITIES AUTHORITY	I.D.	DENOTES IDENTIFICATION
L	DENOTES ARC LENGTH	L1	DENOTES LINE IDENTIFICATION (SEE LINE TABLE)
±	DENOTES MORE OR LESS	MERS	DENOTES MARINE, ESTUARINE AND RIVERINE SETBACK
N/A	DENOTES NOT APPLICABLE	No.	DENOTES NUMBER
NTS	DENOTES NOT TO SCALE	NWFWMD	DENOTES NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
OR	DENOTES OFFICIAL RECORD BOOK	PB	DENOTES PLAT BOOK
PG	DENOTES PAGE	PC	DENOTES POINT OF CURVATURE
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PT	DENOTES POINT OF TANGENCY	R	DENOTES RADIUS
RP	DENOTES RADIUS POINT	R/W	DENOTES RIGHT-OF-WAY
			DENOTES 35' SIGHT TRIANGLE



PARCEL CURVE TABLE						PARCEL CURVE TABLE					
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing	Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C1	39.27	25.00	89°59'32"	35.35	N 48°08'34" E	C40	20.74	185.00	6°25'19"	20.72	N 32°02'41" W
C2	20.91	640.00	1°52'19"	20.91	S 87°47'49" E	C41	120.87	365.00	18°58'23"	120.31	N 38°19'13" W
C3	55.00	640.00	4°55'26"	54.98	N 88°48'18" E	C42	17.09	350.00	2°47'51"	17.09	N 48°48'43" W
C4	261.67	640.00	2°25'33"	259.85	N 74°37'46" E	C43	36.53	25.00	83°43'16"	33.37	N 08°21'00" W
C5	60.00	640.00	5°22'17"	59.98	N 80°13'33" E	C44	35.72	430.00	4°45'35"	35.71	N 31°07'50" E
C6	30.36	640.00	2°43'05"	30.36	N 56°11'12" E	C45	58.06	430.00	7°44'12"	58.02	N 24°52'57" E
C7	29.84	430.00	3°56'58"	29.83	N 52°55'02" E	C102	17.05	25.00	39°04'45"	16.72	N 13°02'26" E
C8	36.13	430.00	4°48'52"	36.12	N 48°32'08" E	C103	32.41	25.00	7°41'6" S	30.19	N 69°43'17" E
C9	36.42	25.00	83°27'58"	33.28	N 87°51'40" E	C104	13.90	25.00	31°51'59"	13.73	N 12°37'08" W
C10	17.05	300.00	31°5'22"	17.05	S 48°34'57" E	C105	7.06	25.00	16°11'27"	7.04	N 08°05'44" E
C11	91.07	285.00	18°18'34"	90.69	S 37°59'19" E	C106	29.58	25.00	67°47'36"	27.88	N 48°49'54" E
C12	28.71	265.00	61°2'25"	28.69	S 31°56'14" E	C107	5.03	25.00	11°31'19"	5.02	N 88°29'21" E
C13	117.33	250.00	26°53'22"	116.25	S 48°29'08" E	C108	5.47	25.00	12°32'47"	5.46	S 82°12'36" E
C21	31.37	50.00	35°56'32"	30.85	N 81°48'29" W	C109	26.41	25.00	60°31'37"	25.20	N 30°15'49" W
C22	69.49	50.00	79°38'03"	64.03	S 40°24'13" W	C149	7.30	25.00	16°44'13"	7.28	S 01°06'59" E
C23	9.79	50.00	11°12'56"	9.77	S 05°01'17" E	C150	90.52	60.00	86°26'14"	82.17	S 39°20'48" W
C39	43.72	200.00	12°31'26"	43.63	N 41°18'10" W	C151	5.78	25.00	13°14'41"	5.77	N 78°29'20" W

SEE SHEET 6 of 10

SEE SHEET 9 of 10

SEE SHEET 4 of 10

A PRELIMINARY PLAT OF BRIDLEWOOD 2ND ADDITION A 69 LOT SUBDIVISION

LYING IN SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND BEING A RESUBDIVISION OF ALL OF PARCELS C-4, C-8 AND D-4 AND A PORTION OF C-3, C-5, C-6 AND D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19, PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA

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JEREMY KING, P.E.
PROFESSIONAL ENGINEER No. 75144

SHEET 3 of 10

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
ES 00026267

PARCEL CURVE TABLE					PARCEL CURVE TABLE					PARCEL LINE TABLE		
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing	Curve #	Length	Radius	Central Angle	Chord	Chord Bearing	Line #
C12	28.71	265.00	6°12'25"	28.69	S 31°56'14" E	C133	8.41	25.00	19°17'06"	8.37	N 72°36'14" W	L100
C13	117.33	250.00	26°53'22"	116.25	S 46°29'08" E	C134	20.11	25.00	45°05'17"	19.57	N 39°55'03" W	
C14	25.41	150.00	9°42'23"	25.38	S 66°47'00" E	C135	3.38	25.00	7°44'10"	3.37	S 67°14'27" W	
C15	39.02	150.00	14°54'19"	38.91	S 79°05'21" E	C136	7.14	25.00	16°22'08"	7.12	S 79°17'36" W	
C16	39.27	25.00	90°00'00"	35.36	S 41°32'31" E	C137	2.03	25.00	4°39'29"	2.03	S 57°22'09" W	
C19	27.48	25.00	62°59'21"	26.12	N 30°36'45" W	C138	8.87	25.00	20°20'11"	8.83	S 38°44'44" E	
C20	56.48	50.00	64°43'09"	53.52	N 31°28'39" W	C139	48.80	25.00	111°50'21"	41.41	S 27°20'32" W	
C21	31.37	50.00	35°56'32"	30.85	N 81°48'29" W	C140	26.07	25.00	59°44'27"	24.90	N 86°52'04" W	
C22	69.49	50.00	79°38'03"	64.03	S 40°24'13" W	C141	7.83	25.00	17°56'24"	7.80	N 62°49'09" W	
C23	9.79	50.00	11°12'56"	9.77	S 05°01'17" E	C142	4.22	25.00	9°40'26"	4.22	N 49°00'44" W	
C35	34.44	75.00	26°18'26"	34.13	N 66°03'20" W	C143	11.61	25.00	26°36'01"	11.50	S 70°27'11" W	
C36	9.60	75.00	7°19'58"	9.59	N 82°52'32" W	C144	7.02	25.00	16°04'58"	6.99	S 43°10'27" W	
C37	42.96	100.00	24°36'42"	42.63	N 74°14'10" W	C145	28.51	25.00	65°20'50"	26.99	S 49°20'56" W	
C38	50.14	200.00	14°21'55"	50.01	N 54°44'51" W	C146	1.69	25.00	3°52'15"	1.69	S 83°57'32" W	
C39	43.72	200.00	12°31'26"	43.63	N 41°18'10" W	C147	9.31	25.00	21°19'57"	9.25	S 22°30'12" W	
C40	20.74	185.00	6°25'19"	20.72	N 32°02'41" W	C148	4.75	25.00	10°53'42"	4.75	N 73°57'53" W	
C41	120.87	365.00	18°58'23"	120.31	N 38°19'13" W	C149	7.30	25.00	16°44'13"	7.28	S 01°06'59" E	
C49	26.56	180.00	8°27'19"	26.54	N 69°56'13" W	C150	90.52	60.00	86°26'14"	82.17	S 39°20'48" W	
C109	26.41	25.00	60°31'37"	25.20	N 30°15'49" W							

ACOE, NFWMD & ESCAMBIA COUNTY JURISDICTIONAL WETLAND LINE DELINEATED BY WETLAND SCIENCES, INC. ON 2-27-2018

PARCEL D WETLANDS, UPLANDS, WETLAND BUFFER AND CONSERVATION EASEMENT No.2 PRIVATE 52.80 ACRES

CONSERVATION EASEMENT No.2 OVER ON-SITE WETLANDS 25.80 ACRES

PARCEL D WETLANDS, UPLANDS, WETLAND BUFFER AND CONSERVATION EASEMENT No.2 PRIVATE 52.80 ACRES

PARCEL A DRY STORMWATER POND PUBLIC 3.54 ACRES

BLOCK C

5' PRIVATE DRAINAGE EASEMENT TYPICAL OF ALL

5' UTILITY EASEMENT

BLOCK E

5' PRIVATE DRAINAGE EASEMENT TYPICAL OF ALL

R=50.00'

R=37.00'
L=9.55'
Δ=14°47'12"
Ch=9.52'
Ch Brg=S 54°42'49" W

S86°32'31"E
606.42'

BELMONT STAKES
50' PUBLIC R/W

SEE SHEET 7 of 10

SEE SHEET 3 of 10

SEE SHEET 5 of 10

SEE SHEET 9 of 10

HORIZONTAL SCALE

(IN FEET)
1 INCH = 30 FT. (22x34")
1 INCH = 60 FT. (11x17")

ACOE, NFWMD & ESCO JURISDICTIONAL WETLAND LINE DELINEATED BY WETLAND SCIENCES, INC. ON 2-19-2018

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SHEET 4 of 10

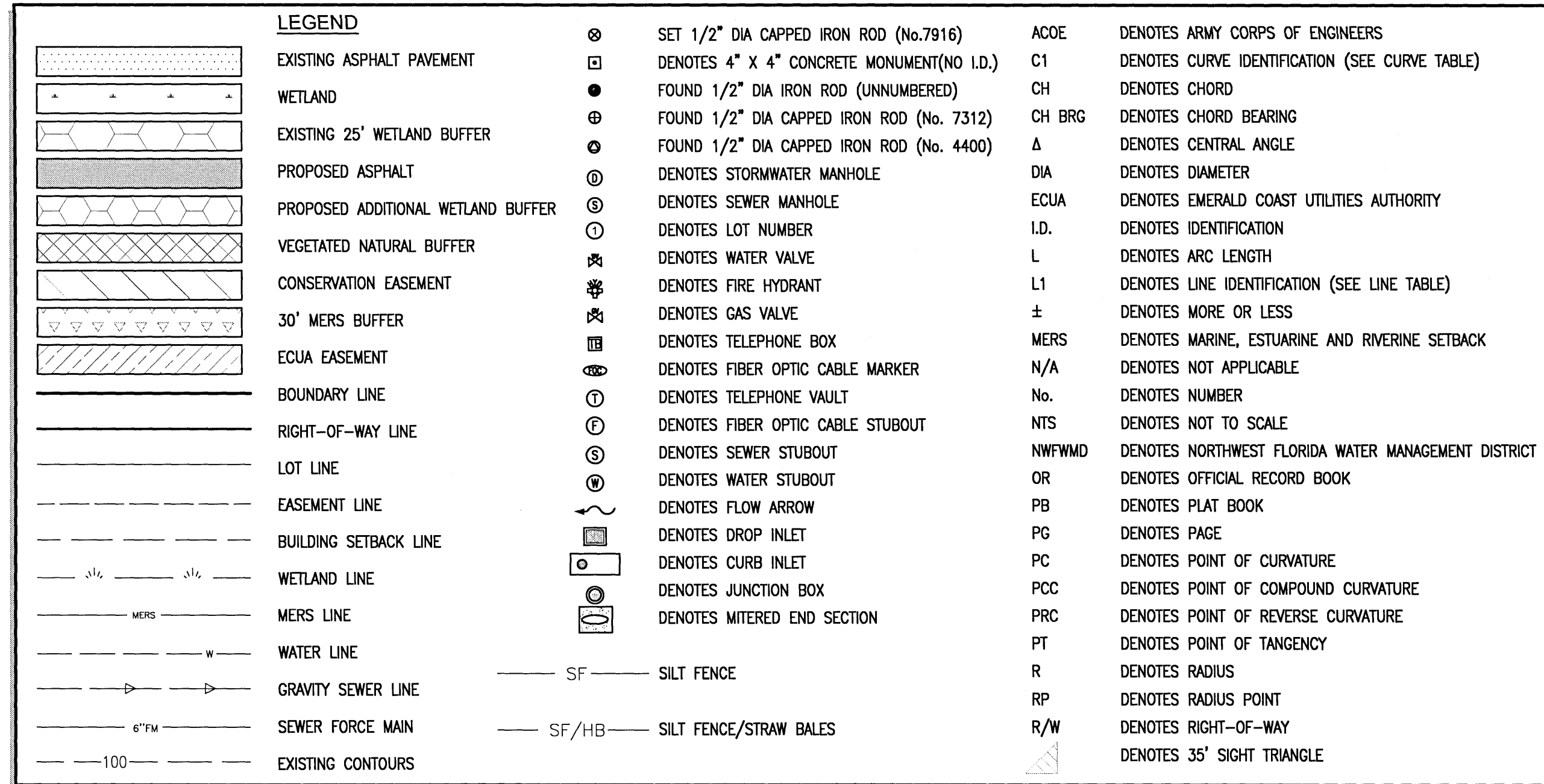
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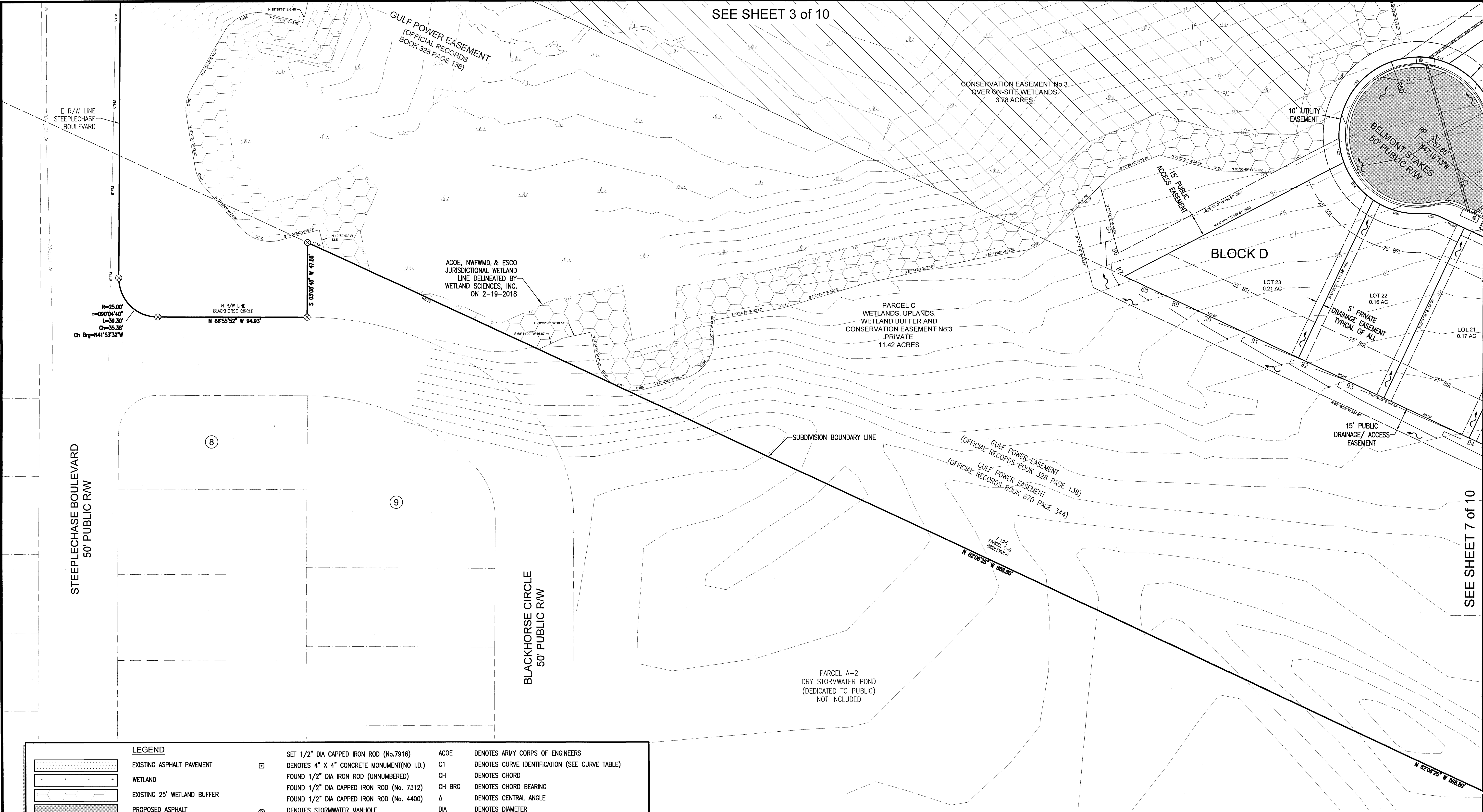
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EO 000857

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SHEET 5 of 10

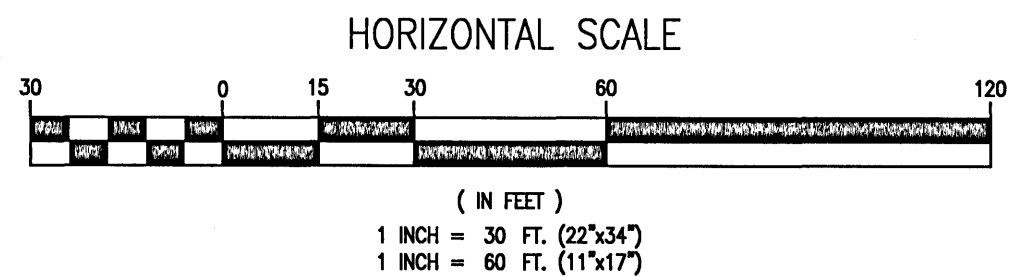
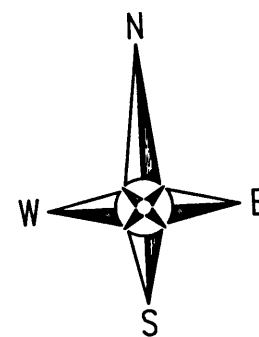




LEGEND

	EXISTING ASPHALT PAVEMENT		SET 1/2" DIA CAPPED IRON ROD (No.7916)		ACOE	DENOTES ARMY CORPS OF ENGINEERS
	WETLAND		DENOTES 4" X 4" CONCRETE MONUMENT(No I.D.)		C1	DENOTES CURVE IDENTIFICATION (SEE CURVE TABLE)
	EXISTING 25' WETLAND BUFFER		FOUND 1/2" DIA IRON ROD (UNNUMBERED)		CH	DENOTES CHORD
	PROPOSED ASPHALT		FOUND 1/2" DIA CAPPED IRON ROD (No. 7312)		CH BRG	DENOTES CHORD BEARING
	PROPOSED ADDITIONAL WETLAND BUFFER		FOUND 1/2" DIA CAPPED IRON ROD (No. 4400)		Δ	DENOTES CENTRAL ANGLE
	VEGETATED NATURAL BUFFER		DENOTES STORMWATER MANHOLE		DIA	DENOTES DIAMETER
	CONSERVATION EASEMENT		DENOTES SEWER MANHOLE		ECUA	DENOTES EMERALD COAST UTILITIES AUTHORITY
	30' MERS BUFFER		DENOTES LOT NUMBER		I.D.	DENOTES IDENTIFICATION
	ECUA EASEMENT		DENOTES WATER VALVE		L	DENOTES ARC LENGTH
	BOUNDARY LINE		DENOTES FIRE HYDRANT		L1	DENOTES LINE IDENTIFICATION (SEE LINE TABLE)
	RIGHT-OF-WAY LINE		DENOTES GAS VALVE		±	DENOTES MORE OR LESS
	LOT LINE		DENOTES TELEPHONE BOX		MERS	DENOTES MARINE, ESTUARINE AND RIVERINE SETBACK
	EASEMENT LINE		DENOTES TELEPHONE VAULT		N/A	DENOTES NOT APPLICABLE
	BUILDING SETBACK LINE		DENOTES FIBER OPTIC CABLE STUBOUT		No.	DENOTES NUMBER
	WETLAND LINE		DENOTES SEWER STUBOUT		NTS	DENOTES NOT TO SCALE
	MERS LINE		DENOTES WATER STUBOUT		NFWMD	DENOTES NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
	WATER LINE		DENOTES DROP INLET		OR	DENOTES OFFICIAL RECORD BOOK
	GRAVITY SEWER LINE		DENOTES CURB INLET		PB	DENOTES PLAT BOOK
	SEWER FORCE MAIN		DENOTES JUNCTION BOX		PG	DENOTES PAGE
	EXISTING CONTOURS		DENOTES MITERED END SECTION		PC	DENOTES POINT OF CURVATURE
			DENOTES SILT FENCE		PCC	DENOTES POINT OF COMPOUND CURVATURE
			DENOTES SILT FENCE/STRAW BALES		PRC	DENOTES POINT OF REVERSE CURVATURE
					PT	DENOTES POINT OF TANGENCY
					R	DENOTES RADIUS
					RP	DENOTES RADIUS POINT
					R/W	DENOTES RIGHT-OF-WAY
						DENOTES 35' SIGHT TRIANGLE

PARCEL CURVE TABLE					
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C21	31.37	50.00	35°56'32"	30.85	N 81°48'29" W
C22	69.49	50.00	79°38'03"	64.03	S 40°24'13" W
C23	9.79	50.00	11°12'56"	9.77	S 05°01'17" E
C24	31.00	50.00	35°31'29"	30.51	S 35°10'07" E
C25	32.84	50.00	37°37'59"	32.25	S 71°44'51" E
C26	12.42	25.00	28°27'25"	12.29	S 76°20'08" E
C100	27.88	25.00	63°53'21"	28.45	N 69°55'26" W
C101	13.74	25.00	31°28'49"	13.56	N 22°14'21" W
C102	17.05	25.00	39°04'45"	16.72	N 13°02'26" E
C103	32.41	25.00	74°16'58"	30.19	N 69°43'17" E
C149	7.30	25.00	16°44'13"	7.28	S 01°06'59" E
C150	90.52	60.00	86°26'14"	82.17	S 38°20'48" W
C151	5.78	25.00	13°14'41"	5.77	N 78°29'20" W
C152	15.29	25.00	35°02'51"	15.06	S 65°10'37" W
C153	2.92	25.00	6°41'09"	2.92	S 78°35'58" W
C154	31.46	25.00	72°05'53"	29.42	S 41°33'06" W
C155	13.55	25.00	31°03'07"	13.38	N 86°52'23" W
C156	19.76	25.00	45°17'11"	19.25	N 30°13'25" W



ENGINEER'S CERTIFICATE

I, JEREMY KING, HEREBY CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WERE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR THE BRIDLEWOOD 2ND ADDITION

JEREMY KING, P.E.

PROFESSIONAL ENGINEER No. 76144

A PRELIMINARY PLAT OF
BRIDLEWOOD 2ND ADDITION
A 69 LOT SUBDIVISION

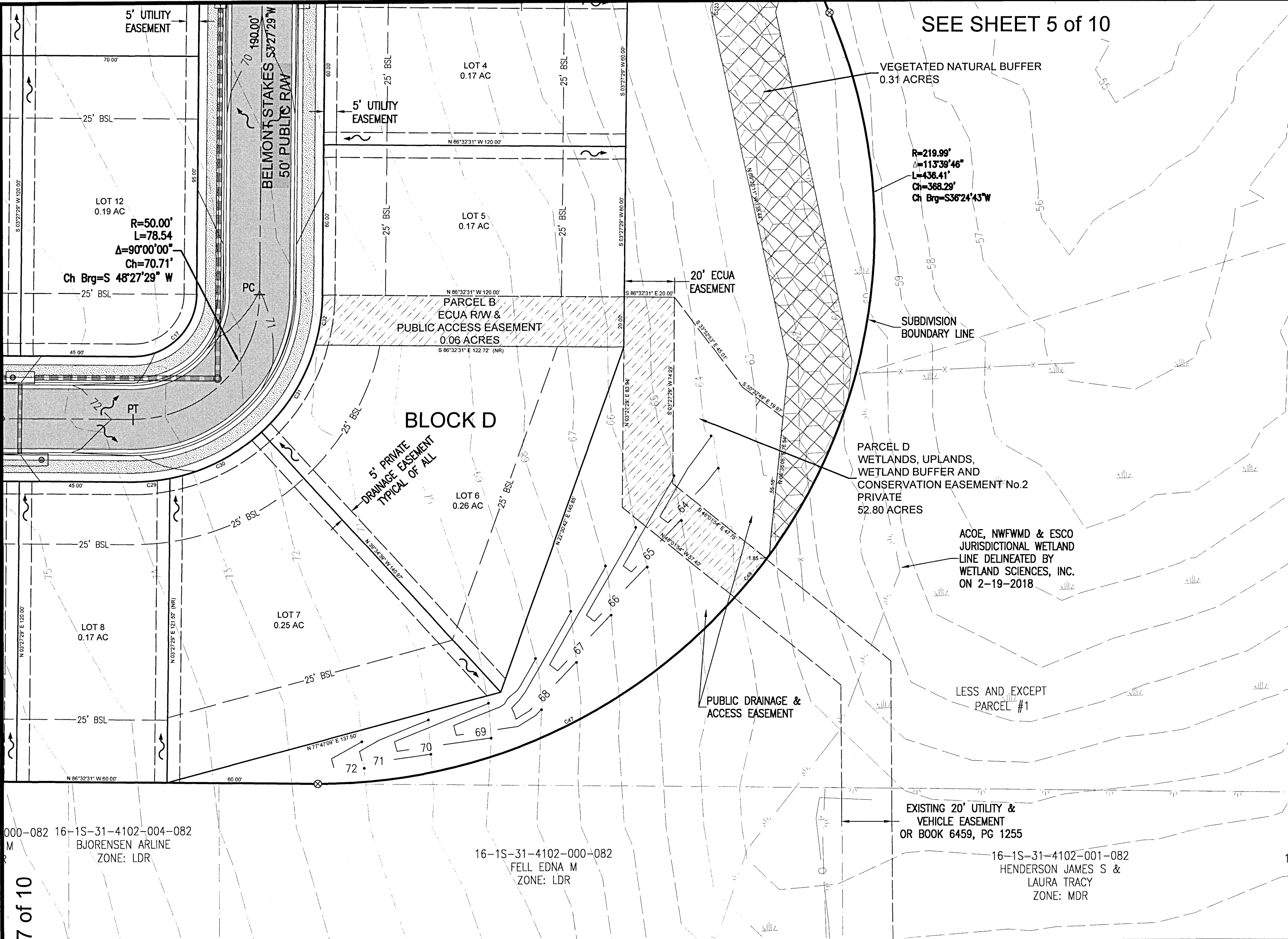
LYING IN SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND BEING A RESUBDIVISION OF ALL OF PARCELS C-4, C-8 AND D-4 AND A PORTION OF C-3, C-5, C-6 AND D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19, PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA

RBA

REBOL-BATTLE & ASSOCIATES

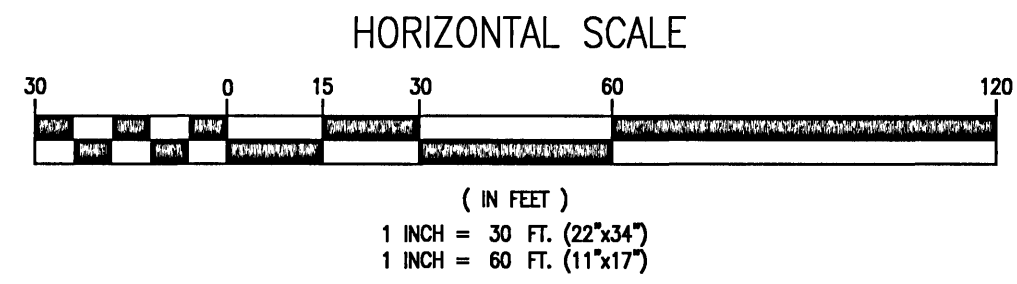
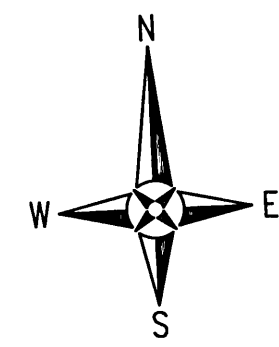
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.430.0400 Fax 850.430.0448
E 850.430.0401



LEGEND

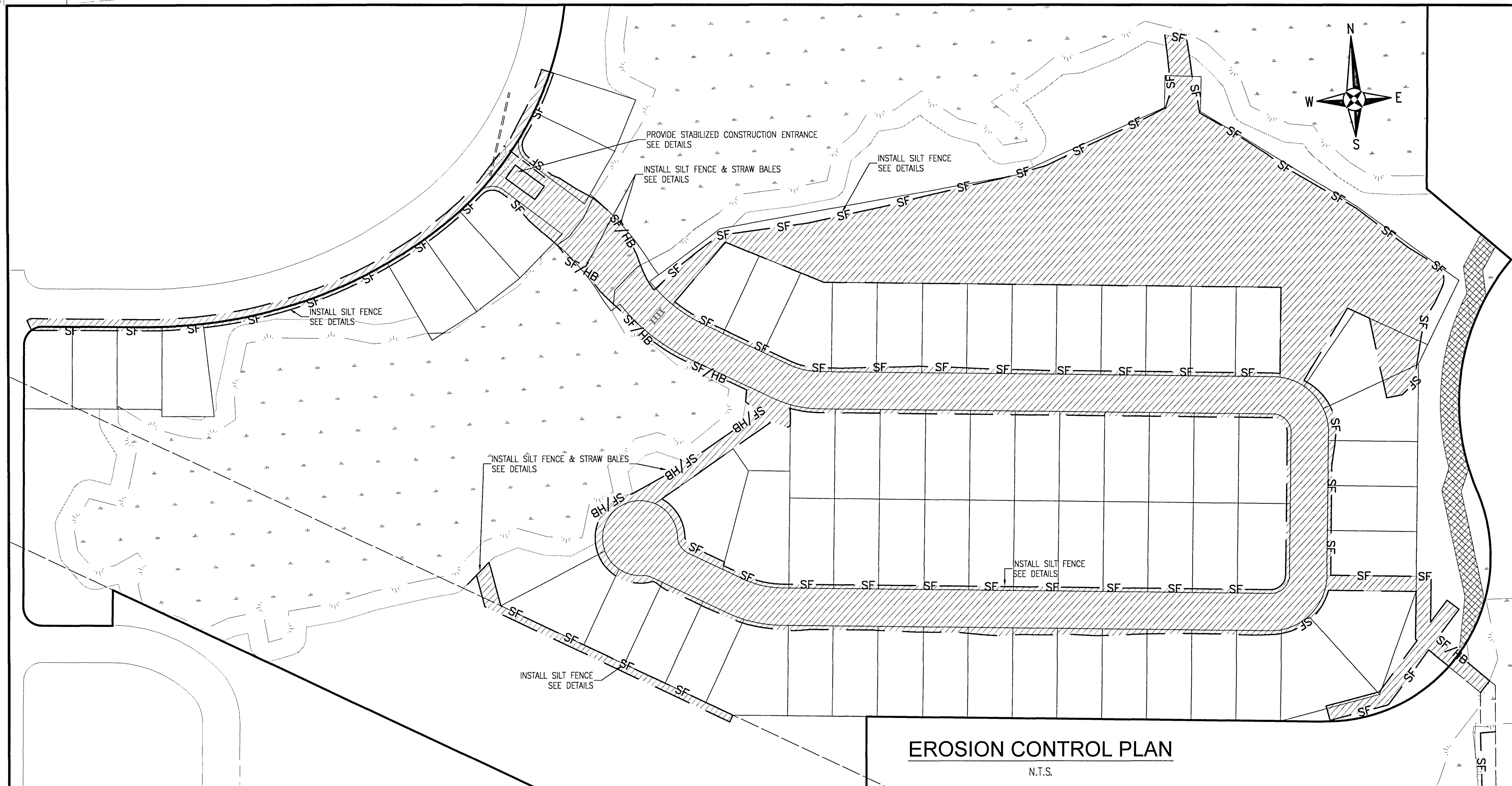
EXISTING ASPHALT PAVEMENT	SET 1/2" DIA CAPPED IRON ROD (No. 7916)	ACOE	DENOTES ARMY CORPS OF ENGINEERS
WETLAND	DENOTES 4" X 4" CONCRETE MONUMENT (NO I.D.)	C1	DENOTES CURVE IDENTIFICATION (SEE CURVE TABLE)
EXISTING 25' WETLAND BUFFER	FOUND 1/2" DIA IRON ROD (UNNUMBERED)	CH	DENOTES CHORD
PROPOSED ASPHALT	FOUND 1/2" DIA CAPPED IRON ROD (No. 7312)	CH BRG	DENOTES CHORD BEARING
PROPOSED ADDITIONAL WETLAND BUFFER	FOUND 1/2" DIA CAPPED IRON ROD (No. 4400)	Δ	DENOTES CENTRAL ANGLE
VEGETATED NATURAL BUFFER	DENOTES STORMWATER MANHOLE	DIA	DENOTES DIAMETER
CONSERVATION EASEMENT	DENOTES SEWER MANHOLE	ECUA	DENOTES EMERALD COAST UTILITIES AUTHORITY
30' MERS BUFFER	DENOTES LOT NUMBER	I.D.	DENOTES IDENTIFICATION
ECUA EASEMENT	DENOTES WATER VALVE	L	DENOTES ARC LENGTH
BOUNDARY LINE	DENOTES FIRE HYDRANT	L1	DENOTES LINE IDENTIFICATION (SEE LINE TABLE)
RIGHT-OF-WAY LINE	DENOTES GAS VALVE	±	DENOTES MORE OR LESS
LOT LINE	DENOTES TELEPHONE BOX	MERS	DENOTES MARINE, ESTUARINE AND RIVERINE SETBACK
EASEMENT LINE	DENOTES FIBER OPTIC CABLE MARKER	N/A	DENOTES NOT APPLICABLE
BUILDING SETBACK LINE	DENOTES TELEPHONE VAULT	No.	DENOTES NUMBER
WETLAND LINE	DENOTES FIBER OPTIC CABLE STUBOUT	NTS	DENOTES NOT TO SCALE
MERS LINE	DENOTES SEWER STUBOUT	NWFWD	DENOTES NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
WATER LINE	DENOTES WATER STUBOUT	OR	DENOTES OFFICIAL RECORD BOOK
GRAVITY SEWER LINE	DENOTES FLOW ARROW	PB	DENOTES PLAT BOOK
SEWER FORCE MAIN	DENOTES DROP INLET	PG	DENOTES PAGE
EXISTING CONTOURS	DENOTES CURB INLET	PC	DENOTES POINT OF CURVATURE
	DENOTES JUNCTION BOX	PCC	DENOTES POINT OF COMPOUND CURVATURE
	DENOTES MITERED END SECTION	PRC	DENOTES POINT OF REVERSE CURVATURE
		PT	DENOTES POINT OF TANGENCY
		R	DENOTES RADIUS
		RP	DENOTES RADIUS POINT
		R/W	DENOTES RIGHT-OF-WAY
			DENOTES 35' SIGHT TRIANGLE



PARCEL CURVE TABLE

Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C17	39.27	25.00	90°00'00"	35.36	S 48°27'29" W
C29	15.10	75.00	11°32'13"	15.08	N 87°41'23" E
C30	41.23	75.00	31°29'55"	40.71	N 66°10'19" E
C31	41.23	75.00	31°29'55"	40.71	N 34°40'24" E
C32	20.24	75.00	15°27'58"	20.18	N 11°11'28" E
C47	208.72	219.99	54°21'41"	200.98	S 66°03'49" W
C48	20.01	219.99	5°12'39"	20.00	S 41°58'08" W
C123	13.04	25.00	28°53'44"	12.80	N 05°31'41" E

SEE SHEET 7 of 10



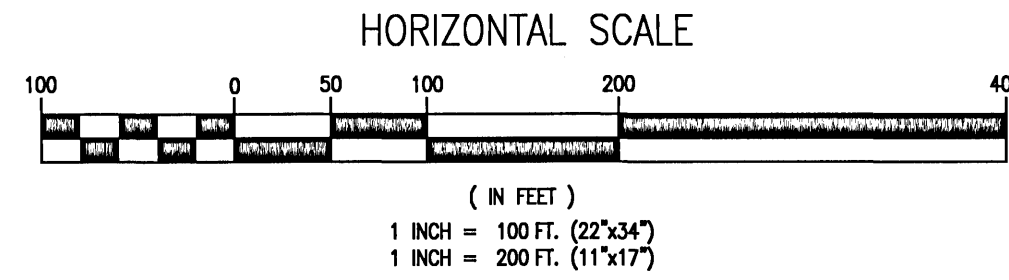
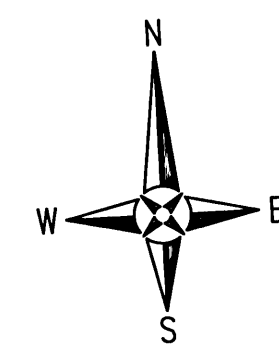
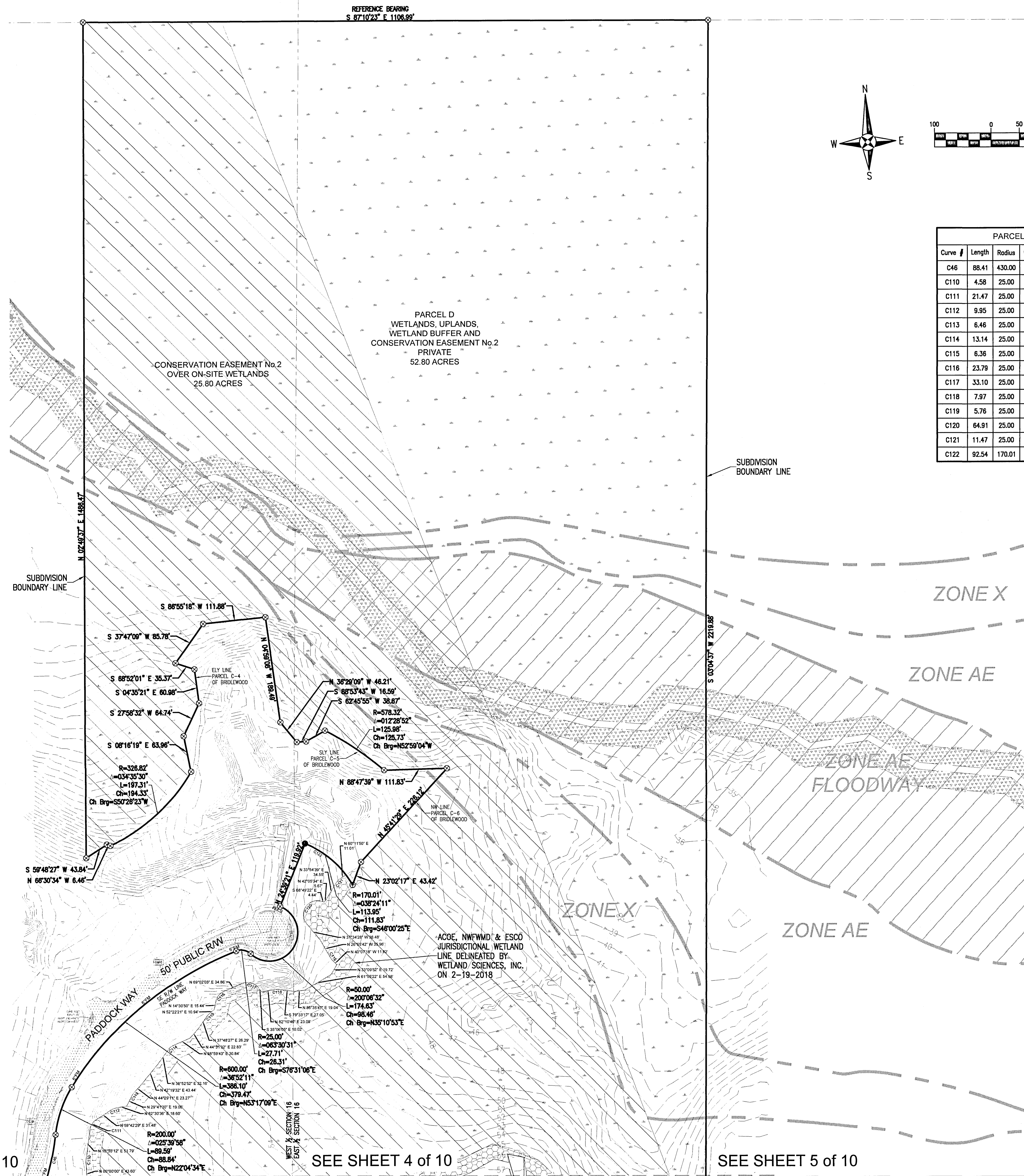
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ENGINEER'S CERTIFICATE

I, JEREMY KING, HEREBY CERTIFY THAT ALL PROPOSED ROADS, DRIVEWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR THE BRIDLEWOOD 2ND ADDITION

STATE OF FLORIDA
No. 76144
JEREMY KING, P.E.
6/17/2021
PROFESSIONAL ENGINEER No. 76144



PARCEL CURVE TABLE					
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C46	88.41	430.00	11°46'48"	88.25	N 15°07'27" E
C110	4.58	25.00	10°30'12"	4.58	N 05°15'08" E
C111	21.47	25.00	49°12'16"	20.82	N 35°06'20" E
C112	9.95	25.00	22°48'07"	9.88	N 71°08'32" E
C113	6.46	25.00	14°47'41"	6.44	N 37°05'20" E
C114	13.14	25.00	30°06'50"	12.99	N 53°56'17" E
C115	6.36	25.00	14°33'54"	6.34	N 45°05'24" E
C116	23.79	25.00	54°31'14"	22.90	N 41°46'26" E
C117	33.10	25.00	75°51'51"	30.74	S 73°02'01" E
C118	7.97	25.00	18°15'57"	7.94	S 88°41'15" E
C119	5.76	25.00	13°11'36"	5.74	N 33°31'30" W
C120	64.91	25.00	148°45'06"	48.15	N 36°48'05" E
C121	11.47	25.00	26°17'11"	11.37	N 47°03'15" E
C122	92.54	170.01	31°11'12"	91.40	N 49°36'55" W

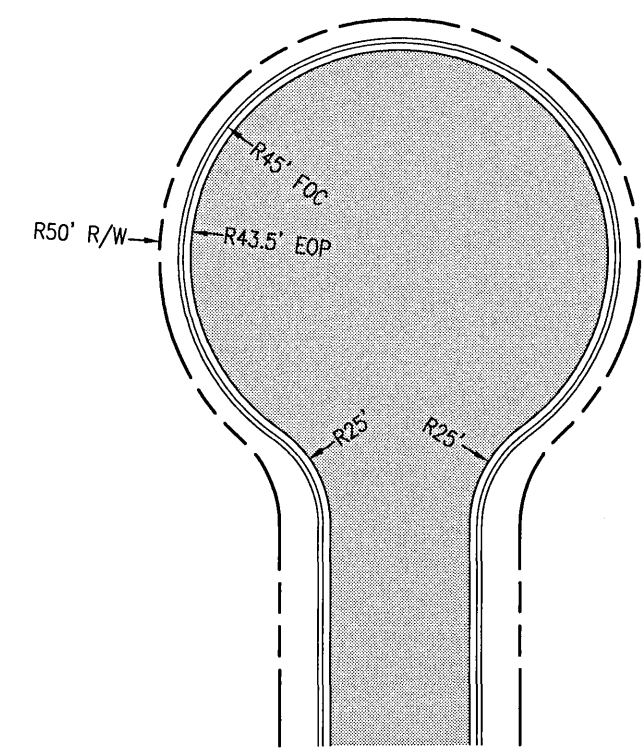
SEE SHEET 3 of 10

SEE SHEET 4 of 10

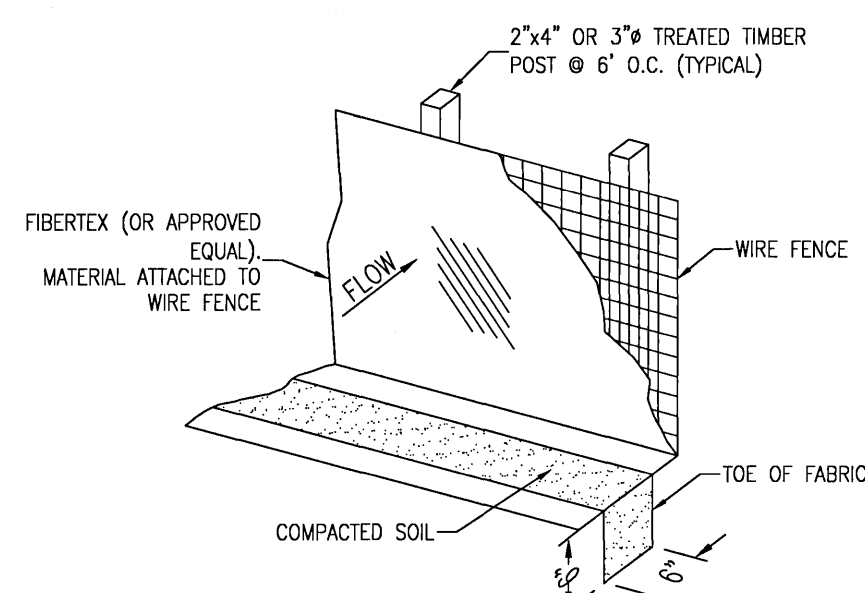
SEE SHEET 5 of 10

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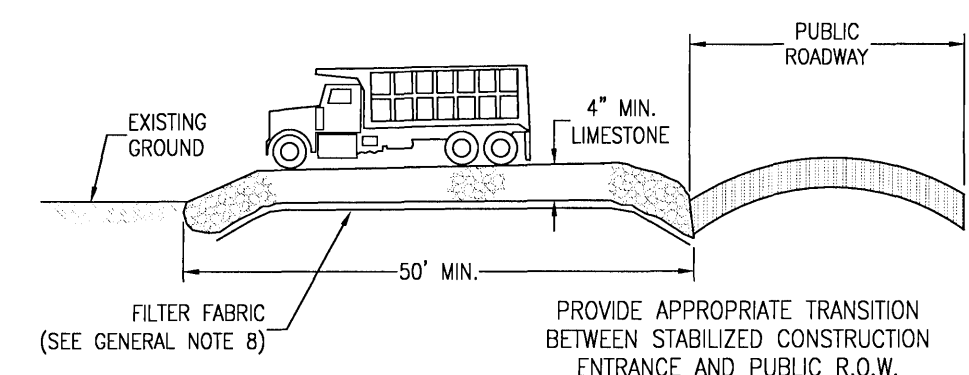
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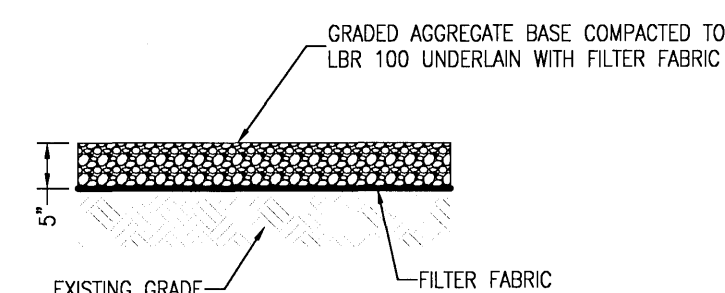
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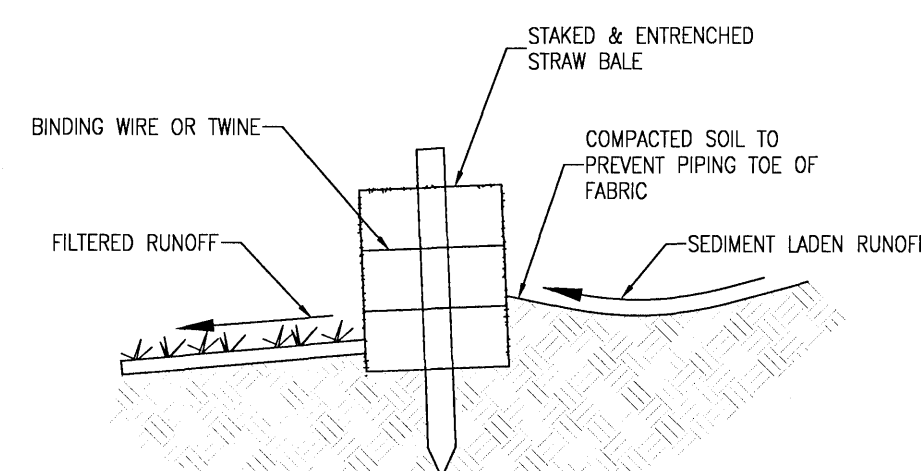
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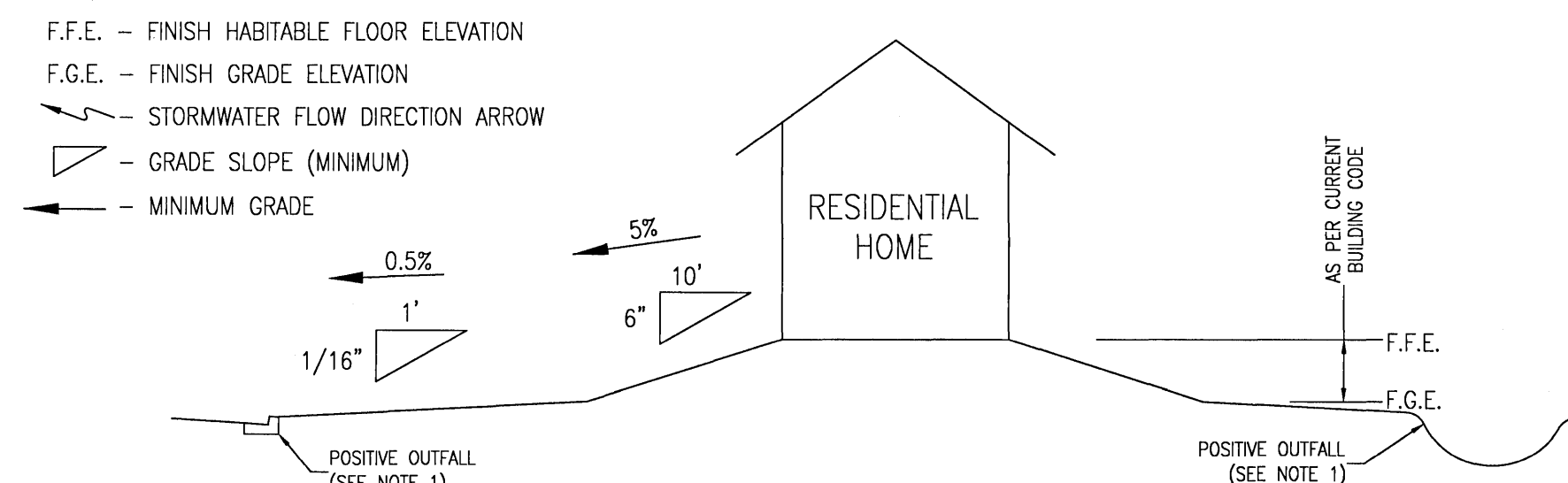
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N.T.S.



N.T.S.



The diagram illustrates a residential home layout with setbacks and F.G.E. contours. A central rectangle is labeled "RESIDENTIAL HOME". To its left is a vertical line labeled "POSITIVE OUTFALL". To the right of the home is a horizontal line labeled "10' (TYP) MINIMUM". Above the home is a horizontal line labeled "10' (TYP) MINIMUM". Below the home is a horizontal line labeled "5'-10' SIDE (AS APPLICABLE)". To the right of the home is a horizontal line labeled "5'-10' SIDE (AS APPLICABLE)". The entire layout is enclosed within a dashed line labeled "F.G.E. CONTOURS". Arrows indicate the direction of flow from the outfall towards the home and then towards the contours.

- F.F.E. - FINISH HABITABLE FLOOR ELEVATION
F.G.E. - FINISH GRADE ELEVATION
 - STORMWATER FLOW DIRECTION ARROW
 - GRADE SLOPE (MINIMUM)
 - MINIMUM GRADE

-

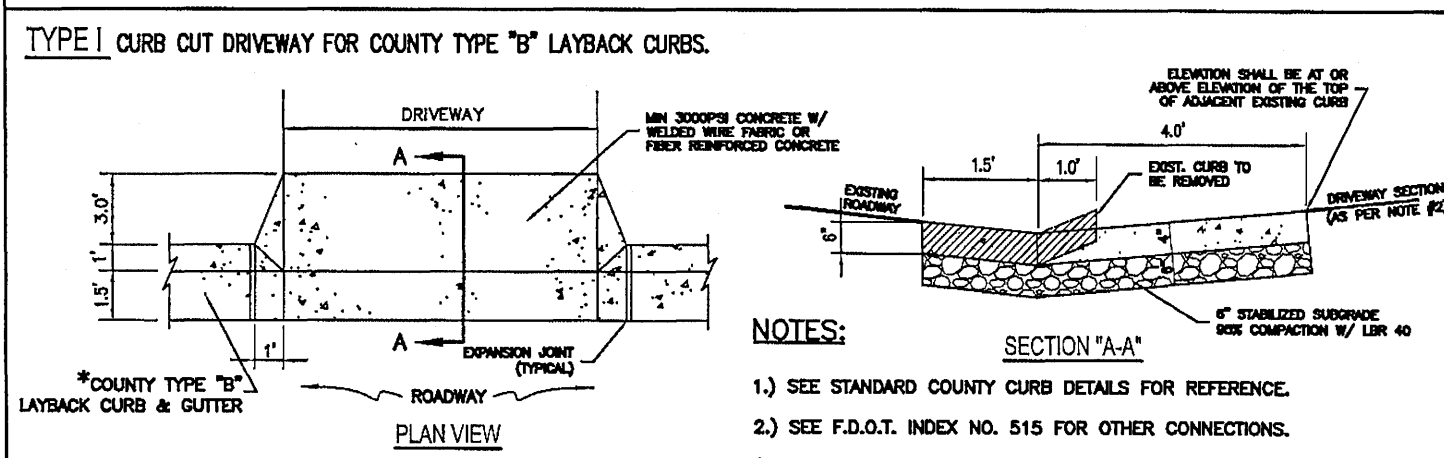
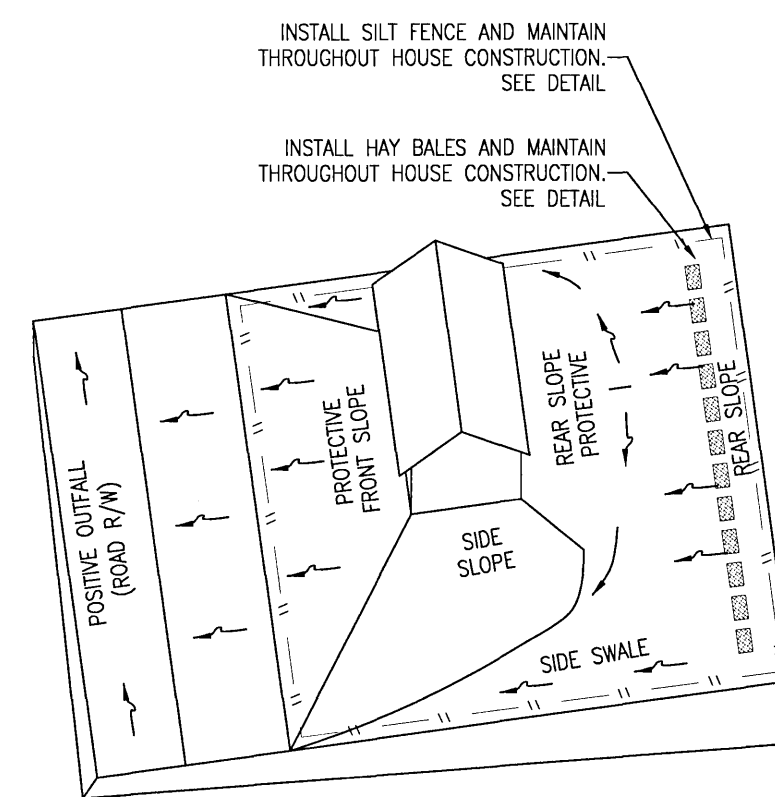


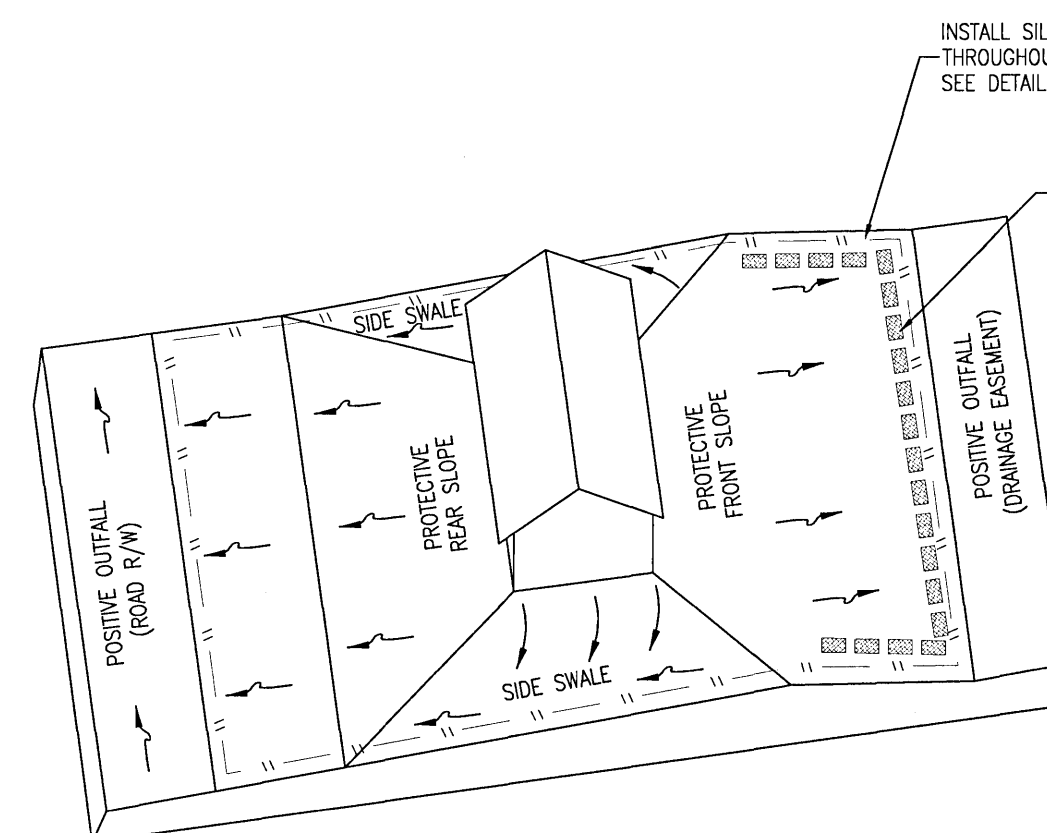
Diagram illustrating the layout of three lots (LOT 1, LOT 2, LOT 3) and their associated setbacks and easements:

- LOT 1:**
 - Side Building Setback Line: 10% of Lot Width OR 5 FEET MIN.-15' MAX
 - 25' FRONT BUILDING SETBACK LINE
 - 25' REAR BUILDING SETBACK LINE
- LOT 2:**
 - 25' REAR BUILDING SETBACK LINE
- LOT 3:**
 - Side Building Setback Line: 10% of Lot Width OR 5 FEET MIN.-15' MAX
- Easements and Setbacks:**
 - 5' UTILITY EASEMENT (along the bottom boundary)
 - 5' UTILITY EASEMENT (along the right boundary)
 - 5' UTILITY EASEMENT (along the right boundary, adjacent to LOT 3)

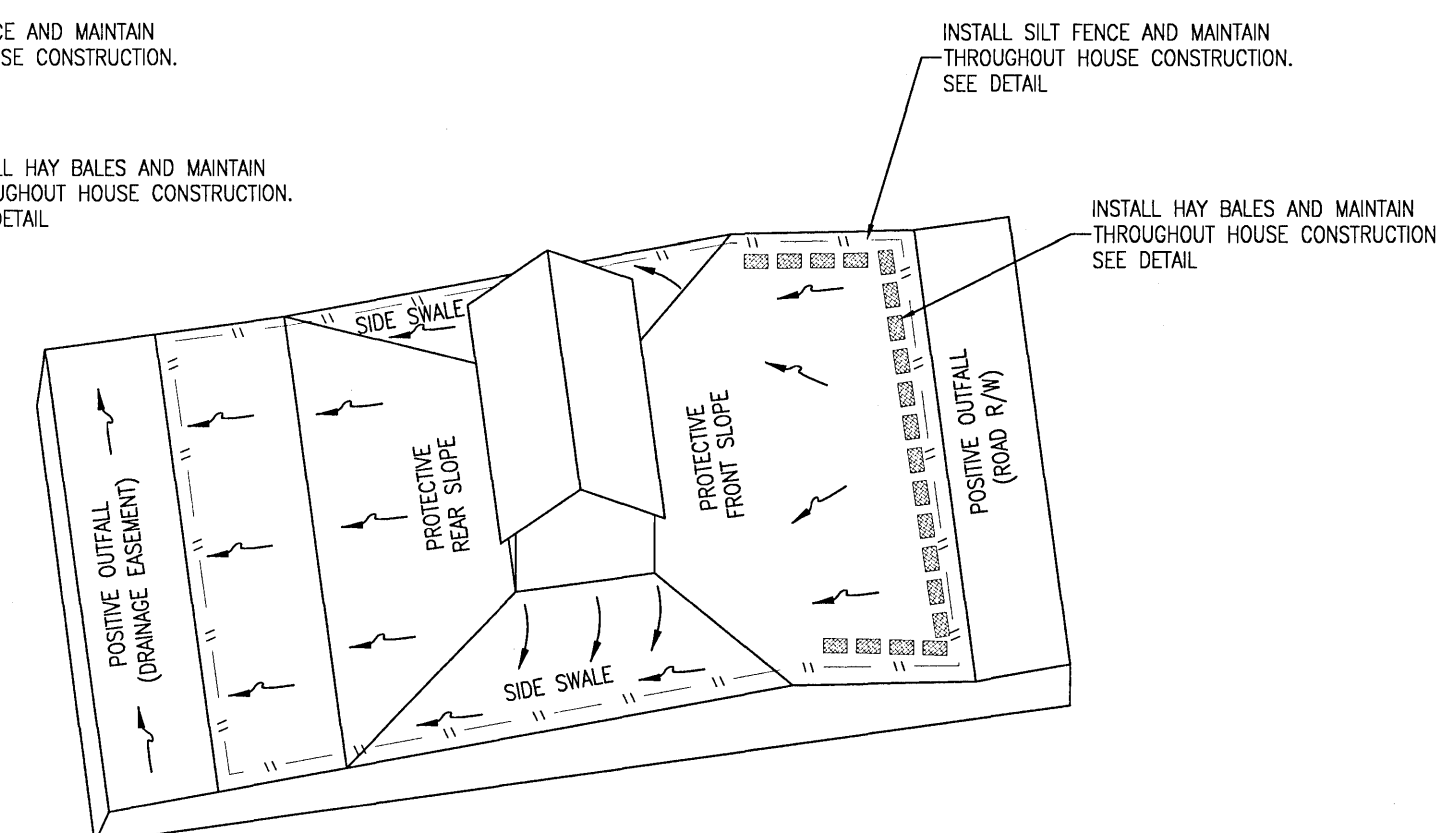
ALL LOT LINES WHICH ADJOIN ANOTHER LOT ARE SUBJECT
TO A 10' PRIVATE DRAINAGE EASEMENT (5' EACH LOT) .



ALL DRAINAGE TO STREET



DRAINAGE TO STREET & REAR LOT LINE



REVERSE OF OF TYPICAL LOT 'A' GRADING. THE MAJORITY
OF THE LOT SHALL SLOPE TO THE DRAINAGE EASEMENT
AT THE REAR OF THE LOT INSTEAD OF THE STREET

MINIMUM STANDARDS FOR TYPICAL
RESIDENTIAL GRADING CONTROL PLAN