

CONSTRUCTION PLANS FOR BRIDLEWOOD 2ND ADDITION A 69 LOT SUBDIVISION PADDOCK WAY ESCAMBIA COUNTY, FLORIDA

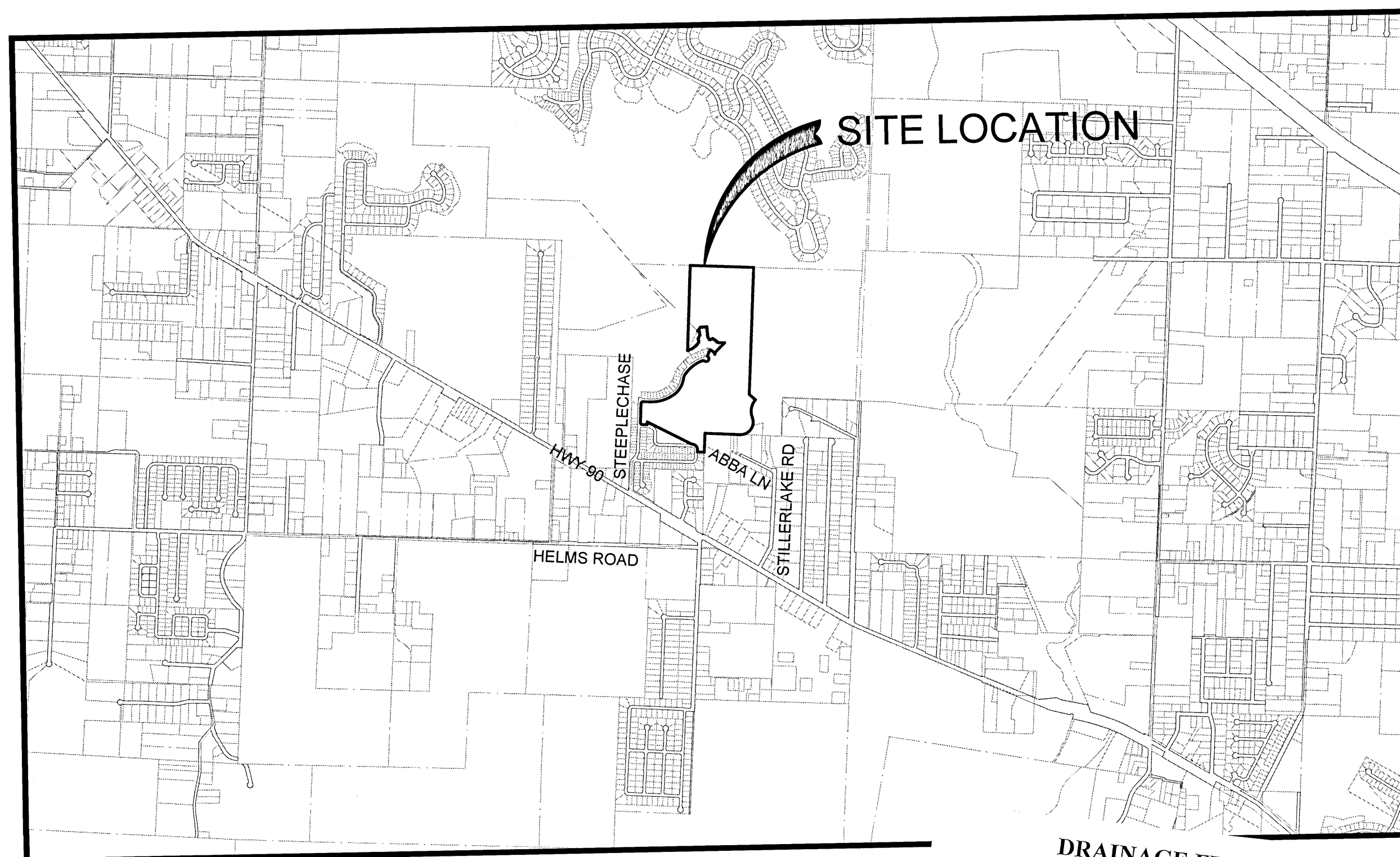
RBA PROJECT NO.: 2017.274

SITE INFORMATION	
OWNER:	MOBILE HWY PENSACOLA, LLC 2000 VILLAFANE DR PENSACOLA, FL 32503
DEVELOPER:	68V BRIDLEWOOD (FL) 2019, LLC 2989 WOODROW LN, SUITE 300 SPANISH FORT, AL 36527
PROPERTY REFERENCE NO:	16-1S-31-2000-510-005
PROPERTY ADDRESS:	PADDOCK WAY
PROPERTY AREA:	82.87 ACRES
PROJECT AREA:	30.01 ACRES (UPLANDS)
PROPERTY ZONING:	LDR
FUTURE LAND USE:	MU-S
PROPOSED ACTIVITY:	SUBDIVISION
REQUIRED BUILDING SETBACKS MDR:	FRONT YARD - 25 FT. SIDE YARD - 10% OF LOT WIDTH, 5' MIN-15' MAX REAR YARD - 25 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
AE, X	120080	12033C	290	G	SEPT 29, 2006

CONTACTS	
REBOL-BATTLE & ASSOCIATES CIVIL ENGINEERS AND SURVEYORS 2301 N. NINTH AVENUE SUITE 300 PENSACOLA, FLORIDA 32503	CONTACT: JEREMY R. KING, P.E. CONTACT: MARK. A. NORRIS, P.S.M. PHONE: 850.438.0400 FAX: 850.438.0448
GULF POWER 1625 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9256 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: PERRY WHITE PHONE: 850.969.3312
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

June 16, 2021



VICINITY MAP
SCALE: 1" = 2000'

SITE ENVIRONMENTAL INFORMATION	
OVERALL SITE AREA	82.87 ACRES
ACOE/NWFWMD/ESCAMBIA COUNTY JURISDICTIONAL WETLANDS	52.86 ACRES
WETLAND BUFFER	3.07 ACRES
WETLAND IMPACT	0.18 ACRES
WETLAND BUFFER IMPACT	0.37 ACRES
CONSERVATION EASEMENTS	29.58 ACRES



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

ECUA REQUIRED PLAN NOTES (NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE No.1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND THE PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD ON THE APPROPRIATE RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

YES ☒ NO ☐

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*
LOW PRESSURE DETAIL		X	X	

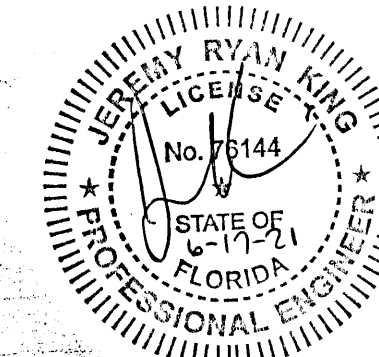
*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTION OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

INDEX OF DRAWINGS

- C1.0~C1.5 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.6~C1.7 EROSION CONTROL DETAILS, NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0~C2.7 SITE LAYOUT AND DIMENSION PLAN
- C3.0~C3.14 GRADING AND DRAINAGE PLAN
- C4.0~C4.6 UTILITY PLAN
- C5.0~C5.4 ROADWAY PLAN AND PROFILE
- C6.0~C6.3 STORMWATER PLAN AND PROFILE
- C7.0~C7.3 CROSS SECTIONS



LEGAL DESCRIPTION

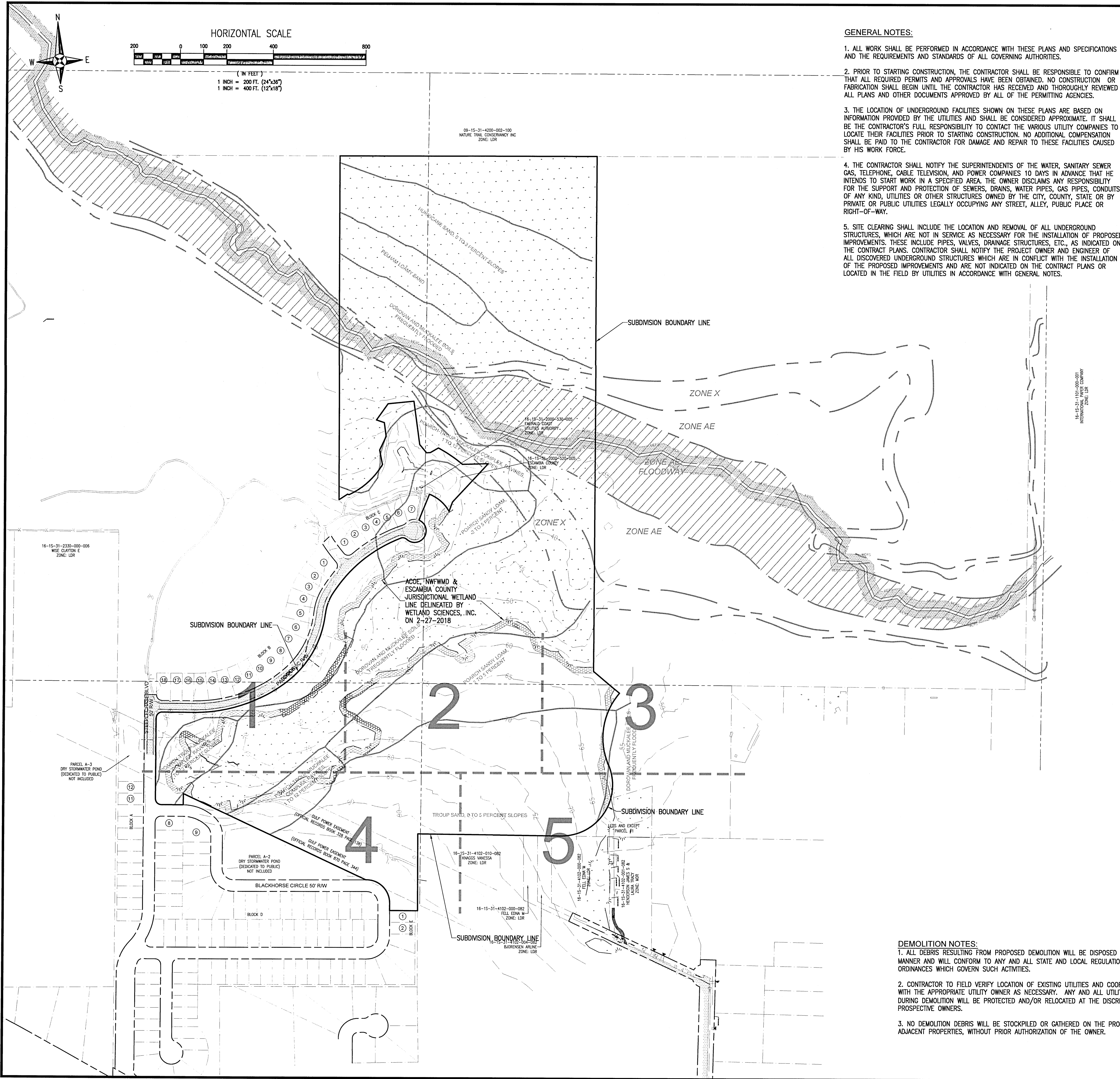
DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES, INC.) (RBA PROJECT NO. 2017.274 2ND)

ALL OF PARCELS C-4, C-8, & D-4 AND A PORTION OF PARCELS C-3, C-5, C-6, & D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL D-5 OF BRIDLEWOOD, AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE PROCEED SOUTH 02°50'19" WEST ALONG THE SOUTH LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 330.75 FEET; THENCE DEPARTING SAID SOUTH LINE PROCEED NORTH 87°00'46" WEST ALONG THE SOUTH LINE OF PARCEL C-8 OF SAID BRIDLEWOOD FOR A DISTANCE OF 120.08 FEET TO THE EAST RIGHT-OF-WAY (R/W) LINE OF BLACKHORSE CIRCLE (50' PUBLIC R/W); THENCE PROCEED NORTH 03°05'19" EAST ALONG SAID R/W LINE AND ALONG SAID SOUTH LINE FOR A DISTANCE OF 31.94 FEET TO THE POINT OF CURVATURE OF A PUBLIC R/W; THENCE PROCEED NORTH 03°05'19" EAST ALONG SAID R/W LINE AND SAID SOUTH LINE FOR A DISTANCE OF 1.66 FEET; THENCE DEPARTING SAID R/W LINE PROCEED NORTH 62°06'25" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 668.80 FEET; THENCE PROCEED SOUTH 03°08'48" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 47.86 FEET TO THE POINT OF TANGENCY SAID POINT BEING ON THE SOUTHWESTERLY R/W LINE OF PADDOCK WAY (50' PUBLIC R/W); THENCE PROCEED SOUTH 03°08'48" EAST ALONG SAID SOUTHERLY R/W LINE FOR A DISTANCE OF 39.93 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 39.27 FEET (DELTA ANGLE = 88°58'32", CHORD DISTANCE = 35.35 FEET, CHORD BEARING = NORTH 48°08'34" EAST) TO THE POINT OF TANGENCY SAID POINT BEING ON THE SOUTHWESTERLY R/W LINE OF PADDOCK WAY (50' PUBLIC R/W); THENCE PROCEED SOUTH 86°51'40" EAST ALONG SAID SOUTHEASTERLY R/W LINE FOR A DISTANCE OF 139.10 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 640.00 FEET; THENCE PROCEED NORTHERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 427.94 FEET (DELTA ANGLE = 38°18'40", CHORD DISTANCE = 420.01 FEET, CHORD BEARING = NORTH 73°59'00" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 430.00 FEET; THENCE PROCEED NORTHERLY 73°59'00" EAST TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 333.66 FEET, CHORD BEARING = NORTH 32°03'47" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 200.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 77.71 FEET (DELTA ANGLE = 63°30'31", CHORD DISTANCE = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 89.59 FEET (DELTA ANGLE = 25°39'58", CHORD DISTANCE = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 600.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 386.10 FEET (DELTA ANGLE = 36°52'11", CHORD DISTANCE = 379.47 FEET, CHORD BEARING = NORTH 53°17'02" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 27.71 FEET (DELTA ANGLE = 63°30'31", CHORD DISTANCE = 26.31 FEET, CHORD BEARING = SOUTH 76°31'06" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 89.59 FEET (DELTA ANGLE = 25°39'58", CHORD DISTANCE = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 89.59 FEET (DELTA ANGLE = 25°39'58", CHORD DISTANCE = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 170.01 FEET; THENCE PROCEED SOUTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 170.01 FEET (DELTA ANGLE = 20°06'32", CHORD DISTANCE = 98.46 FEET, CHORD BEARING = NORTH 35°10'53" EAST); THENCE DEPARTING SAID SOUTHEASTERLY R/W LINE PROCEED NORTH 24°39'21" EAST ALONG THE NORTHERLY LINE OF PARCEL D-5 OF THE AFORESAID BRIDLEWOOD FOR A DISTANCE OF 119.92 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY, SAID CURVE HAVING A RADIUS OF 170.01 FEET; THENCE PROCEED SOUTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 113.95 FEET (DELTA ANGLE = 38°24'11", CHORD DISTANCE = 111.83 FEET, CHORD BEARING = SOUTH 46°00'25" EAST); THENCE DEPARTING SAID NORTHEASTERLY LINE OF PARCEL D-5 OF SAID BRIDLEWOOD FOR A DISTANCE OF 43.42 FEET; THENCE PROCEED NORTH 45°41'29" EAST PROCEED NORTH 23°02'17" EAST ALONG THE NORTHERLY LINE OF PARCEL D-5 OF SAID BRIDLEWOOD FOR A DISTANCE OF 111.83 FEET; THENCE DEPARTING SAID NORTHEASTERLY LINE OF PARCEL D-5 OF SAID BRIDLEWOOD FOR A DISTANCE OF 111.83 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWEST, SAID CURVE HAVING A RADIUS OF 578.32 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR A DISTANCE OF 125.98 FEET (DELTA ANGLE = 12°28'52", CHORD DISTANCE = 125.73 FEET, CHORD BEARING = NORTH 52°59'04" WEST); THENCE PROCEED SOUTH 62°45'55" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 189.49 FEET; THENCE PROCEED SOUTH 86°55'18" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 111.88 FEET; THENCE PROCEED SOUTH 34°47'09" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 60.98 FEET; THENCE DEPARTING SAID SOUTHERLY LINE FOR A DISTANCE OF 111.88 FEET; THENCE PROCEED SOUTH 47°11'18" EAST FOR A DISTANCE OF 146.47 FEET TO THE WESTERLY LINE OF BRIDLEWOOD ALSO BEING THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 300.00 FEET; THENCE PROCEED SOUTHERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 331.17 FEET (DELTA ANGLE = 63°14'59", CHORD DISTANCE = 314.61 FEET, CHORD BEARING = SOUTH 11°12'27" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 219.89 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 331.17 FEET (DELTA ANGLE = 11°39'45", CHORD DISTANCE = 368.29 FEET, CHORD BEARING = SOUTH 36°24'43" WEST) TO THE POINT OF TANGENCY; THENCE DEPARTING SAID CURVE PROCEED NORTH 86°32'31" WEST ALONG THE SOUTH LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 614.10 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AND CONTAINING 82.87 ACRES MORE OR LESS.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
5. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.

6. RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
8. ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE CLEANED OF DEBRIS AND CONSTRUCTION MATERIAL AND RAKED SMOOTH.
9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING & GRUBBING REQUIRED.
11. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
12. CONTRACTOR TO COORDINATE WITH RESPONSIBLE UTILITY FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
13. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS SUGGESTED ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
2. AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
3. INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(b)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE NPDES STORMWATER NOTICES CENTER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
6. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

DEMOLITION NOTES:

1. ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
2. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
3. NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

LEGEND

[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	JURISDICTIONAL WETLAND
[Pattern]	25' WETLAND BUFFER
[Pattern]	DEMOLITION
[Pattern]	DEMOLITION LINE
[Pattern]	BOUNDARY LINE
[Pattern]	LOT LINE
[Pattern]	RIGHT-OF-WAY LINE
[Pattern]	WATER LINE
[Pattern]	SEWER LINE (GRAVITY)
[Pattern]	SEWER FORCE MAIN
[Pattern]	OVERHEAD UTILITIES
[Pattern]	BURIED TELEPHONE LINE
[Pattern]	GAS LINE
[Pattern]	BURIED FIBER OPTIC CABLE
[Pattern]	JURISDICTIONAL WETLAND LINE
[Pattern]	EXISTING CONTOUR
[Pattern]	SF/HB SILT FENCE/STRAW BALE
[Pattern]	SF SILT FENCE
[Symbol]	BENCHMARK
[Symbol]	STORMWATER MANHOLE
[Symbol]	SEWER MANHOLE
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	FIRE HYDRANT

RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

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Telephone: 850.436.4346
Fax: 850.436.4346
EID: 00009567

OVERALL EXISTING SITE PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		

SEAL

BID SET

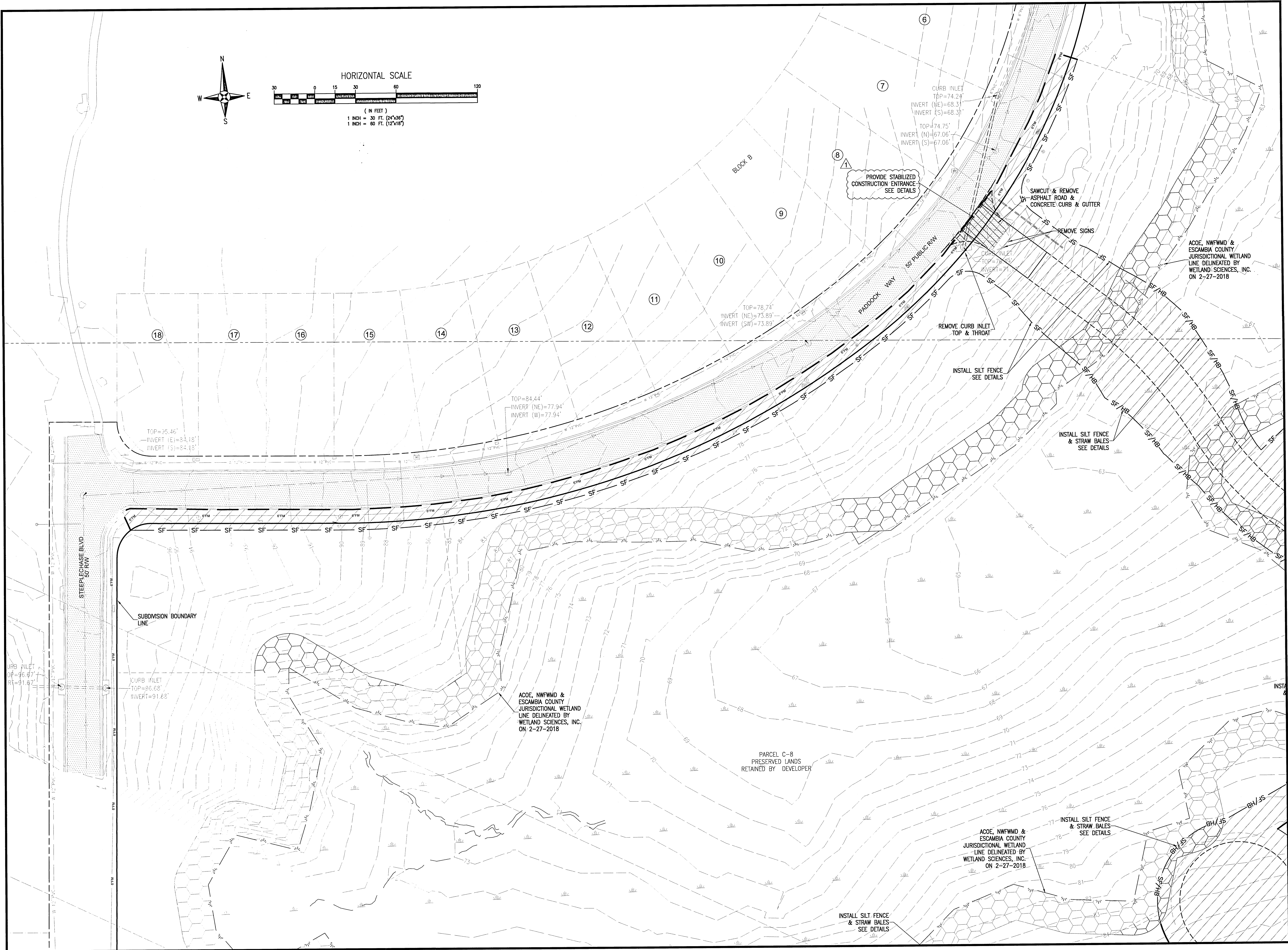
STATE OF FLORIDA

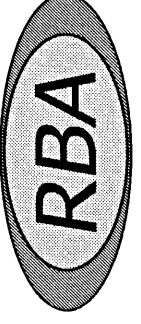
JEREMY R. KING, P.E.

No. 78144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C1.0



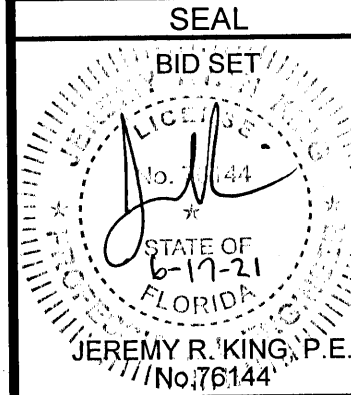


REBOL-BATTLE & ASSOCIATES
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Telephone 850 438 0400 Fax 850 438 0448
E3 00000001

OVERALL GRADING &
DRAINAGE PLAN

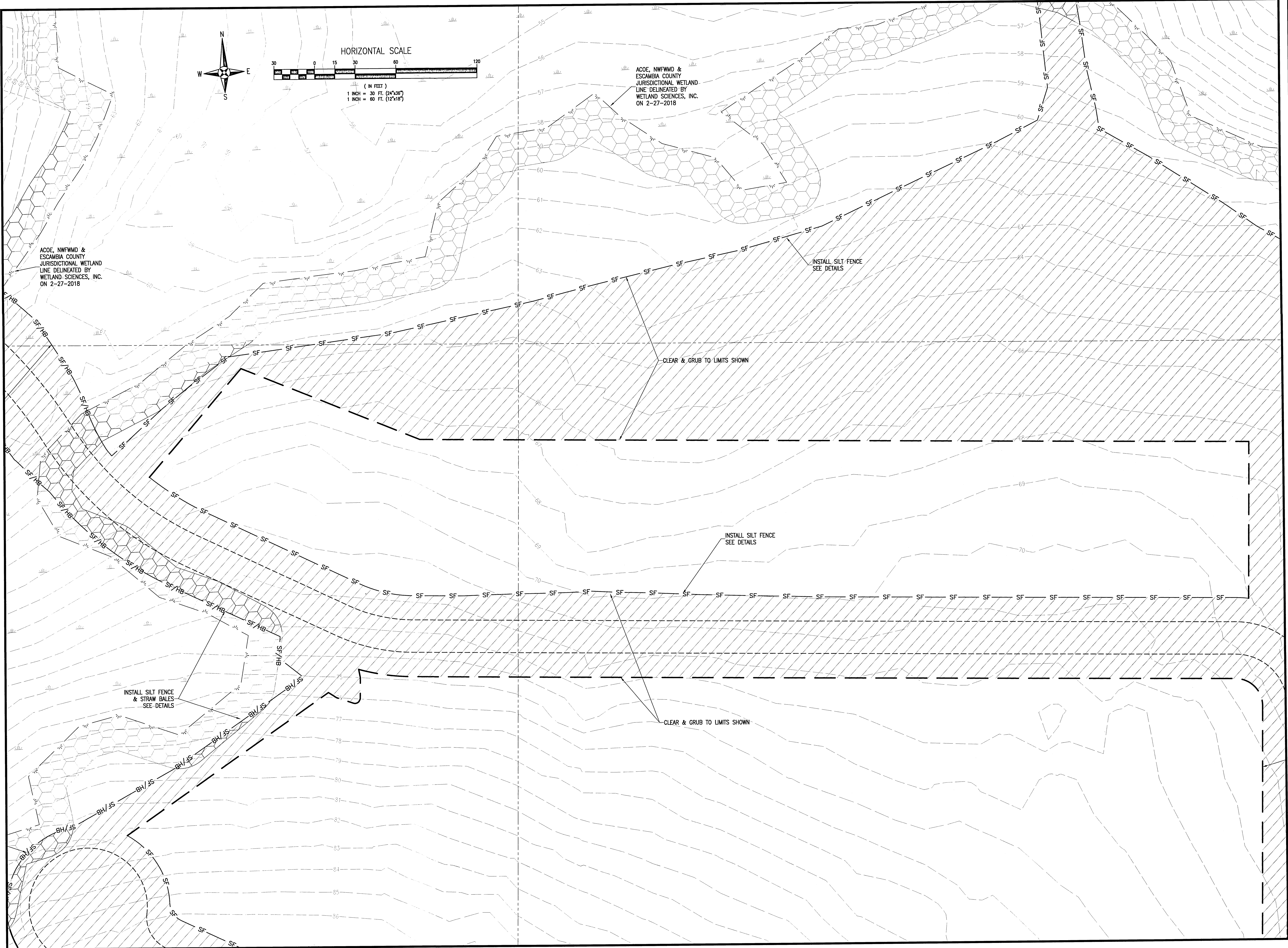
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	REVISION
1	4/1/2021	ESCO COMMENTS	



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021
DRAWING No.
C1.1

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 C.S. 00000555

OVERALL GRADING & DRAINAGE PLAN

Bridlewood 2nd Addition
 A 69 LOT SUBDIVISION
 STEEPLECHASE BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

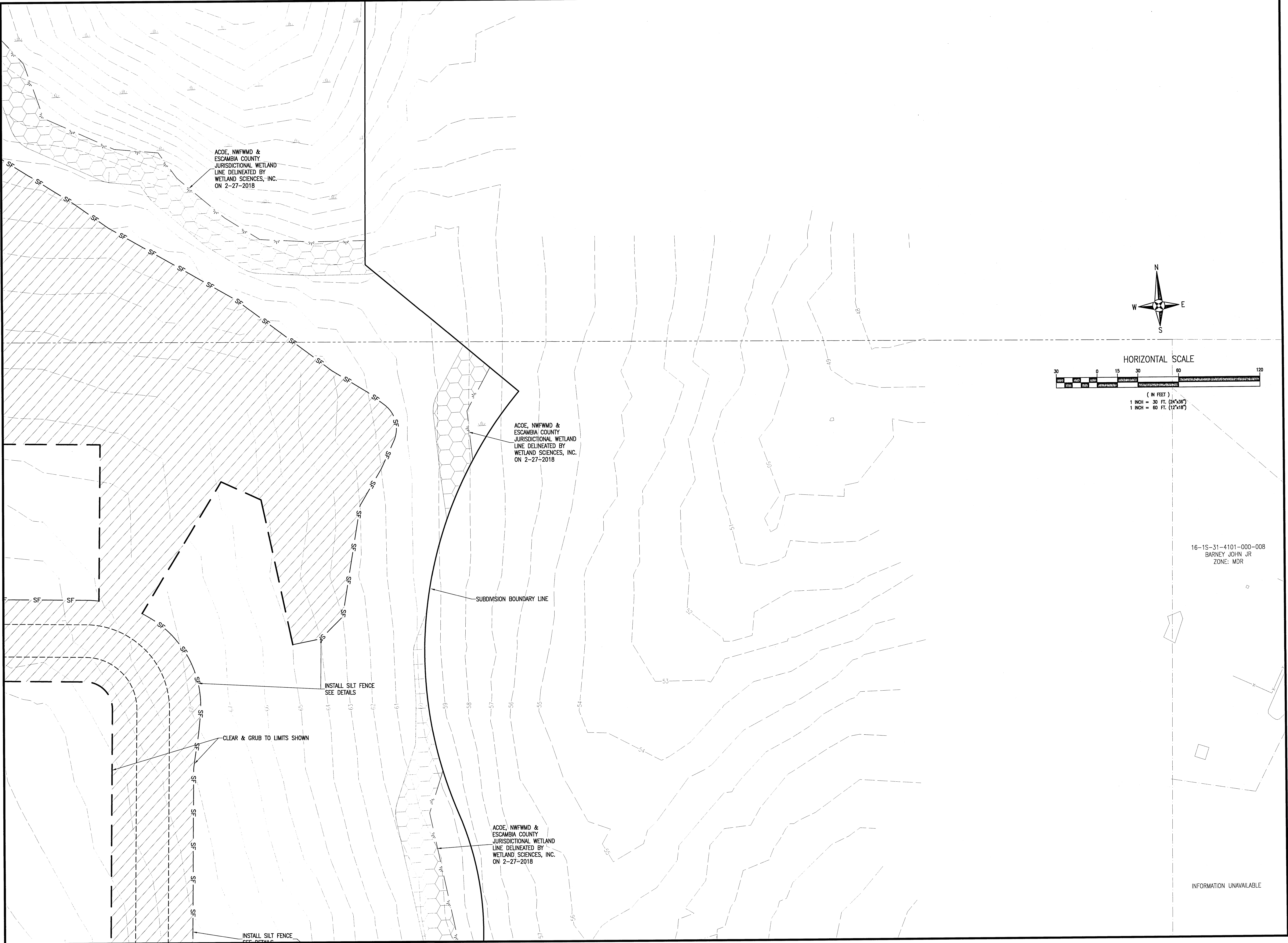
SEAL
 BID SET

 JEREMY R. KING, P.E.
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 Job No.: 2017.274
 Date: 6/16/2021

DRAWING No.
C1.2

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RBA
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Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EID 00000557

**OVERALL GRADING &
DRAINAGE PLAN**

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

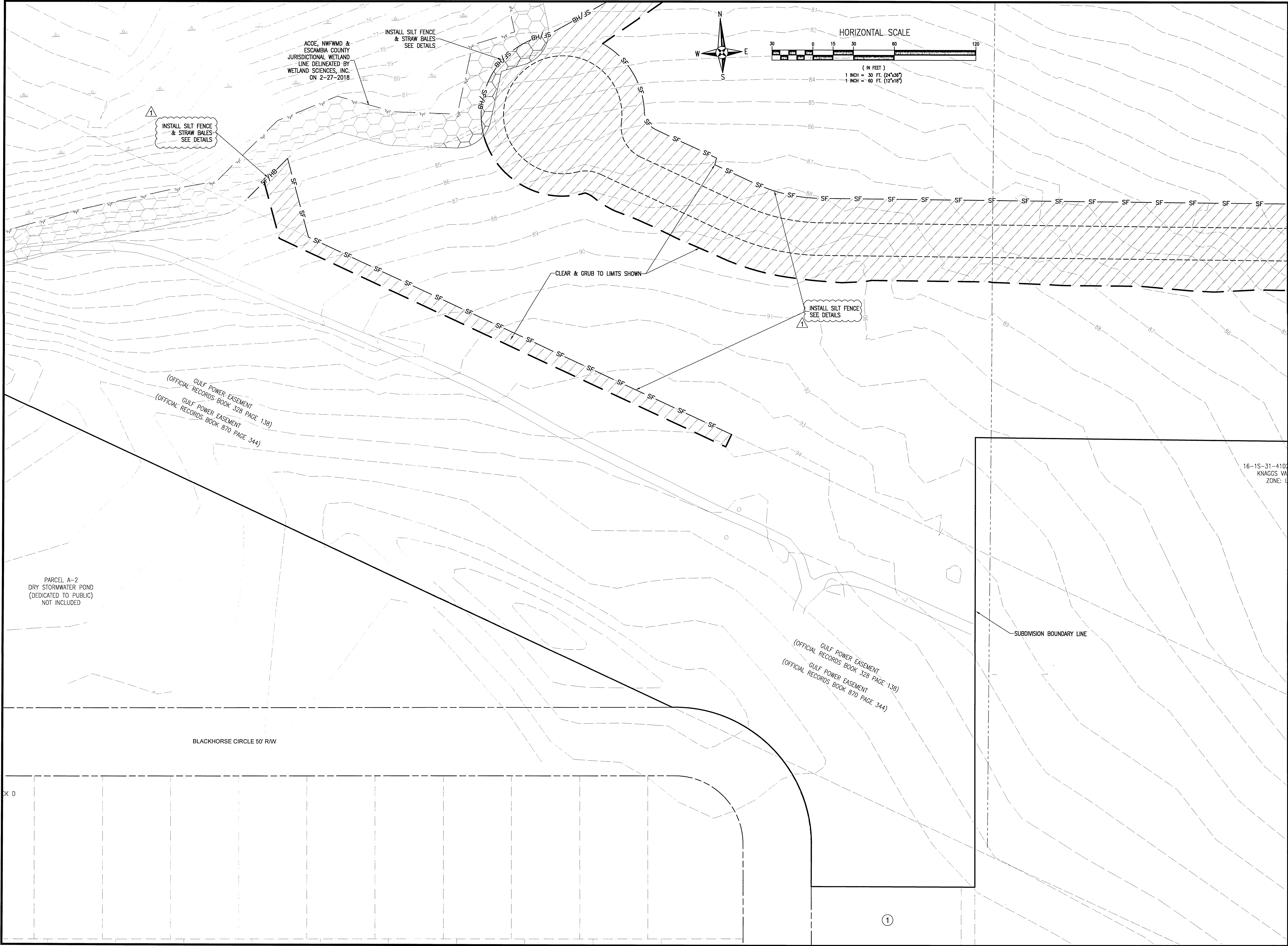
No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

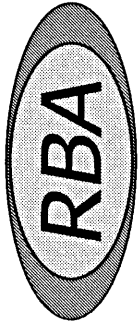
SEAL
BID SET
JEREMY R. KING, P.E.
No. 78144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C1.3

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OVERALL GRADING & DRAINAGE PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

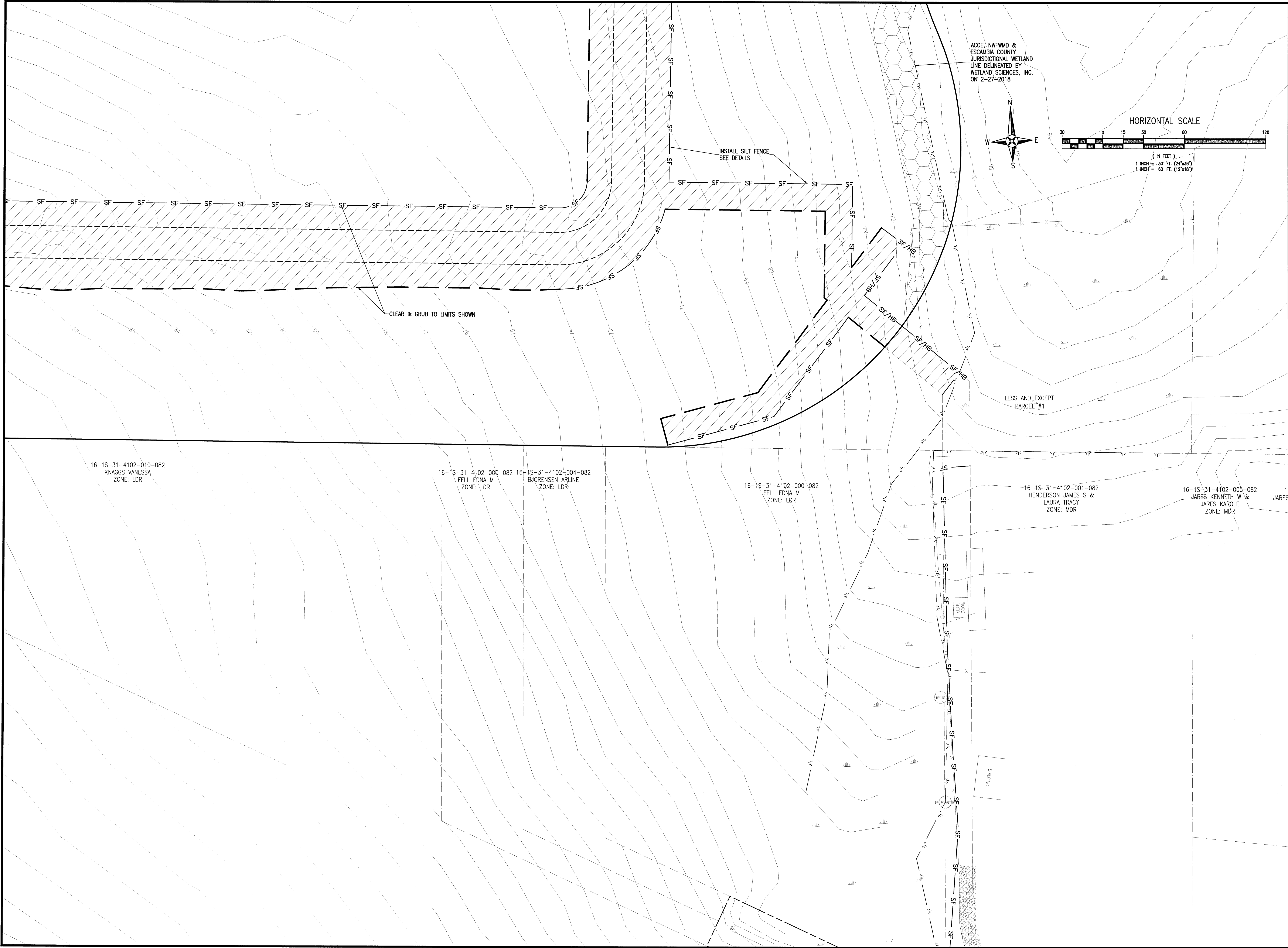
No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS



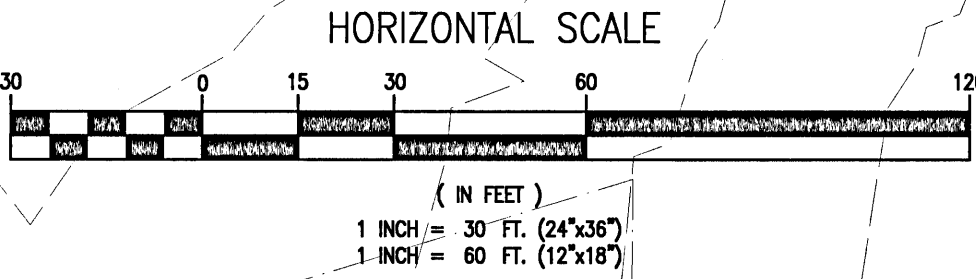
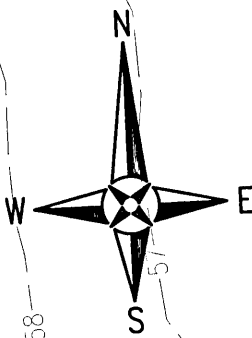
SEAL
BID SET
JEREMY R. KING, P.E.
No. 76144
STATE OF FLORIDA
6-19-21

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C1.4



ACOE, NWFWMD &
ESCAMBIA COUNTY
JURISDICTIONAL WETLAND
LINE DELINEATED BY
WETLAND SCIENCES, INC.
ON 2-27-2018



16-1S-31-4102-010-082
KNAGGS VANESSA
ZONE: LDR


16-1S-31-4102-000-082 FELL EDNA M
ZONE: LDR

16-1S-31-4102-004-082 BUORENSEN ARLINE
ZONE: LDR

16-1S-31-4102-000-082
FELL EDNA M
ZONE: LDR

16-1S-31-4102-001-082
HENDERSON JAMES S &
LAURA TRACY
ZONE: MDR

16-1S-31-4102-005-082
JARES KENNETH W &
JARES KAROLE
ZONE: MDR

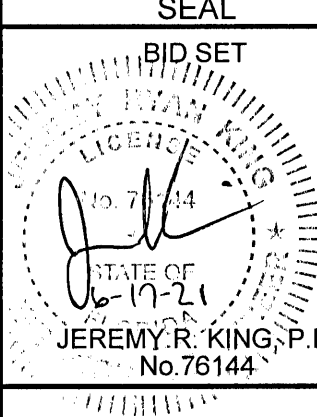


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**OVERALL GRADING &
DRAINAGE PLAN**

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No. **C1.5**

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 981, 982, 983, 985, & 987.

*5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.

*6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.

*7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).

*8. A CRUSHED LIMEROCK, VEHICLE WHEEL--CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER, SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

*10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.

12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).

16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.

20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS./ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE, CONSISTING OF:

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS./AC.	95%	80%
PENSACOLA BAHIA	260 LBS./AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

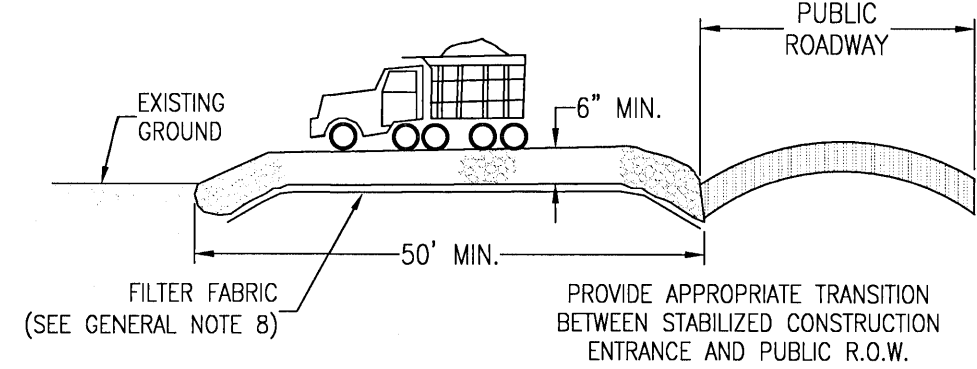
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 104, LATEST EDITION.

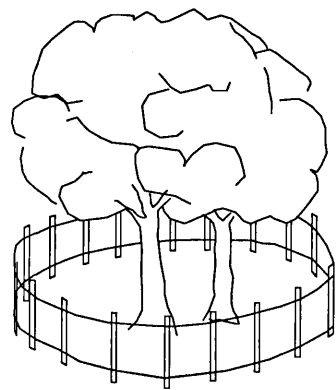
PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM FROM OTHER EXCAVATED SOIL(S)
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

N.T.S.

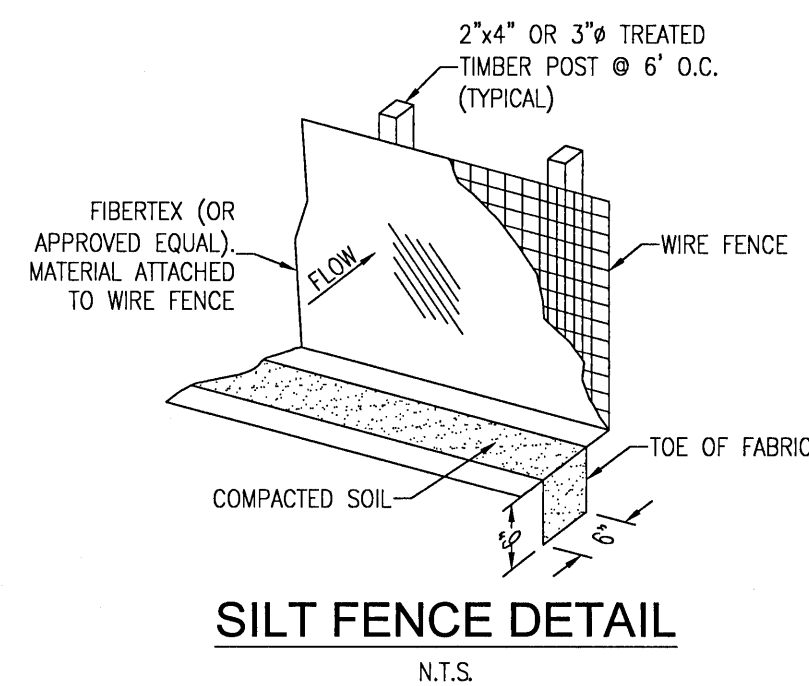
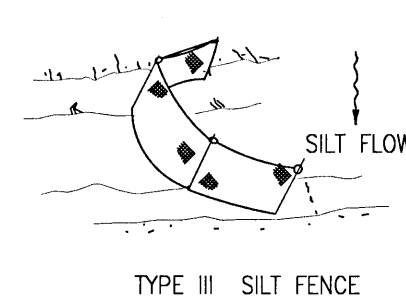
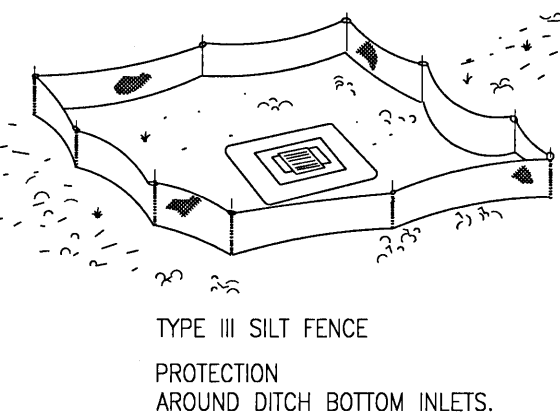
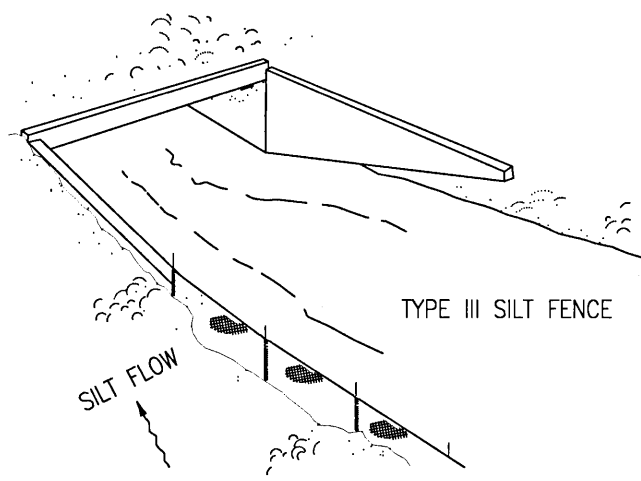


NOTE:

ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

TREE BARRICADE DETAIL

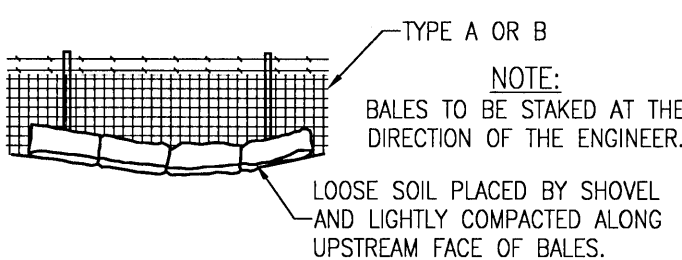
N.T.S.



SILT FENCE APPLICATIONS

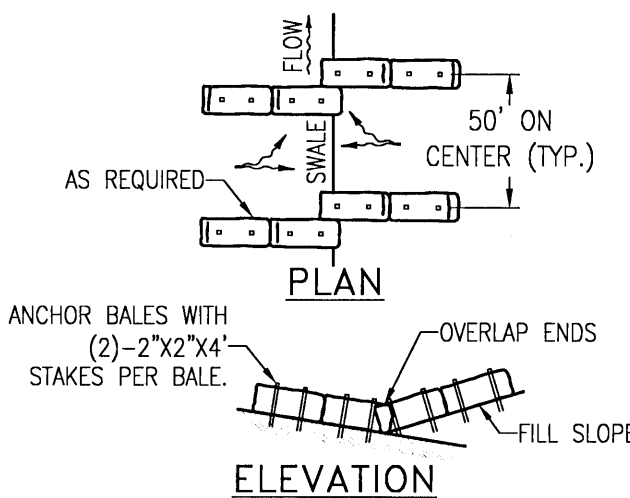
N.T.S.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



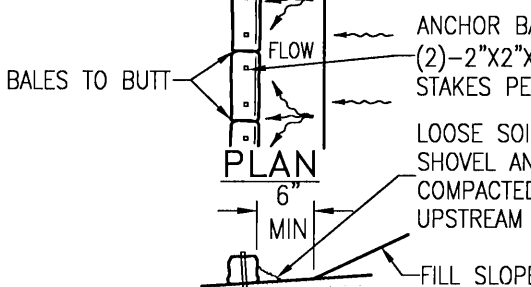
STRAW BALES BACKED BY FENCE

N.T.S.



PLAN

ELEVATION

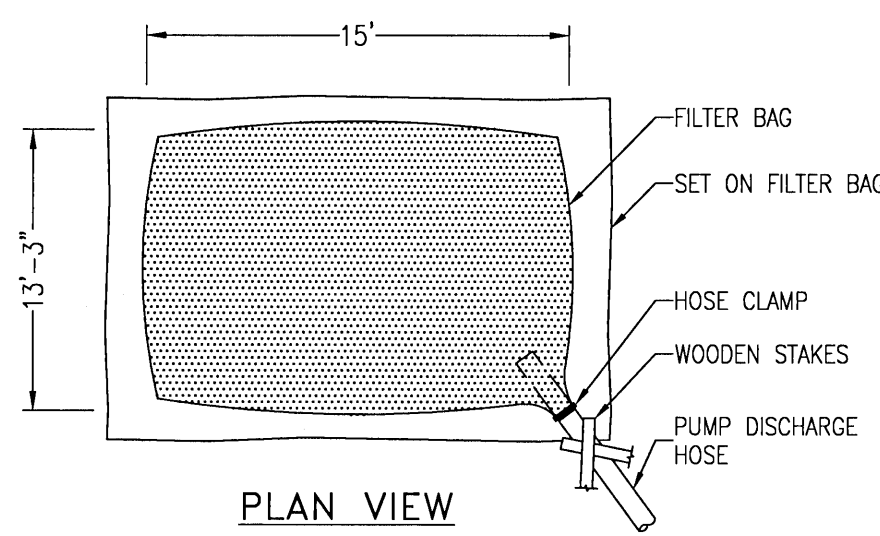


PLAN

ELEVATION

BARRIERS FOR FILL SLOPES

N.T.S.



PLAN VIEW

CROSS SECTION

FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS

N.T.S.

DESCRIPTION:

FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:

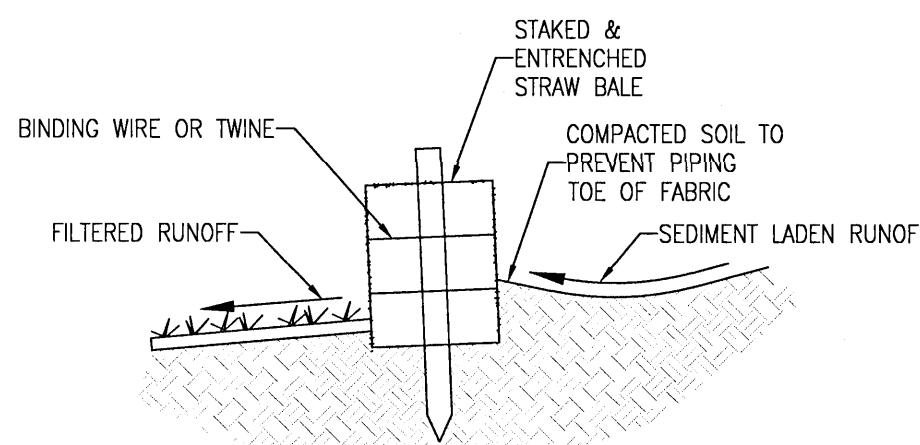
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER/INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:

PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE, TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

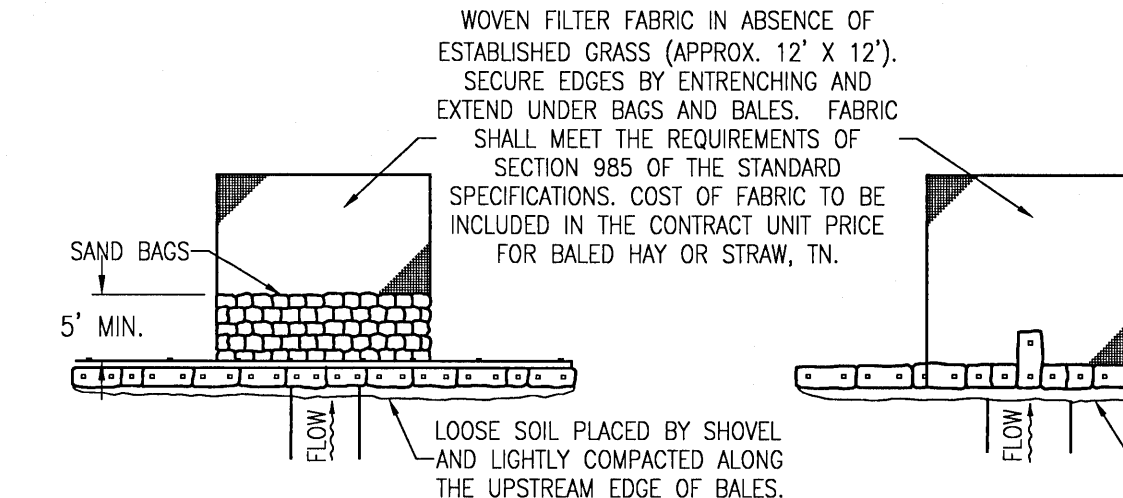
SPECIFICATION:

FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET, TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.



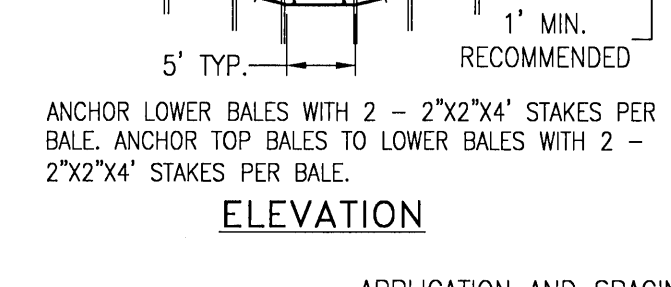
STRAW BALE DETAIL

N.T.S.



PLAN

ELEVATION

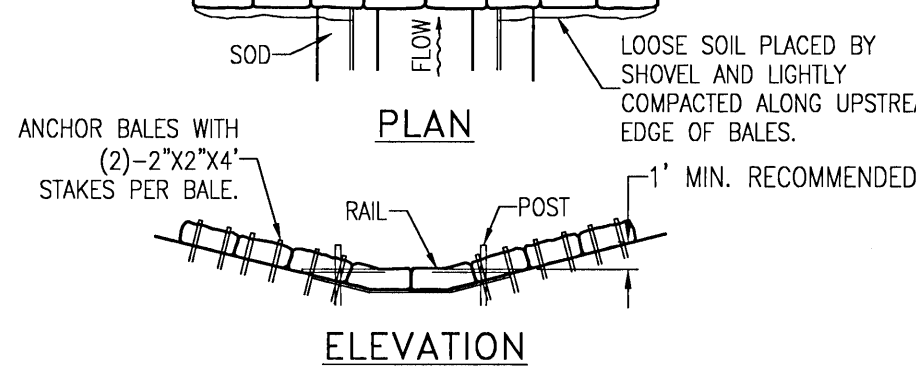


PLAN

ELEVATION

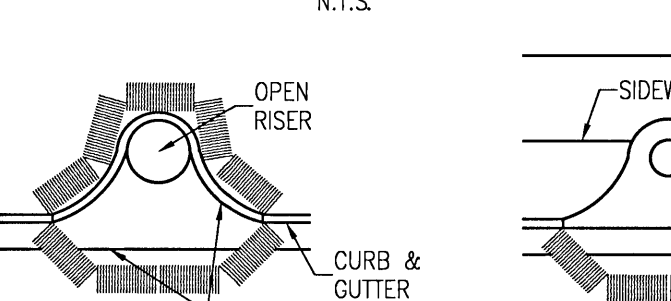
BARRIER FOR UNPAVED DITCH

N.T.S.



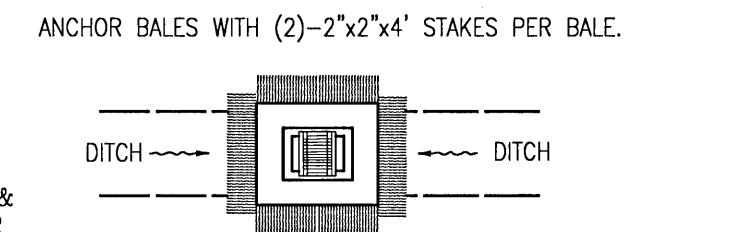
PLAN

ELEVATION



PARTIAL INLET

COMPLETED INLET



MATERIAL STOCKPILE DETAIL

N.T.S.

ANCHOR BALES WITH (2)-2"x2"x4" STAKES PER BALE.

DITCH BOTTOM INLET

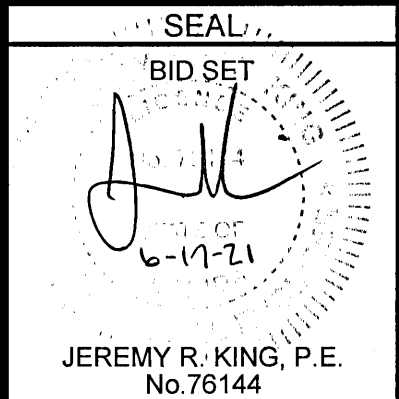
N.T.S.

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

EROSION CONTROL DETAILS

Bridlewood 2nd Addition
A 89 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C1.6

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 INTRODUCTION:

THE REFERENCED SUPPORT DOCUMENTATION FOR THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA) STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES SUMMARY GUIDANCE (EPA 833-R-92-001) AND STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES (EPA 832-R-92-005). THIS SWPPP IS DESIGNED TO PROTECT ONSITE AND ADJACENT NATURAL RESOURCES, INCLUDING BUT NOT LIMITED TO, WETLANDS, MARSHES, BAYOUS AND BAYS, WHILE PRESERVING WILDLIFE AND ARCHEOLOGICAL RESOURCES.

AN ENVIRONMENTAL RESOURCE PERMIT APPLICATION WILL BE SUBMITTED TO THE NWFWM D MAY 2021

1.2 NOTICE OF INTENT (NOI):

RULE 62-621.300(4), FAC REQUIRES THE CONSTRUCTION OPERATOR OF A SITE THAT DISTURBS ONE OR MORE ACRES TO OBTAIN COVERAGE FROM THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(B)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE FOLLOWING ADDRESS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. PLEASE NOTE THAT THE CURRENT APPLICATION FEE IS \$300; HOWEVER, THIS FEE IS SUBJECT TO CHANGE WITHOUT NOTICE. ALWAYS REFER TO THE MOST CURRENT VERSION OF RULE 62-4.050(4)(D), FAC TO CONFIRM THE AMOUNT BEFORE SUBMITTING PAYMENT. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.3 STORMWATER POLLUTION PREVENTION PLAN (SWPPP):

THE CONTRACTOR IS REQUIRED TO CERTIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BELOW PRIOR TO SUBMITTING THE NOI. THIS SWPPP IS NOT REQUIRED TO BE SUBMITTED WITH THE NOI, BUT IS REQUIRED TO BE KEPT ON SITE DURING ALL PHASES OF CONSTRUCTION. BECAUSE EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION METHODS VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR, THE CONTRACTOR CAN PROPOSE ALTERNATIVE METHODS TO THIS SWPPP THAT ARE EQUAL OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. AT A MINIMUM, THE CONTRACTOR MUST FOLLOW THE EROSION CONTROL PLAN SPECIFIED IN THE CONSTRUCTION PLANS AND DOCUMENTS. ANY MODIFICATIONS TO THIS SWPPP MUST BE DOCUMENTED AND KEPT WITH THE PLAN AS PART OF THE RECORDS KEEPING PROCESS TO BE IN FULL COMPLIANCE WITH THE CGP.

1.4 CONTRACTOR'S / SUBCONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

PRINT & SIGN NAME COMPANY & ADDRESS

NAME & TITLE (PRINT)

SIGNATURE DATE

1.5 RESPONSIBLE AUTHORITY CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

PRINT & SIGN NAME COMPANY & ADDRESS

NAME & TITLE (PRINT)

SIGNATURE DATE

1.6 NOTICE OF TERMINATION (NOT):

THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION OF GENERIC PERMIT COVERAGE (FDEP FORM 62-621.300(6)) UPON CONSTRUCTION COMPLETION TO DISCONTINUE PERMIT COVERAGE. THE NOT IS TO BE SUBMITTED TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. THE NOT CAN NOT BE SUBMITTED UNTIL ALL DISTURBED SOILS AT THE CONSTRUCTION SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.7 APPLICATION INFORMATION:

PROJECT ADDRESS: NINE MILE ROAD
PENSACOLA, FL 32526

LATITUDE: N 30.514016"
LONGITUDE: W 87.355735"

WATER MANAGEMENT DISTRICT: NORTHWEST FLORIDA (NWFWM D)

MS4 OPERATOR NAME: ESCAMBIA COUNTY

RECEIVING WATER NAME: ELEVEN MILE CREEK

2.0 SITE DESCRIPTION:

2.1 NATURE OF CONSTRUCTION ACTIVITIES:

THIS PROJECT INVOLVES THE CONSTRUCTION OF A PHASED RESIDENTIAL AND COMMERCIAL SUBDIVISION. CONSTRUCTION INCLUDES ROADS, UTILITIES AND STORMWATER COLLECTION SYSTEMS.

2.2 SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

- CLEAR, GRUB AND PERFORM ALL DEMOLITION WORK.
- COMPLETE ROUGH GRADING OF THE POND AND DIRECT ALL STORMWATER RUNOFF TO THE POND(S).
- CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEM.
- CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS, AND LANDSCAPING).
- COMPLETE STORMWATER PONDS.

2.3 AREA ESTIMATES:

ONSITE AREA: 18.95 ACRES
OFFSITE AREA: 0 ACRES
TOTAL AREA: 81.95 ACRES
AREA TO BE DISTURBED: 9.43 ACRES

2.4 RUNOFF DATA:

RUNOFF COEFFICIENTS (C):

BEFORE: TOTAL COMPOSITE C = 0.25
DURING: VARIES BETWEEN = 0.20 AND 0.52
AFTER: VARIES BETWEEN = 0.52

SOILS DATA:
THE SOILS LOCATED AT THE SITE ARE PREDOMINATELY VERY LOOSE TO LOOSE SLIGHTLY SILTY SANDS. GROUNDWATER WAS NOT ENCOUNTERED IN THE 15 FT TO 20 FT DEEP TEST BORING. FOR MORE DETAILED SOILS INFORMATION, REFER TO THE GEOTECHNICAL SERVICES REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES.

DRAINAGE AREAS FOR EACH OUTFALL:

OUTFALL LOCATION TOTAL AREA FLOWING TO POND(S) 'C' COEFFICIENT
NORTH BOUNDARY 20.32 0.52

2.5 SITE MAP:

THE CONSTRUCTION PLANS ARE TO BE USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE IDENTIFIED ON THE KEY SHEET OF THE CONSTRUCTION PLANS.

DRAINAGE PATTERNS: ALL DRAINAGE PATTERNS ARE SHOWN ON THE GRADING & DRAINAGE PLANS.

APPROXIMATE SLOPES: APPROXIMATE SLOPES ARE SHOWN ON THE GRADING & DRAINAGE POND SIDE SLOPES ARE SHOWN ON THE POND CROSS-SECTIONS.

AREAS OF SOIL DISTURBANCE: ALL DEMOLITION IS SHOWN ON THE EXISTING SITE CONDITIONS AND DEMOLITION AND EROSION CONTROL PLAN SHEET. ALL PROPOSED CONSTRUCTION IS SHOWN ON THE REMAINING PLANS. ANY AREAS WHERE DEMOLITION WORK OR PERMANENT FEATURES ARE SHOWN ABOVE OR BELOW GROUND WILL BE DISTURBED.

AREAS NOT TO BE DISTURBED: ANY AREAS NOT SHOWING DEMOLITION WORK OR PERMANENT FEATURES ARE ASSUMED NOT TO BE DISTURBED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS ANY OF THESE AREAS THAT DO GET DISTURBED AS WELL AS ANY AREAS USED FOR STAGING AND MATERIALS STORAGE.

LOCATIONS OF CONTROLS: ALL PROPOSED TEMPORARY CONTROLS AND EXISTING PERMANENT CONTROLS ARE SHOWN ON THE EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN. ALL PROPOSED PERMANENT CONTROLS ARE SHOWN ON THE REMAINING PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION OF ANY OTHER CONTROLS ON THE PLANS THAT ARE USED DURING CONSTRUCTION.

PERMANENT STABILIZATION IS SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION ON THE PLANS OF ALL TEMPORARY STABILIZATION PRACTICES USED DURING CONSTRUCTION.

SURFACE WATERS: N/A

DISCHARGE POINTS: ONSITE WETLANDS WITH ULTIMATE DISCHARGE TO ELEVEN MILE CREEK

2.6 RECEIVING WATERS:

EVENTUAL OUTFALL TO PERDIDO BAY

3.0 CONTROLS:

3.1 EROSION AND SEDIMENT CONTROLS:

ALL EROSION AND SEDIMENT CONTROLS SPECIFIED ON THE DEMOLITION AND EROSION CONTROL PLAN SHEETS, AND THE EROSION CONTROL DETAILS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION. SILT FENCING AND STAKED HAY BALES SHALL BE INSTALLED ALONG DOWN-GRADIENT LIMITS.

TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED AFTER 14-DAY INTERVALS OF CEASED DISTURBANCE ACTIVITIES THAT WILL EXCEED 20-DAY PERIODS. GRADED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING, MULCHING, AND FERTILIZING, OR SODDING WITHIN FIVE DAYS OF FINAL GRADING. LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR. PROPOSED DISTURBED AREAS WILL NOT EXCEED 8 ACRES IN ANY DRAINAGE AREA.

3.2 STORMWATER MANAGEMENT:

PROPOSED STORMWATER MANAGEMENT FACILITIES FOR THIS SITE INCLUDE: A DRY RETENTION POND FOR THE ENTIRE PROPERTY.

THE PROPOSED STORMWATER MANAGEMENT FACILITIES MEET ALL STORMWATER TREATMENT REQUIREMENTS AND ALL RATE CONTROL REQUIREMENTS SET FORTH BY THE LOCAL AND STATE REGULATORY AGENCIES.

3.3 OTHER CONTROLS:

WASTE DISPOSAL: THE CONTRACTOR IS RESPONSIBLE FOR ALL WASTE DISPOSAL FROM THE SITE. THE CONTRACTOR SHALL EMPLOY WASTE DISPOSAL PRACTICES THAT MEET ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND PREVENT DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

OFFSITE VEHICLE TRACKING: IF OFF SITE TRACKING OF SEDIMENTS BY CONSTRUCTION VEHICLES OCCURS, THE CONTRACTOR IS REQUIRED TO INSTALL A SOIL TRACKING PREVENTION DEVICE (STPD) AS PER FOOT STANDARD INDEX 106 AT ALL EXITS TO THE SITE WHERE SEDIMENT TRACKING IS OCCURRING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

HAZARDOUS MATERIALS: ALL POLLUTANTS AND HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO FERTILIZERS, HERBICIDES, PESTICIDES, SOLVENTS, OILS AND OIL FILTERS, PETROLEUM PRODUCTS, PAINT, AND EQUIPMENT MAINTENANCE FLUIDS, SHALL BE STORED INDOORS OR UNDER COVER IN AREAS WITH SECONDARY CONTAINMENT. SECONDARY CONTAINMENT PREVENTS A SPILL FROM SPREADING ACROSS THE SITE AND INCLUDES DIKES, BERMS, CURBING, OR OTHER CONTAINMENT METHODS. HAZARDOUS MATERIAL STORAGE AREAS SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. STORAGE AREAS SHALL BE KEPT CLEAN, WELL ORGANIZED, AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES/SPILL KITS AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION SHALL BE MAINTAINED ON-SITE. ALL PERSONNEL SHALL RECEIVE INSTRUCTION REGARDING PROPER PROCEDURES FOR HAZARDOUS MATERIAL HANDLING AND DISPOSAL. HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS; HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REGULATIONS. VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS SHALL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.

APPLICATION OF FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE DELIVERED TO THE SITE IN ORIGINAL, UNOPENED CONTAINERS BEARING MANUFACTURER'S CHEMICAL ANALYSIS, NAME, TRADE NAME, TRADEMARK, AND INDICATION OF CONFORMANCE TO STATE AND FEDERAL LAWS. FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED RATE.

5.0 INSPECTIONS:

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS, BUT NOT LIMITED TO, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.25 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROLS.
- STORMWATER MANAGEMENT SYSTEMS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

6.0 NON-STORMWATER DISCHARGES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY HAZARDOUS SUBSTANCE SPILLS THAT MAY EQUAL OR EXCEED A REPORTABLE QUANTITY (RQ). REFER TO EPA'S LIST OF HAZARDOUS SUBSTANCES AND REPORTABLE QUANTITIES (EPA 40 CFR 302.4 & 117). V THIS LIST CAN BE OBTAINED FROM EPA'S WEBSITE (WWW.EPA.GOV) OR BY CONTACTING EPA. IF AN RQ RELEASE DOES OCCUR THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURES:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT 800-424-8802.
- PROVIDE WRITTEN DESCRIPTION OF THE RELEASE WITHIN 14 DAYS PROVIDING DATES, CAUSE AND PREVENTION METHODS TO THE REGIONAL EPA OFFICE.
- MODIFY THE SWPPP AS NECESSARY TO ADDRESS ADDED PREVENTION METHODS.

7.0 IMPLEMENTATION CHECKLIST:

7.1 RECORDS:

THE CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
- DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY CEASE ON A PORTION OF THE SITE.
- DATES WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE ON A PORTION OF THE SITE.
- DATES WHEN STABILIZATION MEASURES ARE INITIATED ON THE SITE.

7.2 INSPECTION REPORTS:

THE CONTRACTOR SHALL PREPARE INSPECTION REPORTS SUMMARIZING THE FOLLOWING, BUT NOT LIMITED TO:

- NAME OF INSPECTOR.
- QUALIFICATIONS OF INSPECTOR.
- MEASURES/AREAS INSPECTED.
- OBSERVED CONDITIONS.
- CHANGES NECESSARY TO THE SWPPP.

7.3 RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS:

THE CONTRACTOR SHALL REPORT ANY RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS IF THEY OCCUR AS PER THE MEASURES OUTLINED IN SECTION 6.0 OF THE SWPPP.

7.4 SWPPP MODIFICATION:

THE CONTRACTOR SHALL MODIFY THE SWPPP AS NECESSARY TO:

- COMPLY WITH MINIMUM PERMIT REQUIREMENTS WHEN NOTIFIED BY FDEP THAT THE PLAN DOES NOT COMPLY.
- ADDRESS ANY CHANGES IN DESIGN, CONSTRUCTION OPERATIONS OR MAINTENANCE, WHICH HAS AN EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PREVENT REOCCURRENCE OF REPORTABLE QUANTITY RELEASES OF HAZARDOUS MATERIAL OR OIL.

8.0 TERMINATION CHECKLIST:

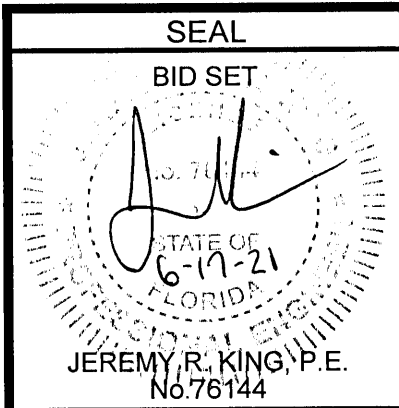
THE FOLLOWING ITEMS SHALL BE COMPLETE BEFORE SUBMITTING THE NOT:

- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME.
- ALL AREAS OF THE CONSTRUCTION SITE NOT OTHERWISE COVERED BY PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR EQUIVALENT MEASURES HAVE BEEN EMPLOYED.

NPDES - STORMWATER
POLLUTION PREVENTION
PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

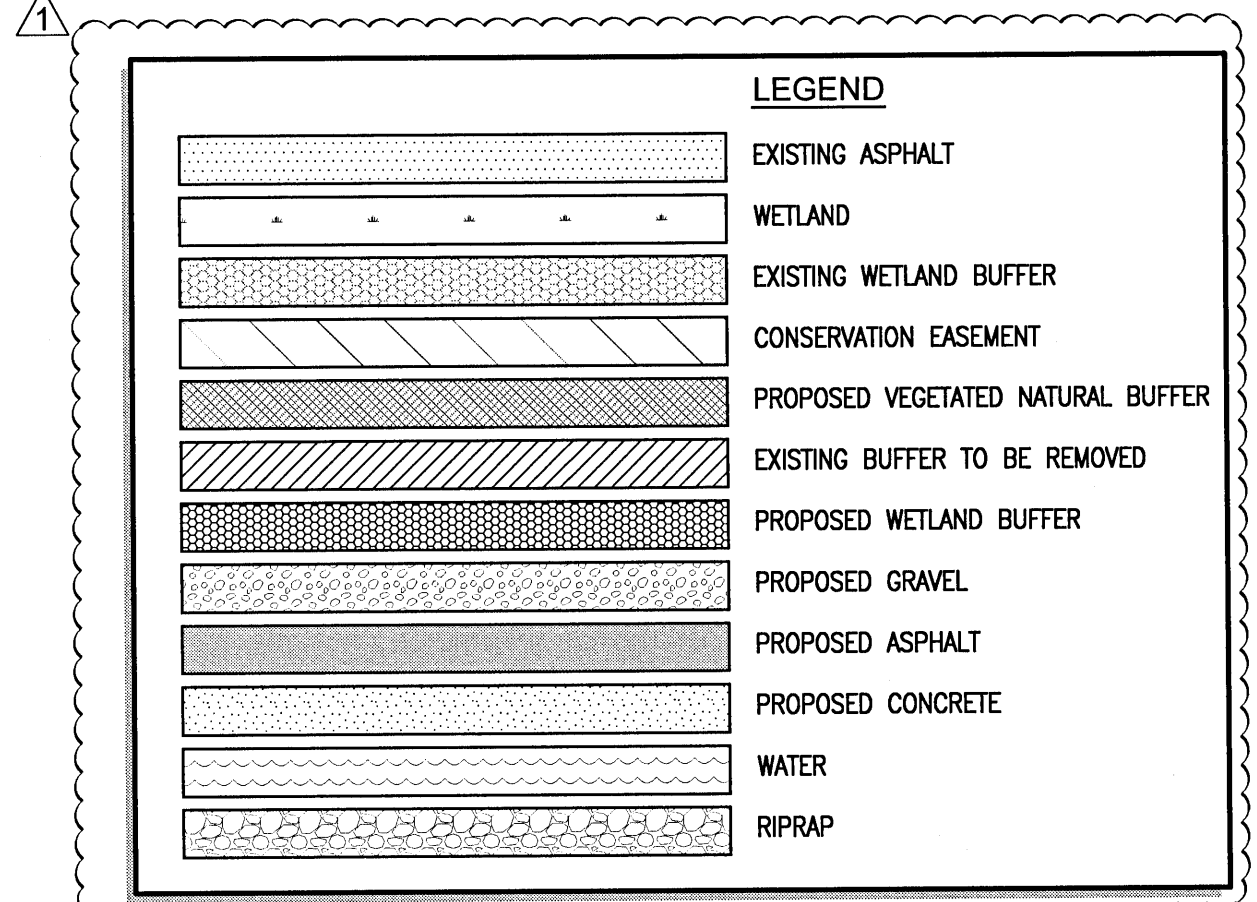
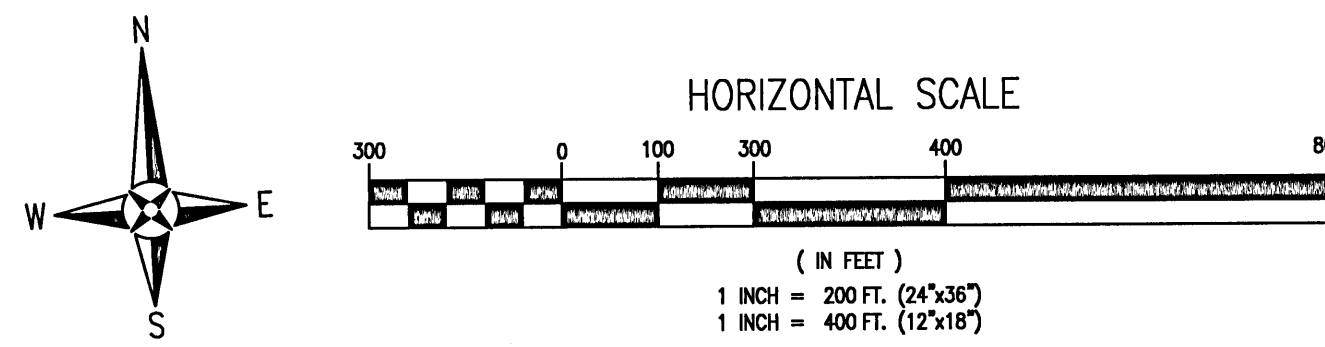
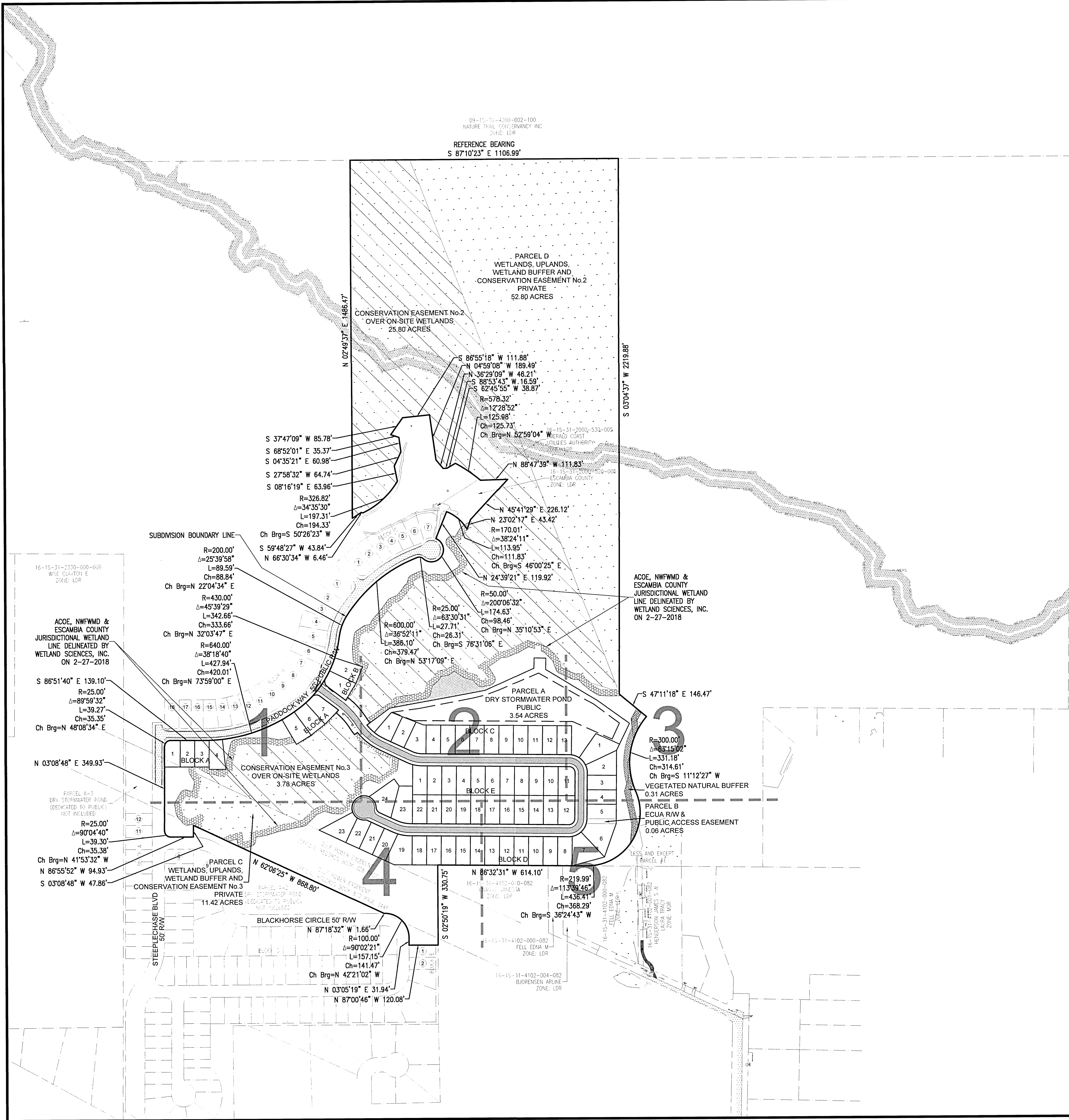
No.	DATE	REVISION	
		ESCO	COMMENTS
1	4/1/2021		



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

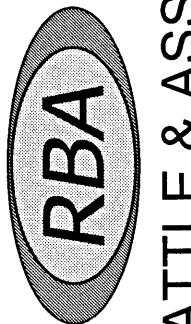
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SIDEWALK NOTE:

1. SIDEWALKS ADJACENT TO COMMON AREAS OF NOT ADJACENT TO RESIDENTIAL LOTS SHALL BE CONSTRUCTED BY THE GENERAL CONTRACTOR/DEVELOPER PRIOR TO FINAL PLAT APPROVAL. SIDEWALKS ADJACENT TO RESIDENTIAL LOTS SHALL BE CONSTRUCTED BY HOME BUILDER.
2. ALL SIDEWALKS AND DRIVEWAYS AND CURB RAMPS SHALL BE BUILT TO THE LATEST ADDITION OF COUNTY STANDARDS/ADA STANDARDS AND DESIGN STANDARDS.



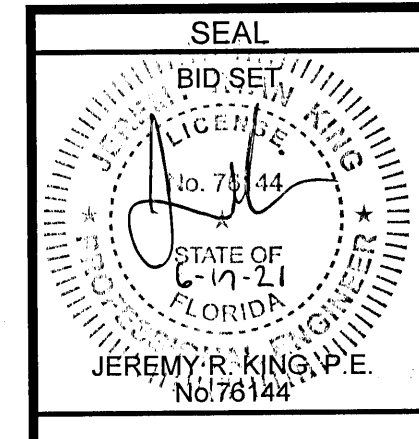
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
ES 0008957

OVERALL SITE LAYOUT

Bridlewood 2nd Addition

A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

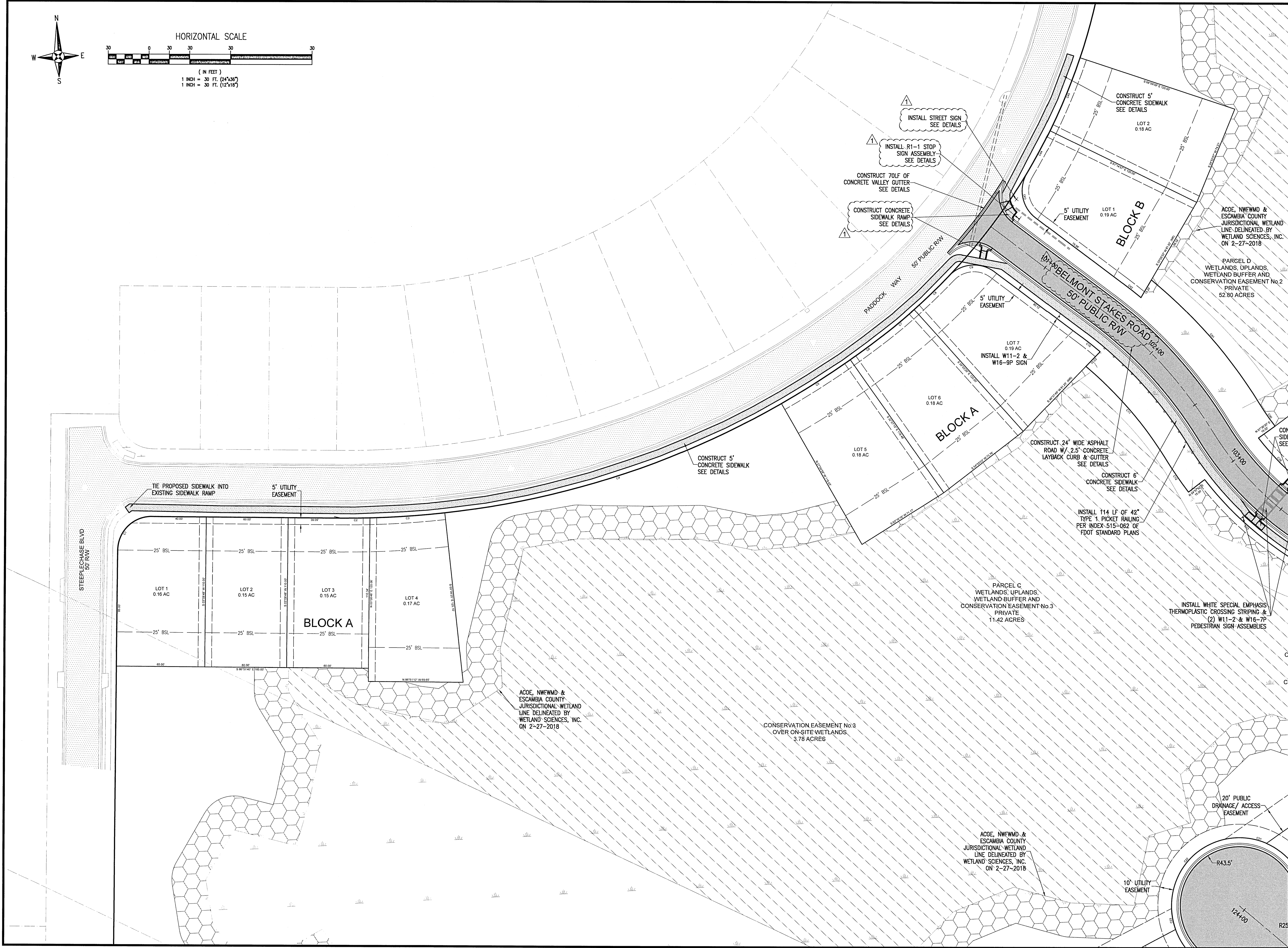
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Job No.: 2017.274
Date: 6/16/2021

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2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 904.438.0448
Fax: 904.438.0448
E-mail: info@rba-engineers.com

**SITE LAYOUT & DIMENSION
PLAN**

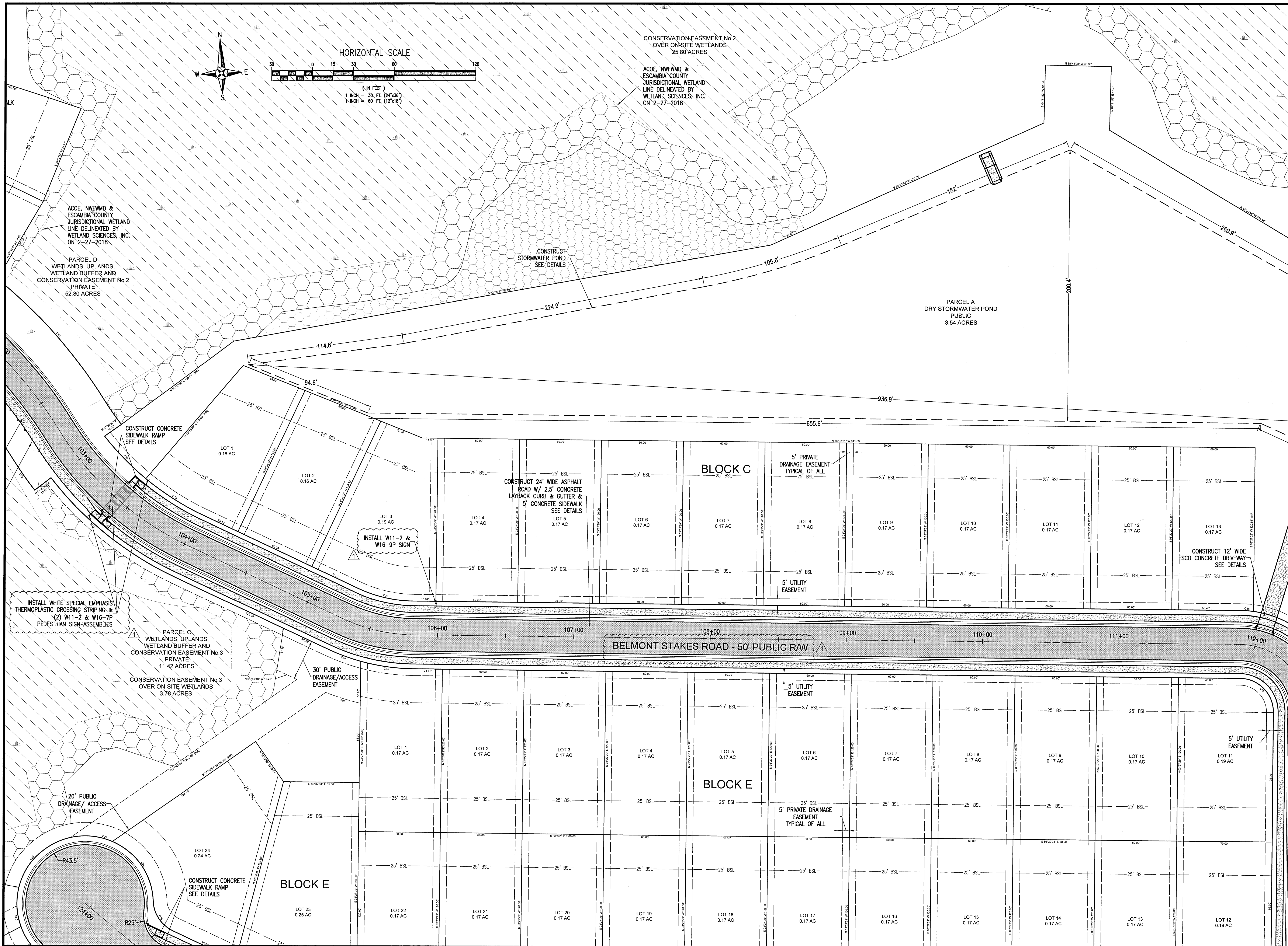
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		

SEAL
JEREMY R. KING, P.E.
No. 76144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C2.1



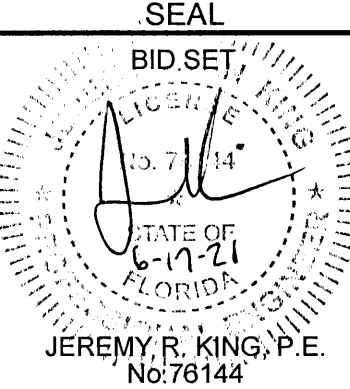


REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Tampa, Florida 33606
Telephone 850.438.0400 Fax 850.438.0448
EE 0000857

SITE LAYOUT & DIMENSION
PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		

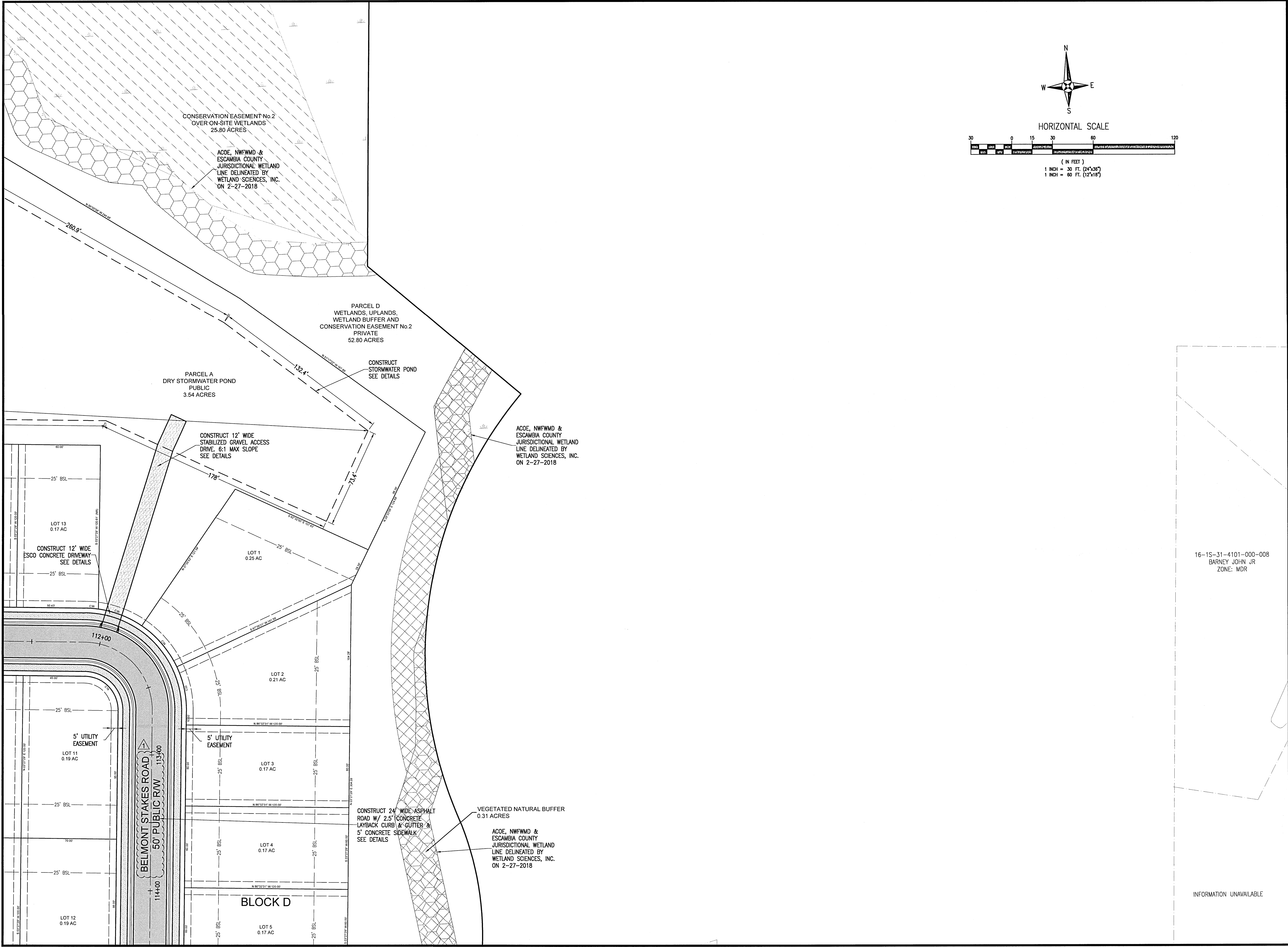


SEAL
BID SET
JEREMY R. KING, P.E.
No. 76144
STATE OF FLORIDA
EXPIRATION DATE 12-31-21

Dr. By: CBD
Chk By: JRK
Job No.: 2017.274
Date: 6/16/2021

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Civil Engineers and Surveyors

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Telephone 850.438.0400 Fax 850.438.0448
EB 0000857

SITE LAYOUT & DIMENSION
PLAN

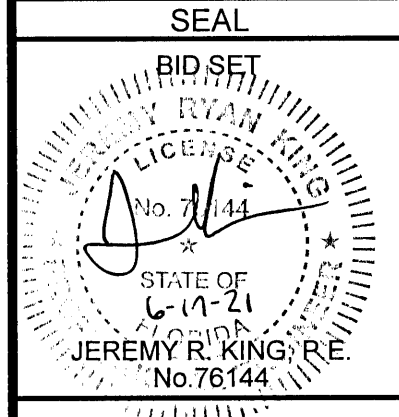
Bridlewood 2nd Addition

A 69 LOT SUBDIVISION

STEEPLECHASE BOULEVARD

ESCAMBIA COUNTY, FLORIDA

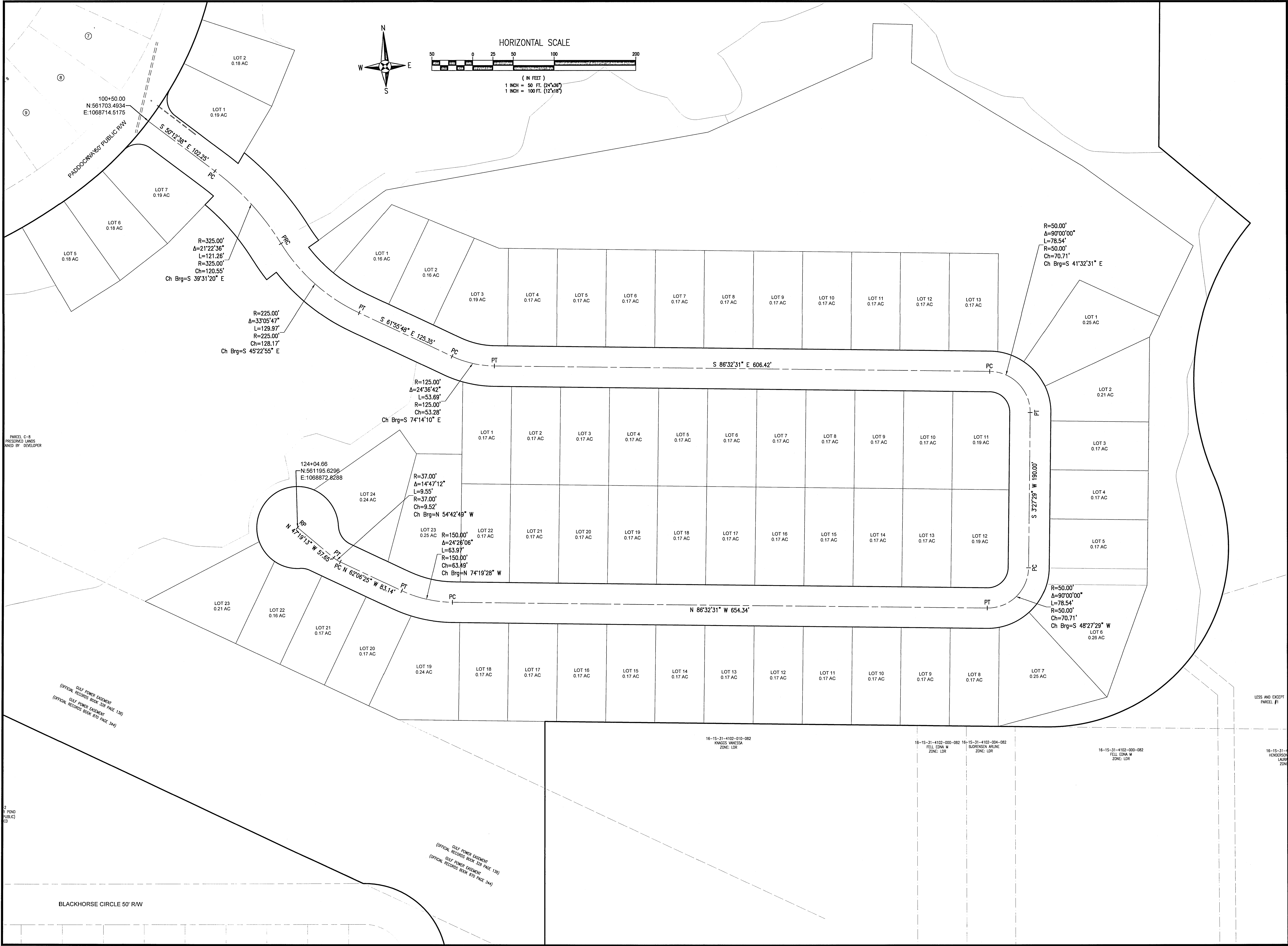
No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

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EB 0000657

OVERALL SITE LAYOUT

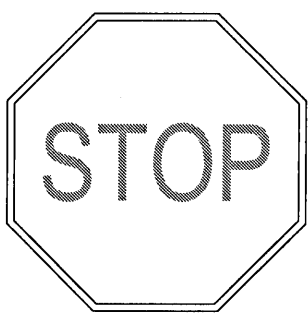
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
JEREMY R. KING, P.E.
No. 76144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C2.6



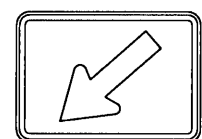
FDOT STANDARD
R1-1
2'-6" x 2'-6"
N.T.S.



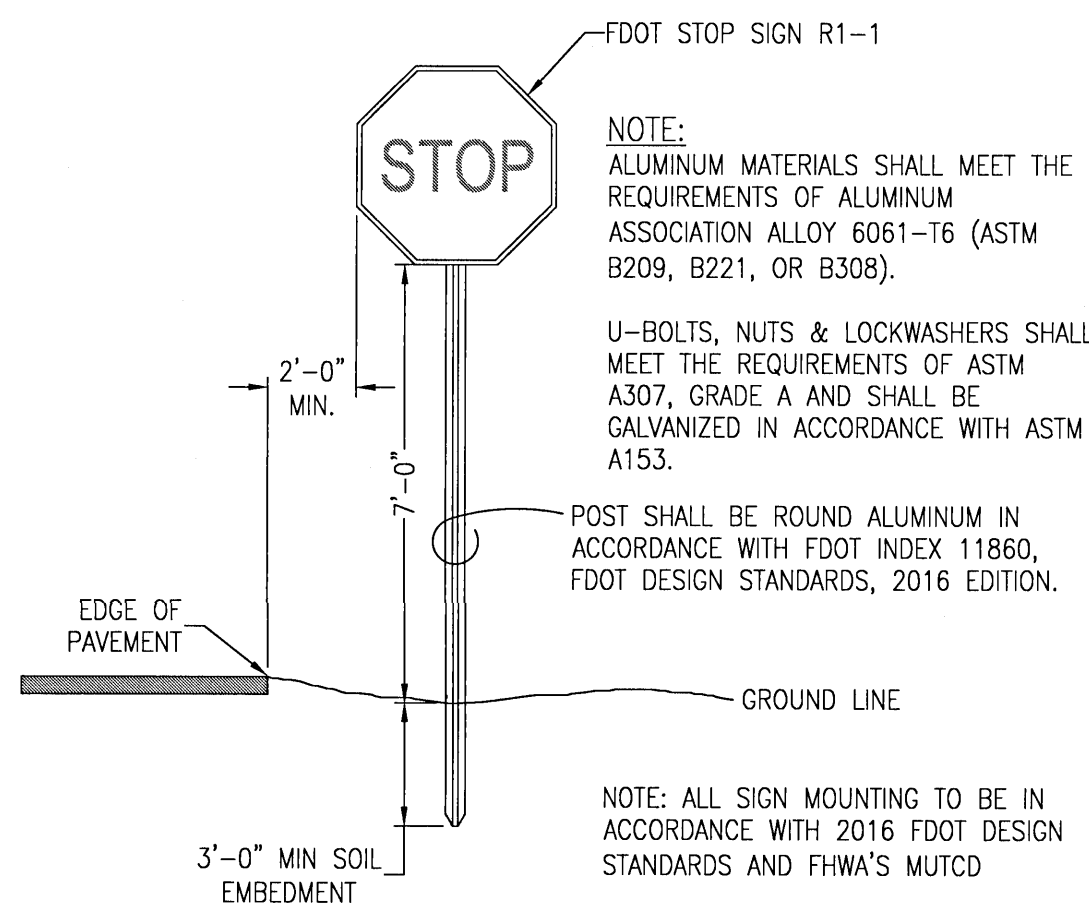
FDOT STANDARD
W11-2
30" x 30"
N.T.S.



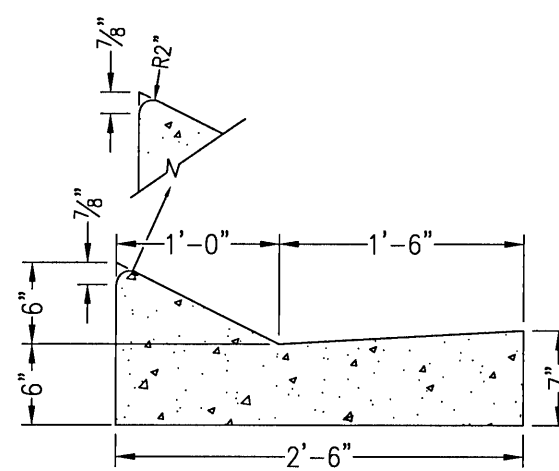
FDOT STANDARD
W16-9p
24" x 12"
N.T.S.



FDOT STANDARD
W16-7p
24" x 12"
N.T.S.



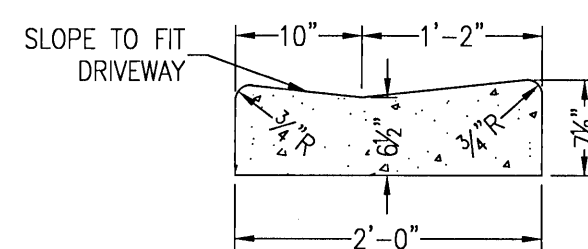
SIGN MOUNTING DETAIL
N.T.S.



- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.
 3. ALL CONCRETE SHALL BE 3000 psi AT 28 DAYS.

LAYBACK CURB & GUTTER

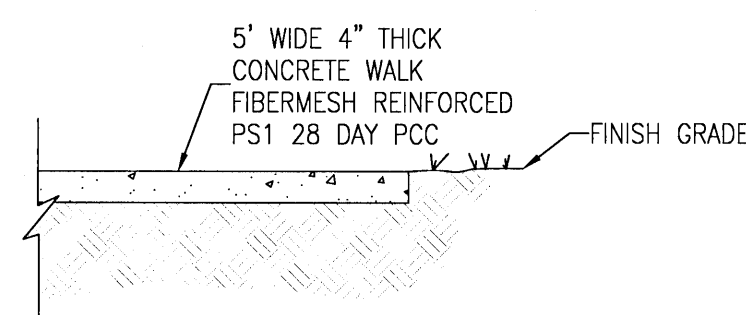
N.T.S.



- NOTE:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

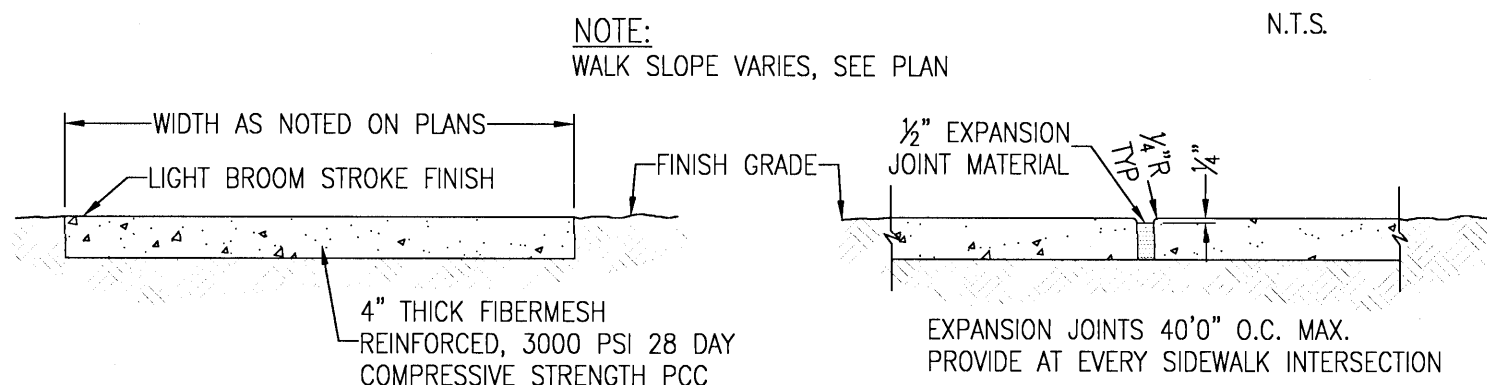
VALLEY CURB

N.T.S.

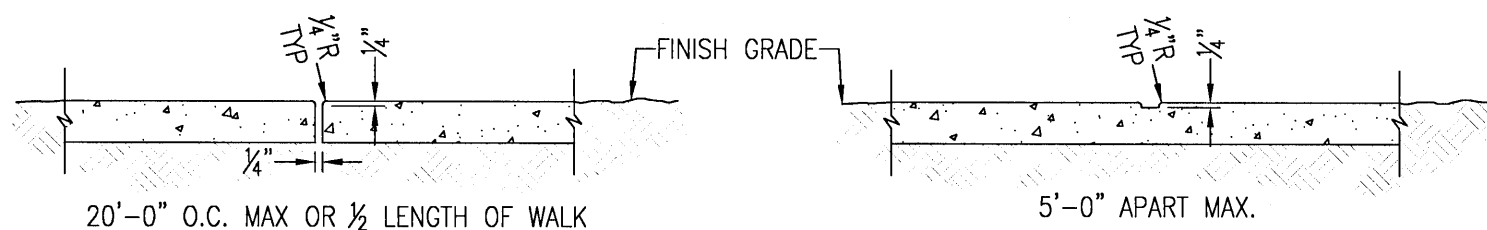


SIDEWALK DETAIL

N.T.S.



WALK SECTION



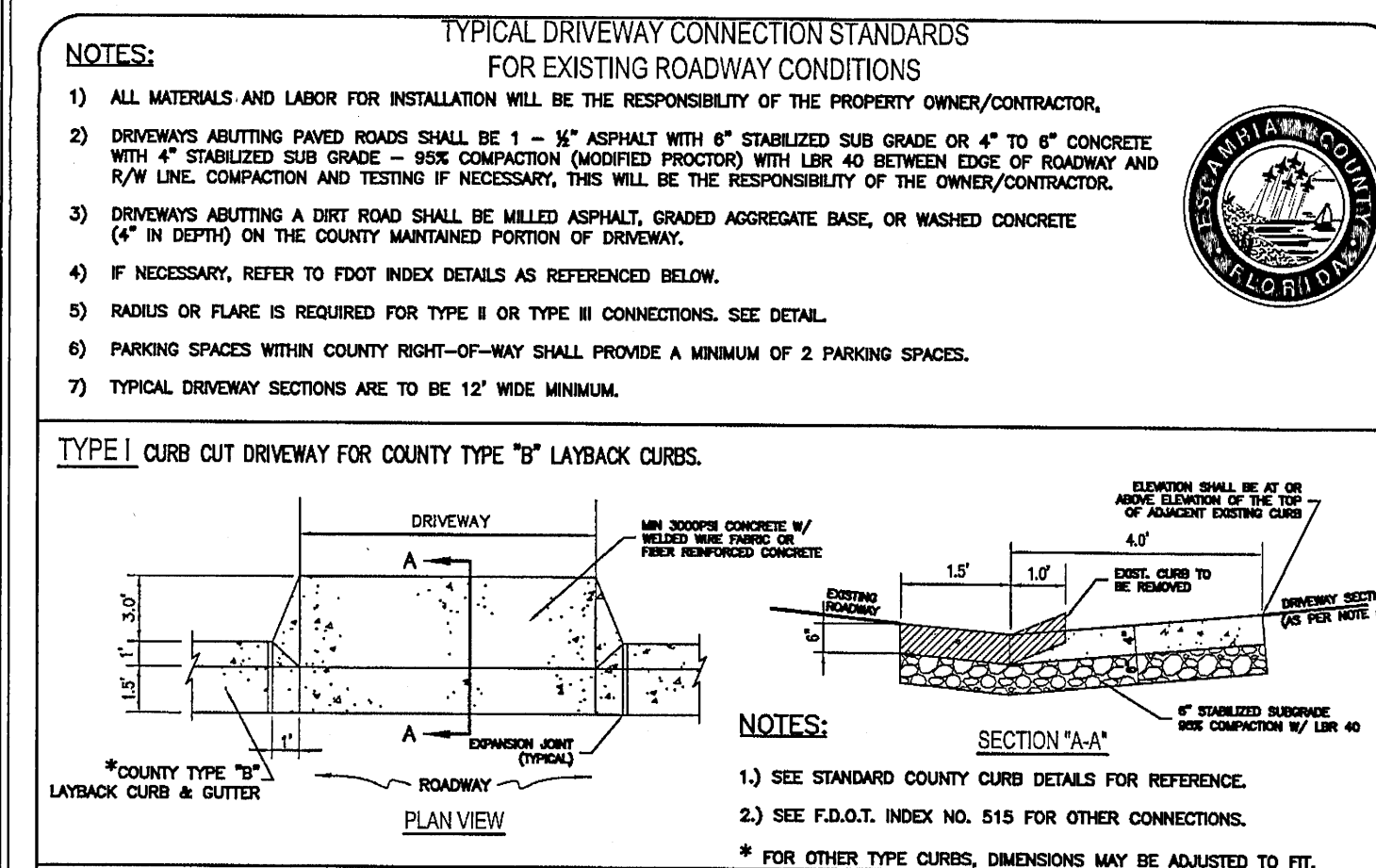
EXPANSION JOINT

CONSTRUCTION JOINT

DUMMY GROOVE

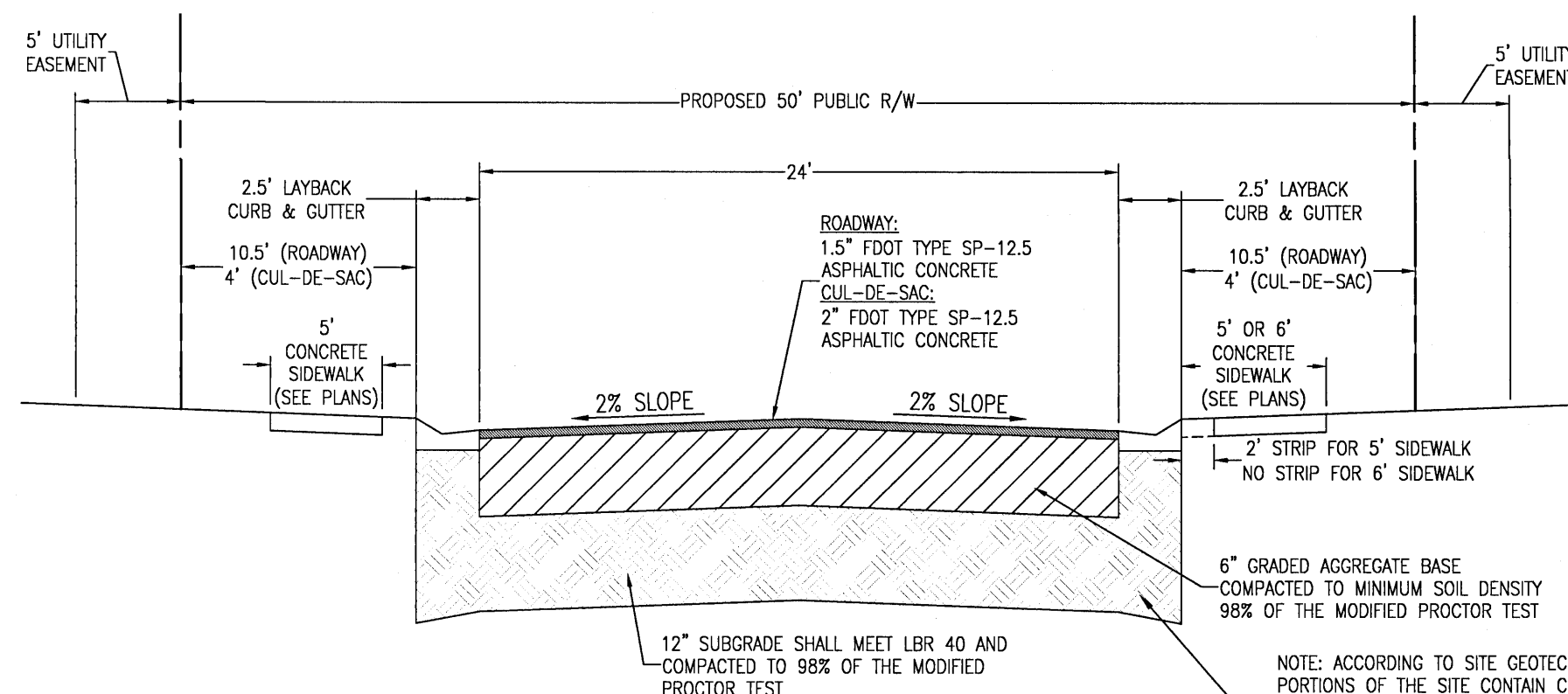
SIDEWALK DETAILS

N.T.S.



TYPICAL CROWNED ROAD SECTION

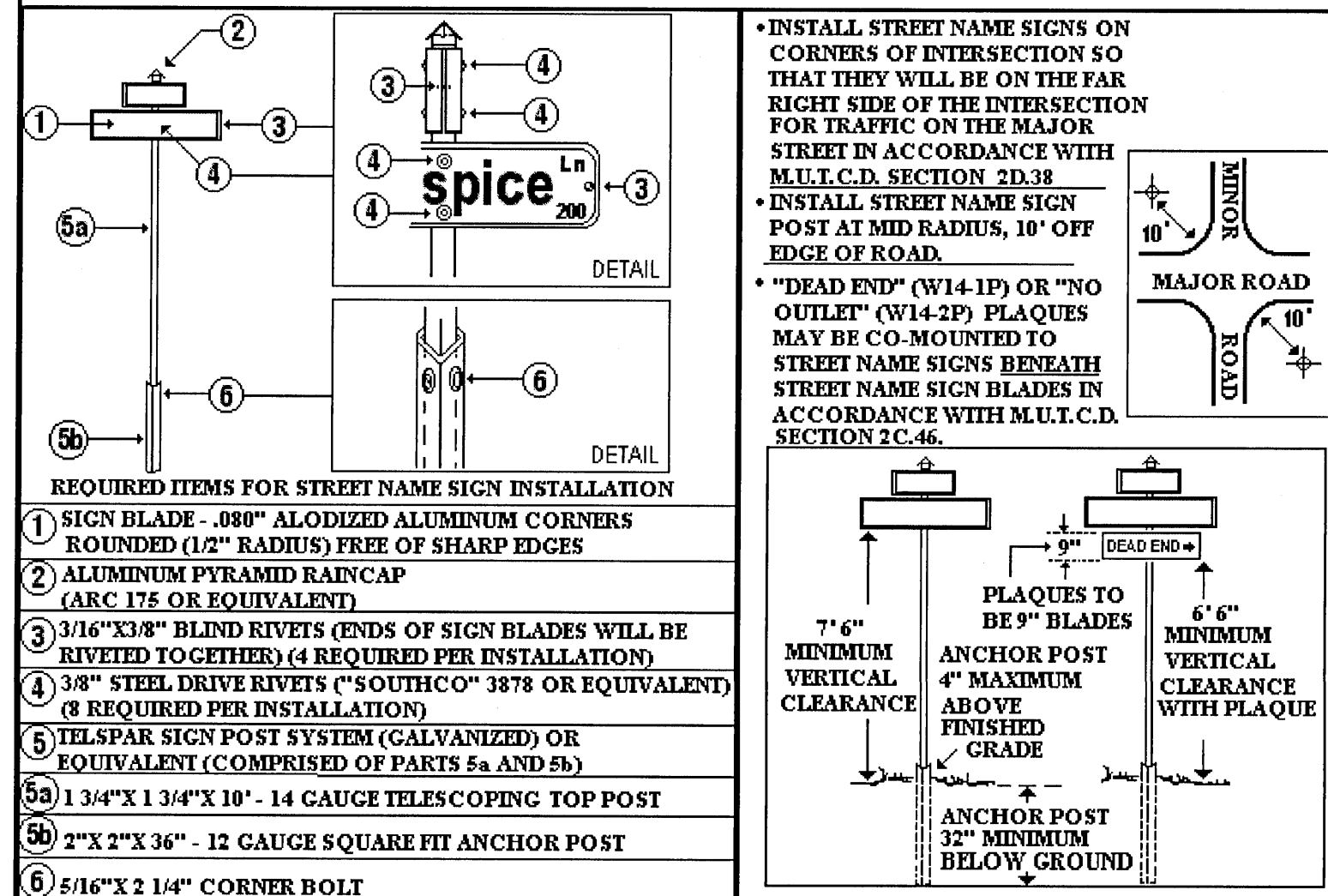
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TYPICAL CROWNED ROAD SECTION

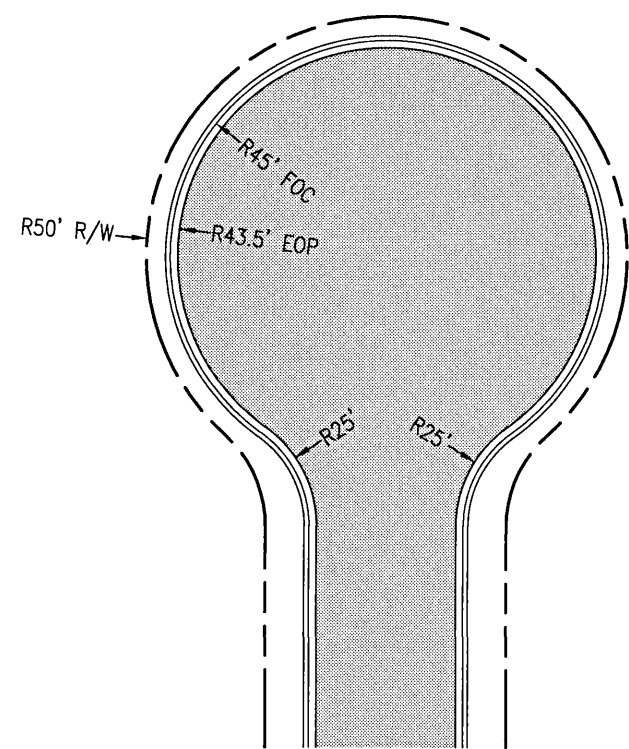
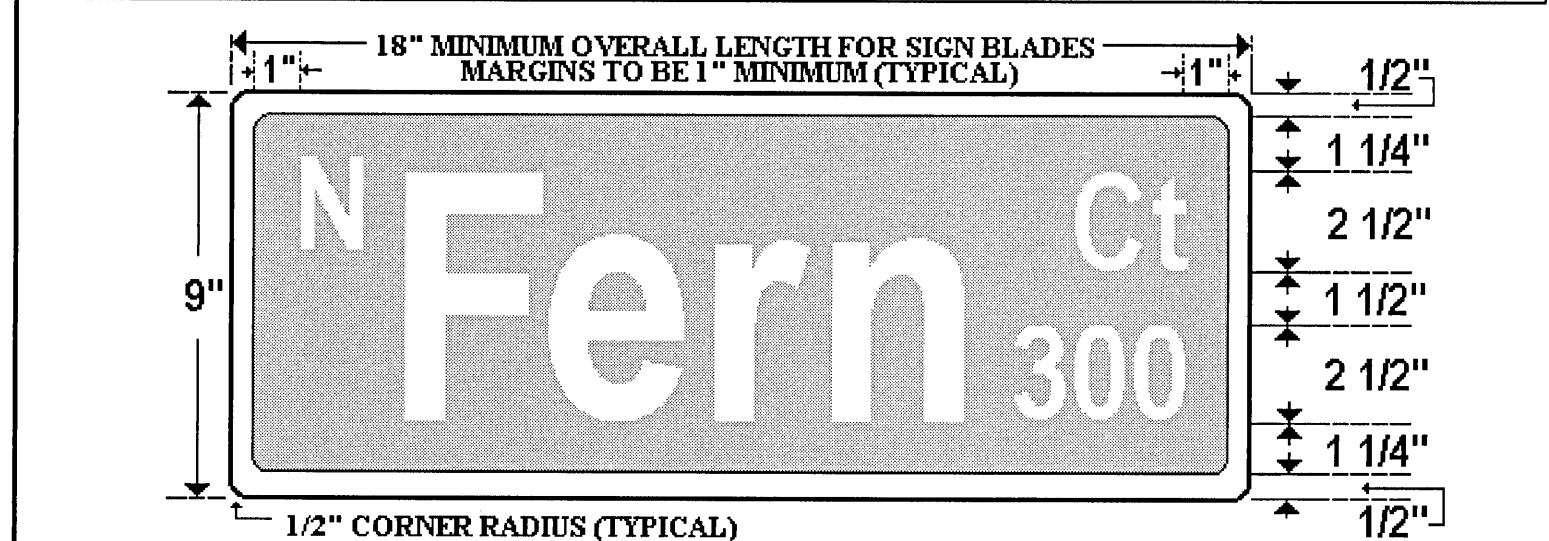
N.T.S.

STANDARD DETAILS FOR INSTALLATION AND LOCATION OF STREET NAME SIGNS



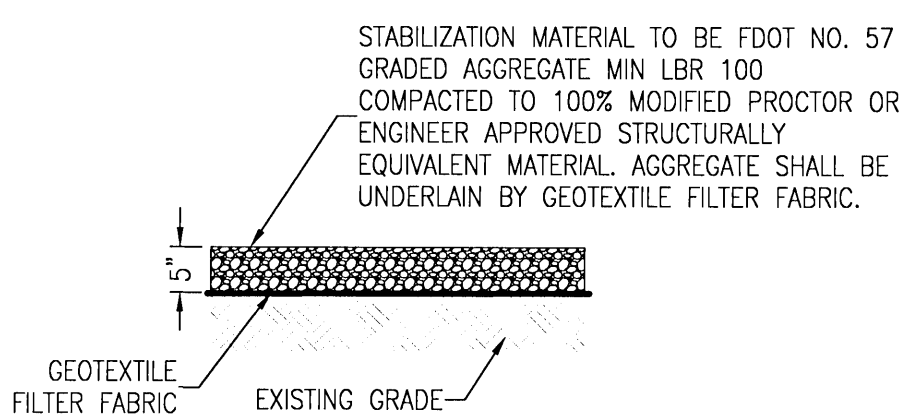
STANDARD DETAILS FOR STREET NAME SIGN BLADE LAYOUT

- F.D.O.T. TYPE III-A REFLECTIVE SHEETING TO BE USED ON ALL STREET NAME SIGN BLADES.
- STREET NAME SIGN BLADES TO HAVE WHITE LEGENDS, 1/2" WHITE BORDERS AND GREEN BACKGROUND.
- PRIMARY LETTERING TO SERIES B, 6" UPPER CASE AND 4 1/2" LOWER CASE.
- PREFIX AND SUFFIX LETTERING TO BE SERIES C, 2 1/2" UPPER CASE AND 1 3/4" LOWER CASE.



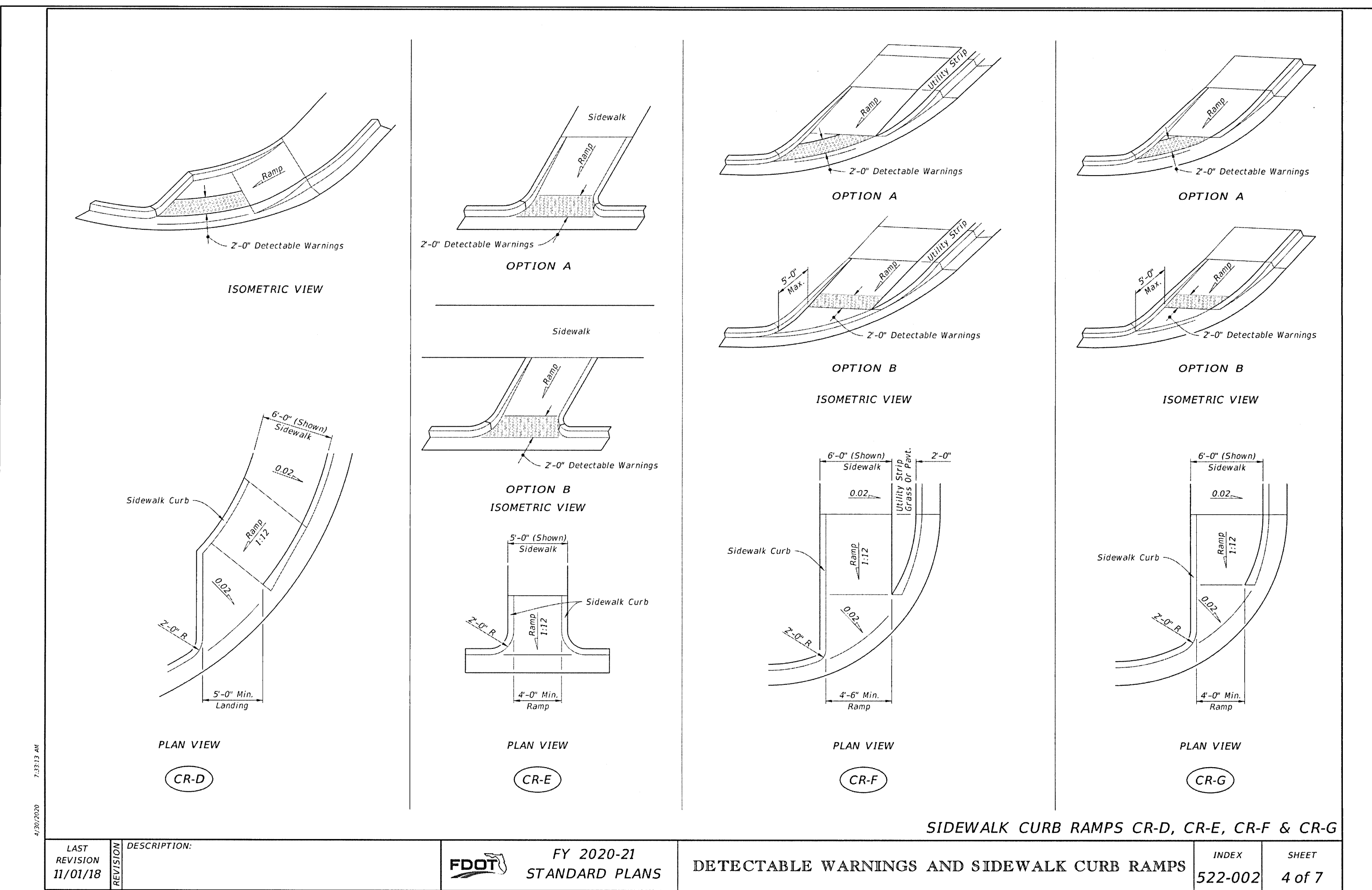
TYPICAL ESCAMBIA COUNTY
CUL-DE-SAC DETAIL

N.T.S.



STABILIZED GRAVEL
DRIVE SECTION

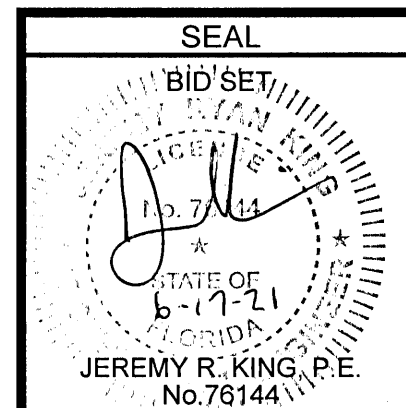
N.T.S.



DETAILS

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C2.7

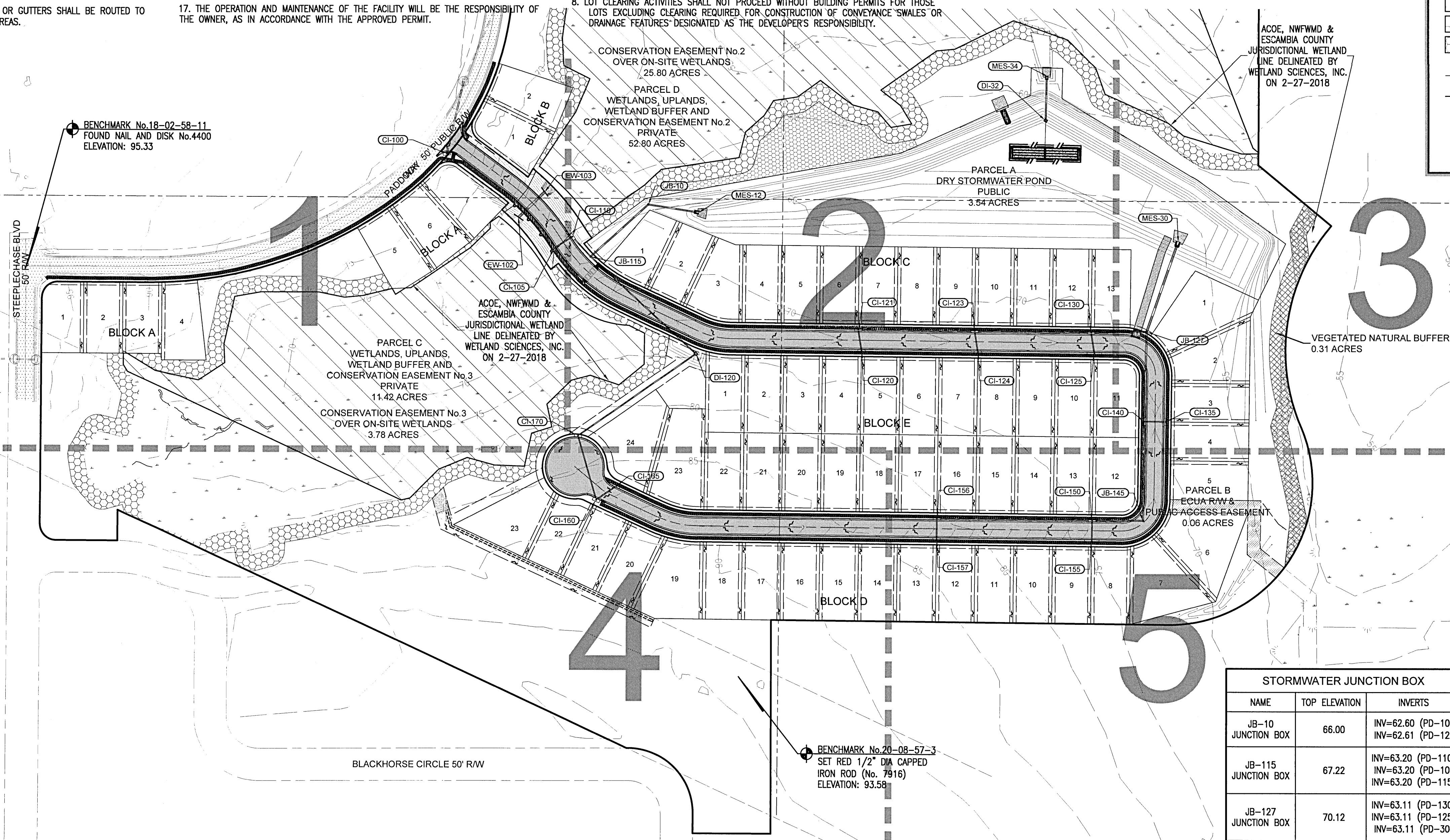
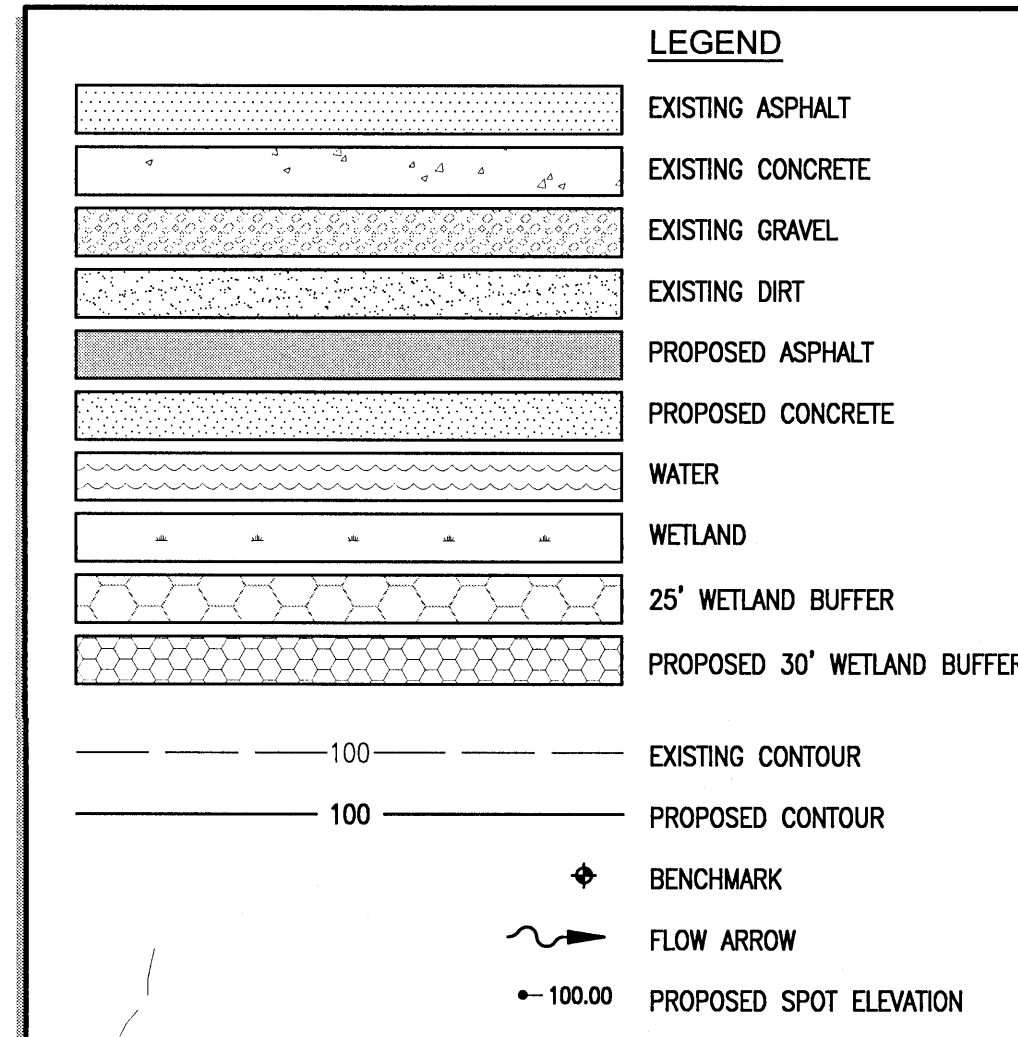
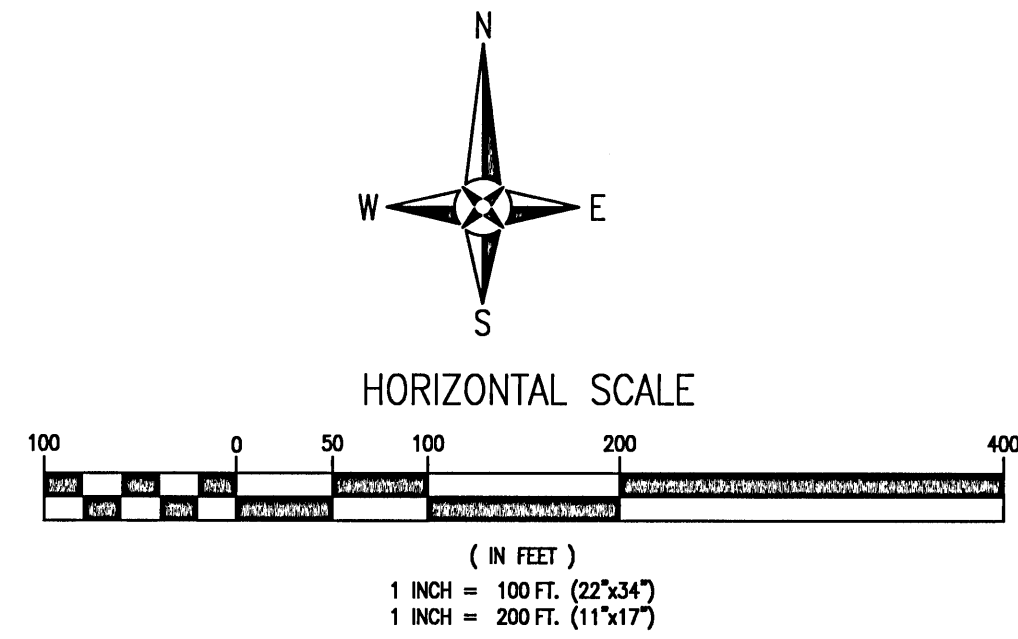
GRADING & DRAINAGE NOTES:

1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
2. NOTIFY SUNSHINE 811 A MINIMUM OF 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (CALL - 811)
3. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
4. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH AND/OR HYDROSEED. SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105
5. DEVELOPER/CONTRACTOR/HOME OWNER'S ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
6. ON SITES > 1 ACRE, IF > CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
7. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1" RAINFALL OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWMD.
8. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE (RIGHT-OF-WAY TO REMAIN PRIVATE). IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
9. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

10. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
11. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
12. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING FINAL INSPECTION.
13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
15. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION COMMENCEMENT NOTICE FORM 62-330.350(1).
16. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "AS BUILT" CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATIONAL PHASE FOR 62-330.310(1) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
17. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

18. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
 19. MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
 20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 21. CONTRACTOR SHALL NOTIFY EOR OF ANY PERCHED GROUNDWATER ENCOUNTERED ON SITE. THE PRESENCE OF PERCHED GROUNDWATER MAY NECESSITATE THE INSTALLATION OF ROADSIDE UNDERDRAINS.
- ADDITIONAL RESPONSIBILITIES OF HOMEOWNER:**
1. SIDE YARD SWALES SHALL BE BUILT BY HOMEOWNER. THE CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR.
 2. HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF SIDE YARD SWALES.
 3. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
 4. DISTURBED AREAS NOT PAVED SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS.
 5. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD.
 6. THE HOMEOWNER SHALL COMPLY WITH THE STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMIT WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONSITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 7. ALL NEW ROOF RUNOFF, DOWNSPOUTS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND.
 8. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.

9. NO FENCES SHALL BE CONSTRUCTED IN PUBLIC OR PRIVATE DRAINAGE/ACCESS EASEMENTS.
10. FENCES OR OTHER STRUCTURES IN 10' PRIVATE DRAINAGE EASEMENT SHALL NOT IMPEDE STORMWATER FLOW.
11. BUILDING SETBACKS:
FRONT = 25'
SIDE = 10% OF LOT WIDTH
REAR = 25'
12. STEM WALL FOUNDATIONS OR RETAINING WALLS MAY BE REQUIRED TO COMPLY WITH LOT GRADING PLAN. ANY RETAINING WALL TALLER THAN 2-FT SHALL BE PERMITTED THROUGH THE BUILDING INSPECTION DEPARTMENT PRIOR TO CONSTRUCTION.
13. ALL NATURAL VEGETATION LOCATED WITHIN THE DESIGNATED GREEN BELT AREAS SHALL REMAIN UNDISTURBED. REMOVAL OF THIS VEGETATION IS PROHIBITED.



DRAINAGE INFRASTRUCTURE TOTALS

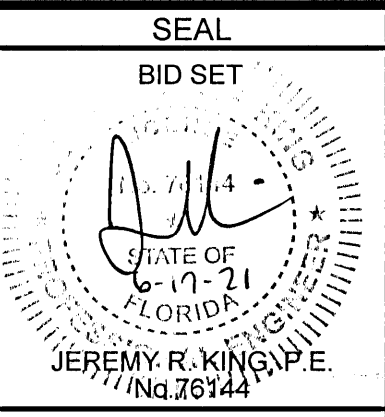
TOTAL LINEAR FEET OF PIPE INSTALLED	2501
TOTAL NUMBER OF STORMWATER MANHOLES INSTALLED	4
TOTAL NUMBER OF CURB INLETS INSTALLED	17
TOTAL NUMBER OF DITCH BOTTOM INLETS INSTALLED	2
TOTAL NUMBER OF OUTFALLS INSTALLED	3

NAME	INVERT
EW-102	INV=61.80 (PD-100)
EW-103	INV=61.50' (PD-100)
MES-12	INV=62.22' (PD-12)
MES-30	INV=62.00' (PD-30)
MES-34	INV=56.00' (PD-32)

NAME	TOP ELEVATION	INVERTS
DI-32	65.00	INV=56.55 (PD-32)
TYPE 'D' OUTFALL STRUCTURE W/ 12"x16"W SLOT		
DI-120	72.50	INV=69.00 (PD-20)
TYPE 'C' INLET W/ 6" SLOT (NW)		INV=67.18 (PD-115)

CURB INLET		
NAME & DESCRIPTION	ELEVATIONS	INVERTS
CI-105 TYPE A CURB INLET	TOP=67.65 EOP=67.23 THROAT=66.82	INV=63.57 (PD-105)
CI-110 TYPE A CURB INLET	TOP=67.65 EOP=67.23 THROAT=66.82	INV=63.41 (PD-105) INV=63.41 (PD-110)
CI-120 TYPE A CURB INLET	TOP=72.01 EOP=71.59 THROAT=71.18	INV=66.61 (PD-121)
CI-121 TYPE A CURB INLET	TOP=72.04 EOP=71.62 THROAT=71.21	INV=66.44 (PD-121) INV=66.44 (PD-122)
CI-123 TYPE A CURB INLET	TOP=70.96 EOP=70.54 THROAT=70.13	INV=65.54 (PD-123) INV=65.38 (PD-124) INV=65.54 (PD-122)
CI-124 TYPE A CURB INLET	TOP=70.93 EOP=70.51 THROAT=70.10	INV=65.38 (PD-123)
CI-125 TYPE DOUBLE A CURB INLET	TOP=69.90 EOP=69.48 THROAT=69.07	INV=63.87 (PD-120)
CI-130 TYPE A CURB INLET	TOP=69.90 EOP=69.48 THROAT=69.07	INV=63.71 (PD-120) INV=63.87 (PD-125) INV=63.87 (PD-124)
CI-135 TYPE A CURB INLET	TOP=70.17 EOP=69.75 THROAT=69.34	INV=65.16 (PD-140)
CI-140 TYPE A CURB INLET	TOP=70.17 EOP=69.75 THROAT=69.34	INV=64.67 (PD-140) INV=64.67 (PD-145) INV=64.67 (PD-130)
CI-150 TYPE A CURB INLET	TOP=73.01 EOP=72.59 THROAT=72.18	INV=69.00 (PD-155) INV=69.00 (PD-150) INV=69.00 (PD-156)
CI-155 TYPE DOUBLE A CURB INLET	TOP=73.01 EOP=72.59 THROAT=72.18	INV=69.50 (PD-155)
CI-156 TYPE A CURB INLET	TOP=81.08 EOP=80.66 THROAT=80.25	INV=75.50 (PD-157) INV=75.50 (PD-156)
CI-157 TYPE A CURB INLET	TOP=81.08 EOP=80.66 THROAT=80.25	INV=75.00 (PD-157)
CI-160 TYPE A CURB INLET	TOP=85.70 EOP=85.28 THROAT=84.87	INV=79.00 (PD-160) INV=79.00 (PD-165)
CI-165 TYPE A CURB INLET	TOP=86.06 EOP=85.64 THROAT=85.23	INV=79.69 (PD-160)
CI-170 TYPE A CURB INLET	TOP=83.26 EOP=82.84 THROAT=82.43	INV=77.47 (PD-20) INV=77.47 (PD-165)

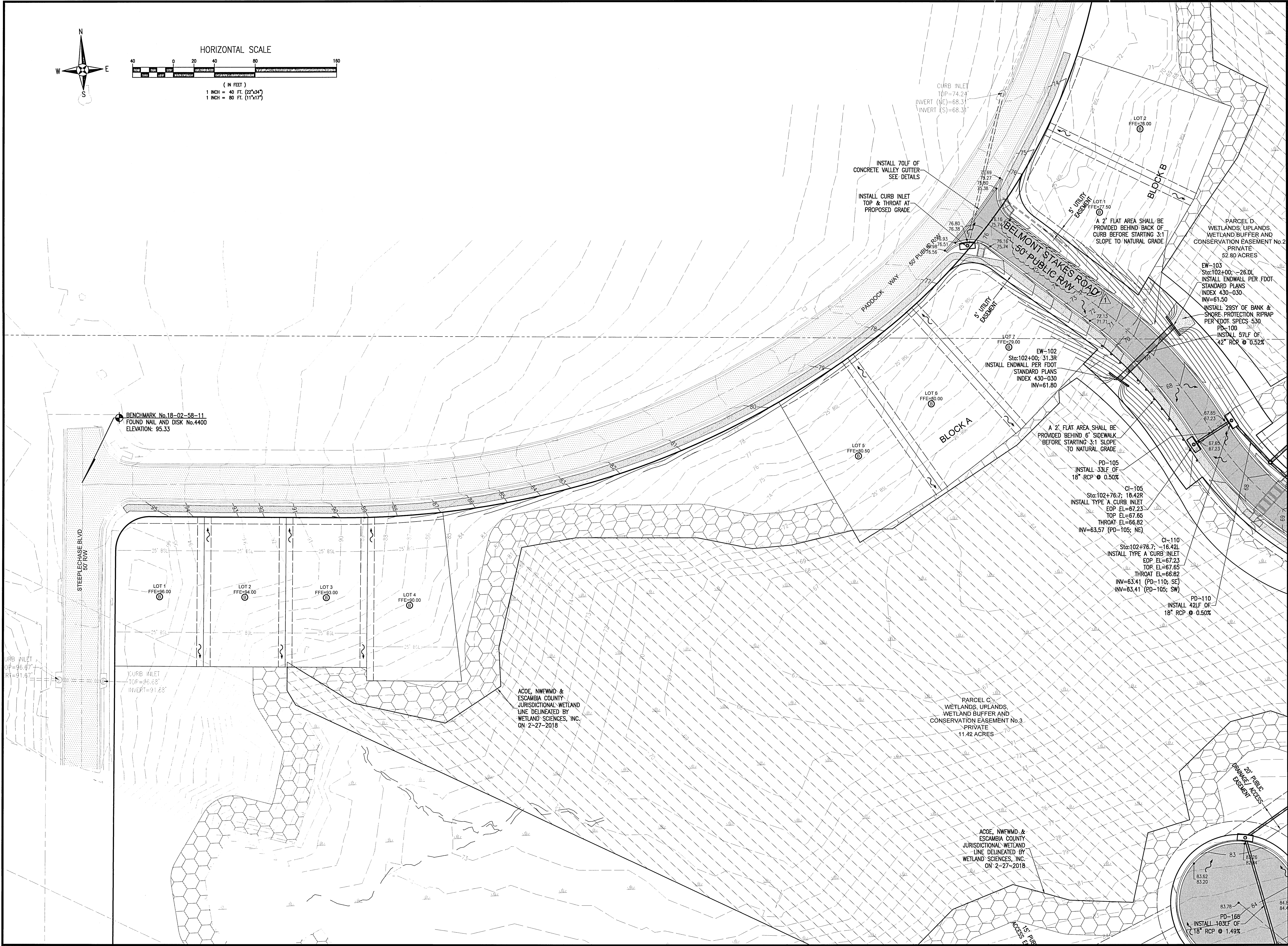
No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C3.0



RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2200 N. Highway 90, Suite 300
Tampa, Florida 33605
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657

OVERALL GRADING & DRAINAGE PLAN

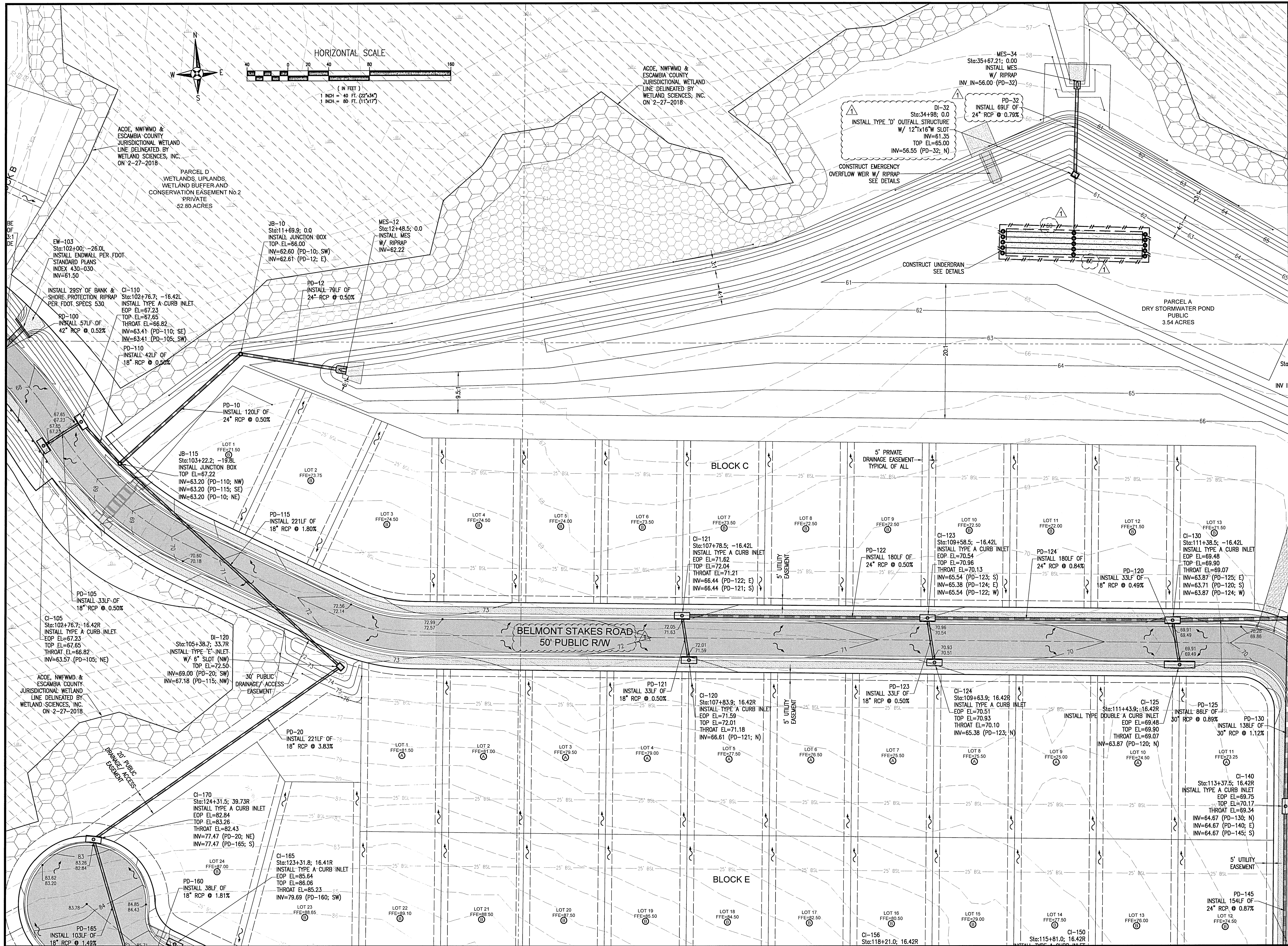
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

SEAL
BID SET
LICENSE
No. 71142
STATE OF FLORIDA
JEREMY R. KING
No. 78144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021
DRAWING No.
C3.1

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Palm Beach, Florida 33480
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OVERALL GRADING &
DRAINAGE PLAN

Bridlewood 2nd Addition

A 69 LOT SUBDIVISION

STEEPLECHASE BOULEVARD

ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		

SEAL

STATE OF FLORIDA

REGISTERED PROFESSIONAL ENGINEER

NO. 76144

JEREMY R. KING, P.E.

Dr. By: CBD

Ck By: JRK

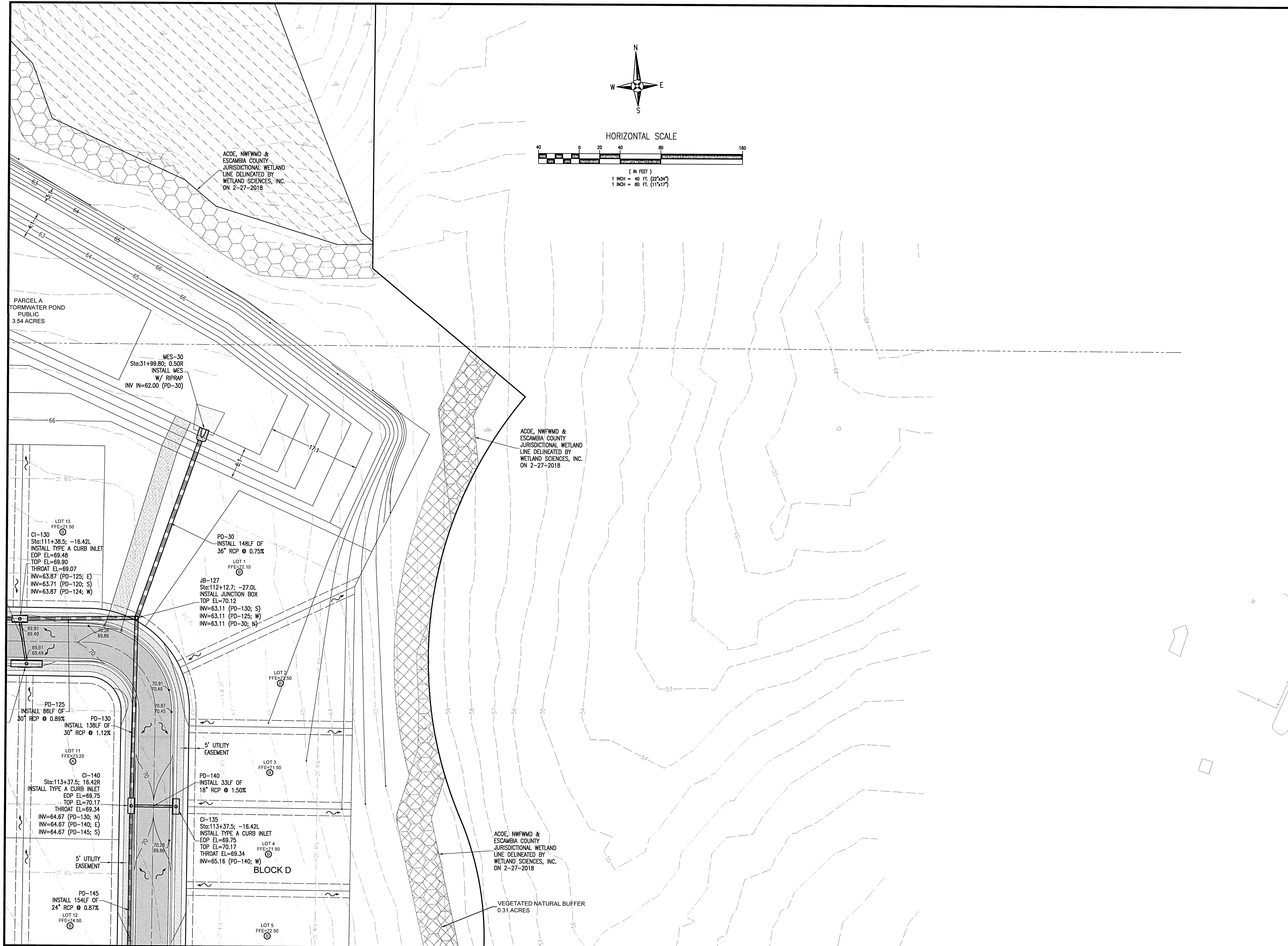
Job No.: 2017.274

Date: 6/16/2021

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OVERALL GRADING &
DRAINAGE PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

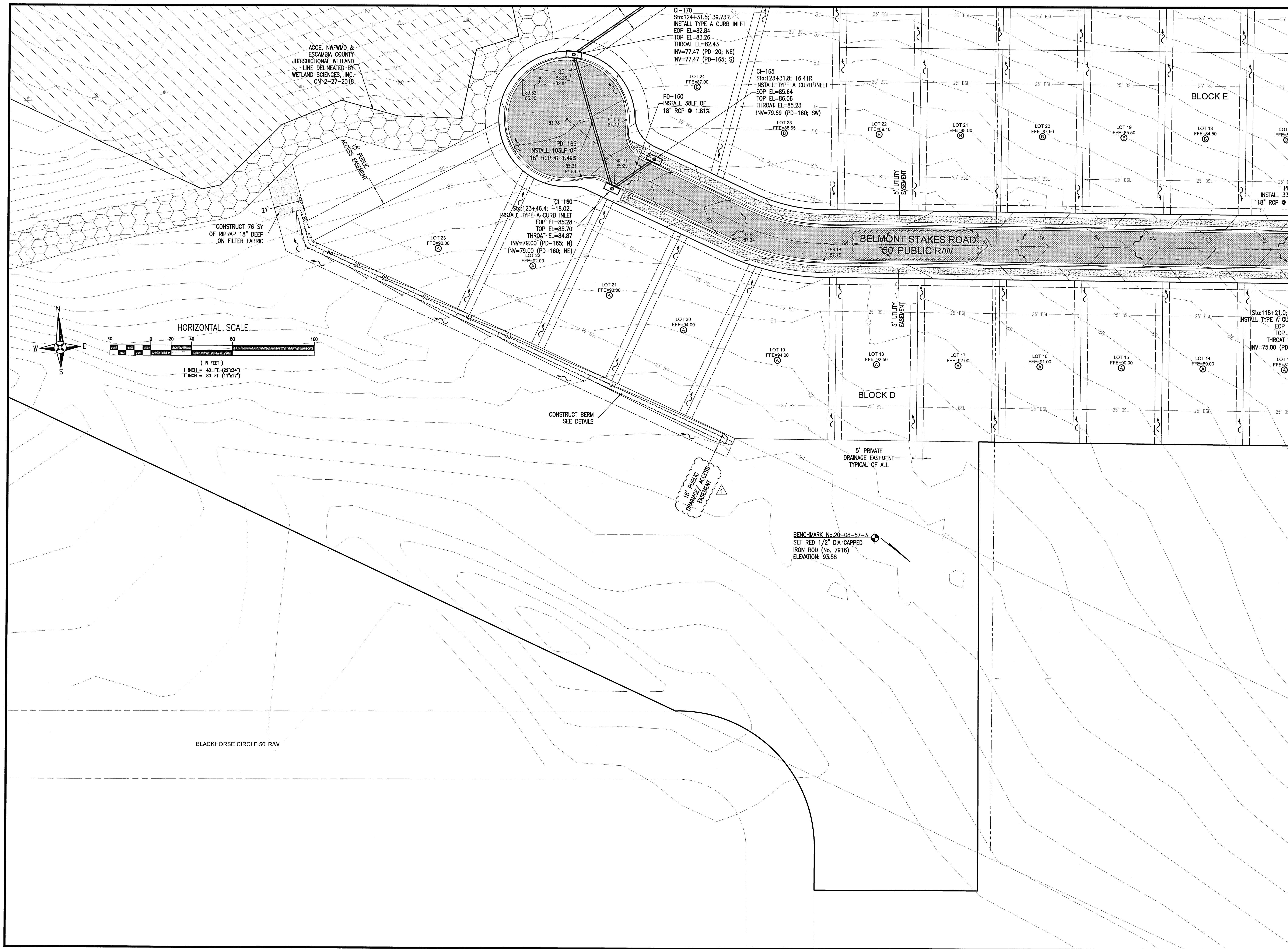
No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

SEAL
BID SET
JEREMY R. KING
No. 75141
STATE OF FLORIDA
JEREMY R. KING, P.E.
No. 75141

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

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OVERALL GRADING &
DRAINAGE PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

SEAL

JEREMY R. KING, P.E.

No. 78144

STATE OF FLORIDA

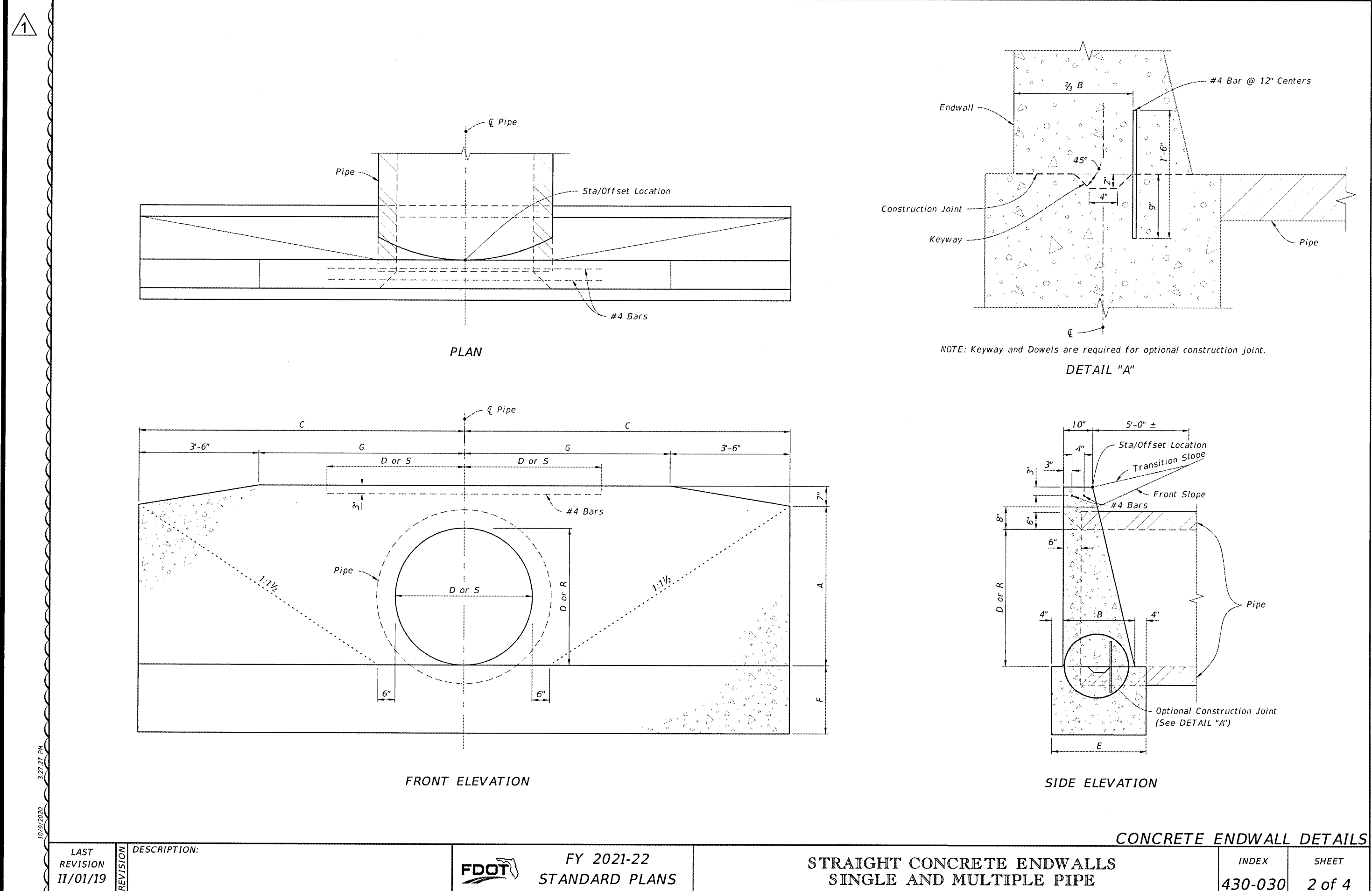
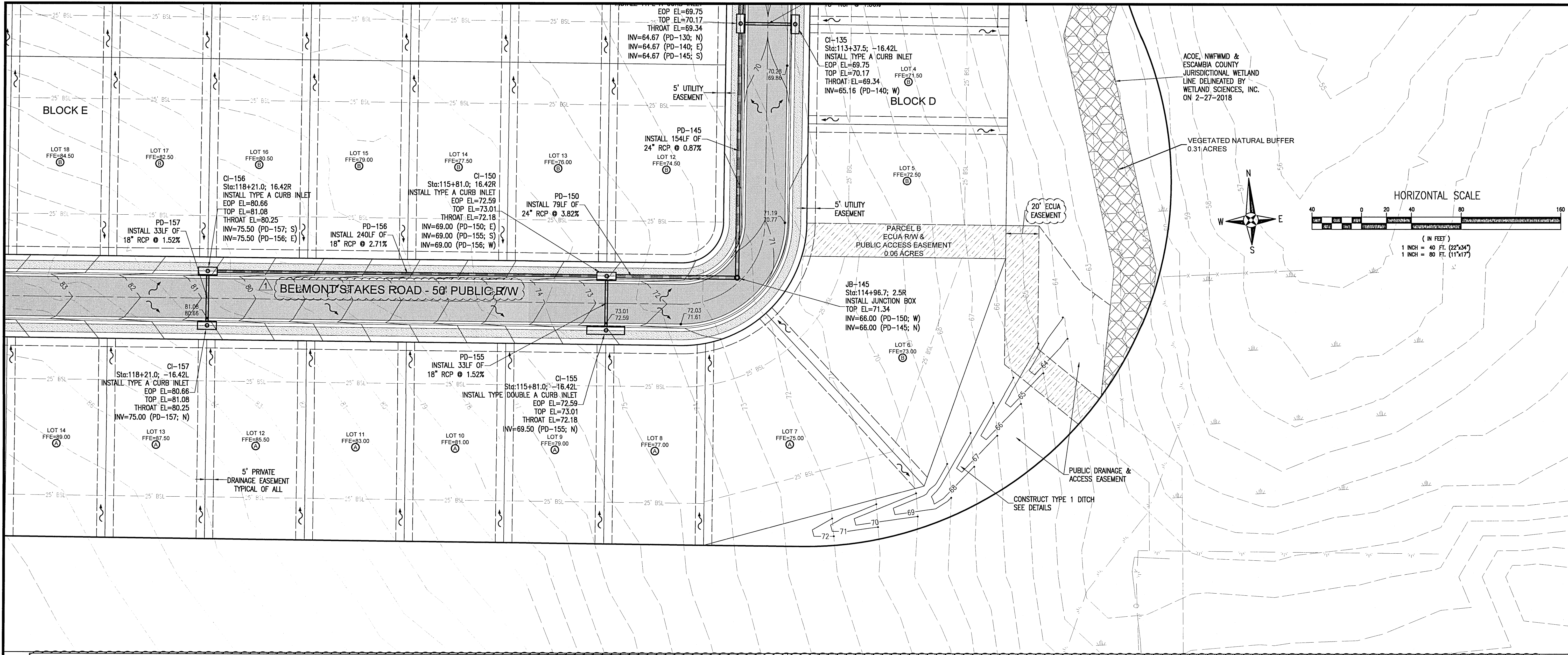
JEREMY R. KING, P.E.

No. 78144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021
DRAWING No.

C3.4

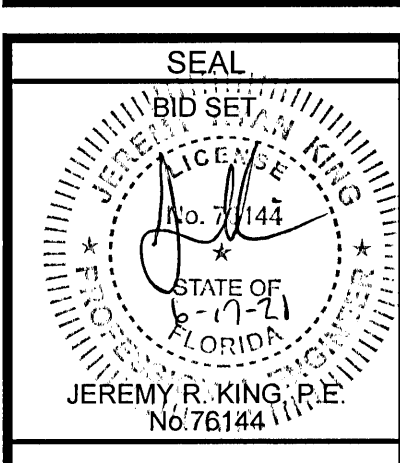
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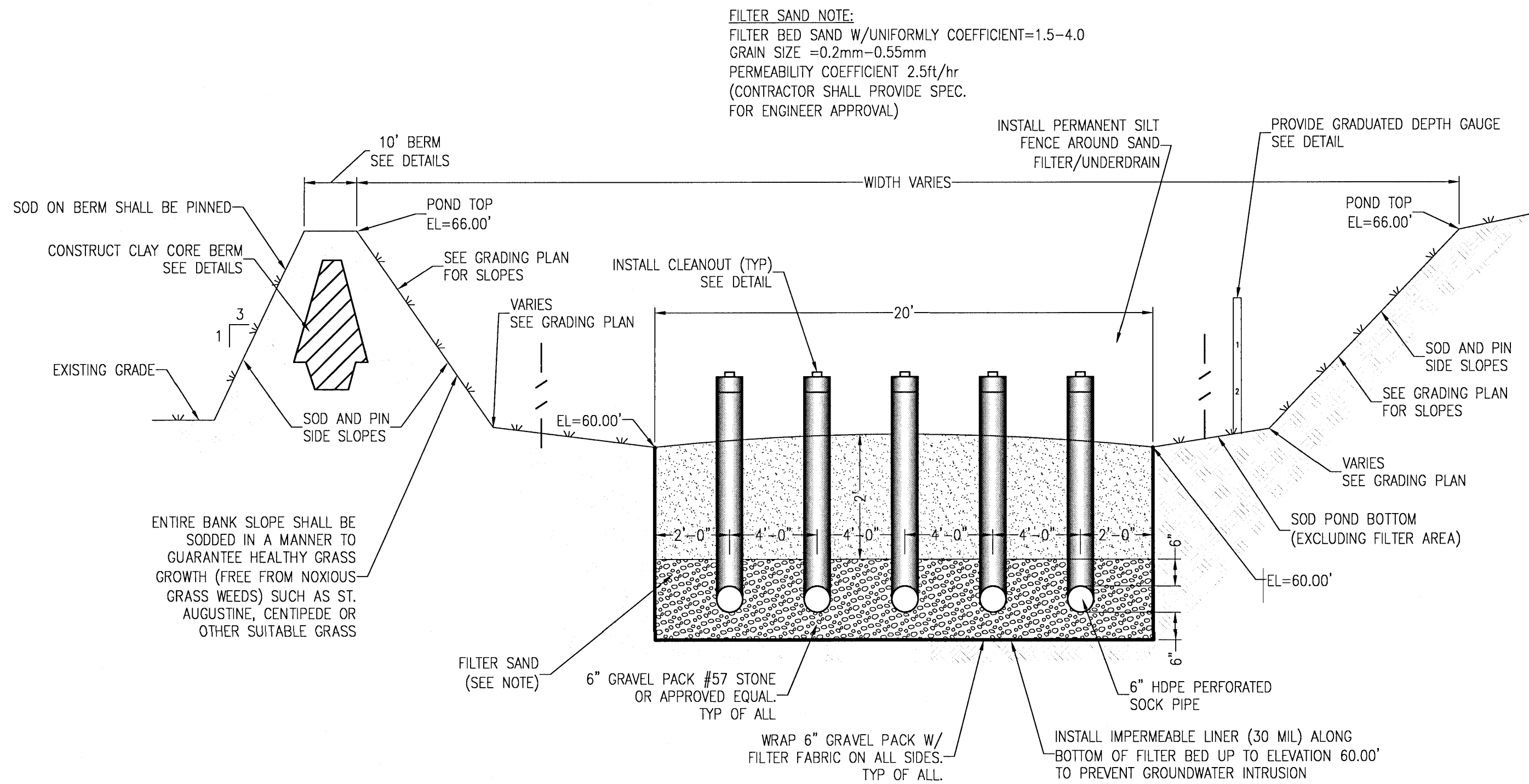


ROUND CONCRETE AND CORRUGATED METAL PIPE																														
Pipe Dia. D	Opening Area (SF)		Dimensions												Class 1 Concrete (CY)															
	Number Of Pipes														Number Of Pipe And Skew Angle Of Pipe (α)															
	1	2																												
Concrete	3		A	B	C	E	F	G	Y	X				Single		Double				Triple				Quadruple						
	0°	15°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°
	15'	1.23	2.46	3.69	4.92	1'-11"	1'-2"	4'-0"	1'-10"	1'-2"	0'-6"	2'-7"	2'-7"	2'-8"	3'-0"	3'-8"	1.23	1.59	1.60	1.65	1.74	1.94	1.96	2.05	2.23	2.30	2.34	2.47	2.74	15'
	18'	1.77	3.54	5.31	7.08	2'-2"	1'-3"	4'-6"	1'-11"	1'-3"	1'-0"	2'-10"	2'-10"	2'-11"	3'-2"	4'-0"	1.56	1.99	2.01	2.06	2.17	2.43	2.46	2.56	2.79	2.86	2.91	3.06	3.40	18'
	21'	2.41	4.82	7.23	9.64	2'-5"	1'-4"	5'-0"	2'-0"	1'-4"	1'-4"	3'-2"	3'-2"	3'-3"	3'-8"	4'-6"	1.97	2.49	2.51	2.56	2.67	2.99	3.02	3.13	3.40	3.47	3.52	3.67	4.09	21'
	24'	3.14	6.28	9.42	12.56	2'-8"	1'-4"	5'-6"	2'-0"	1'-4"	2'-0"	3'-5"	3'-5"	3'-6"	3'-11"	4'-10"	2.24	2.82	2.84	2.91	3.06	3.39	3.43	3.57	3.87	3.97	4.03	4.24	4.69	24'
	27'	3.98	7.96	11.94	15.92	2'-11"	1'-5"	6'-0"	2'-1"	1'-5"	2'-6"	3'-10"	3'-10"	4'-0"	4'-5"	5'-0"	2.73	3.41	3.43	3.49	3.64	4.01	4.05	4.20	4.52	4.63	4.69	4.92	5.47	27'
	30'	4.91	9.82	14.73	19.64	3'-0"	1'-6"	6'-6"	2'-2"	1'-6"	3'-0"	4'-3"	4'-3"	4'-4"	4'-11"	5'-6"	3.26	4.13	4.16	4.26	4.49	4.98	5.04	5.25	5.69	5.84	5.93	6.24	6.91	30'
	36'	7.07	14.14	21.21	28.28	3'-8"	1'-8"	7'-6"	2'-4"	1'-8"	4'-0"	5'-1"	5'-1"	5'-3"	5'-10"	7'-2"	4.53	5.77	5.82	5.92	6.23	6.92	7.00	7.29	7.91	8.13	8.26	8.69	9.62	36'
	42'	9.62	19.24	28.86	38.48	4'-2"	1'-10"	8'-6"	2'-6"	2'-0"	5'-0"	6'-0"	6'-0"	6'-3"	6'-11"	8'-6"	6.33	8.11	8.17	8.39	8.85	9.90	10.02	10.45	11.38	11.68	11.80	12.31	13.89	42'
	48'	12.57	25.14	37.71	50.28	4'-8"	2'-1"	9'-6"	2'-9"	2'-0"	6'-0"	6'-9"	6'-9"	7'-0"	7'-10"	9'-2"	8.15	10.40	10.48	10.75	11.33	12.64	12.80	13.34	14.50	14.89	15.13	15.93	17.68	48'
Corrugated Metal	54'	15.90	31.80	47.70	63.60	5'-2"	2'-6"	10'-6"	3'-2"	2'-3"	7'-0"	7'-8"	7'-8"	7'-11"	8'-10"	10'-10"	11.77	15.23	15.35	15.66	16.60	18.77	19.02	19.86	21.69	22.29	22.66	23.93	26.67	54'
	21'	2.41	4.82	7.23	9.64	2'-5"	1'-4"	5'-0"	2'-0"	1'-4"	1'-4"	3'-2"	3'-2"	3'-3"	3'-8"	4'-6"	1.97	2.49	2.51	2.56	2.67	2.99	3.02	3.13	3.40	3.47	3.52	3.67	4.09	21'
	24'	3.14	6.28	9.42	12.56	2'-8"	1'-4"	5'-6"	2'-0"	1'-4"	2'-0"	3'-5"	3'-5"	3'-6"	3'-11"	4'-10"	2.29	2.91	2.93	3.01	3.17	3.52	3.56	3.71	4.03	4.14	4.20	4.43	4.91	24'
	27'	3.98	7.96	11.94	15.92	2'-11"	1'-5"	6'-0"	2'-1"	1'-5"	2'-6"	3'-10"	3'-10"	4'-0"	4'-5"	5'-0"	2.76	3.48	3.50	3.56	3.71	4.07	4.11	4.26	4.59	4.69	4.75	4.97	5.49	27'
	30'	4.91	9.82	14.73	19.64	3'-0"	1'-6"	6'-6"	2'-2"	1'-6"	3'-0"	4'-3"	4'-3"	4'-4"	4'-11"	5'-6"	3.34	4.28	4.31	4.43	4.67	5.20	5.27	5.49	5.97	6.13	6.23	6.56	7.29	30'
	36'	7.07	14.14	21.21	28.28	3'-8"	1'-8"	7'-6"	2'-4"	1'-8"	4'-0"	5'-1"	5'-1"	5'-3"	5'-10"	7'-2"	4.64	5.95	6.00	6.15	6.49	7.25	7.34	7.65	8.33	8.57	8.71	9.18	10.20	36'
	42'	9.62	19.24	28.86	38.48	4'-2"	1'-10"	8'-6"	2'-6"	2'-0"	5'-0"	6'-0"	6'-0"	6'-3"	6'-11"	8'-6"	6.49	8.43	8.50	8.73	9.23	10.38	10.53	10.98	11.69	11.92	12.02	12.52	14.17	42'
	48'	12.57	25.14	37.71	50.28	4'-8"	2'-1"	9'-6"	2'-9"	2'-0"	6'-0"	6'-9"	6'-9"	7'-0"	7'-10"	9'-2"	8.38	10.65	10.64	11.23	11.87	13.34	13.51	14.11	15.39	15.62	16.08	16.97	18.90	48'
	54'	15.90	31.80	47.70	63.60	5'-2"	2'-6"	10'-6"	3'-2"	2'-3"	7'-0"	7'-8"	7'-8"	7'-11"	8'-10"	10'-10"	11.77	15.35	15.48	15.88	16.83	18.83	18.93	19.41	21.69	22.29	22.66	24.17	26.96	54'

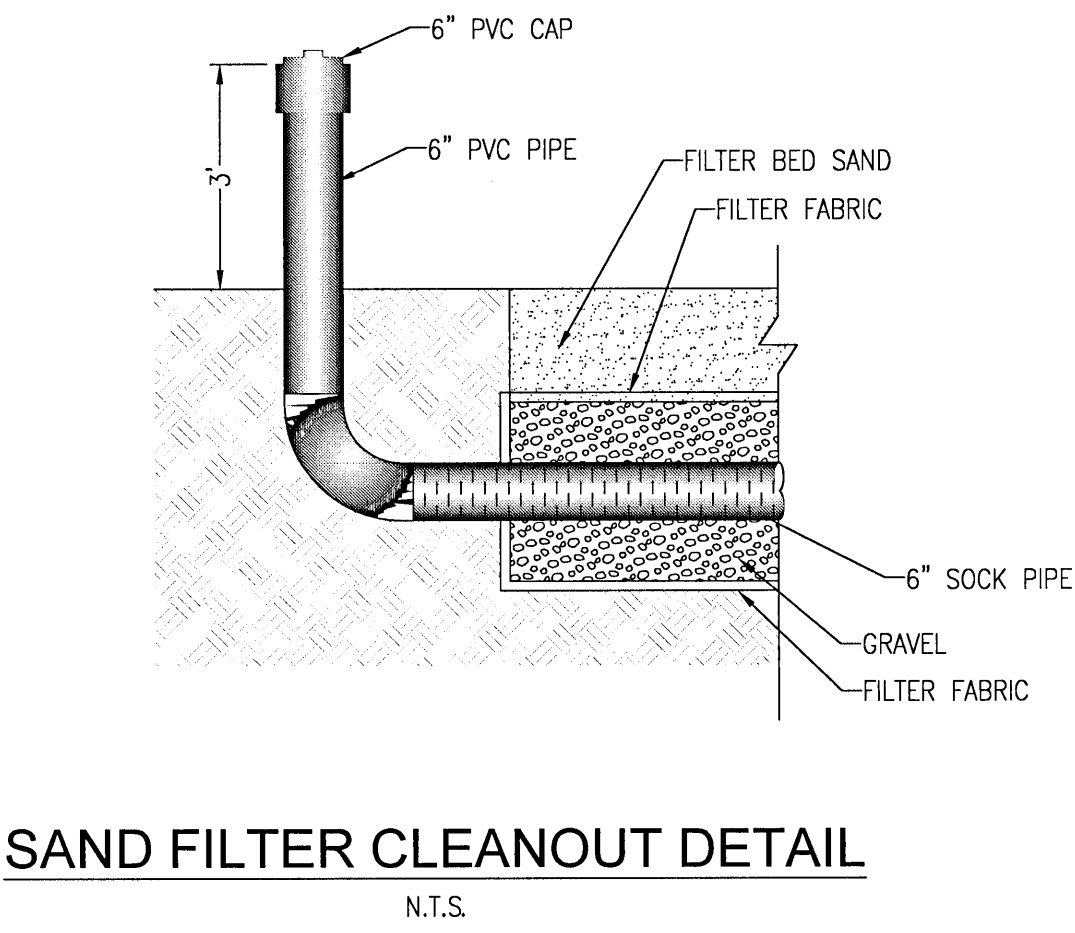
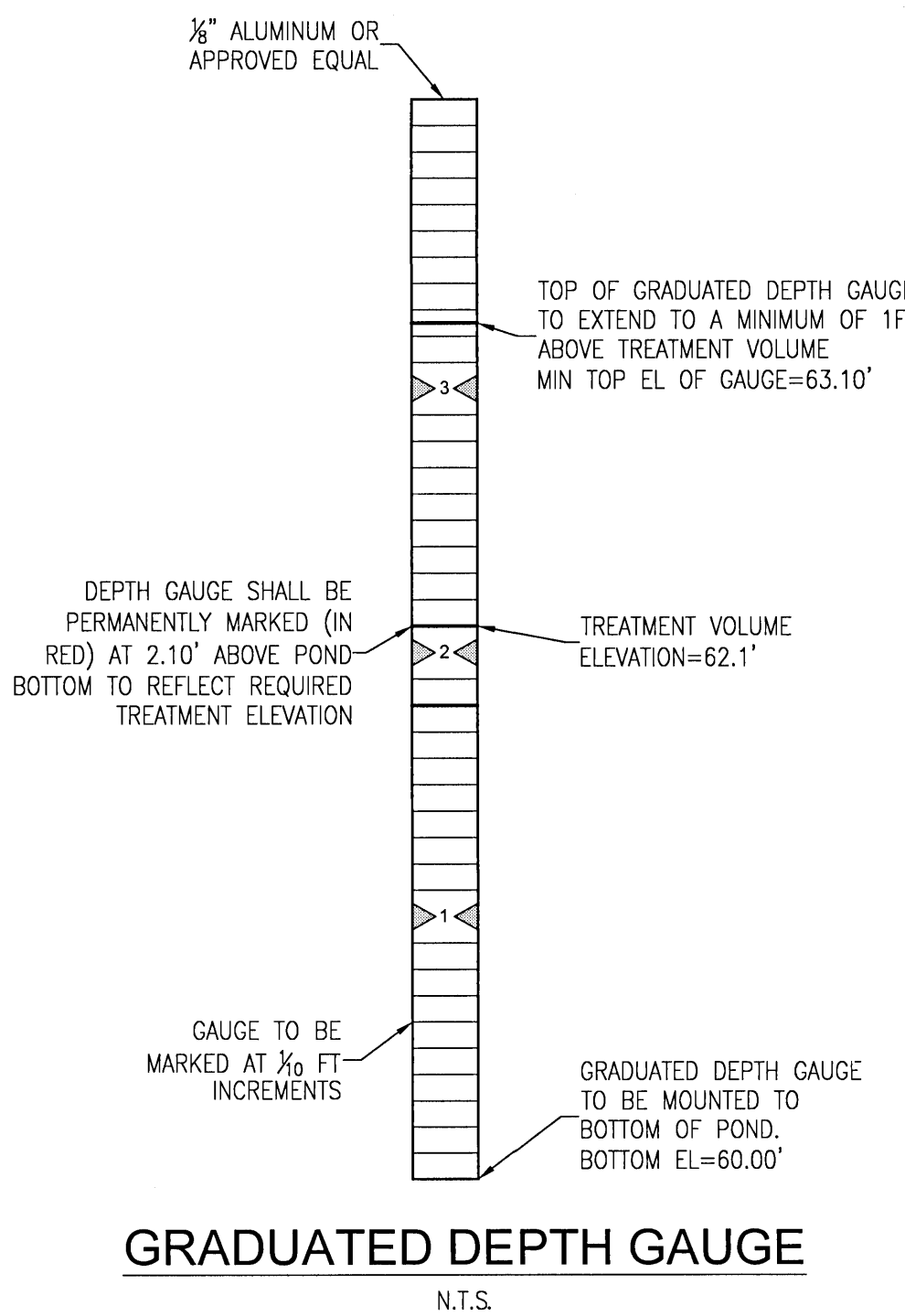
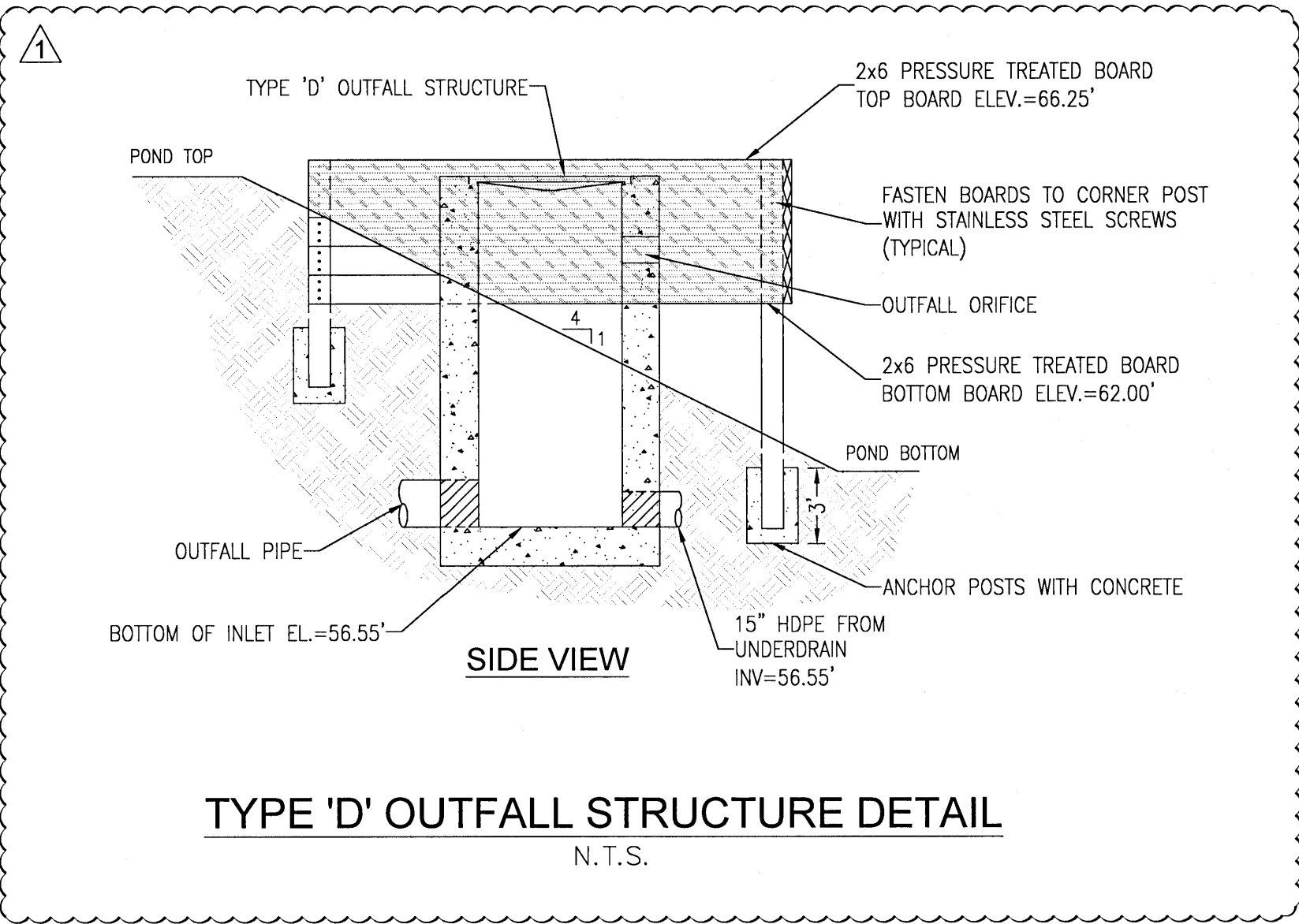
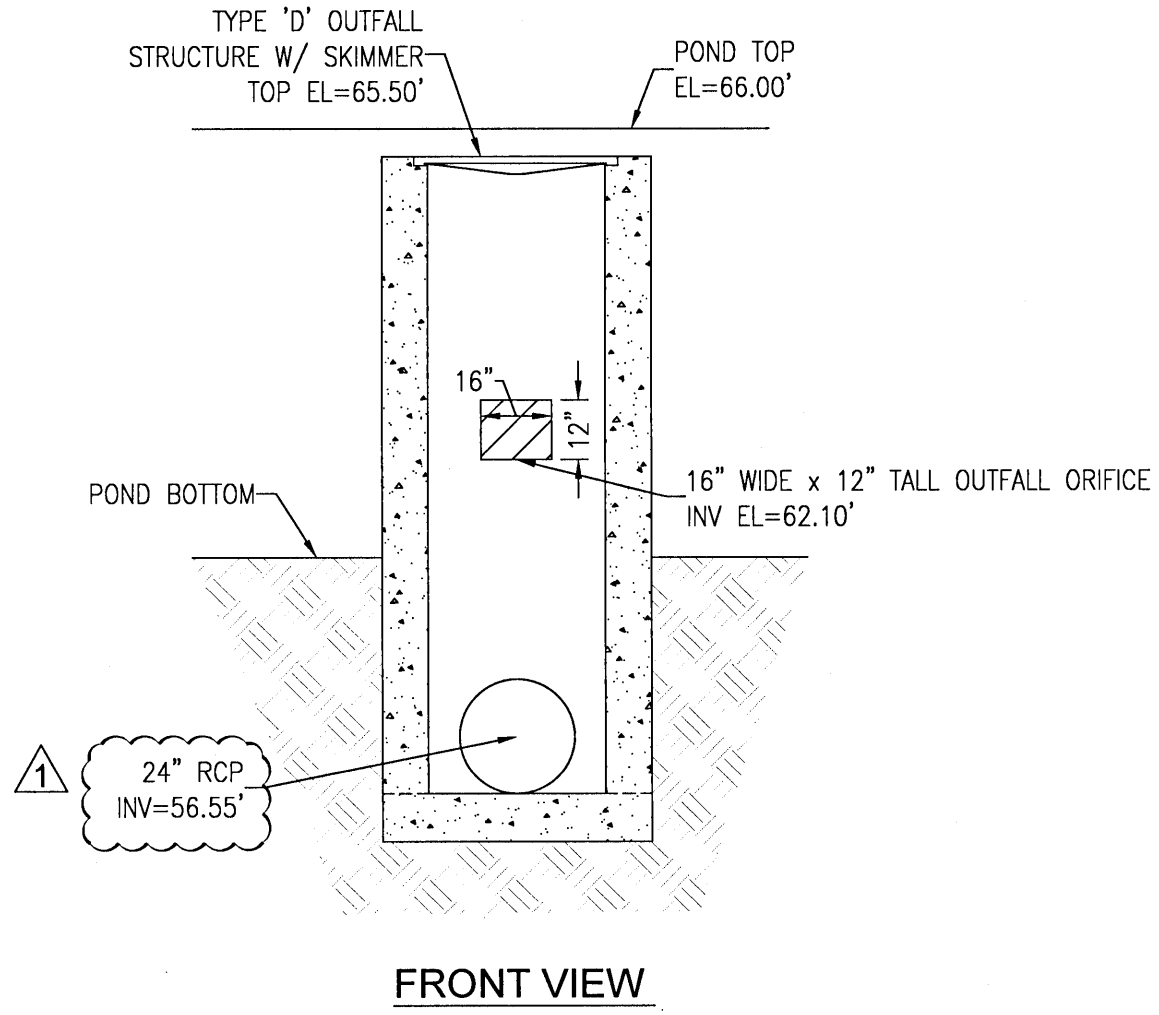
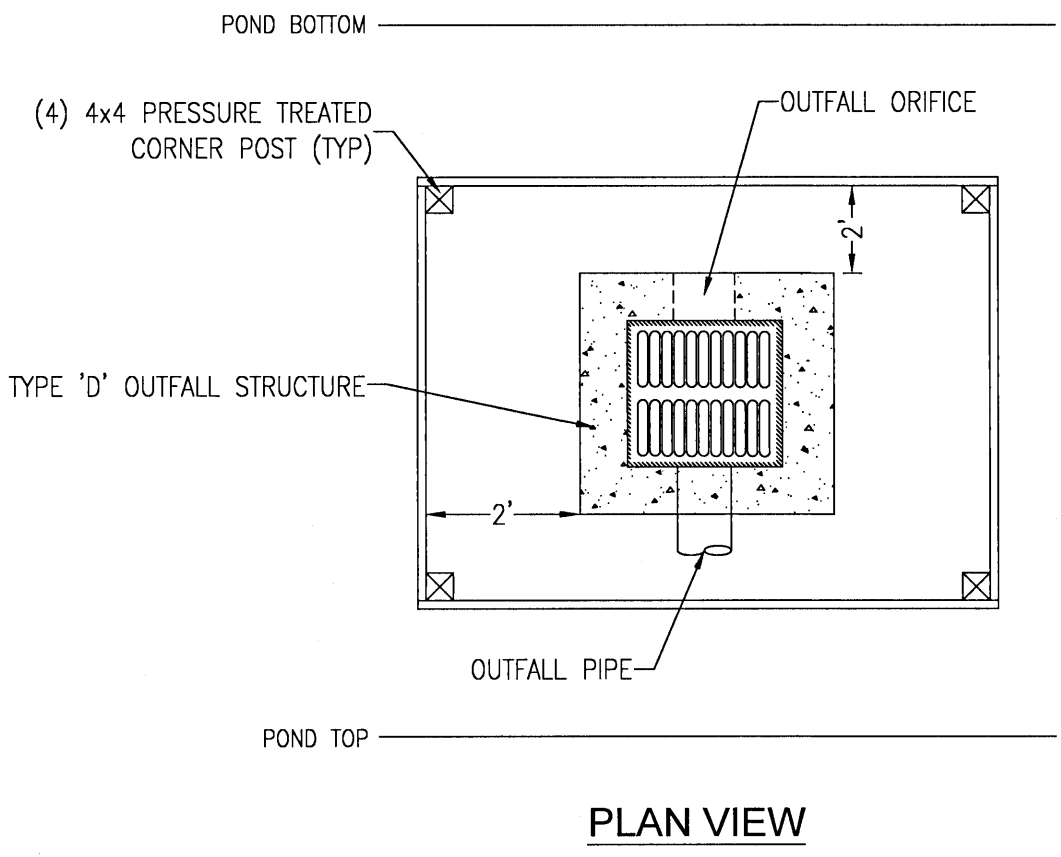
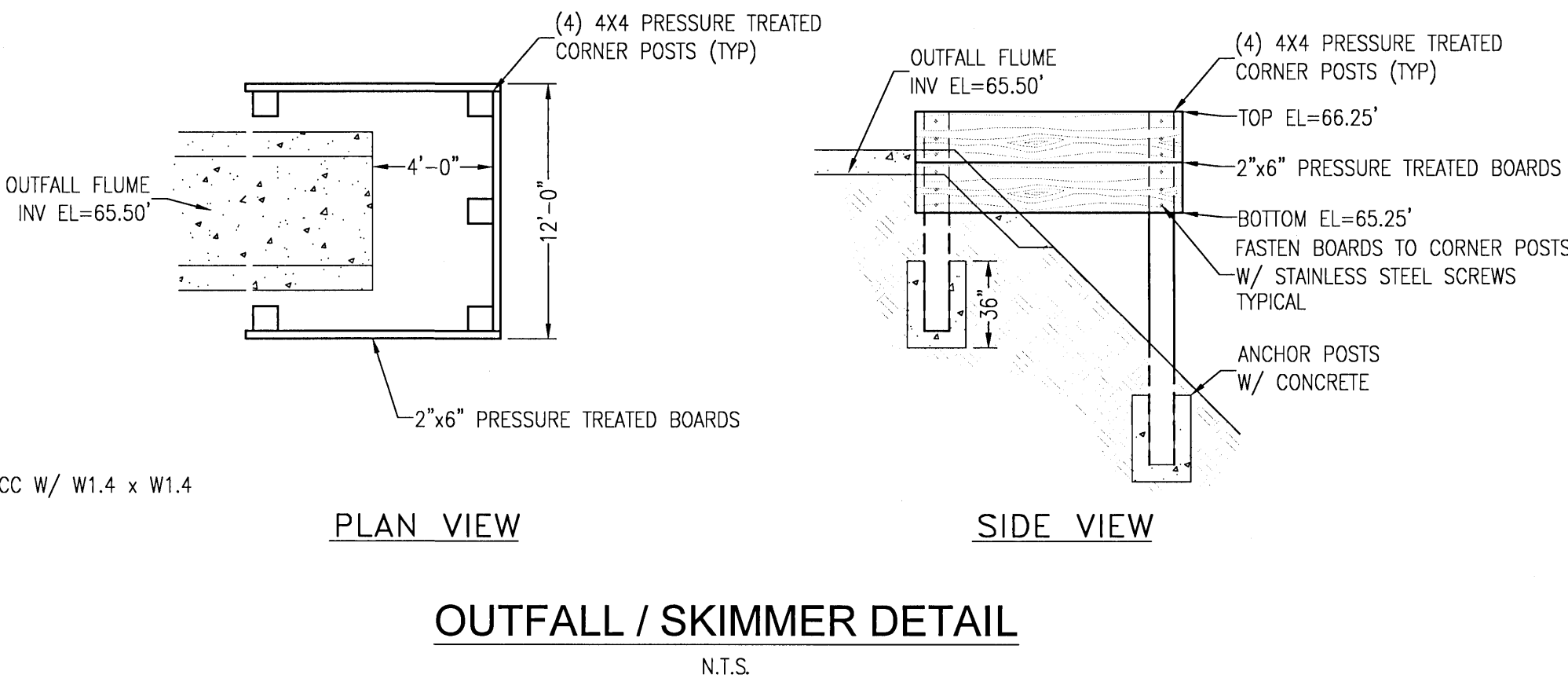
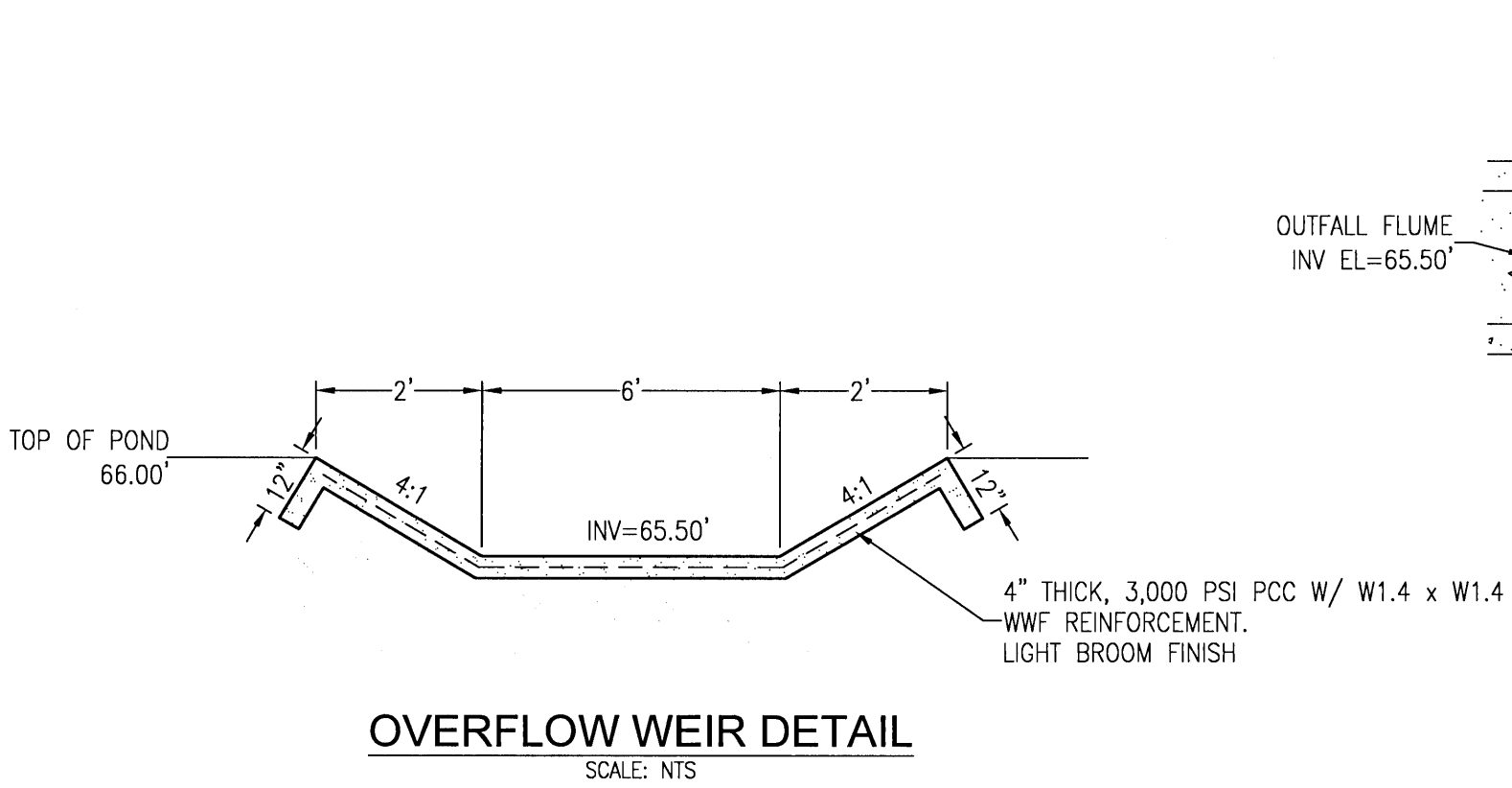
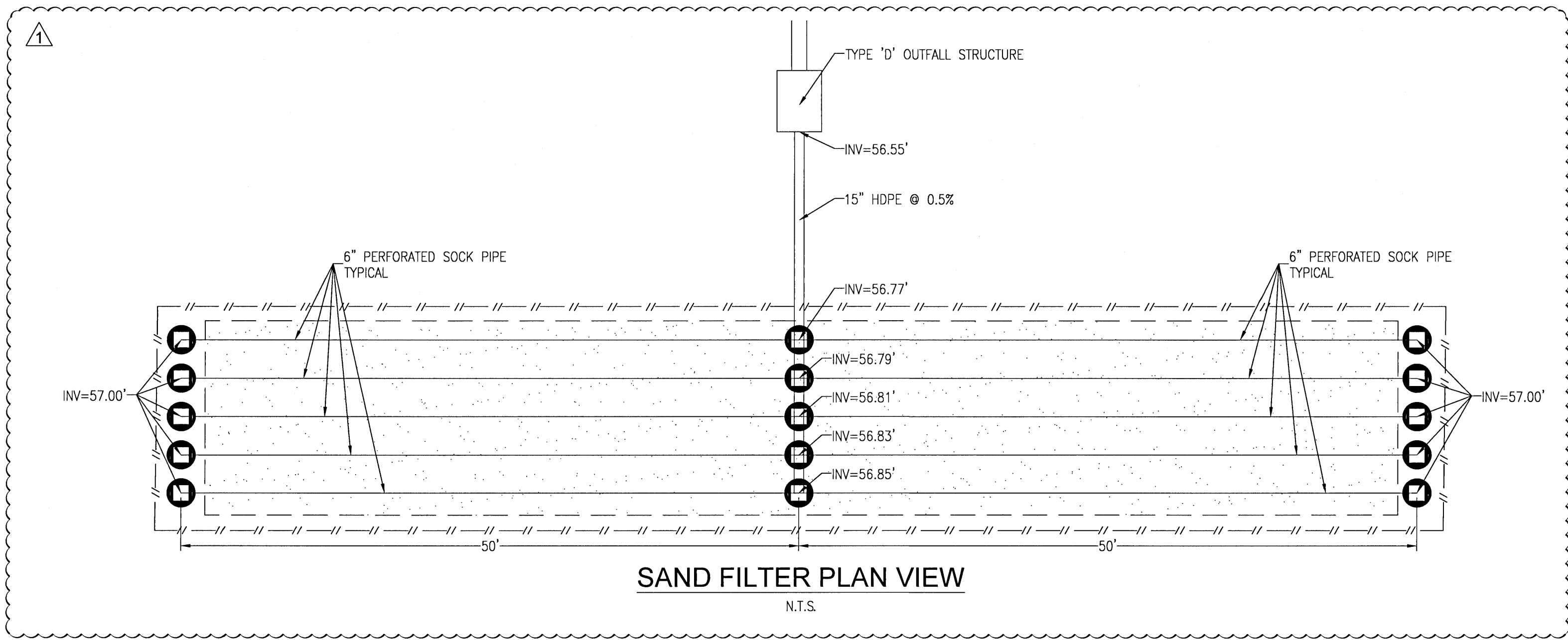
ELLIPTICAL CONCRETE AND CORRUGATED METAL PIPE ARCH																																	
Pipe Rise R	Span S	Opening Area (SF)		Dimensions												Class 1 Concrete (CY)																	
		Number Of Pipes														Number Of Pipe And Skew Angle Of Pipe (α)																	
		1	2																														
Concrete	Rise R	Span S	3		A	B	C	E	F	G	Y	0°	15°	30°	45°	Single		Double				Triple				Quadruple							
			0°	15°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	0°	15°	30°	45°	
			12"	18"	1	1.33	2.46	3.69	4.92	1'-11"	1'-2"	4'-0"	1'-10"	1'-2"	0'-6"	2'-7"	2'-7"	2'-8"	3'-0"	3'-8"	1.23	1.59	1.60	1.65	1.74	1.94	1.96	2.05	2.23	2.30	2.34	2.47	2.74
			14"	24"	1	2.25	3.54	5.31	7.08	2'-2"	1'-3"	4'-6"	1'-11"	1'-3"	1'-0"	2'-10"	2'-10"	2'-11"	3'-2"	4'-0"	1.36	1.99	2.01	2.06	2.17	2.43	2.46	2.56	2.79	2.86	2.91	3.06	3.40
			16"	30"	1	3.47	5.24	7.01	8.78	2'-5"	1'-4"	5'-0"	2'-0"	1'-4"	1'-4"	3'-2"	3'-2"	3'-3"	3'-8"	4'-6"	1.59	2.42	2.44	2.49	2.61	2.93	2.96	3.07	3.34	3.41	3.46	3.63	4.07
			18"	36"	1	4.91	7.36	9.81	12.26	2'-8"	1'-4"	5'-6"	2'-0"	1'-4"	2'-0"	3'-5"	3'-5"	3'-6"	3'-11"	4'-10"	2.24	2.82	2.84	2.91	3.06	3.39	3.43	3.57	3.87	3.97	4.03	4.24	4.69
			20"	42"	1	6.62	9.98	13.34	16.70	3'-0"	1'-5"	6'-0"	2'-1"	1'-5"	2'-0"	3'-10"	3'-10"	4'-0"	4'-5"	5'-0"	2.73	3.38	3.40	3.47	3.63	4.01	4.05	4.20	4.52	4.63	4.69	4.92	5.47
			22"	48"	1	8.67	12.99	17.31	21.63	3'-2"	1'-6"	6'-6"	2'-2"	1'-6"	3'-0"	4'-3"	4'-3"	4'-4"	4'-11"	5'-6"	3.26	4.13	4.16	4.26	4.49	4.98	5.04	5.25	5.69	5.84	5.93	6.24	6.91
			24"	54"	1	12.71	19.07	25.34	31.61	3'-8"	1'-8"	7'-6"	2'-4"	1'-8"	4'-0"	5'-1"	5'-1"	5'-3"	5'-10"	7'-2"	4.53	5.73	5.77	5.92	6.23	6.92	7.00	7.29	7.91	8.13	8.26	8.69	9.62
			26"	60"	1	18.02	27.11	36.20	45.29	4'-2"	1'-10"	8'-6"	2'-6"	2'-0"	5'-0"	6'-0"	6'-0"	6'-3"	6'-11"	8'-6"	6.33	8.11	8.17	8.39	8.85	9.90	10.02	10.45	11.38	11.68	11.80	12.31	13.89
			28"	66"	1	24.57	37.14	49.71	62.28	4'-8"	2'-1"	9'-6"	2'-9"	2'-0"	6'-0"	6'-9"	6'-9"	7'-0"	7'-10"	9'-2"	8.15	10.40	10.48	10.75	11.33	12.64	12.80	13.34	14.50	14.89	15.13	15.93	17.68
Corrugated Metal	Rise R	Span S	30"	72"	1	33.80	51.20	68.60	86.00	5'-2"	2'-6"	10'-6"	3'-2"	2'-3"	7'-0"	7'-8"	7'-8"	7'-11"	8'-10"	10'-10"	11.77	15.23	15.35	15.66	16.60	18.77	19.02	19.86	21.69	22.29	22.66	23.93	26.67
			32"	78"	1	46.24	69.36	92.48	115.60	5'-8"	2'-8"	11'-6"	3'-8"	2'-7"	7'-8"	8'-0"	8'-0"	8'-3"	8'-11"	10'-11"	13.03	16.59	16.71	17.03	18.18	20.59	20.85	21.78	23.85	24.46	25.45	28.11	
			34"	84"	1	59.68	89.52	119.36	149.20	6'-2"	2'-10"	12'-6"	4'-0"	2'-11"	8'-10"	9'-2"	9'-2"	9'-5"	9'-11"	11'-3"	14.16	17.76	17.89	18.21	19.46	22.05	22.32	23.34	25.61	26.24	27.33	30.17	
			36"	90"	1	74.12	111.18	148.24	187.30	6'-8"	3'-0"	13'-6"	4'-4"	2'-11"	8'-11"	9'-6"	9'-6"	9'-9"	10'-3"	11'-7"	15.29	18.89	19.02	19.34	20.69	23.37	23.64	24.76	27.13	27.78	28.97	31.91	
			38"	96"	1	89.66	134.49	177.32	226.36	7'-0																							

REVISION	DATE	REVISION	DATE	REVISION	DATE	REVISION	DATE
1	4/1/2021	2		3		4	





DETENTION POND SECTION A1-A1
 N.T.S.



REVISION	DATE	ESCO COMMENTS
No. 1	4/1/2021	

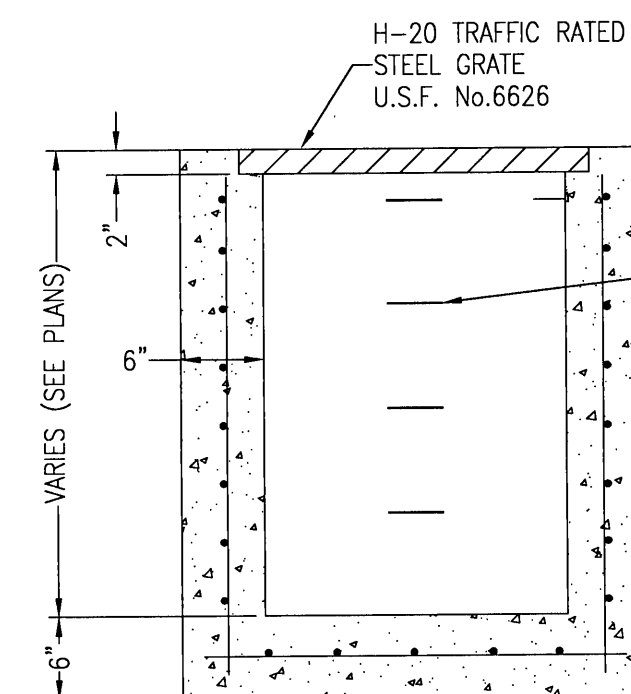
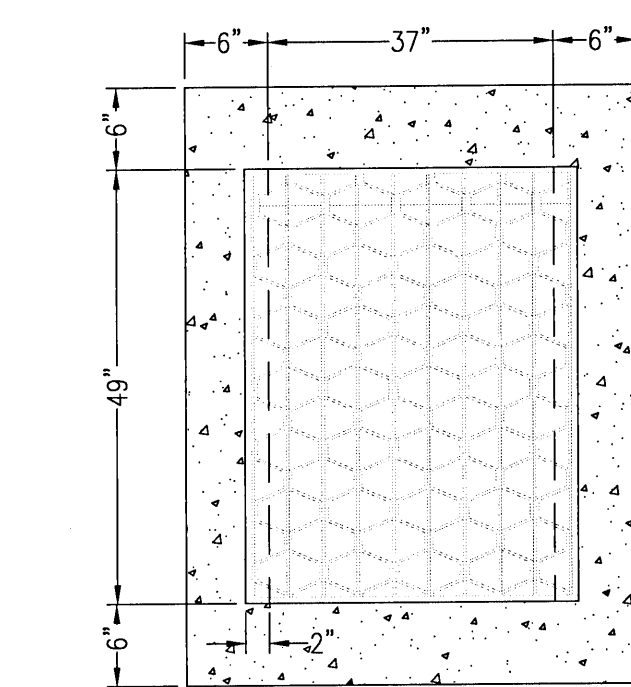
SEAL
 BID SET
 LICENSE
 No. 71144
 STATE OF FLORIDA
 JEREMY R. KING, P.E.
 No. 76144

Dr. By: CBD
 Ck By: JRK
 Job No.: 2017.274
 Date: 6/16/2021

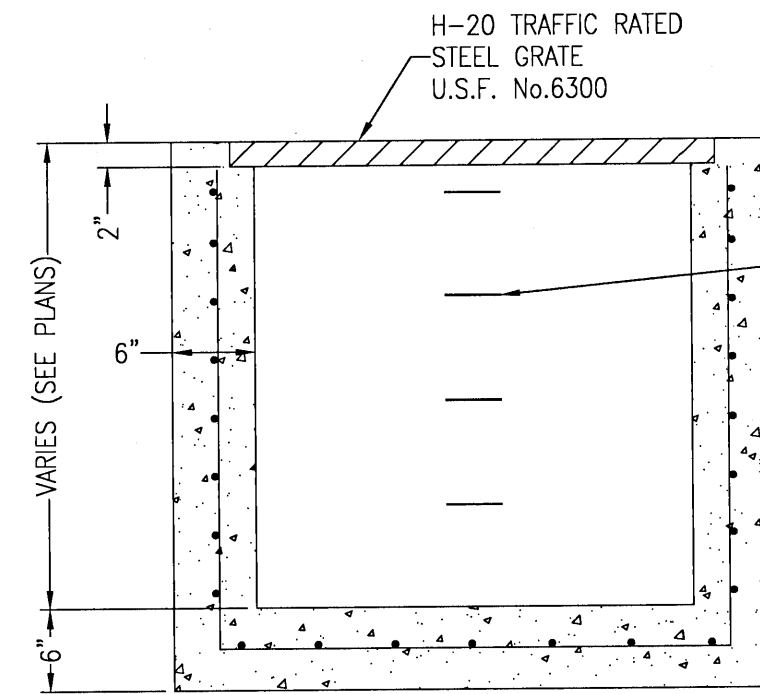
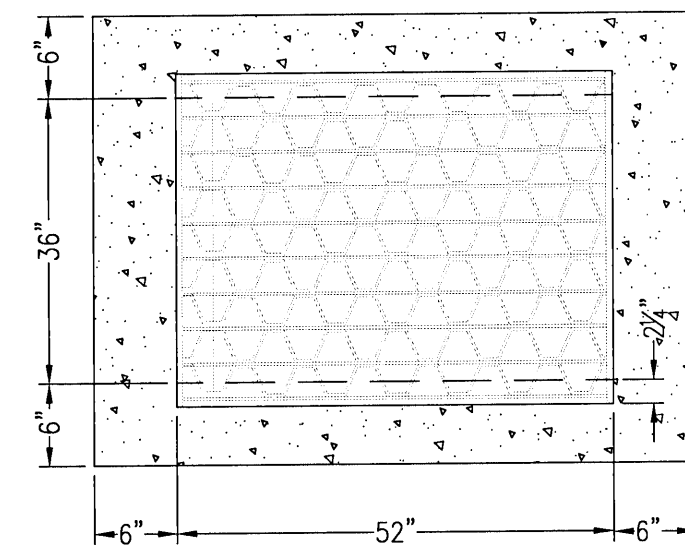
DRAWING No.

C3.6

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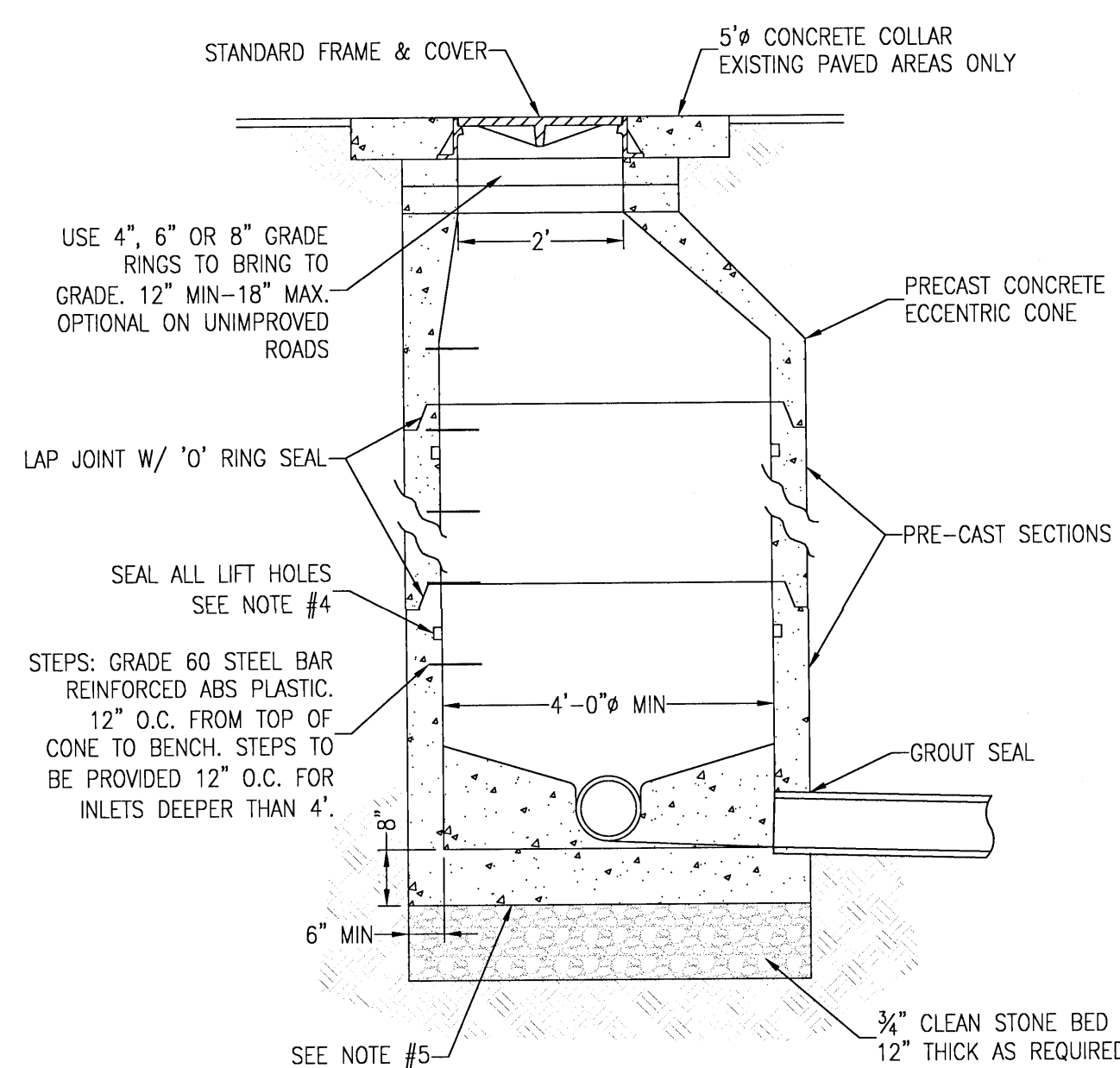


FDOT TYPE 'D' INLET
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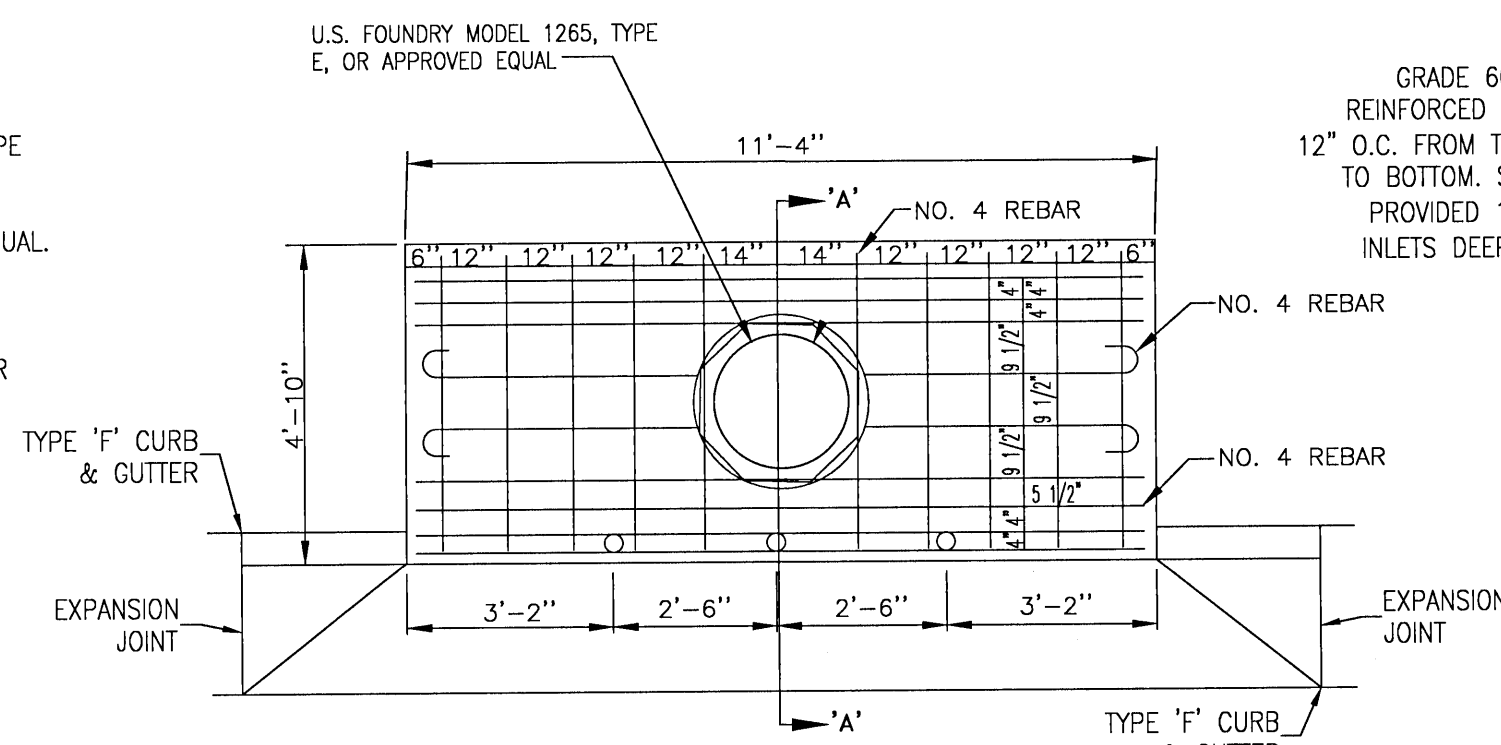


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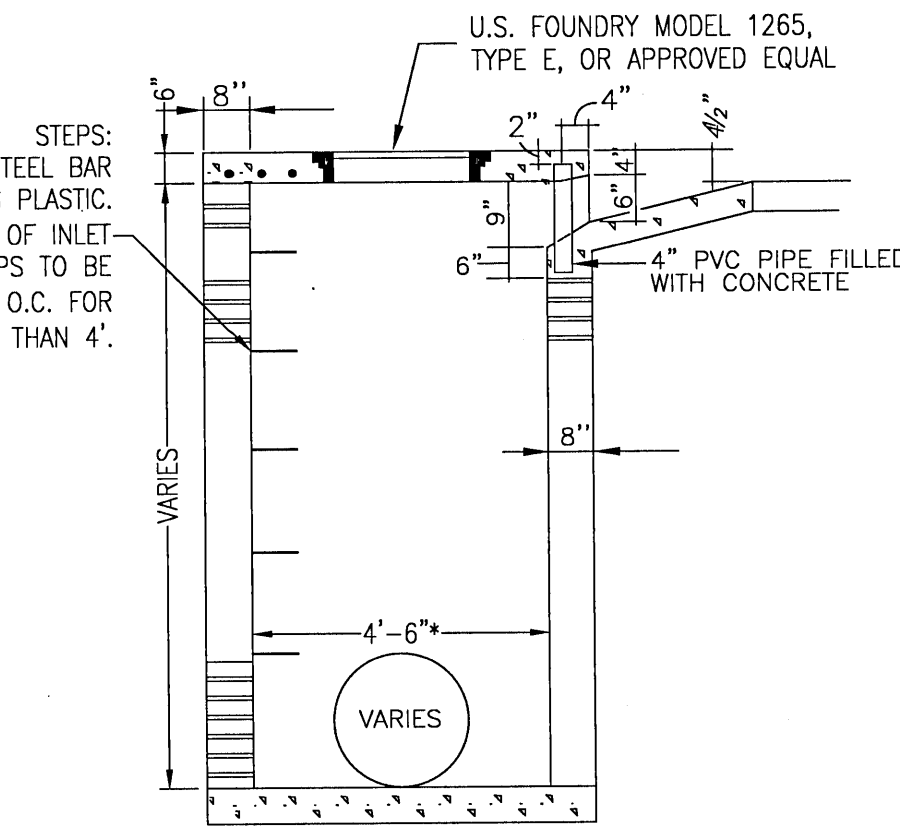
- NOTES:**
1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
 2. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
 3. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC GASKET OR EQUAL.
 4. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
 5. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTM A-C-478.
 6. CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.



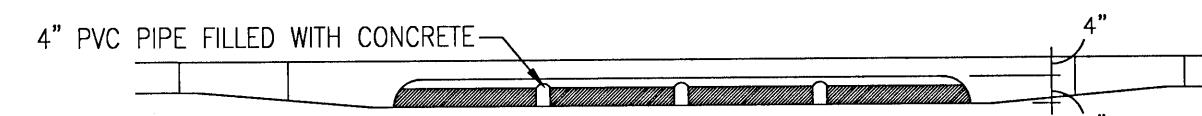
STORMWATER MANHOLE DETAIL



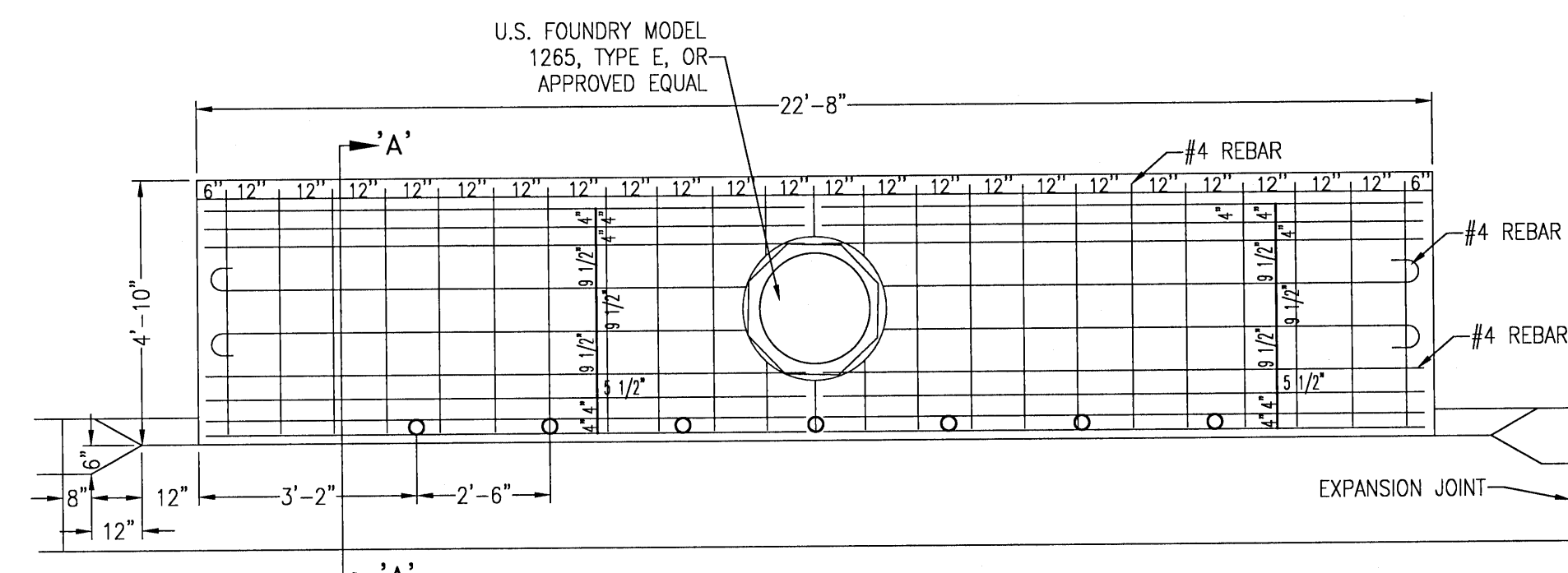
PLAN VIEW
TYPE "A" CURB INLET DETAIL



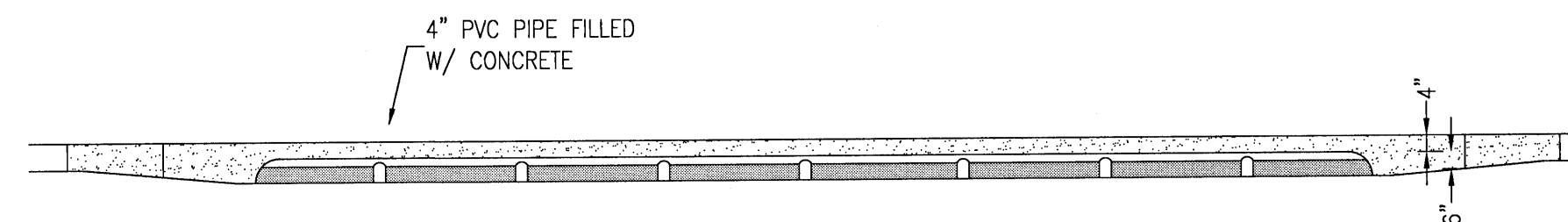
SECTION A-A
TYPE "A" CURB INLET DETAIL



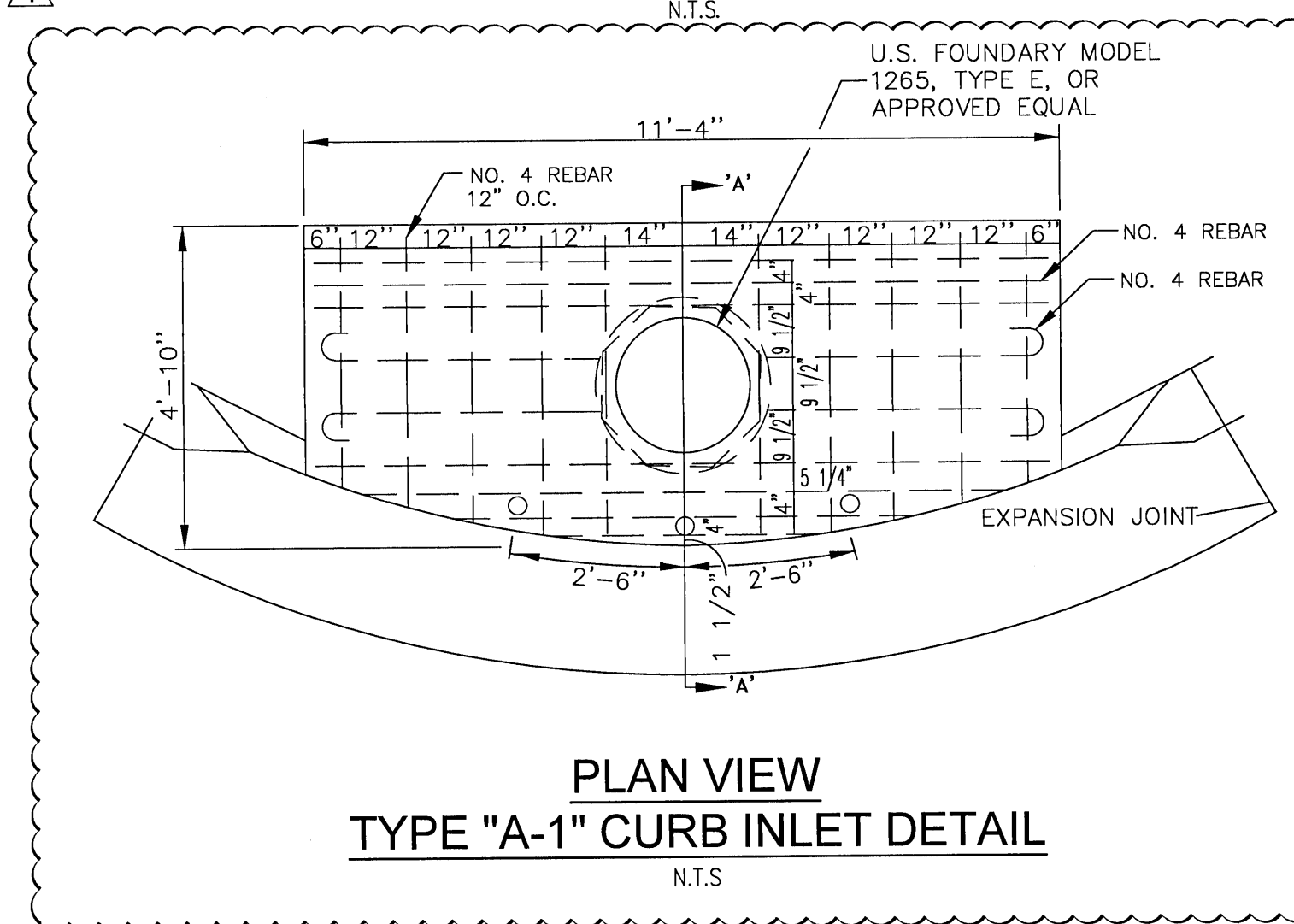
TYPE "A" INLET THROAT ELEVATION



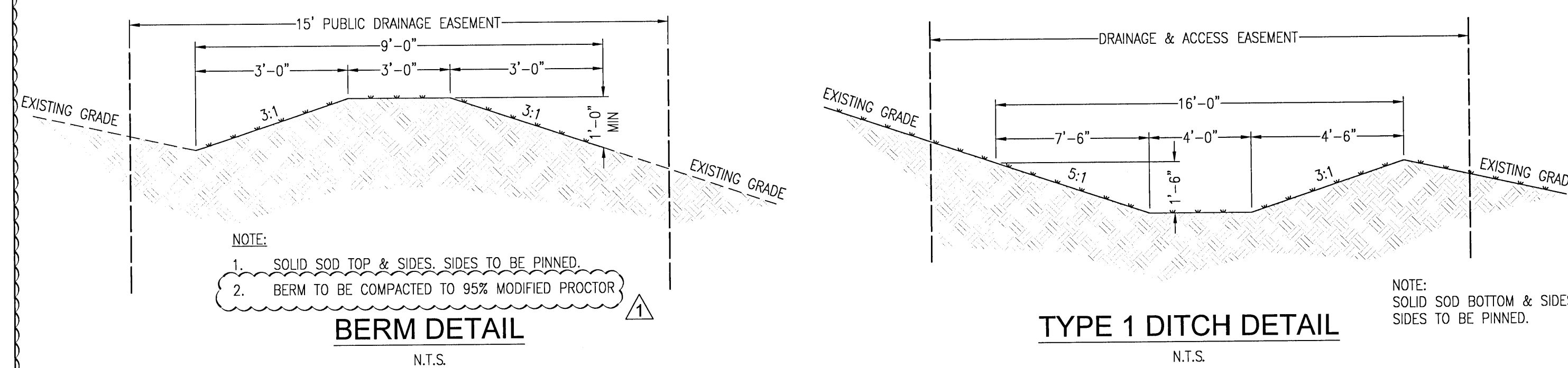
TYPE 'A' INLET (DUAL) PLAN VIEW
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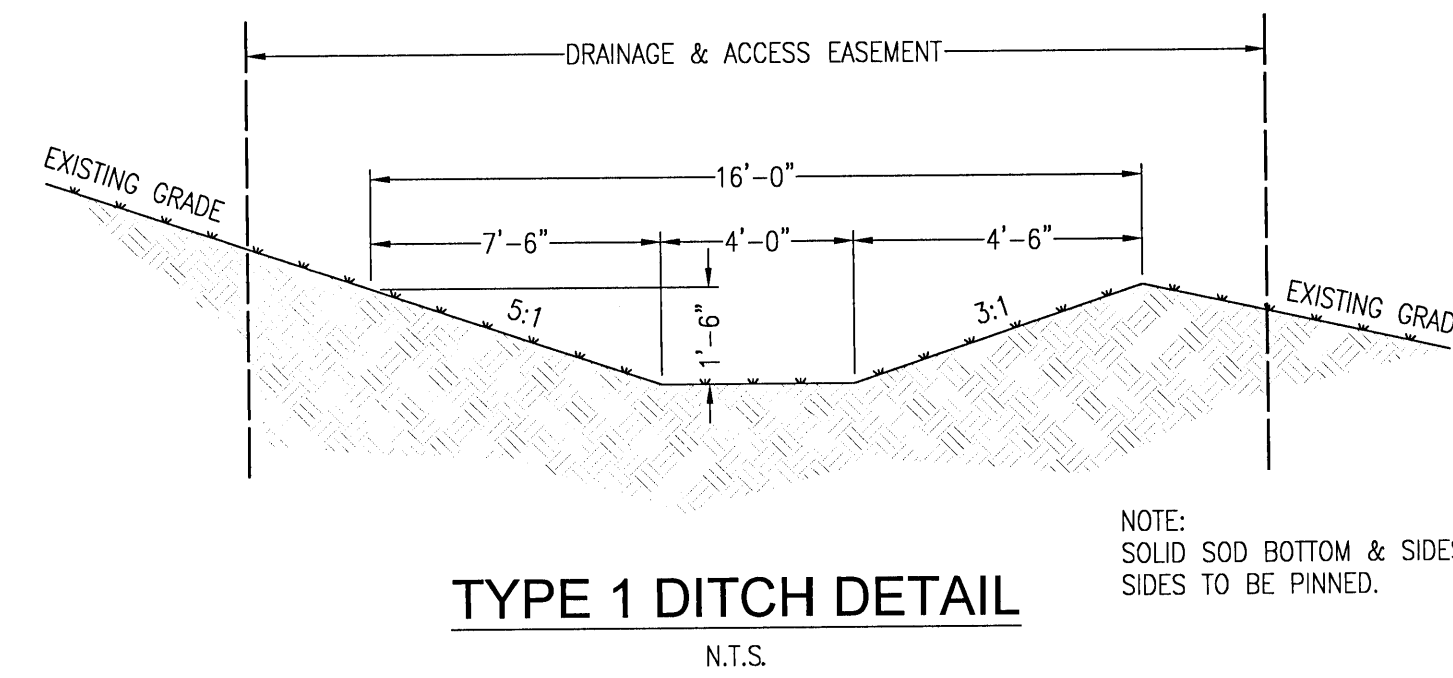
TYPE 'A' INLET (DUAL) THROAT ELEVATION



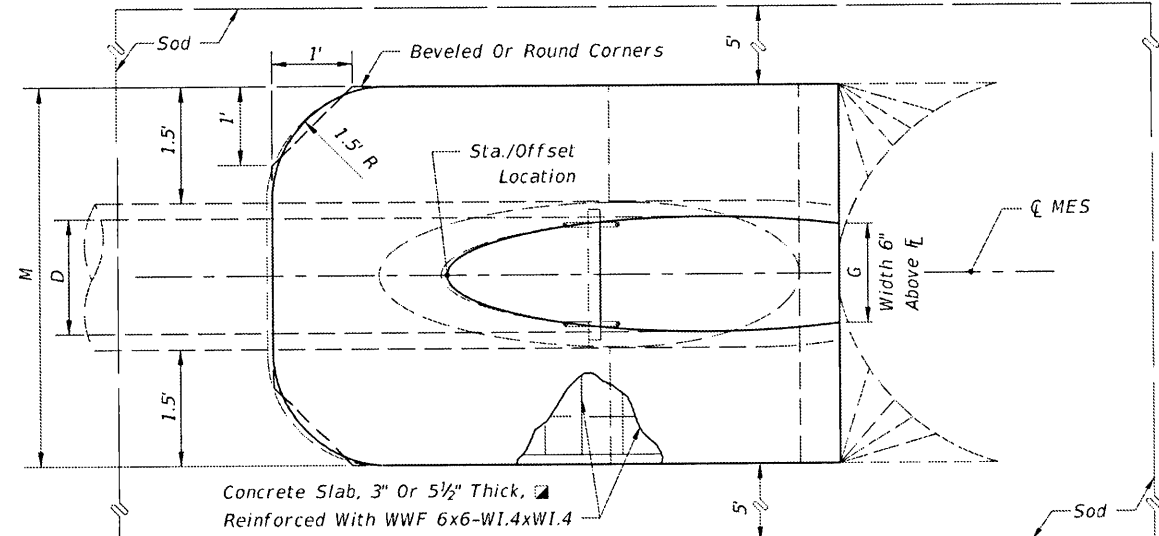
PLAN VIEW
TYPE "A-1" CURB INLET DETAIL
N.T.S.



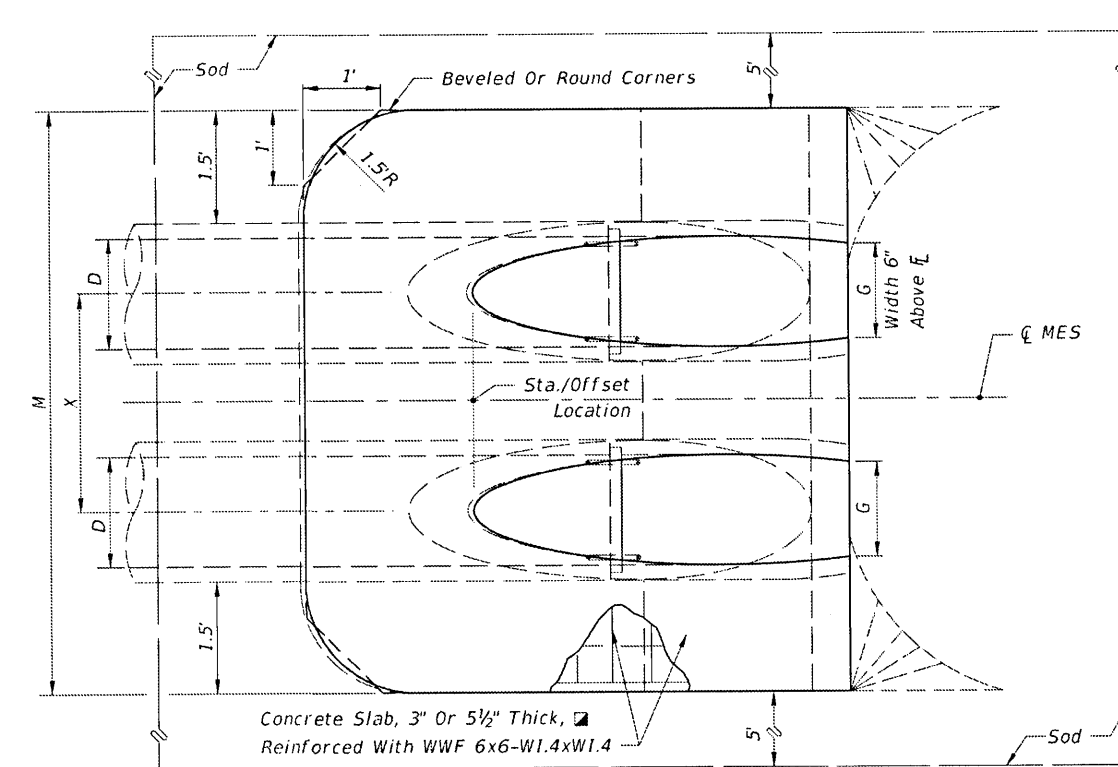
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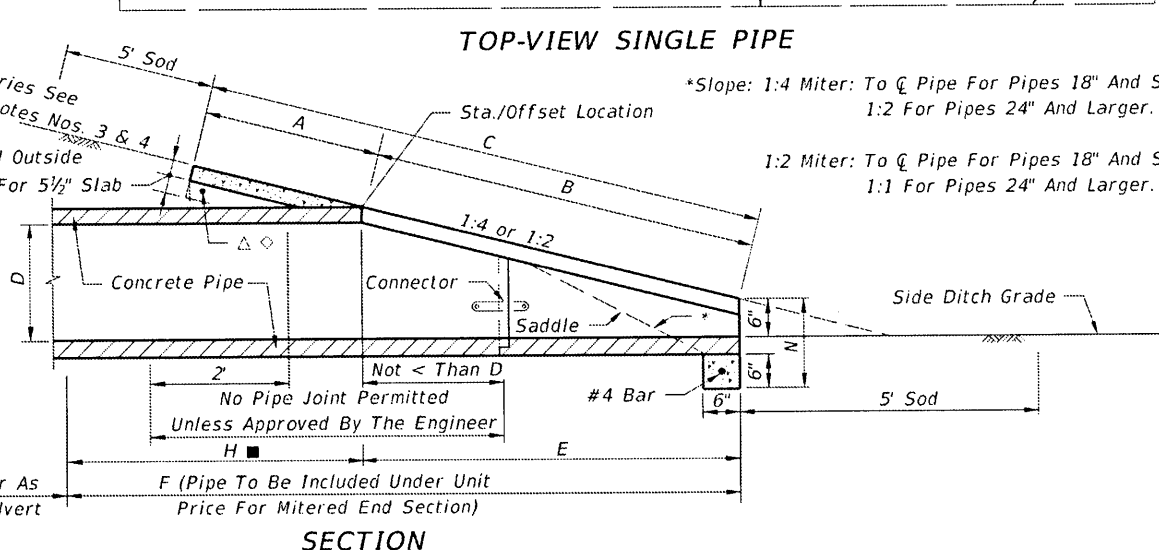
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TOP-VIEW SINGLE PIPE




TOP-VIEW MULTIPLE PIPE

SINGLE AND MULTIPLE ROUND CONCRETE PIPE

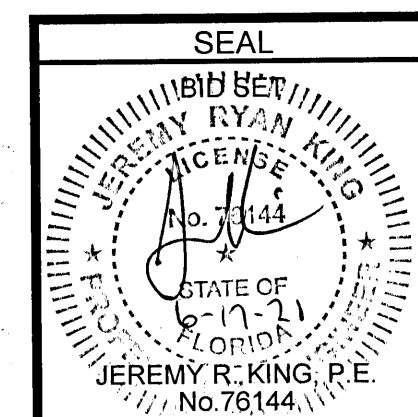


SECTION

CROSS DRAIN MITERED END SECTION

LAST REVISION 11/01/16	DESCRIPTION:	 FY 2017-18 DESIGN STANDARDS	CROSS DRAIN MITERED END SECTION	INDEX NO. 272	SHEET NO. 1 of 6
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No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS



Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021



- RIP-RAP DETAIL
N.T.S.

C3.8

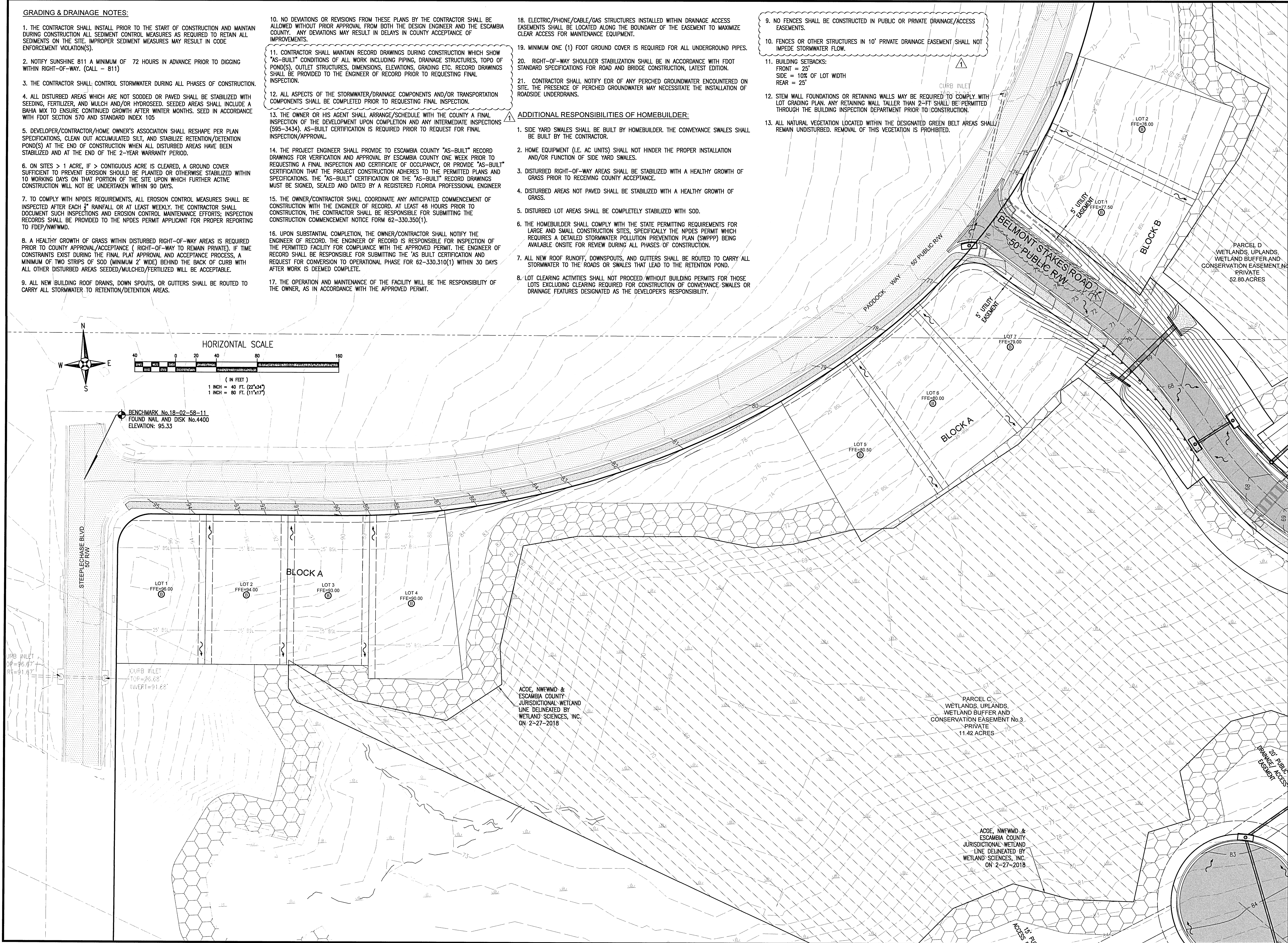
GRADING & DRAINAGE NOTES:

1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
2. NOTIFY SUNSHINE 811 A MINIMUM OF 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (CALL - 811)
3. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
4. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH AND/OR HYDROSEED. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD INDEX 105
5. DEVELOPER/CONTRACTOR/HOME OWNER'S ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
6. ON SITES > 1 ACRE, IF > CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
7. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1" RAINFALL OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFMD.
8. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE (RIGHT-OF-WAY TO REMAIN PRIVATE). IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
9. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

10. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
11. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
12. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING FINAL INSPECTION.
13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER
15. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION COMMENCEMENT NOTICE FORM 62-330.350(1).
16. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "AS BUILT CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATIONAL PHASE FOR 62-330.310(1) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
17. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

18. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
 19. MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
 20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 21. CONTRACTOR SHALL NOTIFY EOR OF ANY PERCHED GROUNDWATER ENCOUNTERED ON SITE. THE PRESENCE OF PERCHED GROUNDWATER MAY NECESSITATE THE INSTALLATION OF ROADSIDE UNDERDRAINS.
- ADDITIONAL RESPONSIBILITIES OF HOMEBUILDER:**
1. SIDE YARD SWALES SHALL BE BUILT BY HOMEBUILDER. THE CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR.
 2. HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF SIDE YARD SWALES.
 3. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
 4. DISTURBED AREAS NOT PAVED SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS.
 5. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD.
 6. THE HOMEBUILDER SHALL COMPLY WITH THE STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMIT WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONSITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 7. ALL NEW ROOF RUNOFF, DOWNSPOUTS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND.
 8. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.

9. NO FENCES SHALL BE CONSTRUCTED IN PUBLIC OR PRIVATE DRAINAGE/ACCESS EASEMENTS.
10. FENCES OR OTHER STRUCTURES IN 10' PRIVATE DRAINAGE EASEMENT SHALL NOT IMPEDE STORMWATER FLOW.
11. BUILDING SETBACKS:
FRONT = 25'
SIDE = 10% OF LOT WIDTH
REAR = 25'
12. STEM WALL FOUNDATIONS OR RETAINING WALLS MAY BE REQUIRED TO COMPLY WITH LOT GRADING PLAN. ANY RETAINING WALL TALLER THAN 2-FT SHALL BE PERMITTED THROUGH THE BUILDING INSPECTION DEPARTMENT PRIOR TO CONSTRUCTION.
13. ALL NATURAL VEGETATION LOCATED WITHIN THE DESIGNATED GREEN BELT AREAS SHALL REMAIN UNDISTURBED. REMOVAL OF THIS VEGETATION IS PROHIBITED.

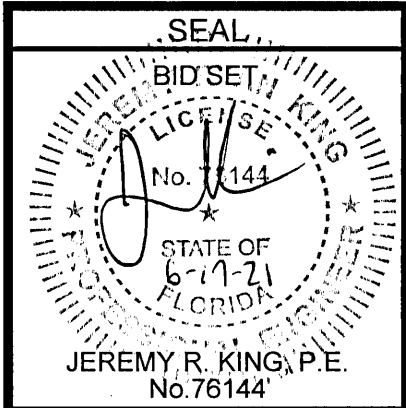


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Telephone: 850.438.4000 Fax: 850.438.0448
EB 00009657

NEIGHBORHOOD LOT
GRADING PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

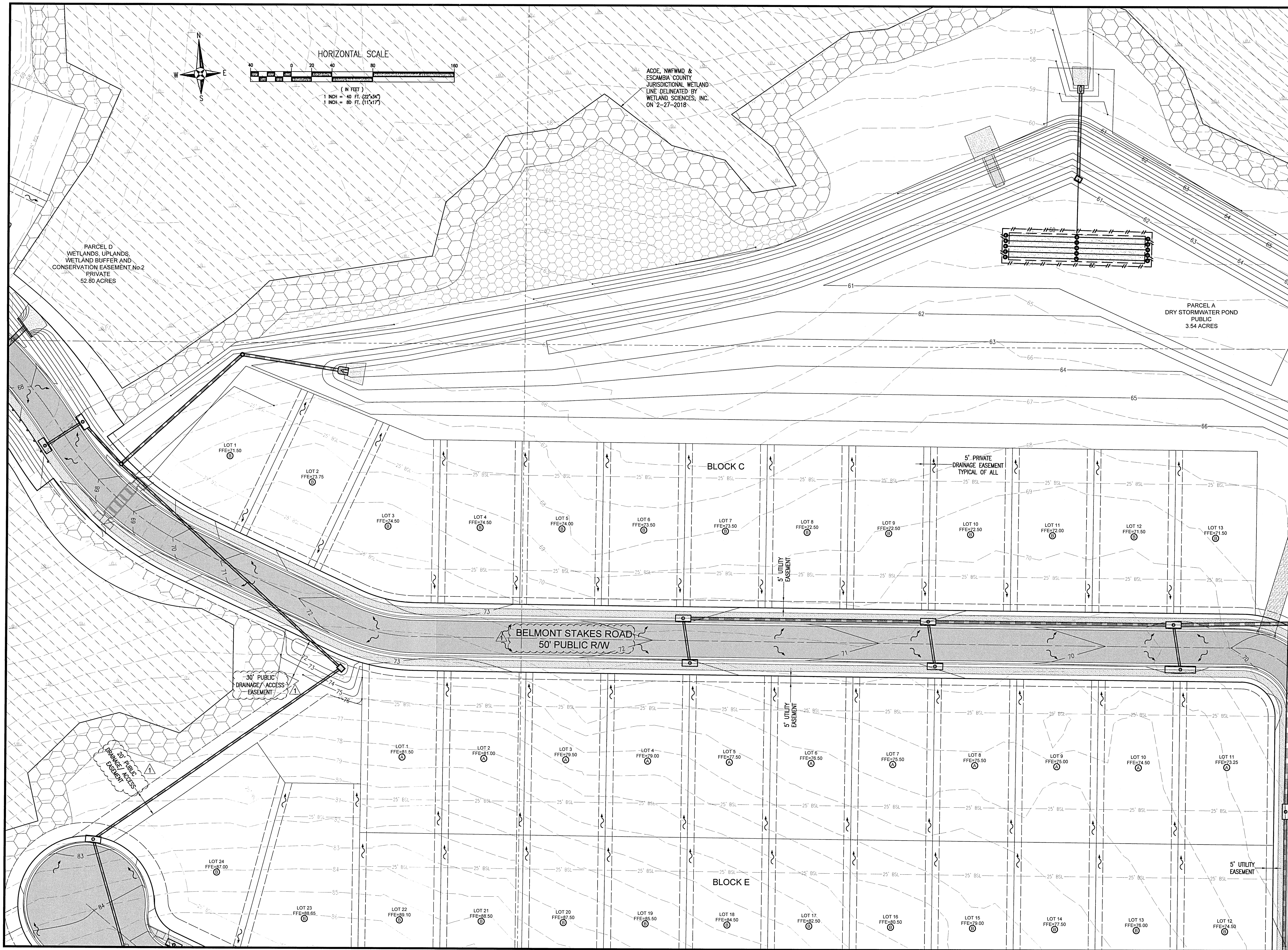
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Job No.: 2017.274
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**NEIGHBORHOOD LOT
 GRADING PLAN**

Bridlewood 2nd Addition
 A 69 LOT SUBDIVISION
 STEEPLECHASE BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

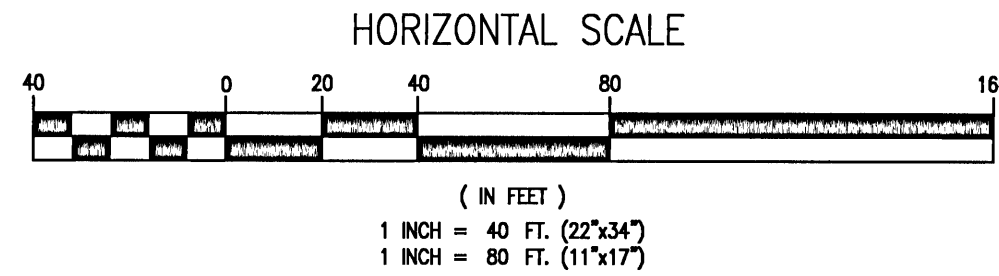
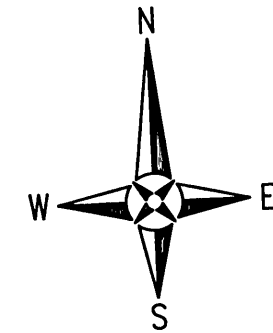
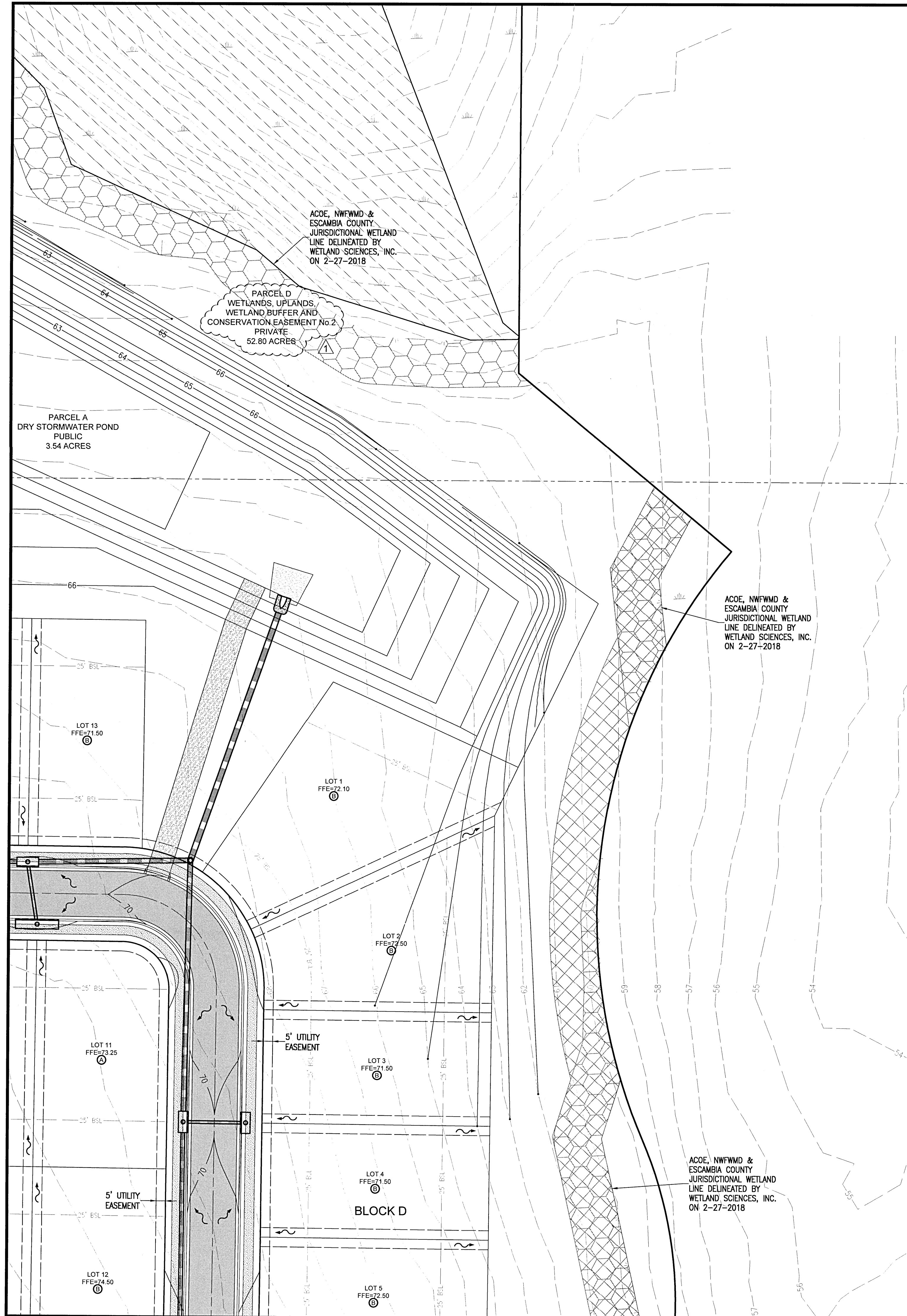
REVISION	DATE	ESCO COMMENTS
No. 1	4/1/2021	

SEAL
 BID SET
 No. 78144
 STATE OF FLORIDA
 JEREMY R. KING, P.E.
 No. 78144

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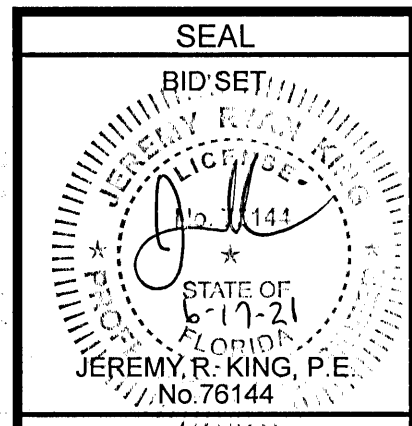


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**NEIGHBORHOOD LOT
 GRADING PLAN**

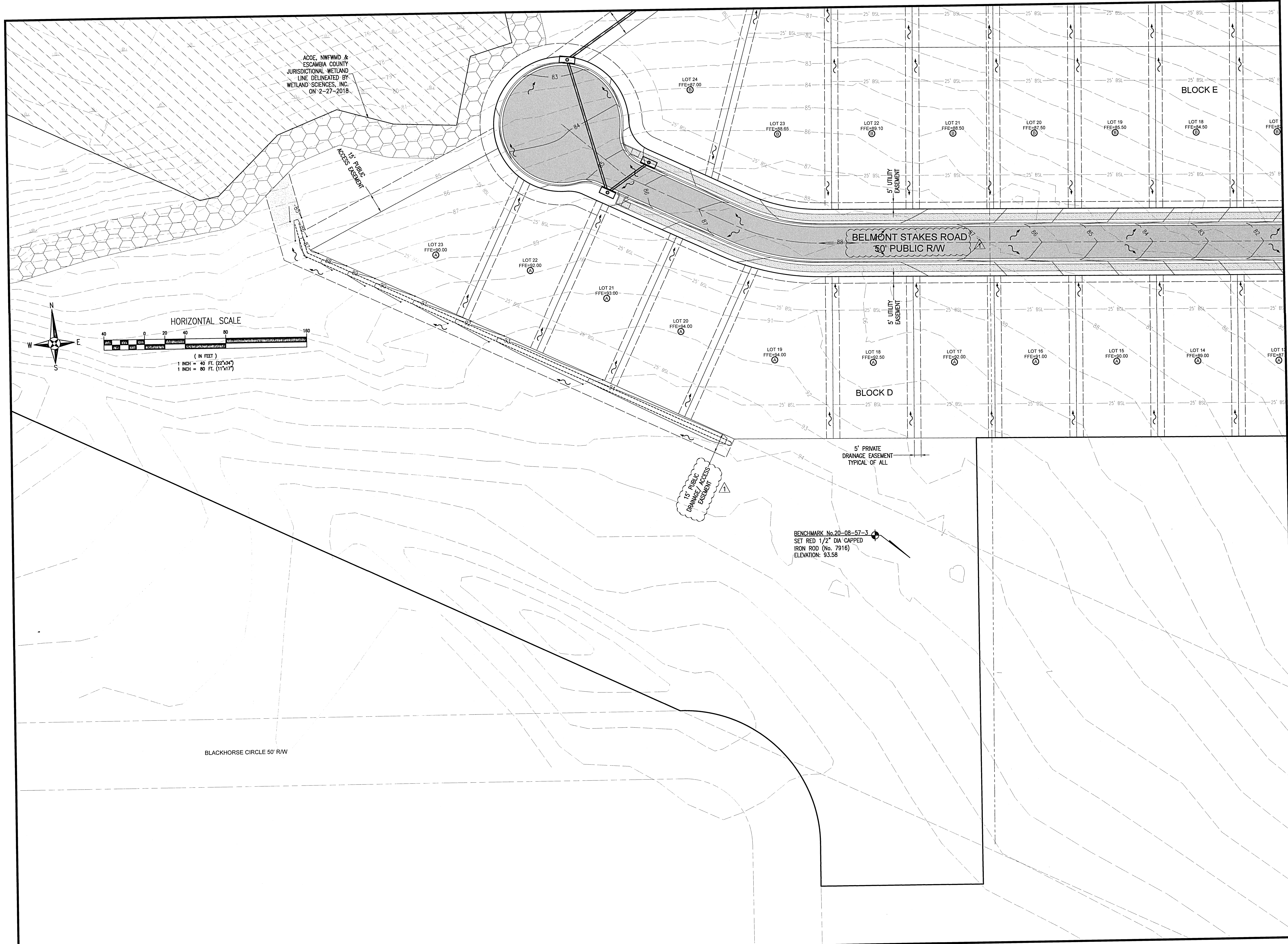
Bridlewood 2nd Addition
 A 69 LOT SUBDIVISION
 STEEPLECHASE BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS



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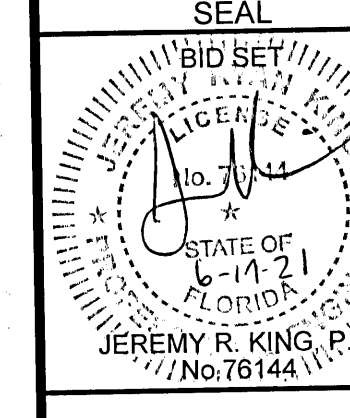


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**NEIGHBORHOOD LOT
GRADING PLAN**

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

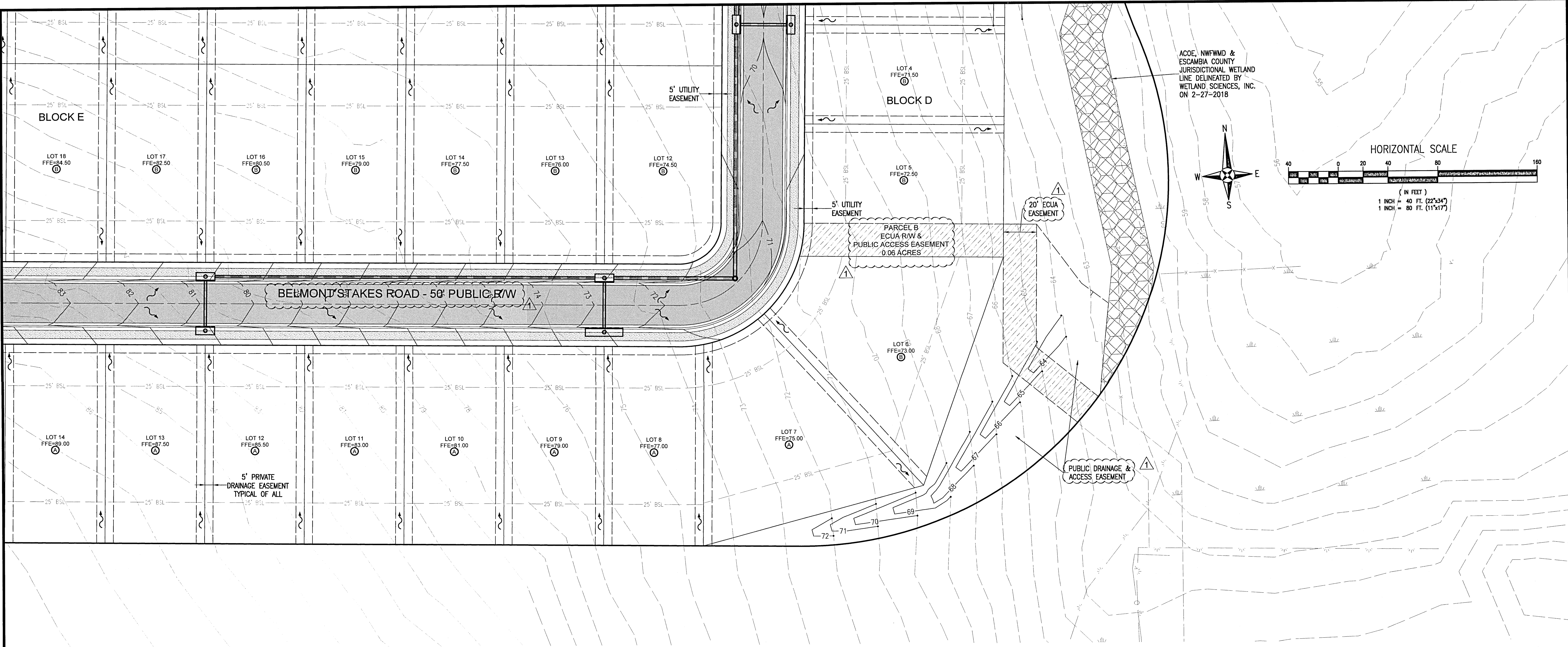



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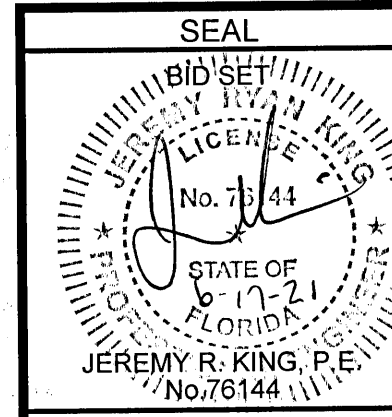


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NEIGHBORHOOD LOT
GRADING PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

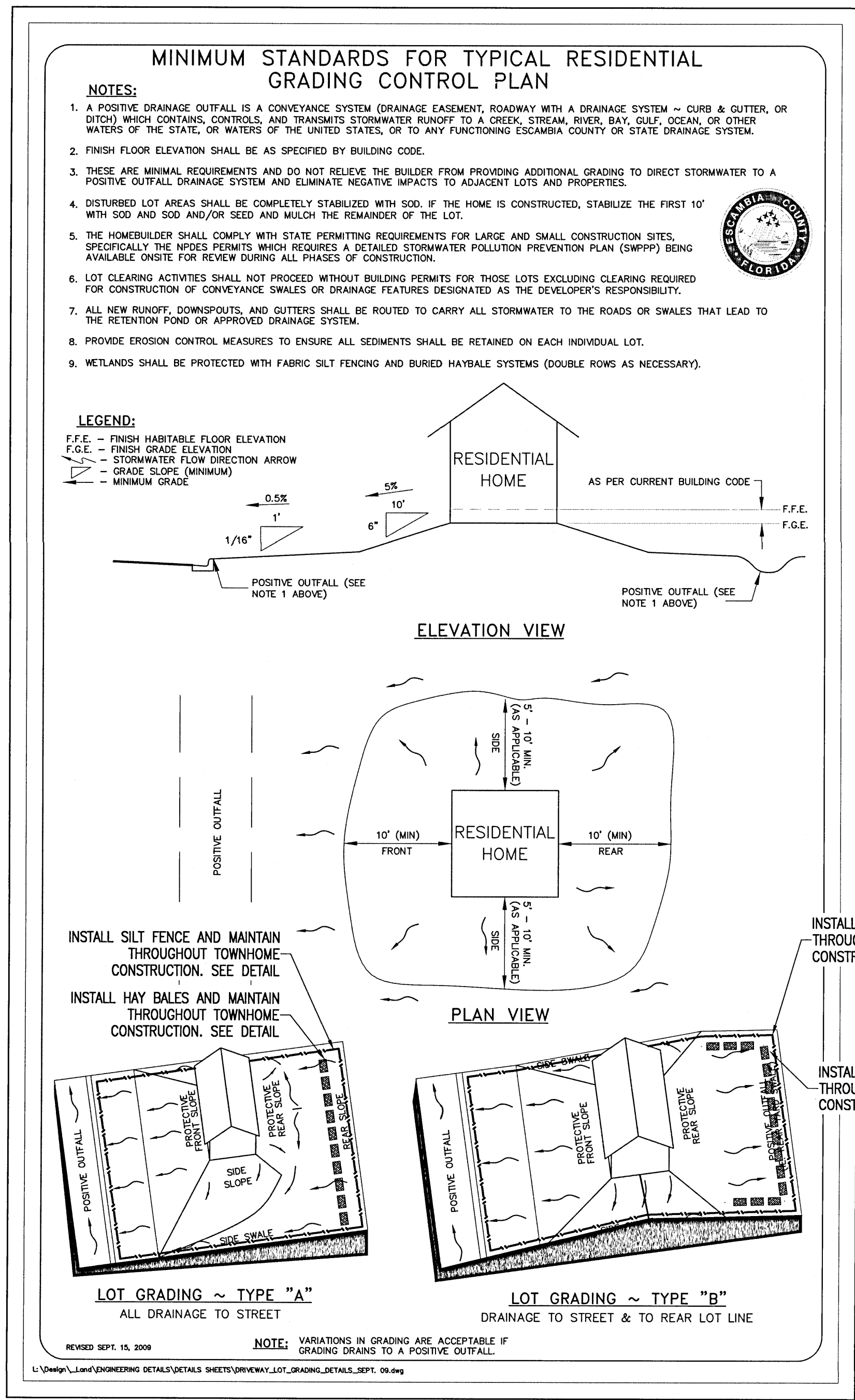


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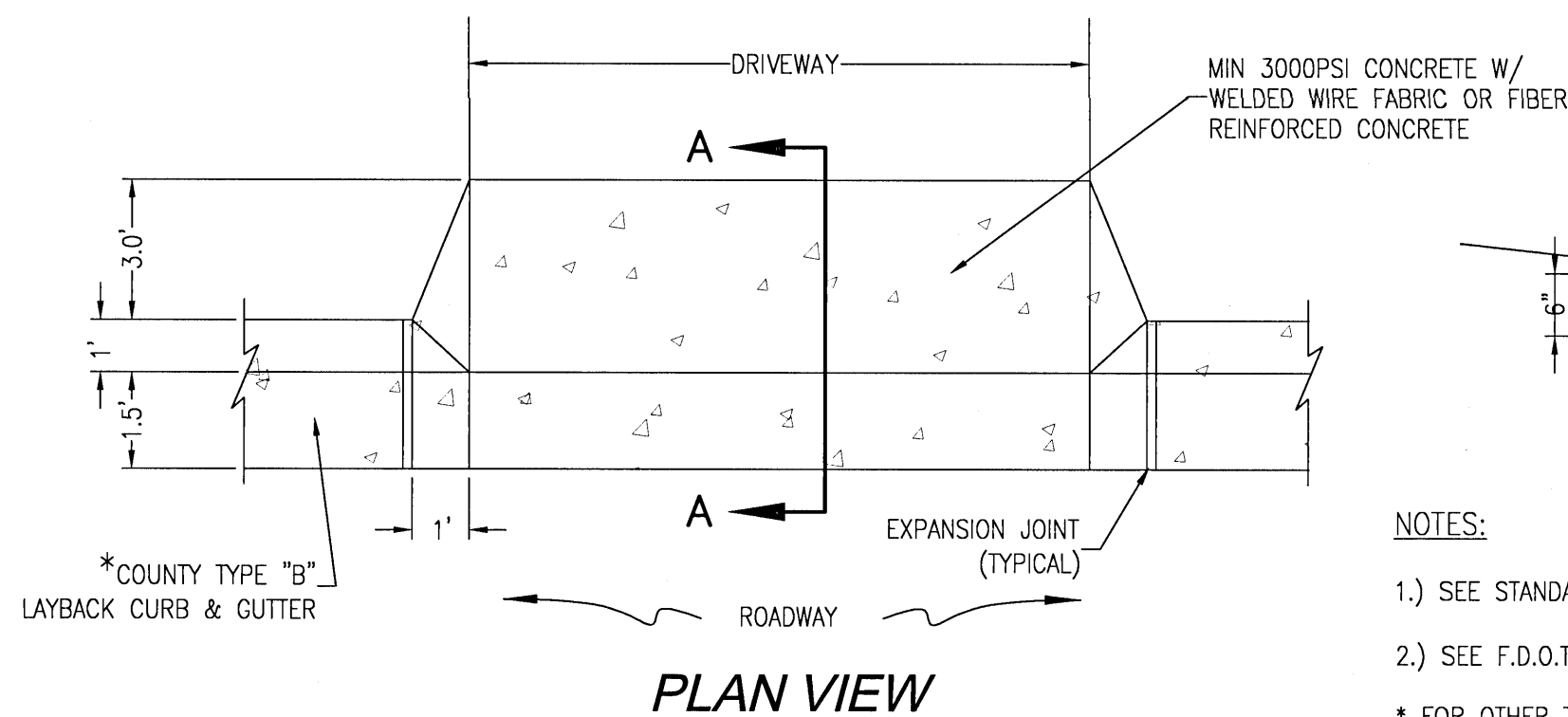


NOTES:

- 1) ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
- 2) DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1 - 1/2" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- 3) DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
- 4) IF NECESSARY, REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
- 5) RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
- 6) PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- 7) TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

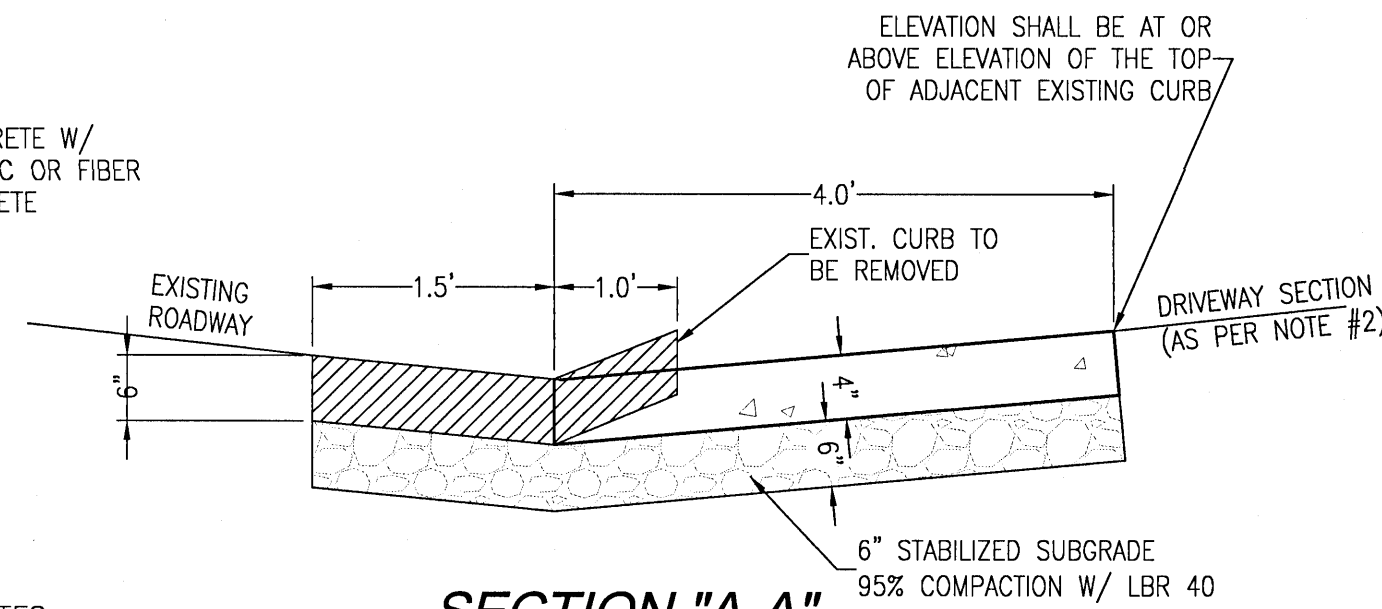
TYPE I

CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.

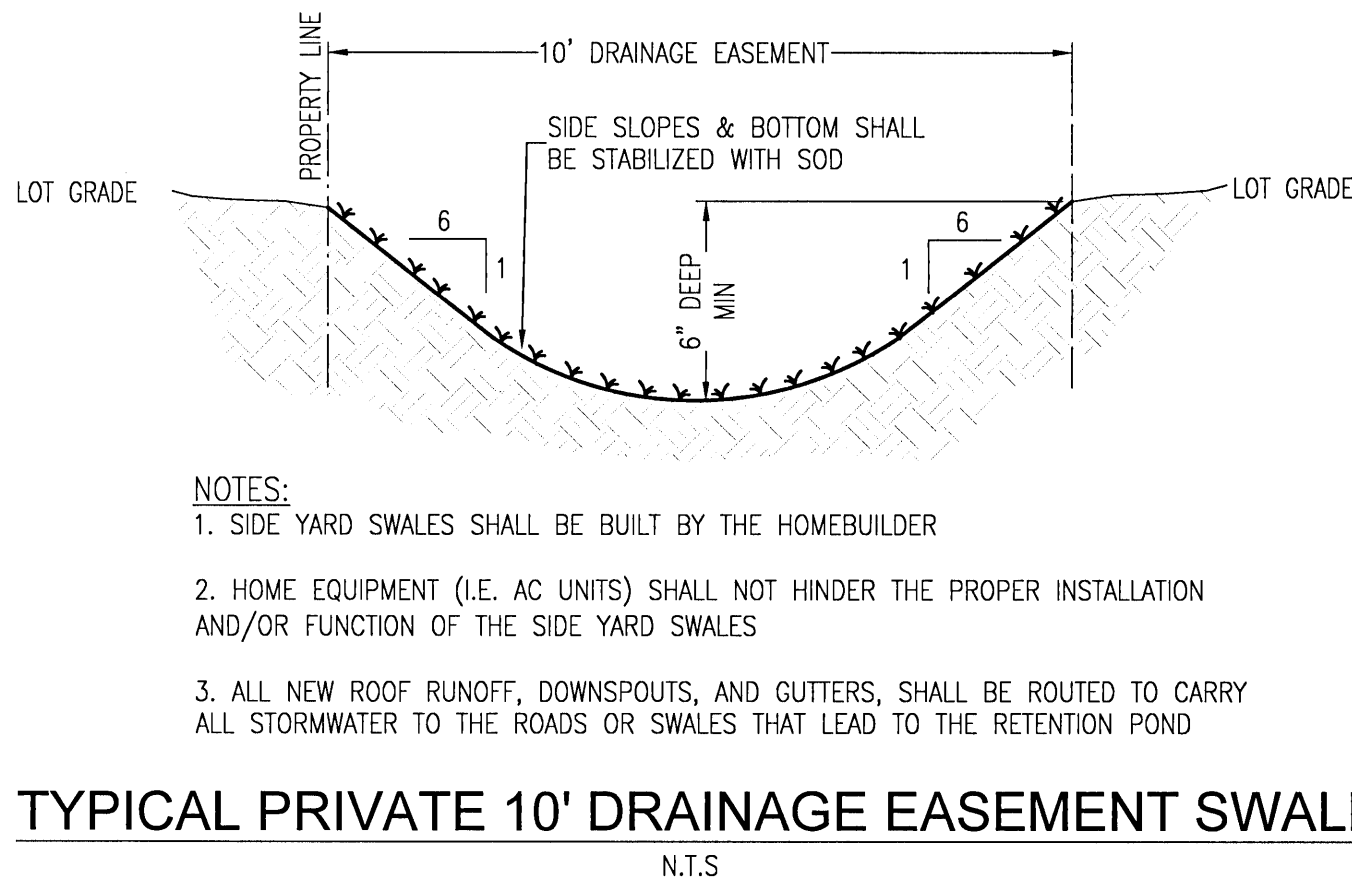
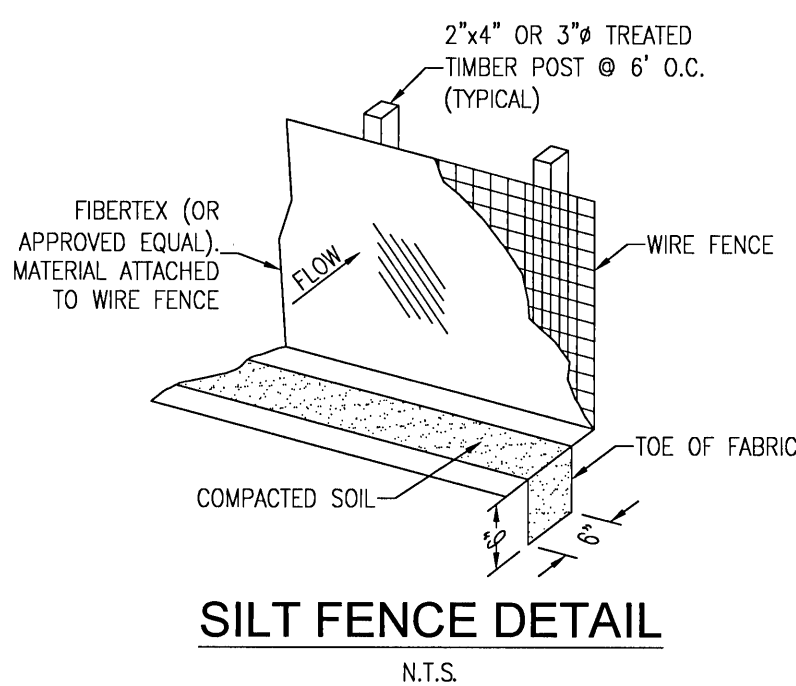
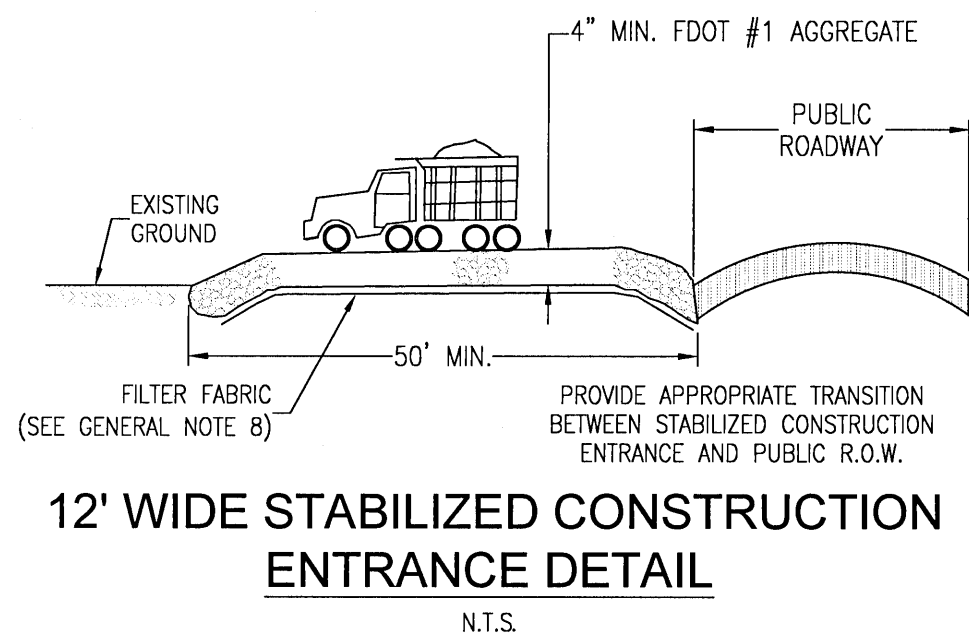
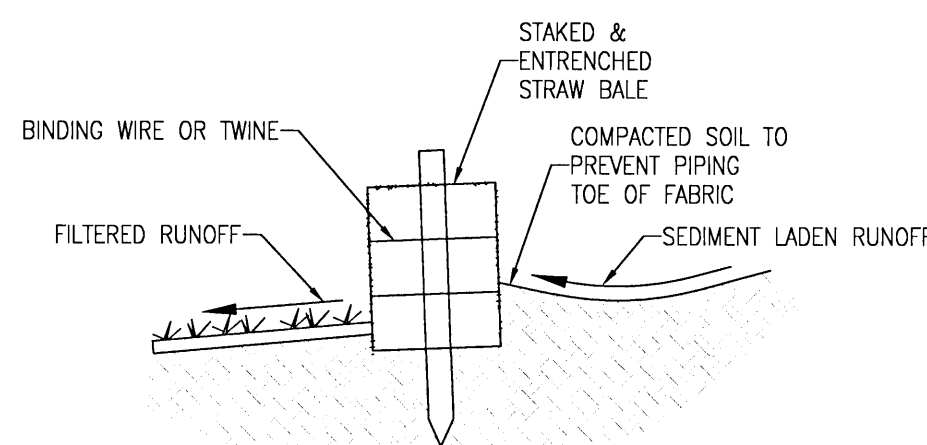


NOTES:

- 1.) SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.
 - 2.) SEE F.D.O.T. INDEX NO. 515 FOR OTHER CONNECTIONS.
- * FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.



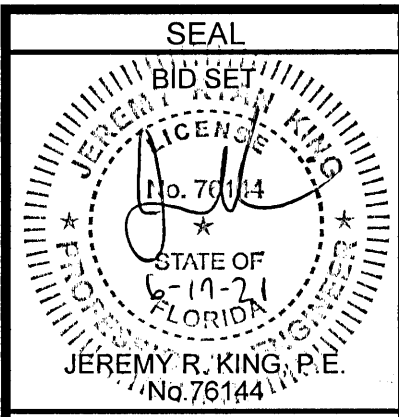
TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS



GRADING & DRAINAGE DETAILS

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
No.	1	

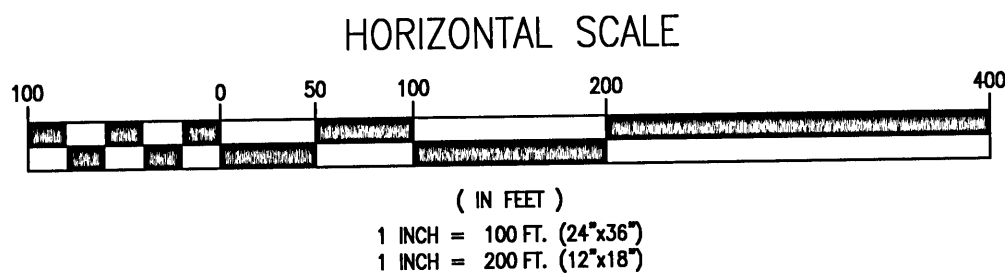
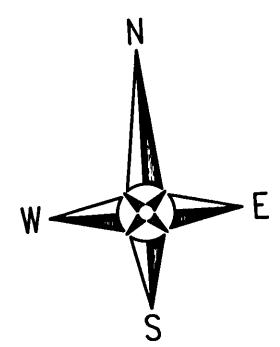


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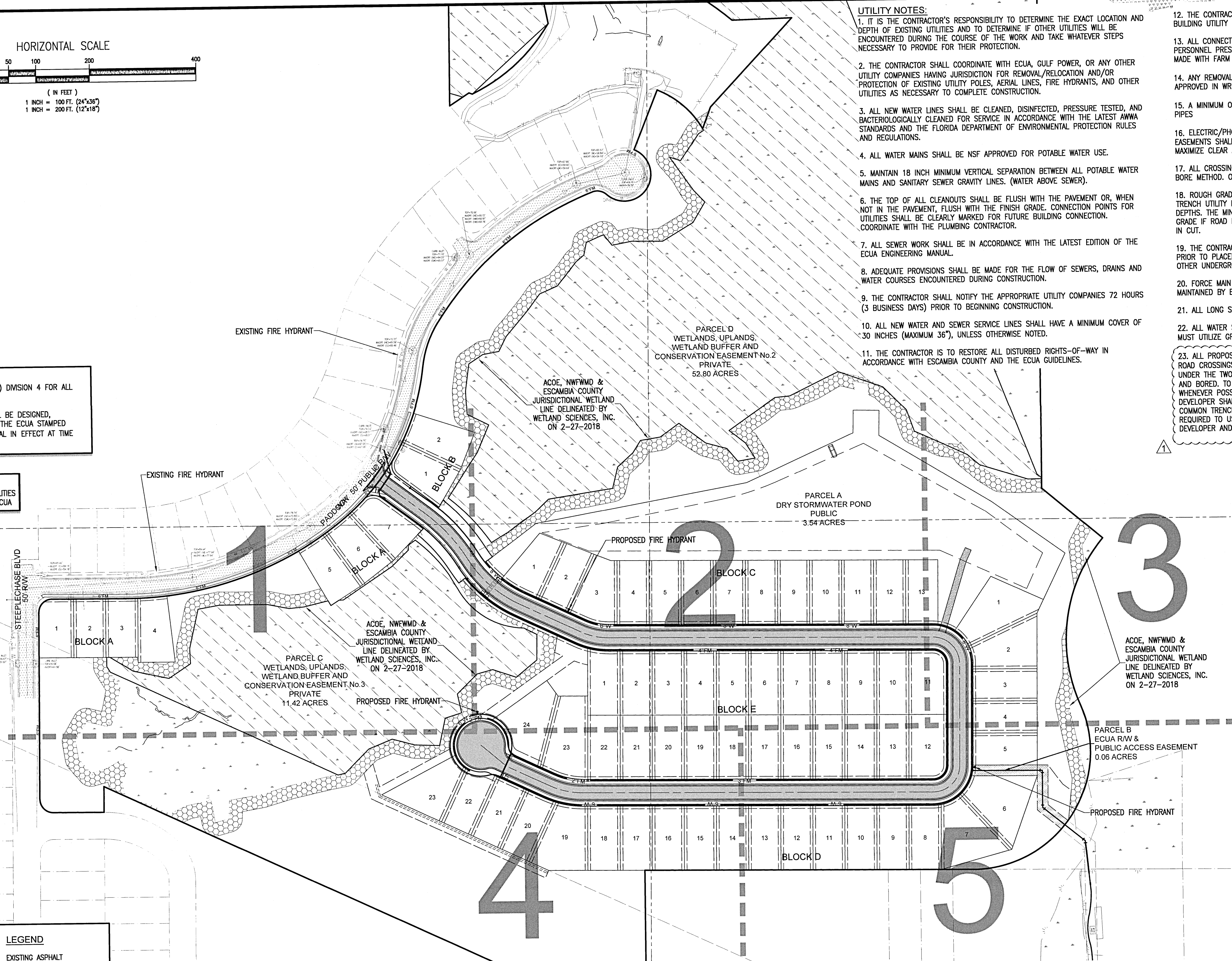
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UTILITY DETAIL REFERENCE NOTE:
REFER TO ECUA ENGINEERING MANUAL (9-1-2016) DIVISION 4 FOR ALL ECUA STANDARD DETAILS.

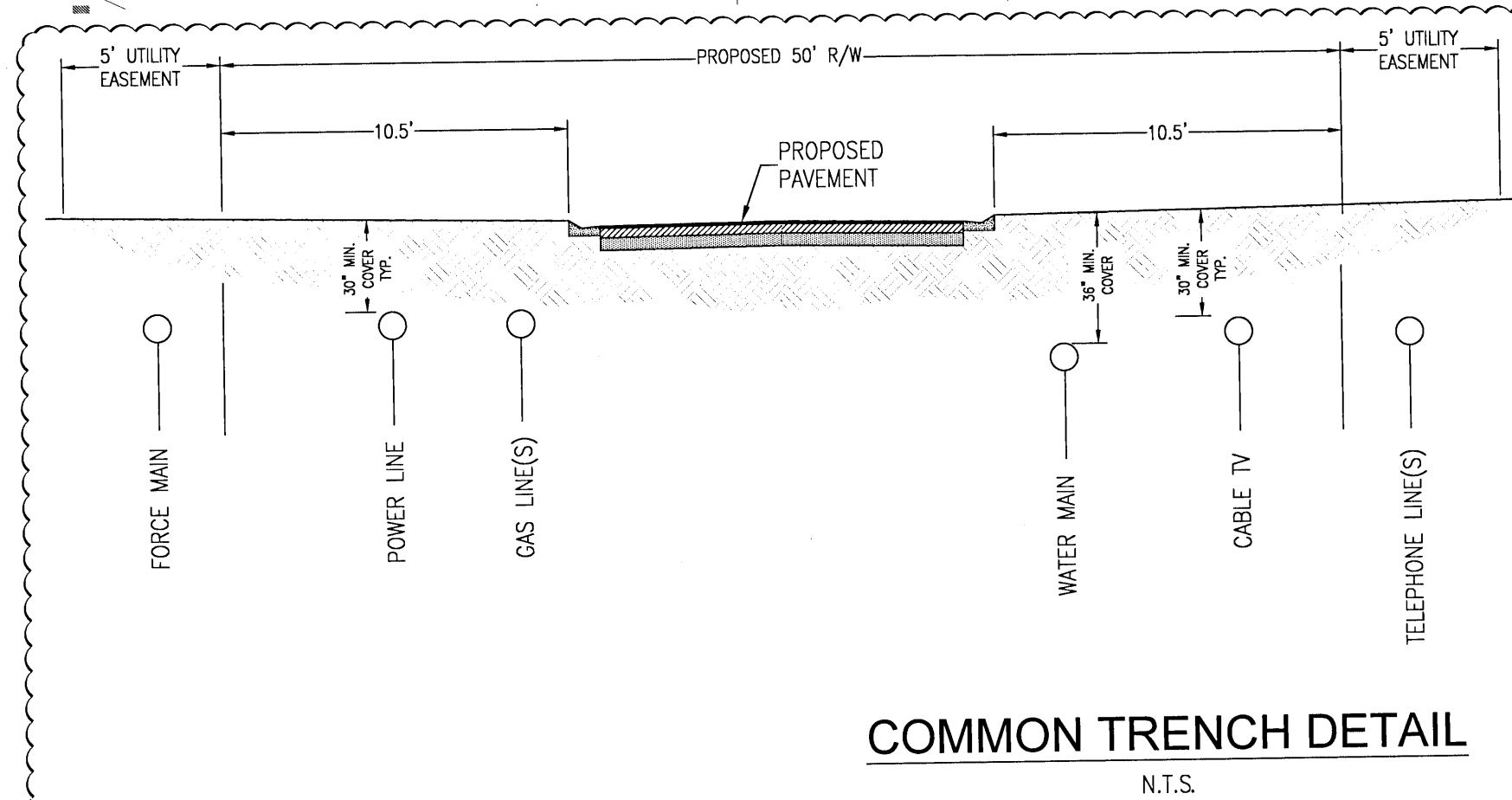
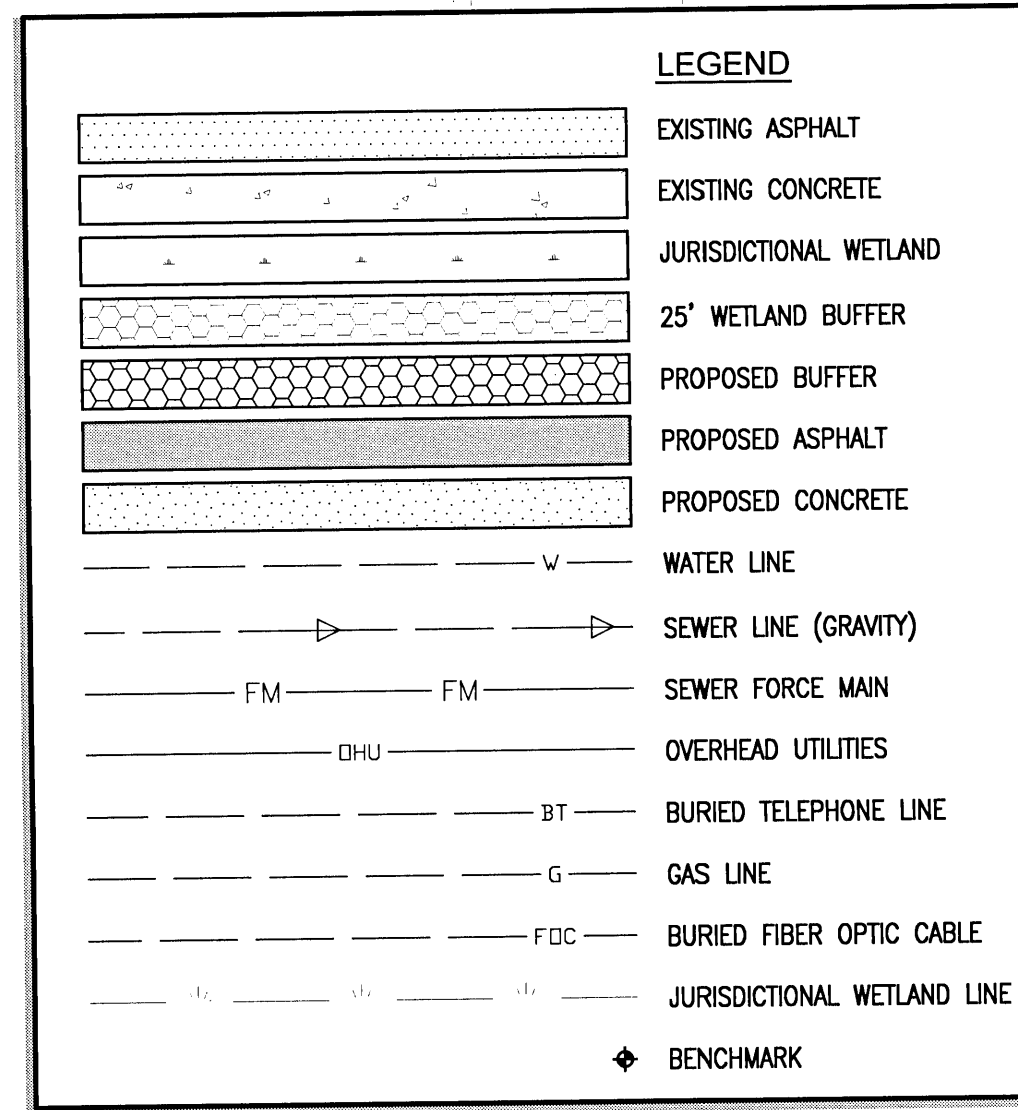
ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

NOTE:
ALL WATER & SEWER SYSTEM FACILITIES TO BE OWNED & MAINTAINED BY ECUA



- UTILITY NOTES:
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 2. THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 3. ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 4. ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 5. MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 6. THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 7. ALL SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 8. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 9. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 10. ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 11. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY AND THE ECUA GUIDELINES.

12. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
13. ALL CONNECTIONS TO THE ECUA SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT. ALL CONNECTIONS TO THE FARM HILL WATER SYSTEM SHALL BE MADE WITH FARM HILL UTILITIES PERSONNEL PRESENT.
14. ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
15. A MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES
16. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
17. ALL CROSSINGS UNDER EXISTING COUNTY ROADS SHALL BE DONE BY JACK AND BORE METHOD. OPEN CUTTING OF COUNTY ROADS IS PROHIBITED.
18. ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. THE MINIMUM COVER DIMENSION SHALL BE MEASURED FROM THE PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF FUTURE ROAD IS IN CUT.
19. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.
20. FORCE MAIN LOCATED IN RIGHT-OF-WAY & UTILITY EASEMENTS SHALL BE MAINTAINED BY ECUA.
21. ALL LONG SERVICES SHALL BE ENCASED.
22. ALL WATER SERVICE CURB STOPS & CORP STOPS MUST BE FORD. CURB STOPS MUST UTILIZE GRIP JOINT NUTS. (NO PACK JOINT NUTS)
23. ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN CUT OR JACK AND BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.



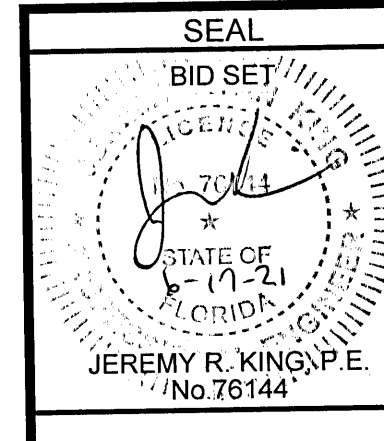
- NOTES:
1. NO STREETS OR ROADS WILL BE ALLOWED TO BE OPEN-CUT, OR JACK AND BORED, UNLESS SPECIFICALLY APPROVED BY THE COUNTY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT INSTALLED. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.
 2. CONTRACTOR SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN. DEVIATIONS MUST BE APPROVED BY ESCAMBIA COUNTY.
 3. CONTRACTOR SHALL INSTALL POWER LINE ON OPPOSITE SIDE OF ROAD AS DOMESTIC WATER LINE.
 4. ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUITS FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING.

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OVERALL UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

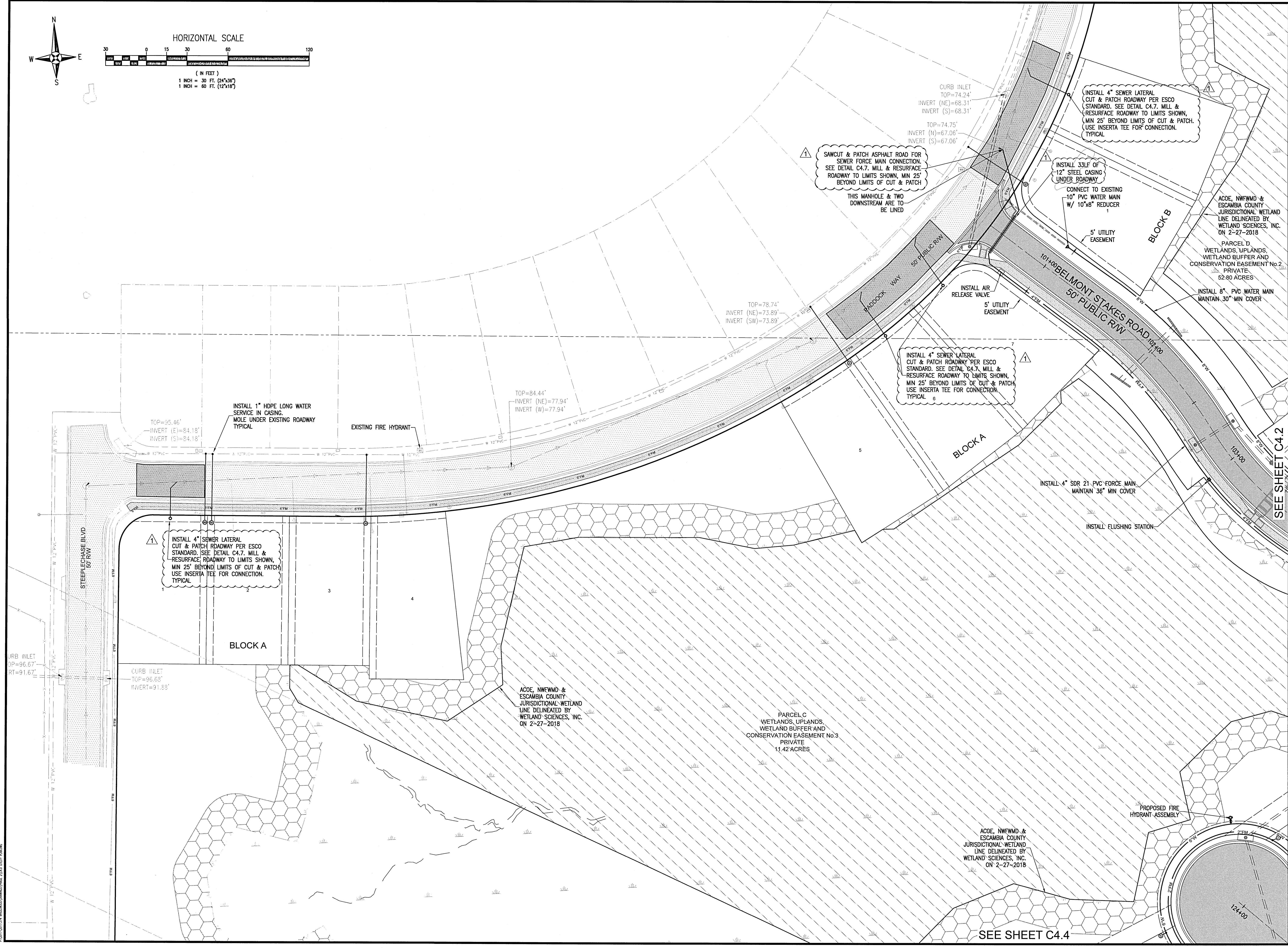
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Ck By: JRK
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Date: 6/16/2021

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UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

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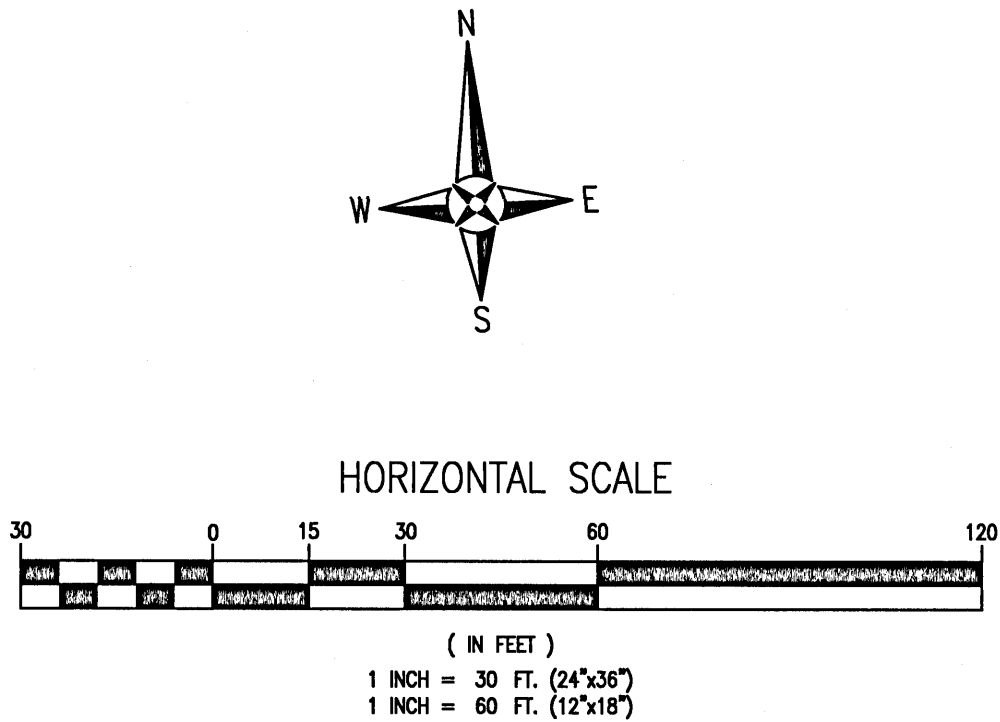
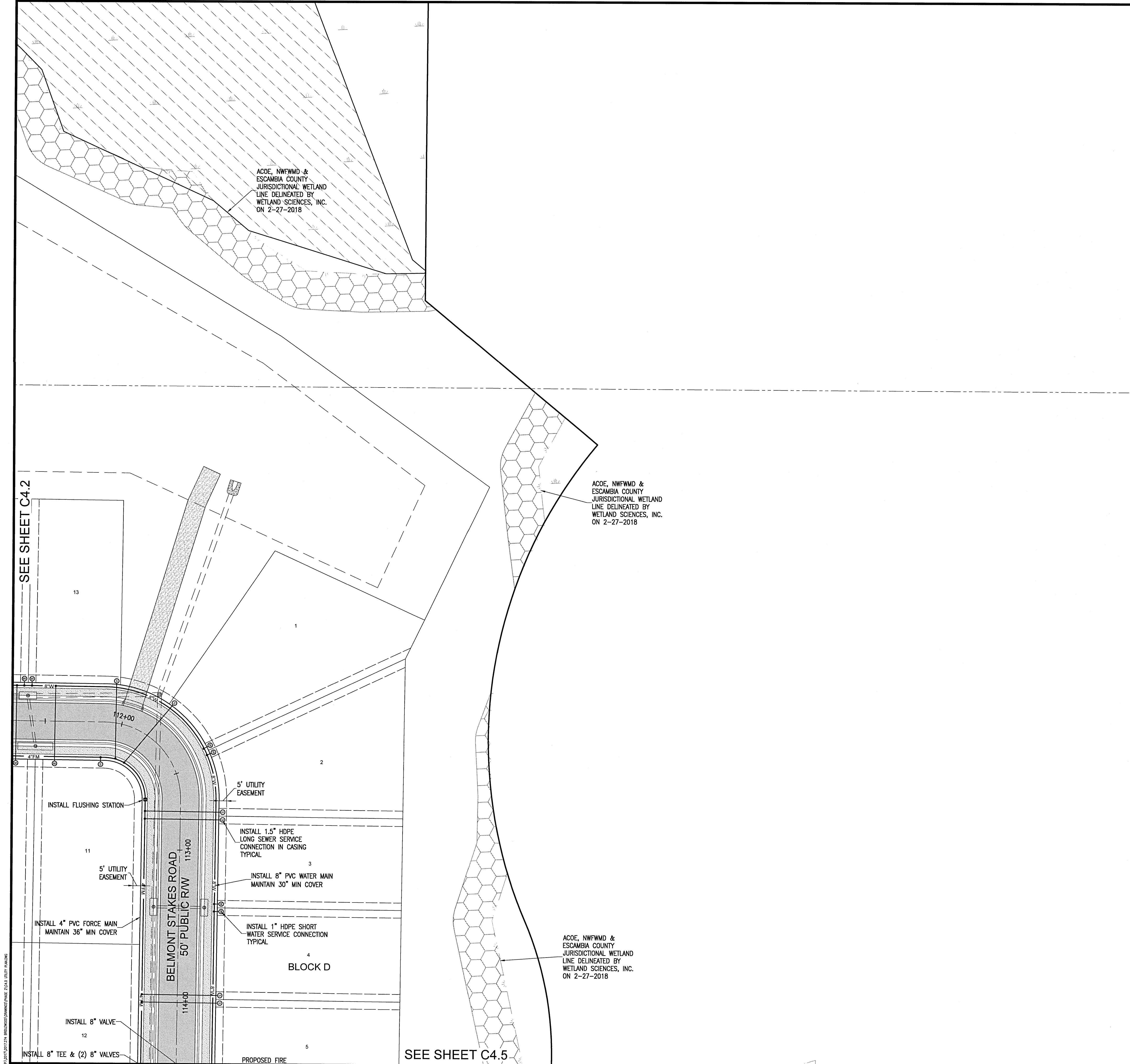
JEREMY R. KING, P.E.
No. 76144

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Ck By: JRK
Job No.: 2017.274
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UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

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BID SET

LICENSE

No. 7144

STATE OF FLORIDA

6-17-21

JEREMY R. KING, P.E.

No. 78144

Dr. By: CBD

Chk By: JRK

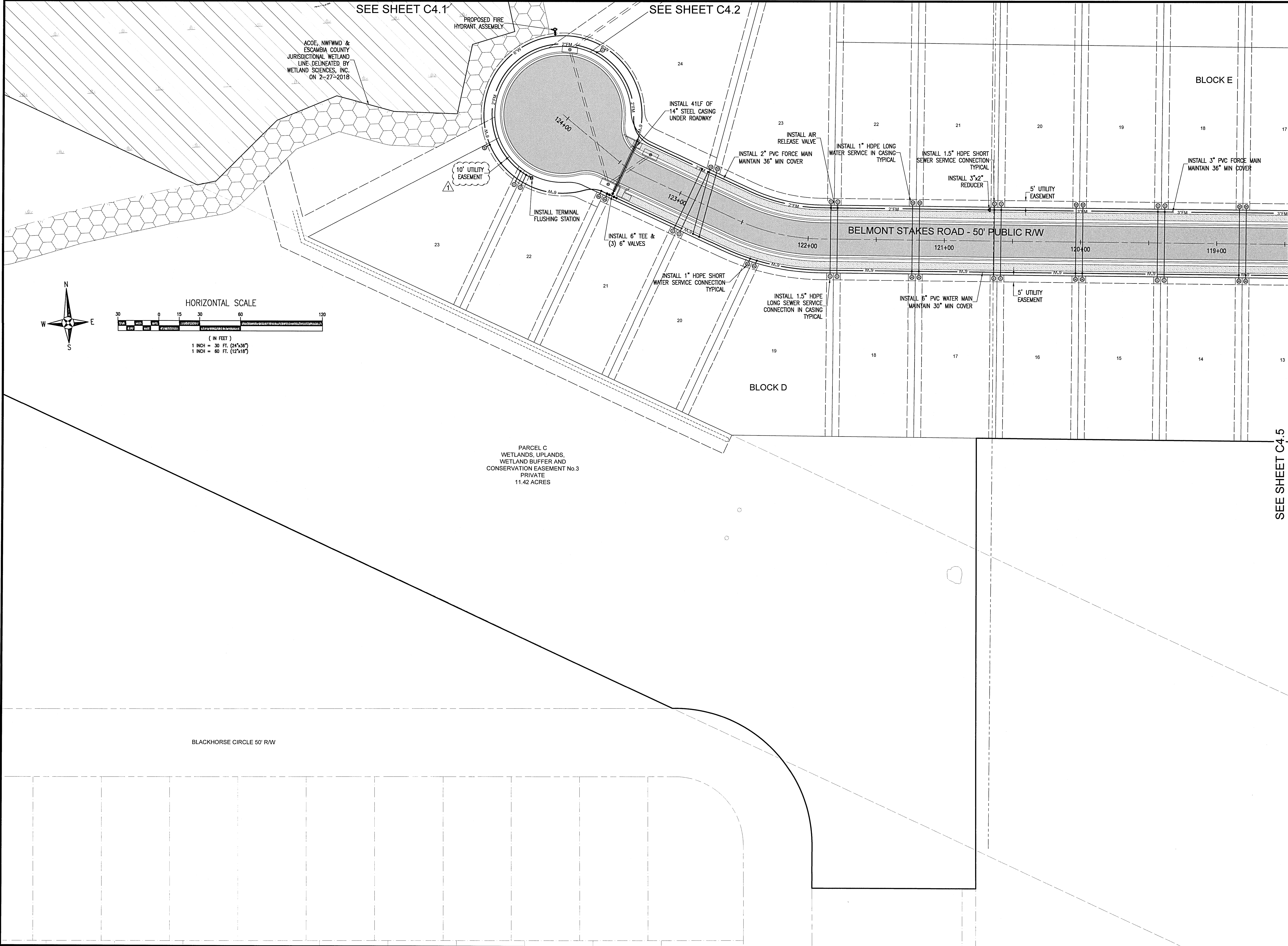
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SEE SHEET C4.1

SEE SHEET C4.2

SEE SHEET C4.5

ACOE, NWFWMD &
ESCAMBIA COUNTY
JURISDICTIONAL WETLAND
LINE DELINEATED BY
WETLAND SCIENCES, INC.
ON 2-27-2018

PROPOSED FIRE
HYDRANT ASSEMBLY

10' UTILITY
EASEMENT

INSTALL TERMINAL
FLUSHING STATION

INSTALL 6" TEE &
(3) 6" VALVES

INSTALL 41LF OF
14" STEEL CASING
UNDER ROADWAY

INSTALL 2" PVC FORCE MAIN
MAINTAIN 36" MIN COVER

INSTALL AIR
RELEASE VALVE

INSTALL 1" HDPE LONG
WATER SERVICE IN CASING
TYPICAL

INSTALL 1.5" HDPE SHORT
SEWER SERVICE CONNECTION
TYPICAL

INSTALL 3"x2"
REDUCER

5' UTILITY
EASEMENT

INSTALL 3" PVC FORCE MAIN
MAINTAIN 36" MIN COVER

BELMONT STAKES ROAD - 50' PUBLIC R/W

BLOCK D

BLOCK E

PARCEL C
WETLANDS, UPLANDS,
WETLAND BUFFER AND
CONSERVATION EASEMENT No.3
PRIVATE
11.42 ACRES

BLACKHORSE CIRCLE 50' R/W

HORIZONTAL SCALE

(IN FEET)
1 INCH = 30 FT. (24"x36")
1 INCH = 60 FT. (12"x18")

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UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
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SEAL
BID SET
JEREMY R. KING, P.E.
No. 76144

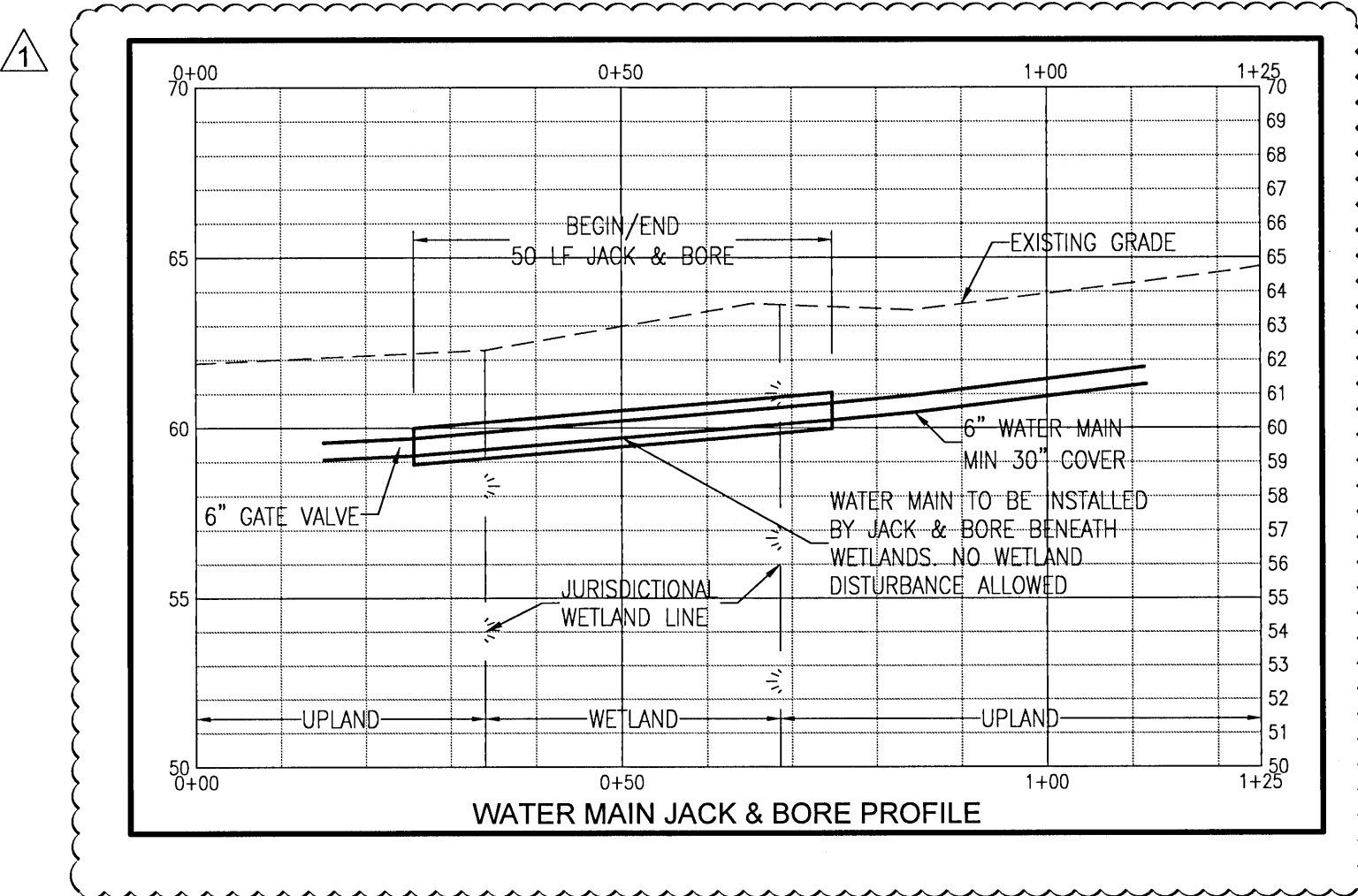
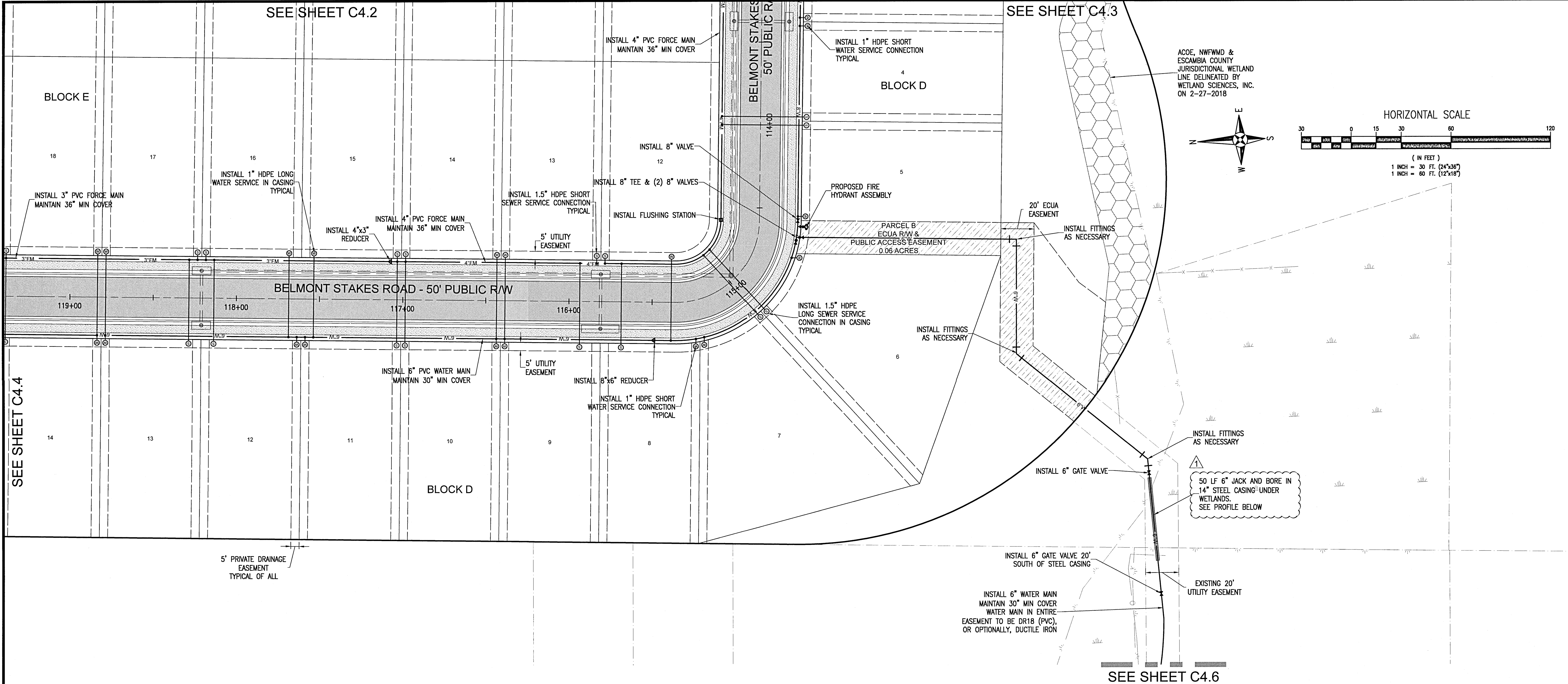
Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C4.4

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P:\2017\2017A BRIDLEWOOD\DRAWINGS\DWG C4.04 UTILITY PLAN.dwg



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Telephone 850.438.0400 Fax 850.438.0448
EIR 0006657

UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	REVISION	DATE	ESCO COMMENTS
1		4/1/2021	

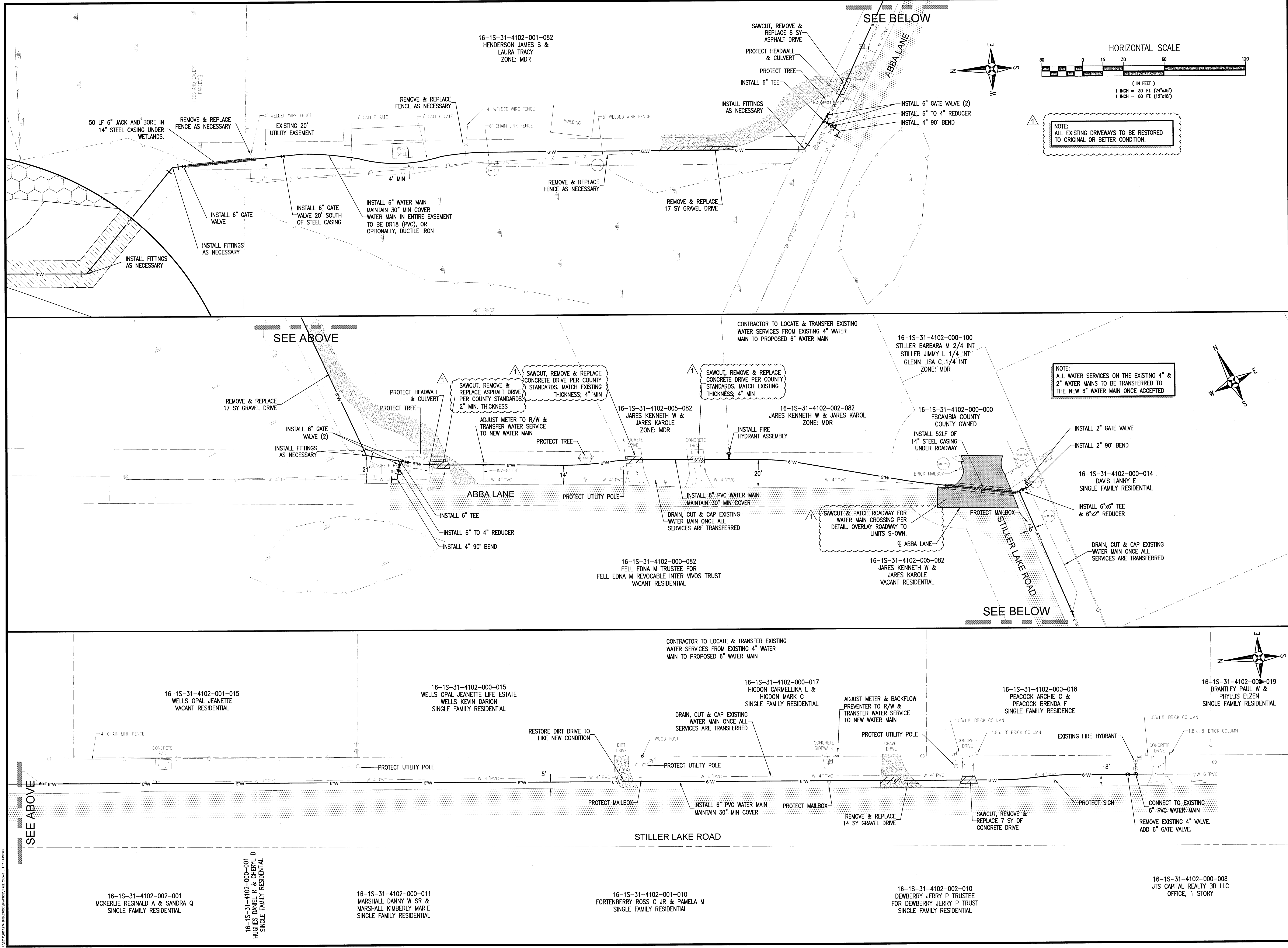
SEAL

STATE OF FLORIDA
6-17-21
P.E.
JEREMY R. KING, P.E.
No. 76144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C4.5

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OFF SITE UTILITY PLAN

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		

SEAL

BID SET

10.70.14

STATE OF FLORIDA

JEREMY R. KING, P.E.

No. 76144

Dr. By: CBD

Ck By: JRK

Job No.: 2017.274

Date: 6/16/2021

DRAWING No.

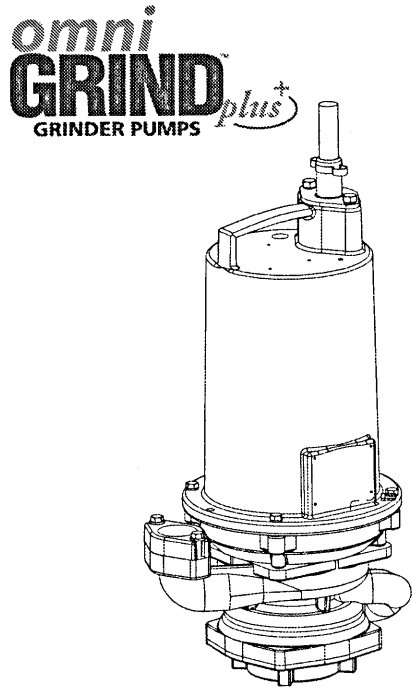
C4.6

Series OGP
Recessed Vortex

BARNES®
www.cranepumps.com

Submersible Grinder Pumps

I&O Manual



Series: OGP
2HP, 3450RPM, 60Hz

Sample Specification

This product may be covered by one or more of the following patents and other patent(s) pending:
US Patent 7,357,341

DESCRIPTION:

THE GRINDER PUMP IS DESIGNED TO REDUCE DOMESTIC SEWAGE TO A FINELY GROUND SLURRY.

WARNING:
CANCER AND REPRODUCTIVE HARM -
WWW.P65WARNINGS.CA.GOV

Specifications:

DISCHARGE 1 1/2" NPT, Vertical, Bolt-on Flange
LIQUID TEMPERATURE 104°F (40°C) Continuous
VOLUTE Cast Iron ASTM A-48, Class 30
MOTOR HOUSING Cast Iron ASTM A-48, Class 30
SEAL PLATE Cast Iron ASTM A-48, Class 30
IMPELLERS: Design 12 Vane, Vortex, With Pump Out Vanes
On Back Side, Dynamically Balanced,
ISO 99-3,
Material 85-5-5-8 Bronze
IMPELLER SPACER 300 Series Stainless Steel
SHREDDING RING Hardened 440C Stainless Steel
Rockwell® C-55,
CUTTER Hardened 440C Stainless Steel,
Rockwell® C-55,
SHAFT 416 Stainless Steel
SQUARE RINGS Buna-N
HARDWARE 300 Series Stainless Steel
PAINT Air Dry Enamel
SEAL: Design Single Mechanical
Material Rotating Faces - Silicon-Carbide
Stationary Faces - Silicon-Carbide
Elastomer - Buna-N
Hardware - 300 Series Stainless
CORD ENTRY 30 ft. (9.1 m) Std. Cord, Custom Molded
Quick Connect, for Sealing and Strain
Relief
CORD Manual CSA/UL Approved, 12/4 Type SOV
UPPER BEARING: Design Single Row, Angular contact Ball
Lubrication Oil Radial & Thrust
Load
LOWER BEARING: Design Single Row, Angular contact Ball
Lubrication Oil Radial & Thrust
Load
MOTOR: Design NEMA L-Single Phase Torque Curve,
Oil-Filled, Squirrel Cage Induction
(includes overload protection in the
motor), NEMA B three phase torque curve,
Class F
Insulation
SINGLE PHASE Capacitor Start/Capacitor Run
THREE PHASE Tri-Voltage 200/240-480, requires
overload protection to be included in
control panel.
OPTIONAL EQUIPMENT: Cord Length, Moveable Fitting
RECOMMENDED:
Accessories: Break Away Fitting (BAF)
Check Valve
Control Panel
Seal Kit PN 116664
Service Kit PN 116665



SECTION 3B
PAGE 20
DATE 12/18

CRANE
A Crane Co. Company

PUMPS & SYSTEMS

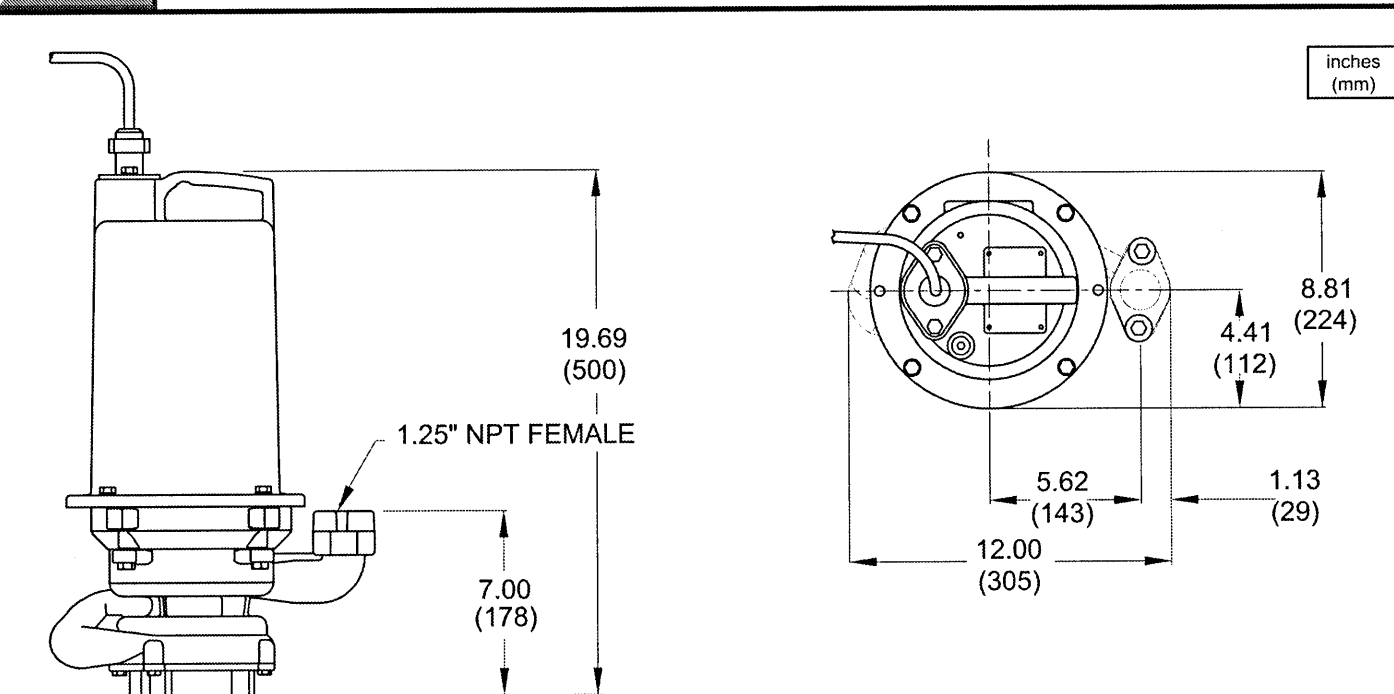
USA: (937) 778-8947 • Canada: (905) 457-6223 • International: (937) 615-3598

BARNES®
www.cranepumps.com

Series OGP
Recessed Vortex

I&O Manual

Submersible Grinder Pumps



MODEL NO	PART NO	HP	VOLT	PH/Hz	RPM (Nom)	NEMA START CODE	FULL LOAD AMPS	LOCKED ROTOR AMPS	CORD SIZE	CORD TYPE	CORD O.D. ±.02 (5) in (mm)
OGP2022L	115328	2	240	1/60	3450	H	16.5	53.8	12/3	SOW	61 (15.5)
OGP2062L	134925	2	200	3/60	3450	L	10.8	52.7	12/4	SOW	67 (17.0)
OGP2032L	135034	2	240	3/60	3450	L	8.9	43.9	12/4	SOW	67 (17.0)
OGP2042L	135035	2	480	3/60	3450	L	4.5	22.0	12/4	SOW	67 (17.0)

FOR 3 PHASE MODELS: TEMPERATURE SENSOR CORD IS 14/3 SOW, 0.55 (14MM) ±.02 (5.1MM) O.D.

IMPORTANT !

- PUMP MAY BE OPERATED "DRY" FOR EXTENDED PERIODS WITHOUT DAMAGE TO MOTOR AND/OR SEALS.
- INSTALLATIONS SUCH AS DECORATIVE FOUNTAINS OR WATER FEATURES PROVIDED FOR VISUAL ENJOYMENT MUST BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (ANSI/NFPA 70) AND/OR THE AUTHORITY HAVING JURISDICTION. THIS PUMP IS NOT INTENDED FOR USE IN SWIMMING POOLS, RECREATIONAL WATER PARKS, OR INSTALLATIONS IN WHICH HUMAN CONTACT WITH PUMPED MEDIA IS A COMMON OCCURRENCE.

SECTION 3B
PAGE 21
DATE 8/16

CRANE
A Crane Co. Company

PUMPS & SYSTEMS

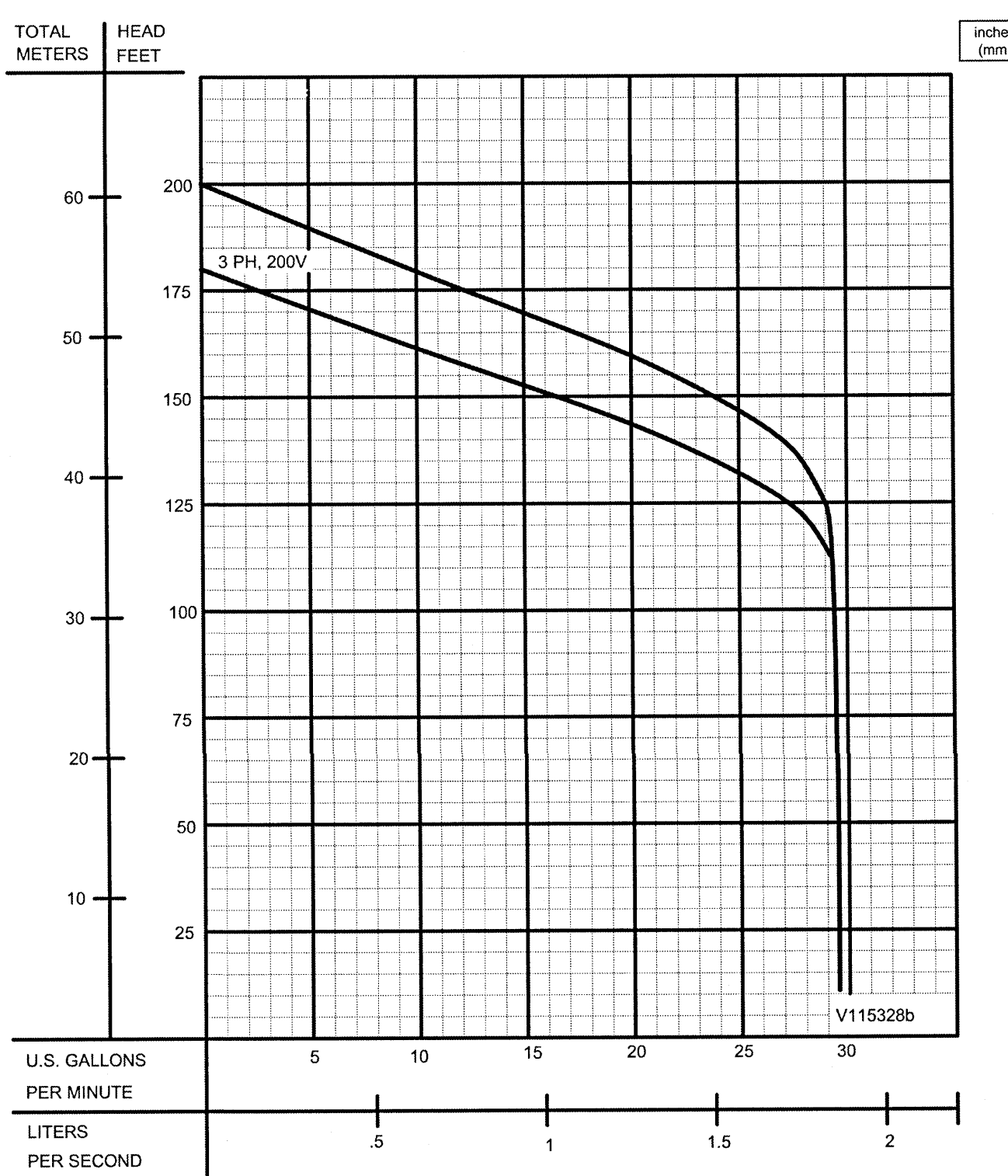
USA: (937) 778-8947 • Canada: (905) 457-6223 • International: (937) 615-3598

Series OGP
Performance Curve
2HP, 3450RPM, 60Hz, High-Flow

BARNES®
www.cranepumps.com

Submersible Grinder Pumps

I&O Manual



Testing is performed with water, specific gravity 1.0 @ 68° F @ (20°C), other fluids may vary performance

SECTION 3B
PAGE 22
DATE 3/13

CRANE
A Crane Co. Company

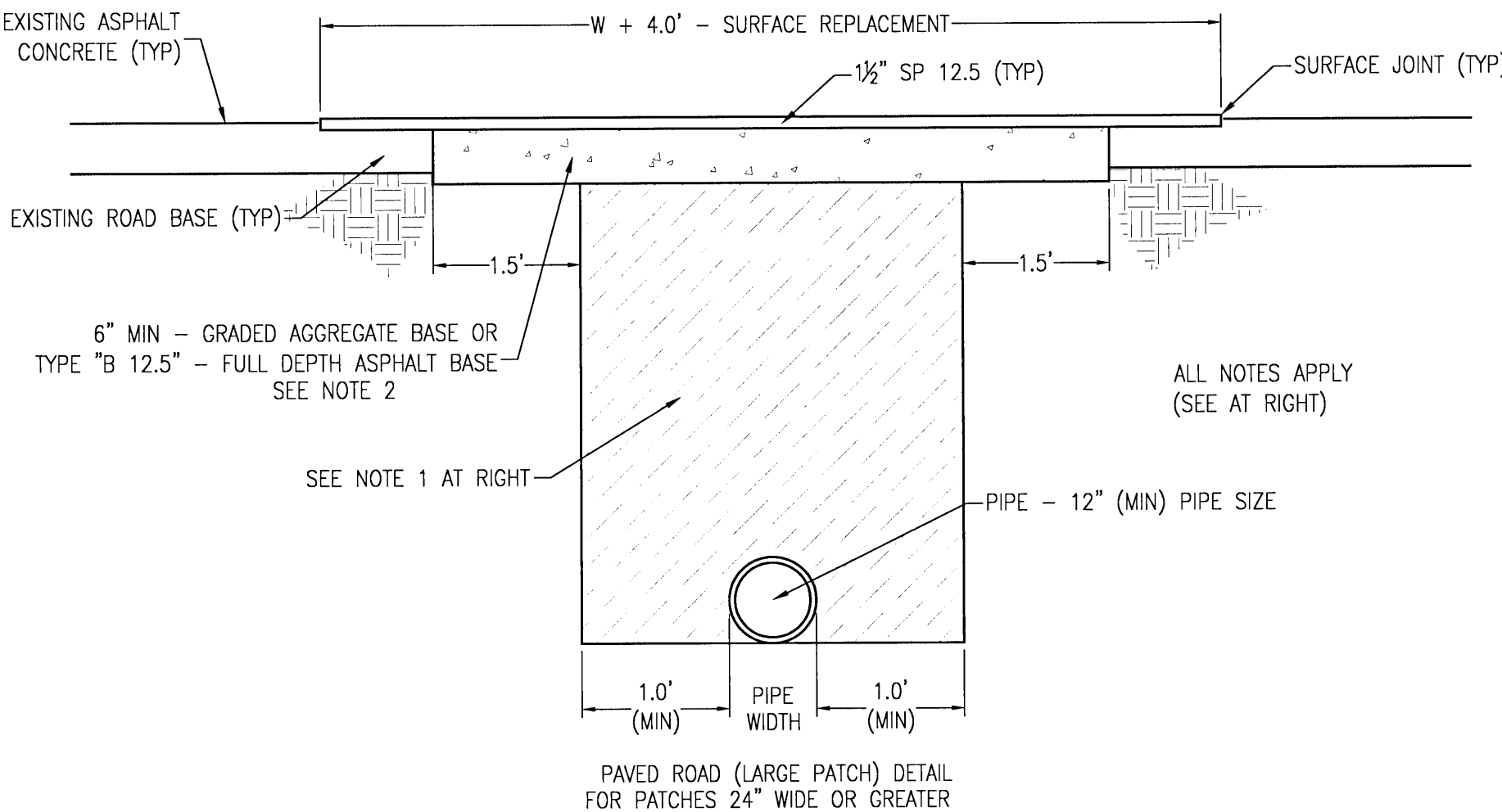
PUMPS & SYSTEMS

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RECOMMENDED LOW PRESSURE PUMP DETAILS
NTS

NOTES:

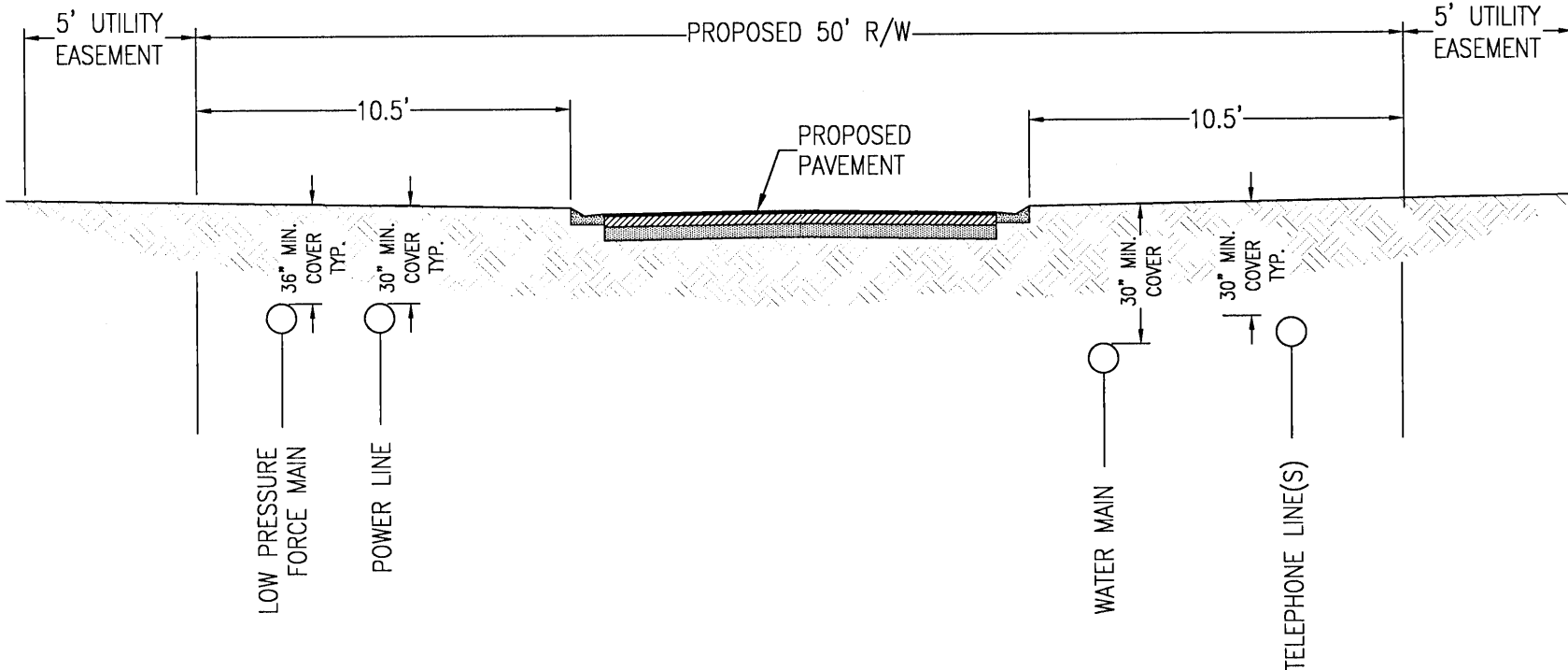
- DIRT ROAD PATCH WORK SUB BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 8" LIFTS, EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.
- GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.
- ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
- LONGITUDINAL ROAD CUTS THAT AFFECT ONE TRAVEL LANE SHALL REQUIRE MILLING AND REPAVING OF THE AFFECTED TRAVEL LANE 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL. LONGITUDINAL ROAD CUTS THAT AFFECT BOTH TRAVEL LANES SHALL REQUIRE MILLING AND REPAVING OF THE ENTIRE ROADWAY 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL.



ESCAMBIA COUNTY PATCH DETAILS
NOT TO SCALE

NOTES:

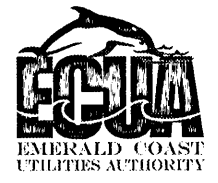
- NO STREETS OR ROADS WILL BE ALLOWED TO BE OPEN-CUT, OR JACK AND BORED, UNLESS SPECIFICALLY APPROVED BY THE COUNTY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT INSTALLED. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.
- CONTRACTOR SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN. DEVIATIONS MUST BE APPROVED BY ESCAMBIA COUNTY.
- CONTRACTOR SHALL INSTALL POWER LINE ON OPPOSITE SIDE OF ROAD AS DOMESTIC WATER LINE.
- ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUITS FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING.



COMMON TRENCH DETAIL
N.T.S.

1-1/2" LOW PRESSURE SEWER SERVICE

D-20



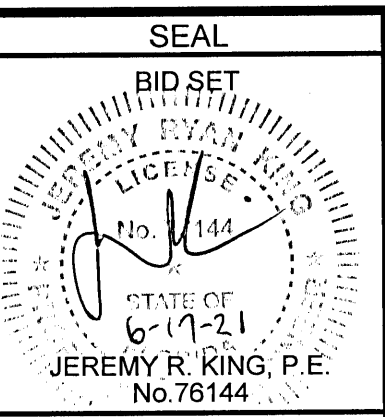
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DATE: 4/21/2011

DETAIL

UTILITY DETAILS

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2011	ESCO COMMENTS

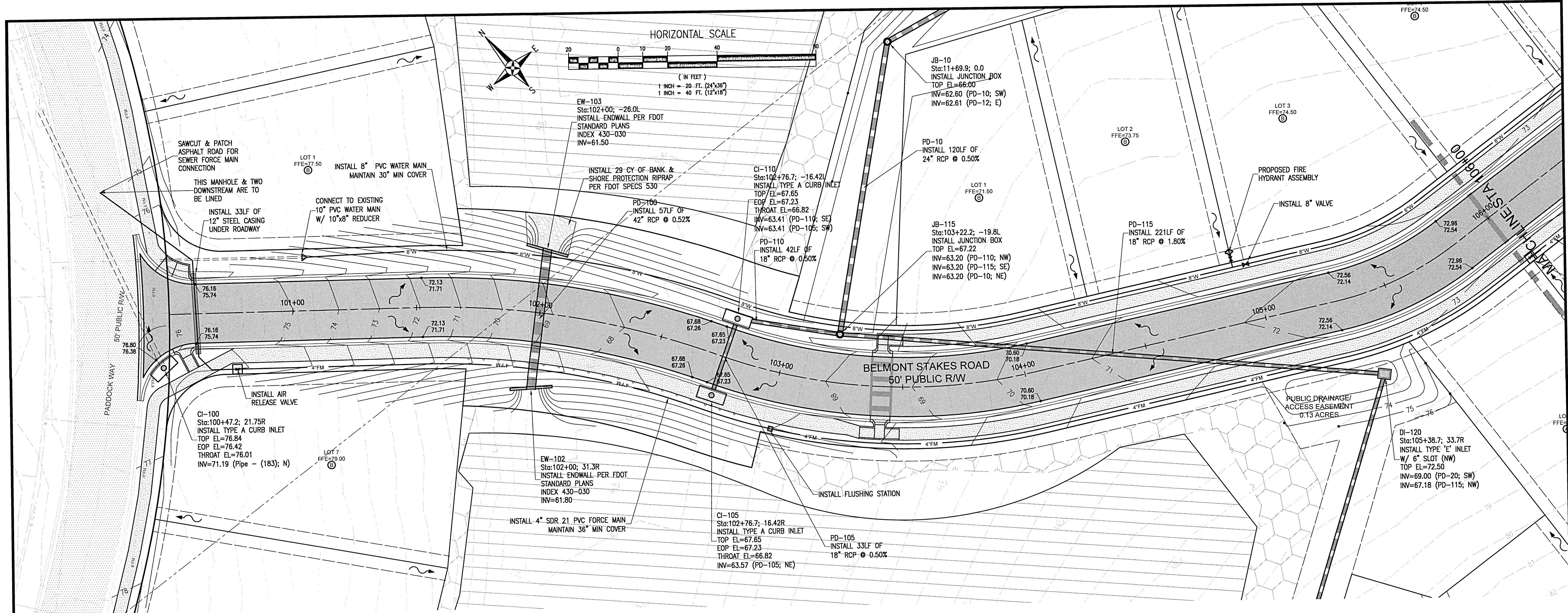


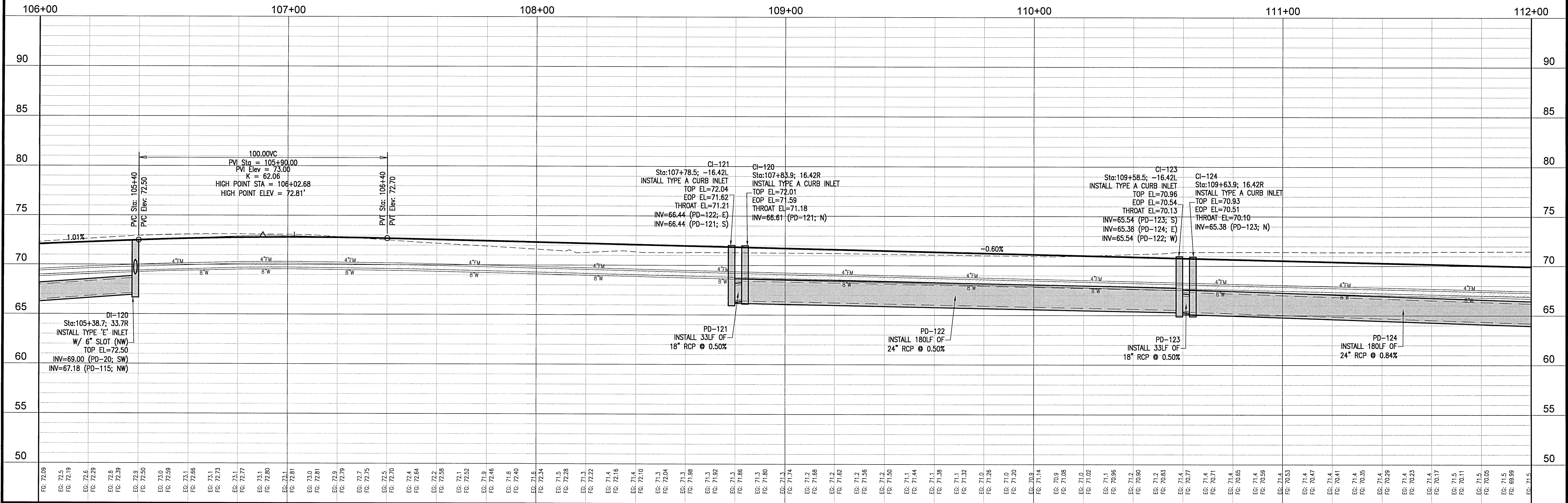
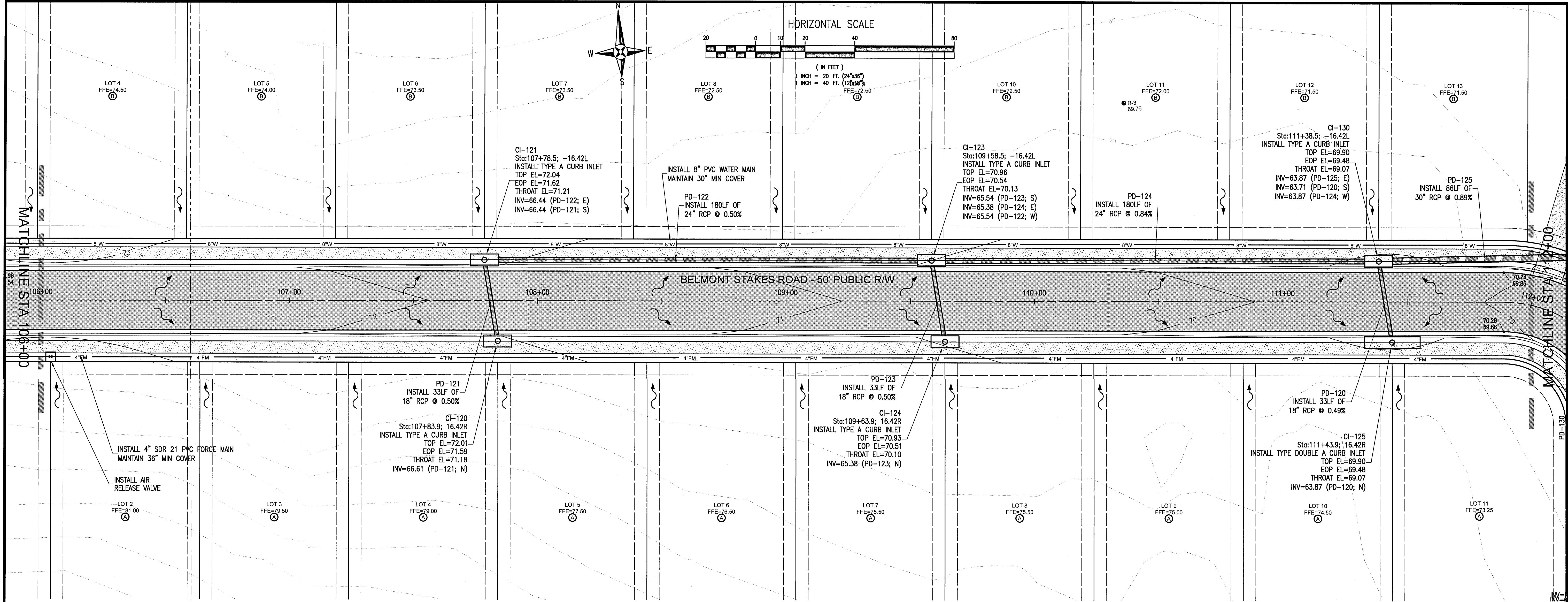
Dr. By: CBD
Ck. By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C4.7

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E-mail rebol@rba-engineers.com

PLAN & PROFILES

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

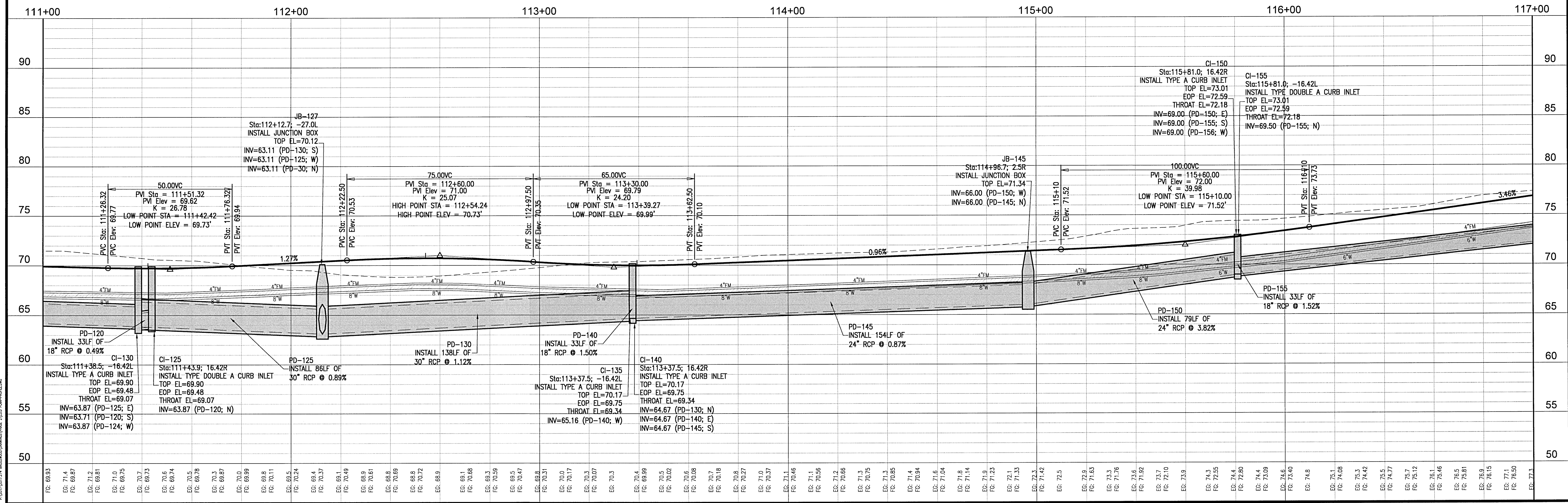
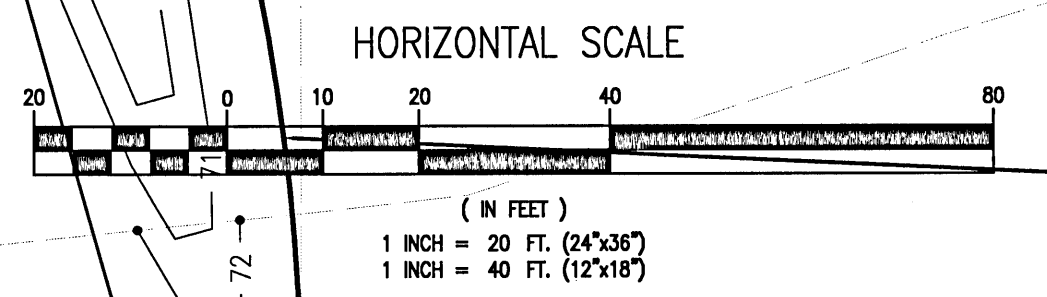
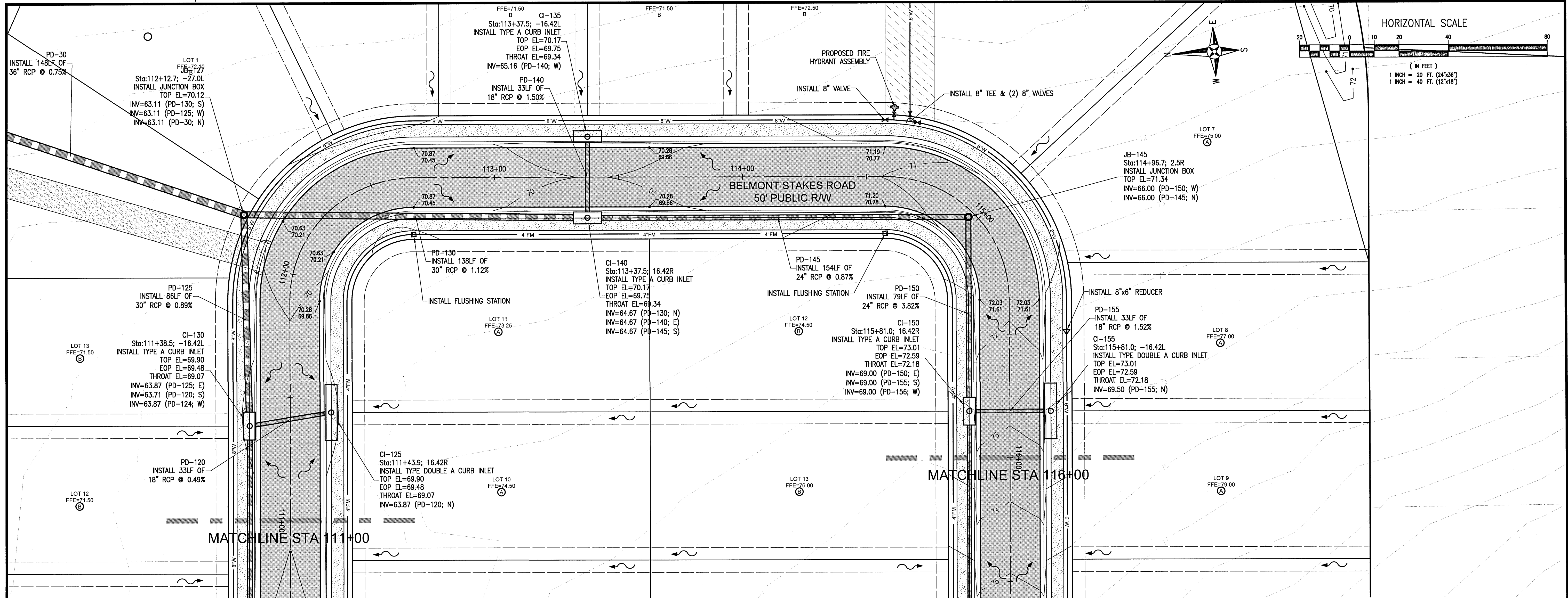
No.	DATE	REVISION

SEAL
BID SET
JEREMY R. KING, P.E.
No. 76144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C5.1

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Tampa, Florida 33603
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EO 0000857

PLAN & PROFILES

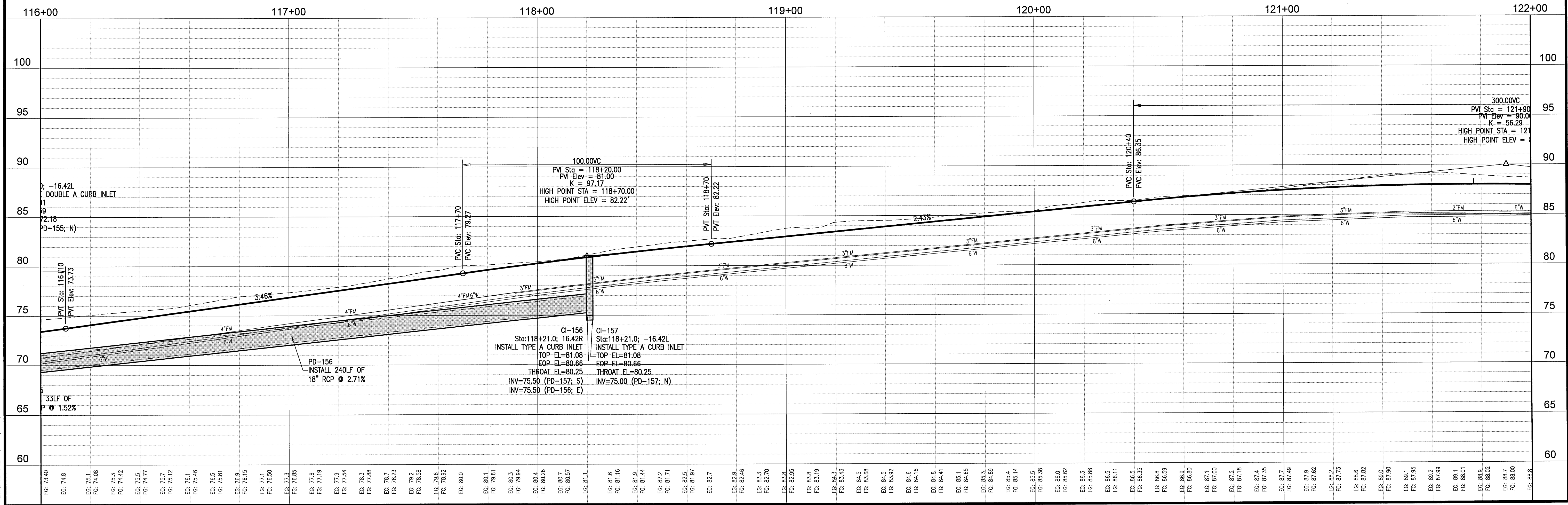
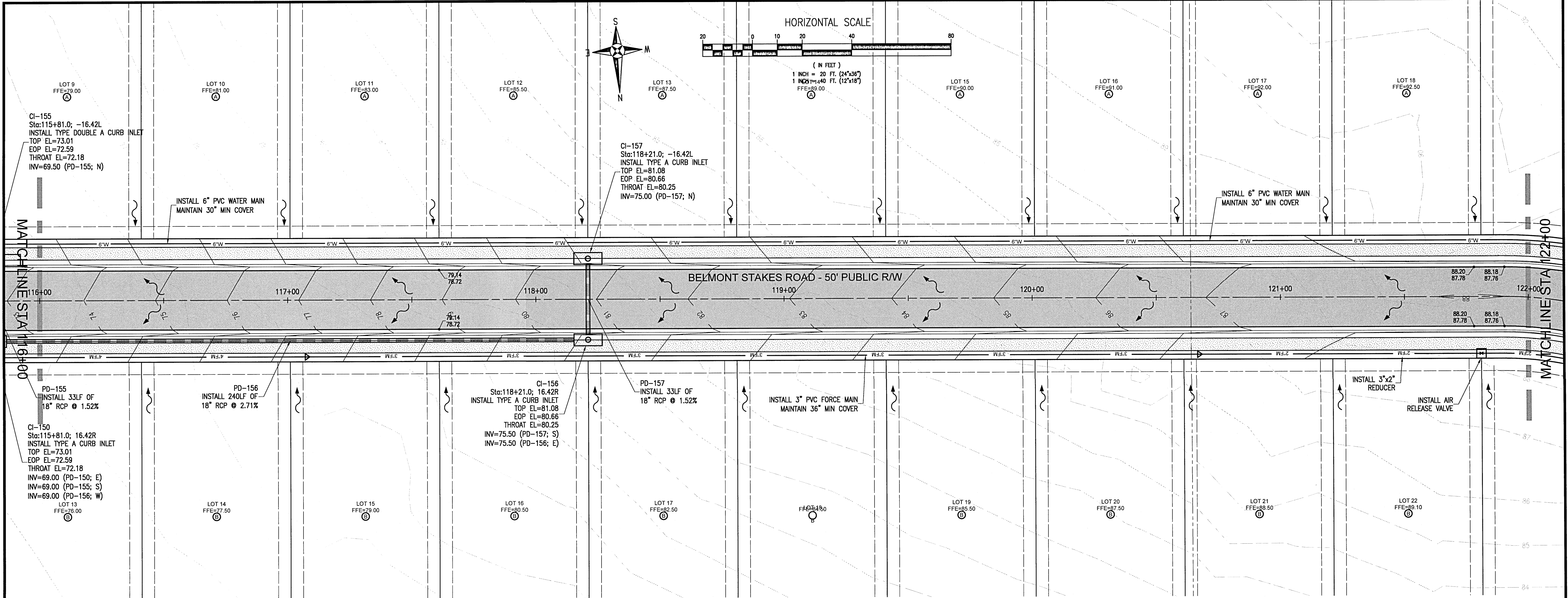
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
BID SET

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021
DRAWING No.
C5.2

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E8 0000857

PLAN & PROFILES

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

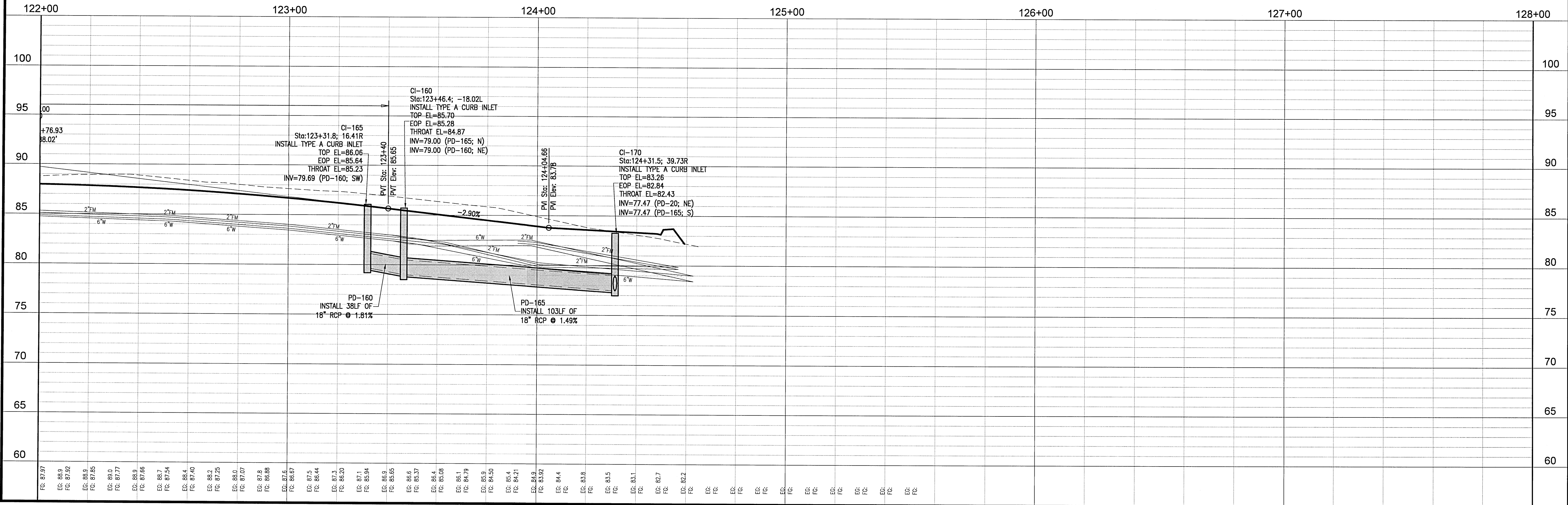
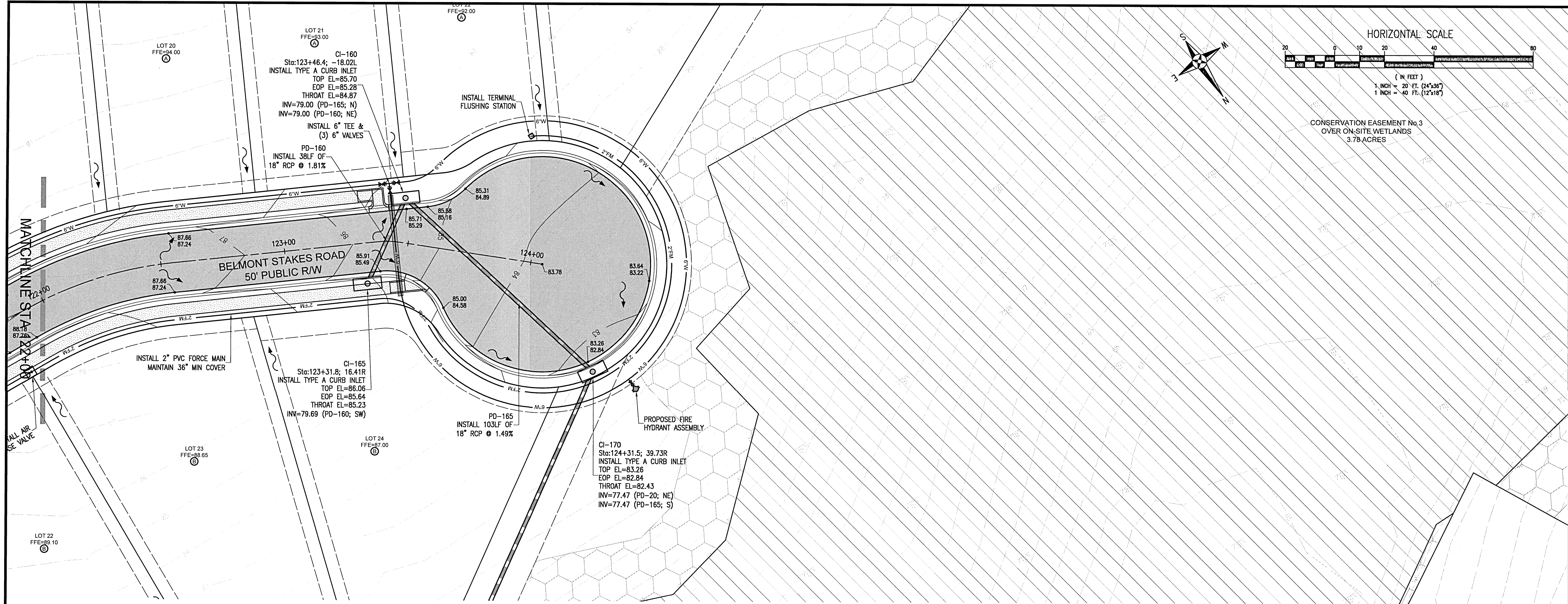
No.	DATE	REVISION

SEAL
JEREMY R. KING, P.E.
No. 78144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.
C5.3

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E-mail: info@rebolbattle.com

PLAN & PROFILES

Bridlewood 2nd Addition

A 69 LOT SUBDIVISION

STEEPLECHASE BOULEVARD

ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL

BID SET

17-21

STATE OF FLORIDA

JEREMY R. KING, P.E.

No. 76144

Dr. By: CBD

Chk By: JRK

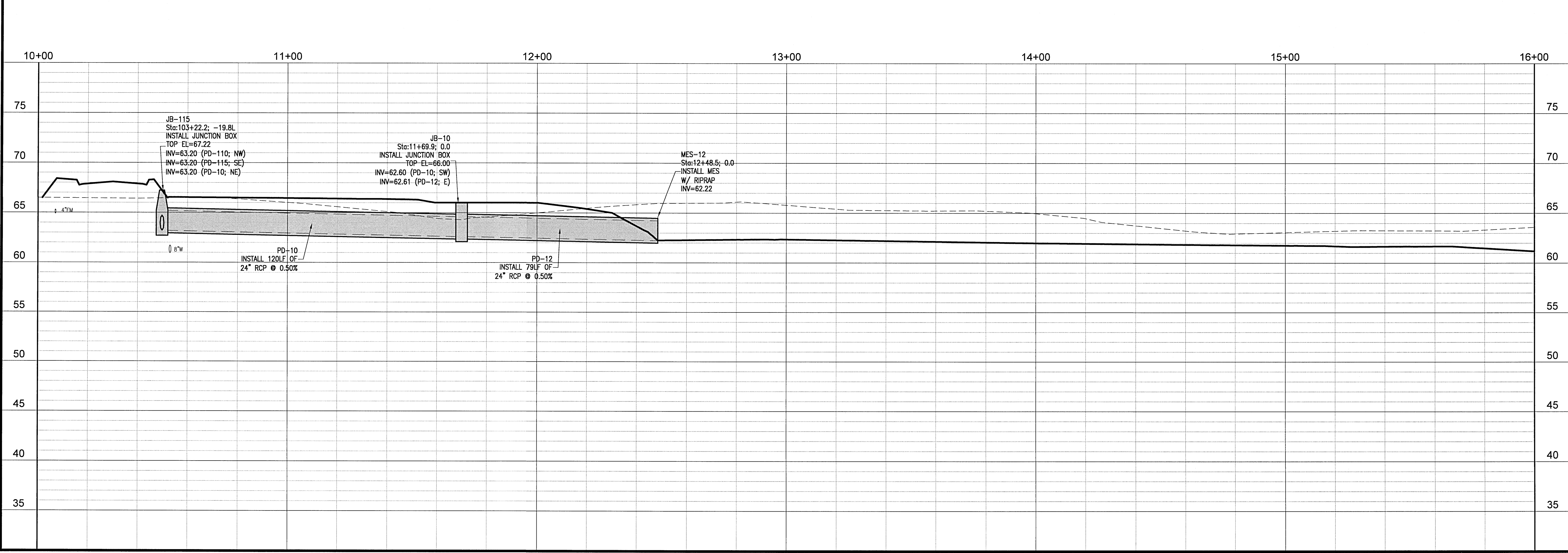
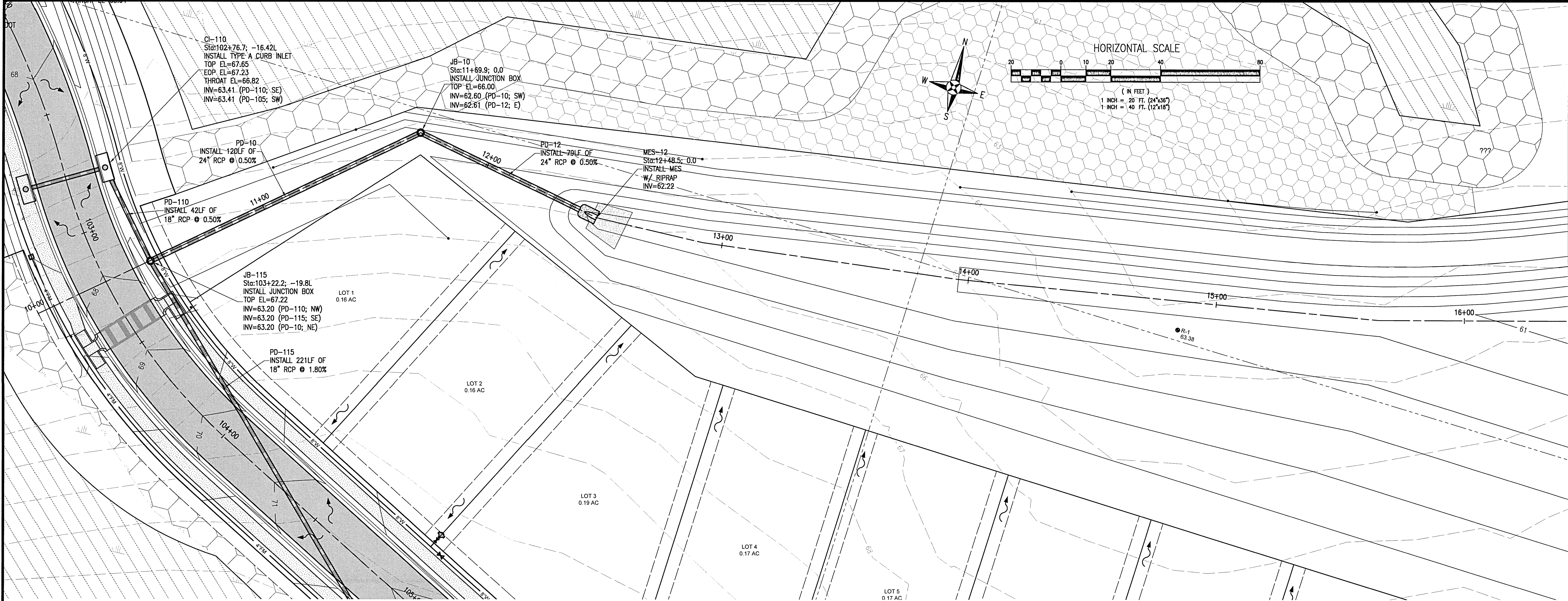
Job No.: 2017.274

Date: 6/16/2021

DRAWING No.

C5.4

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PLAN & PROFILES

Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	4/1/2021	ESCO COMMENTS

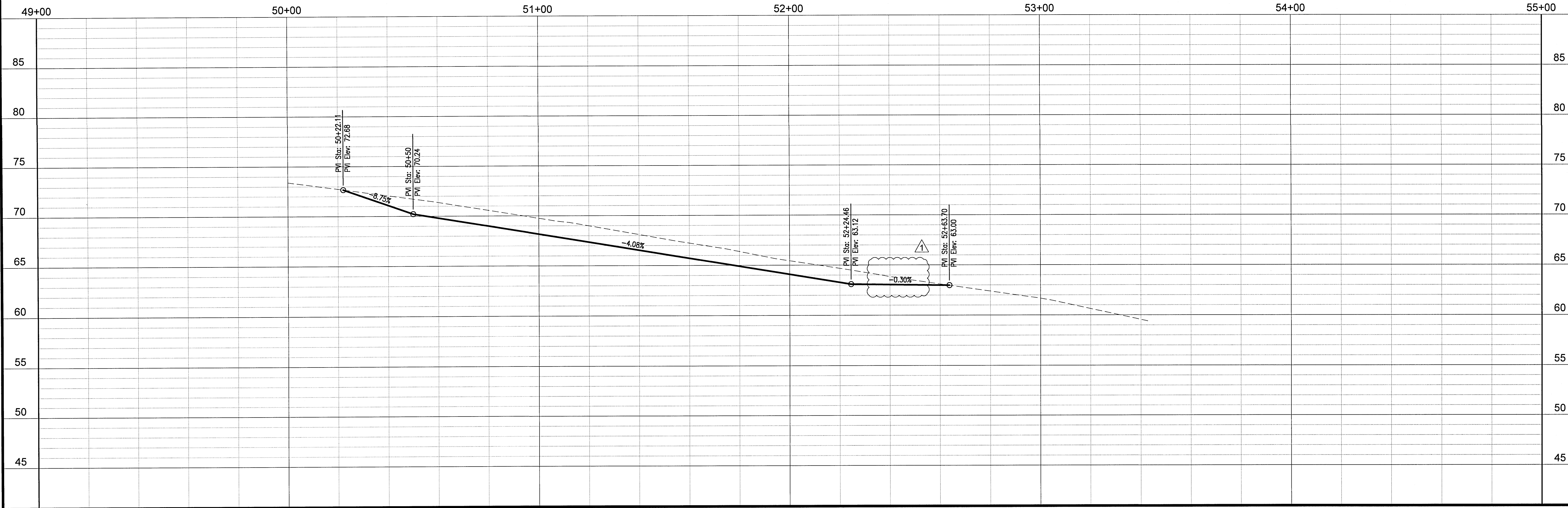
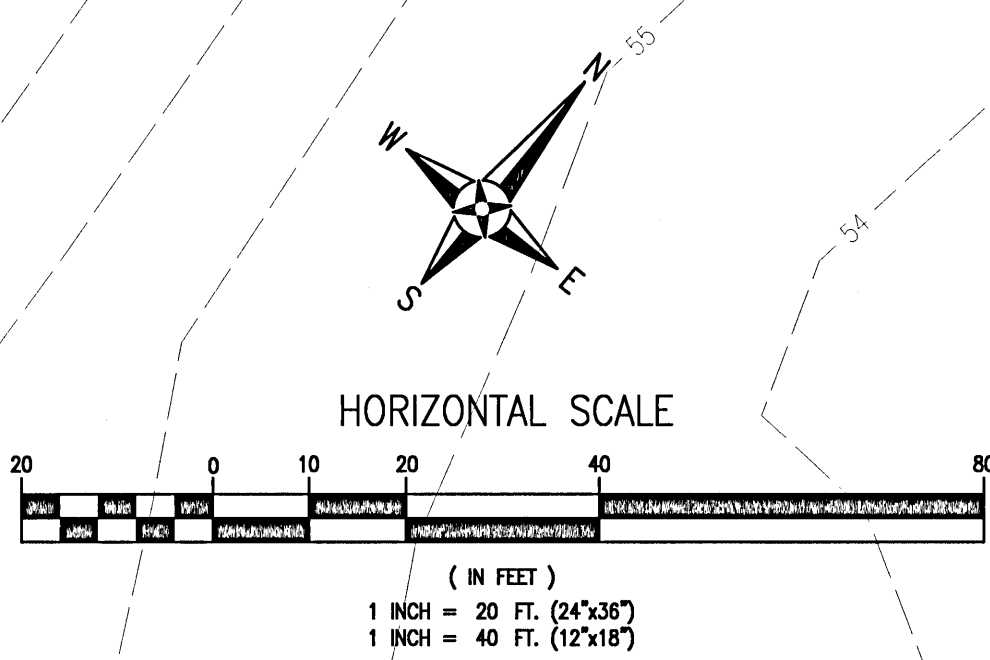
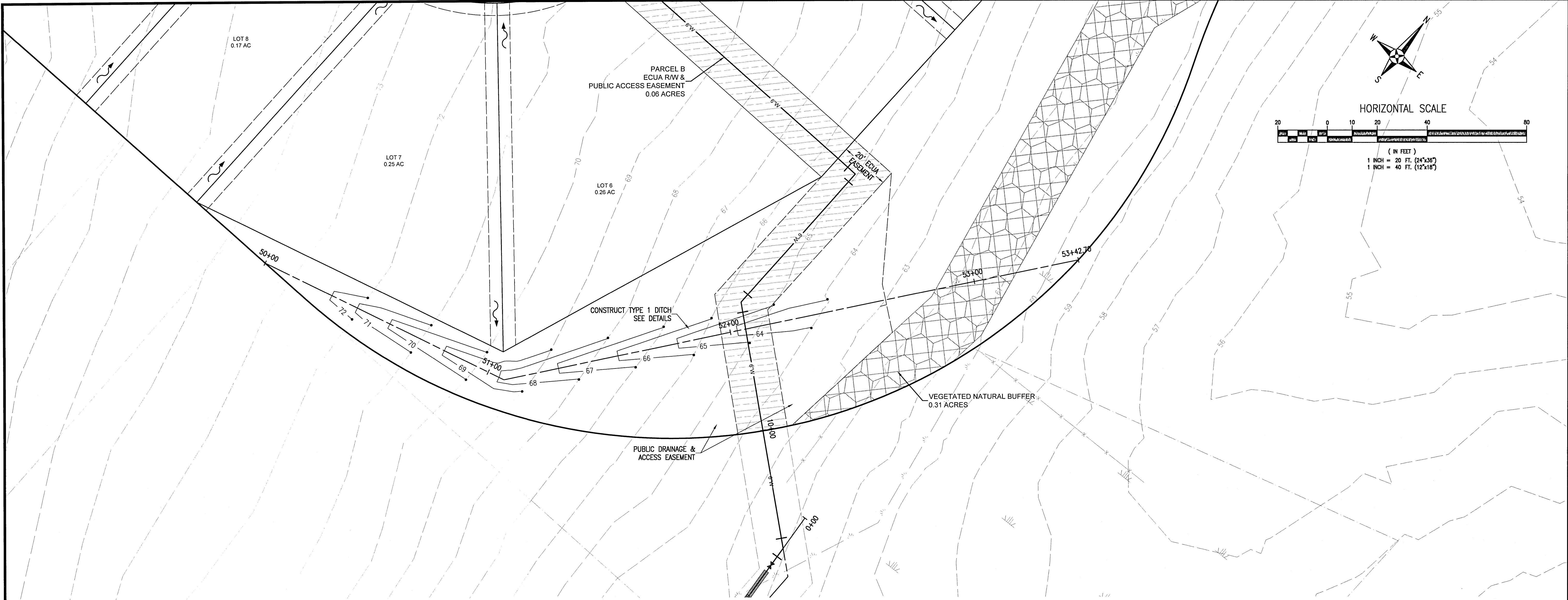
SEAL

JEREMY R. KING, P.E.
No. 76144

Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C6.0



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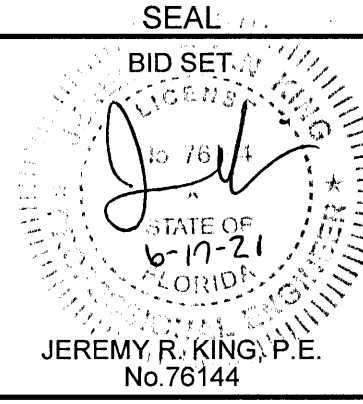


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Pensacola, Florida 32503
Telephone 850 438-0000 Fax 850 438-0448
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PLAN & PROFILES

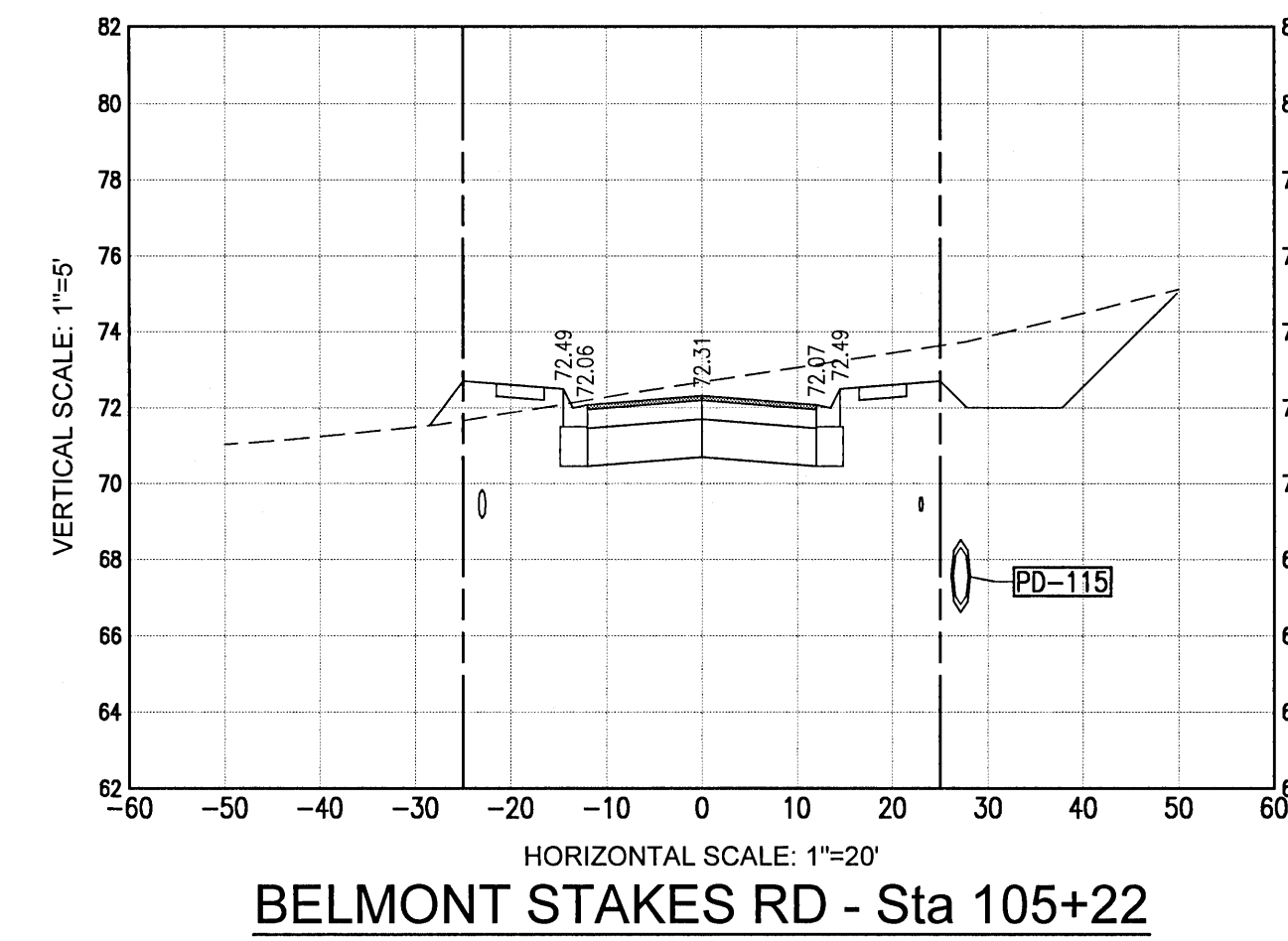
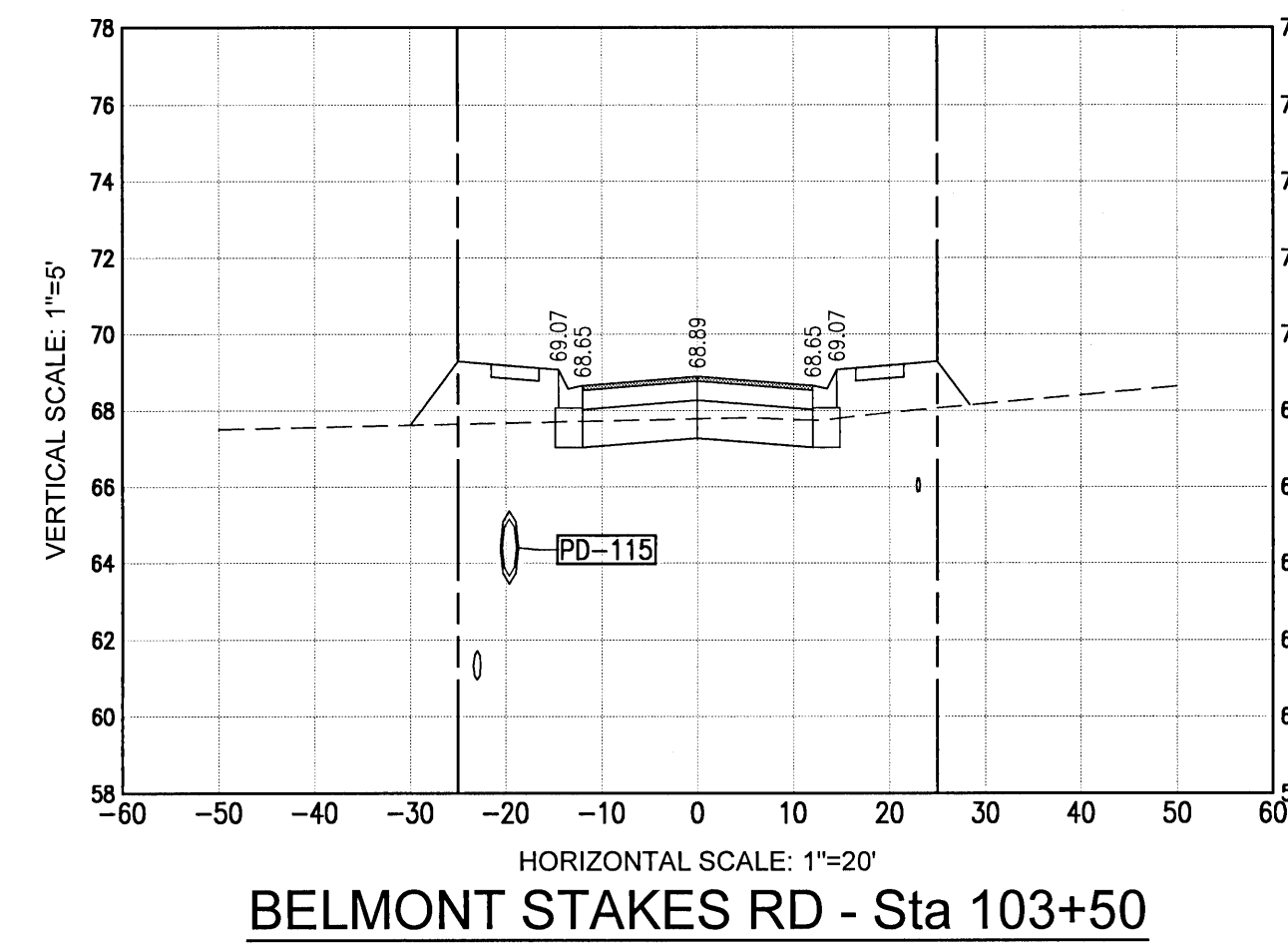
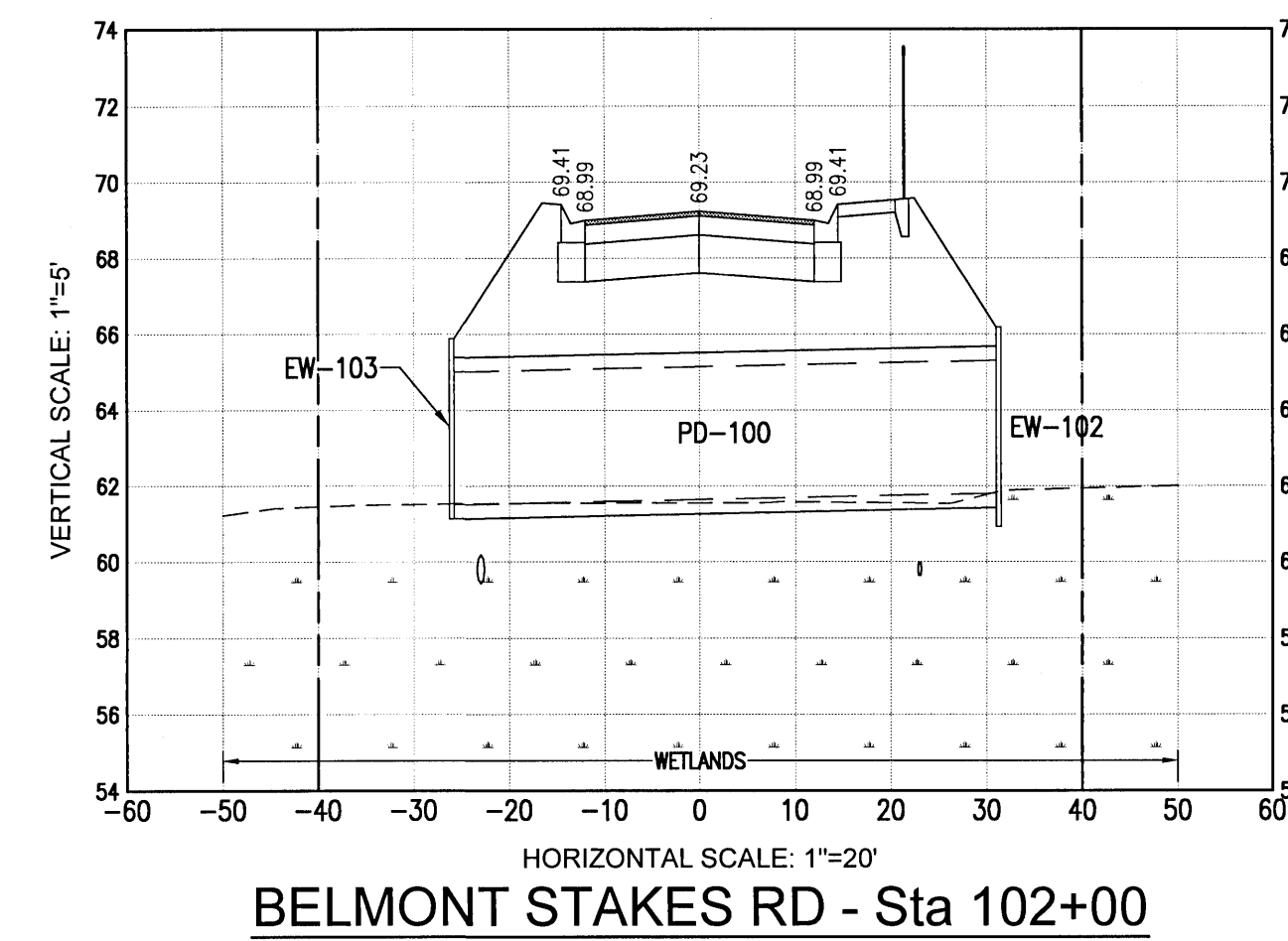
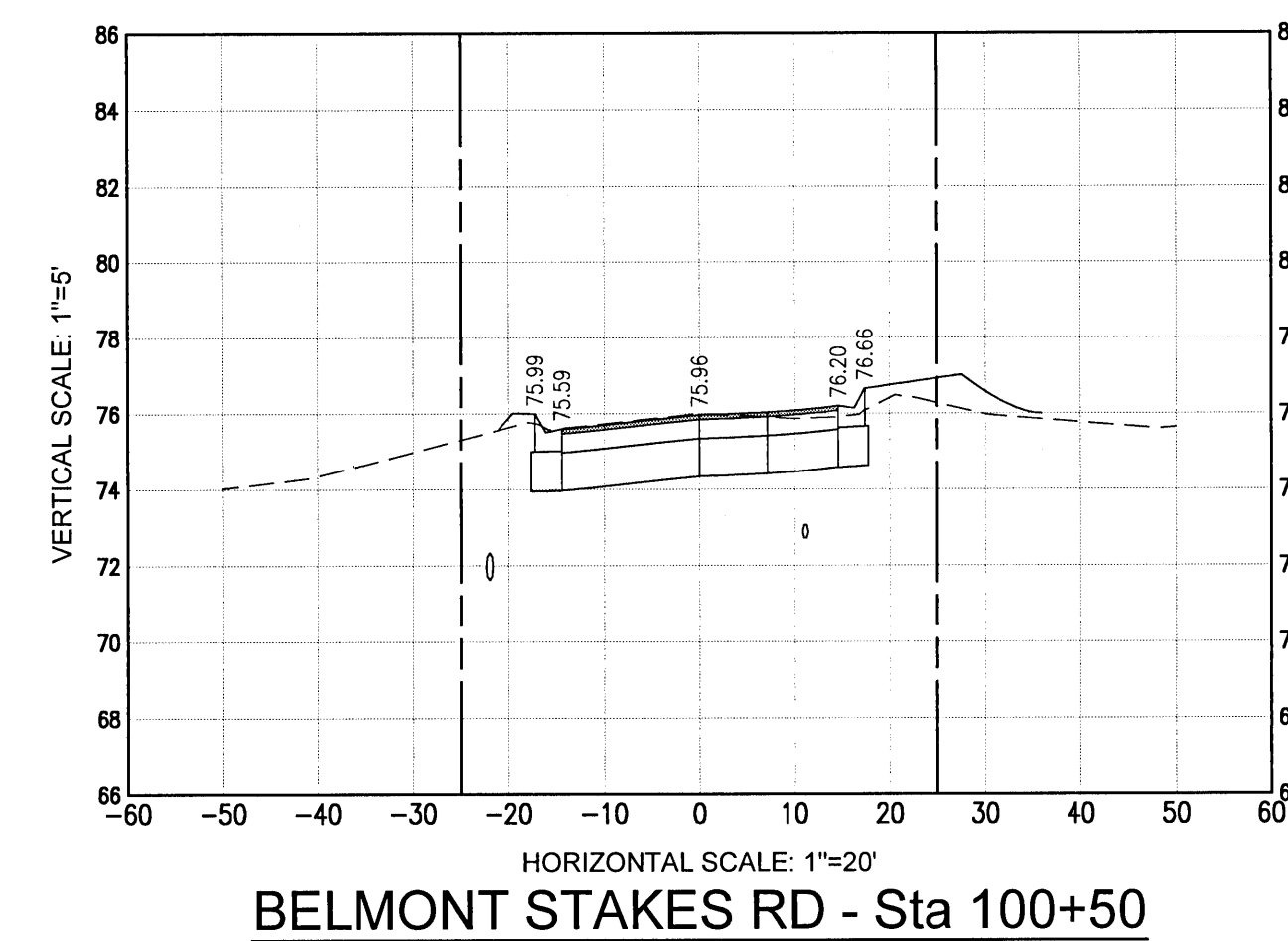
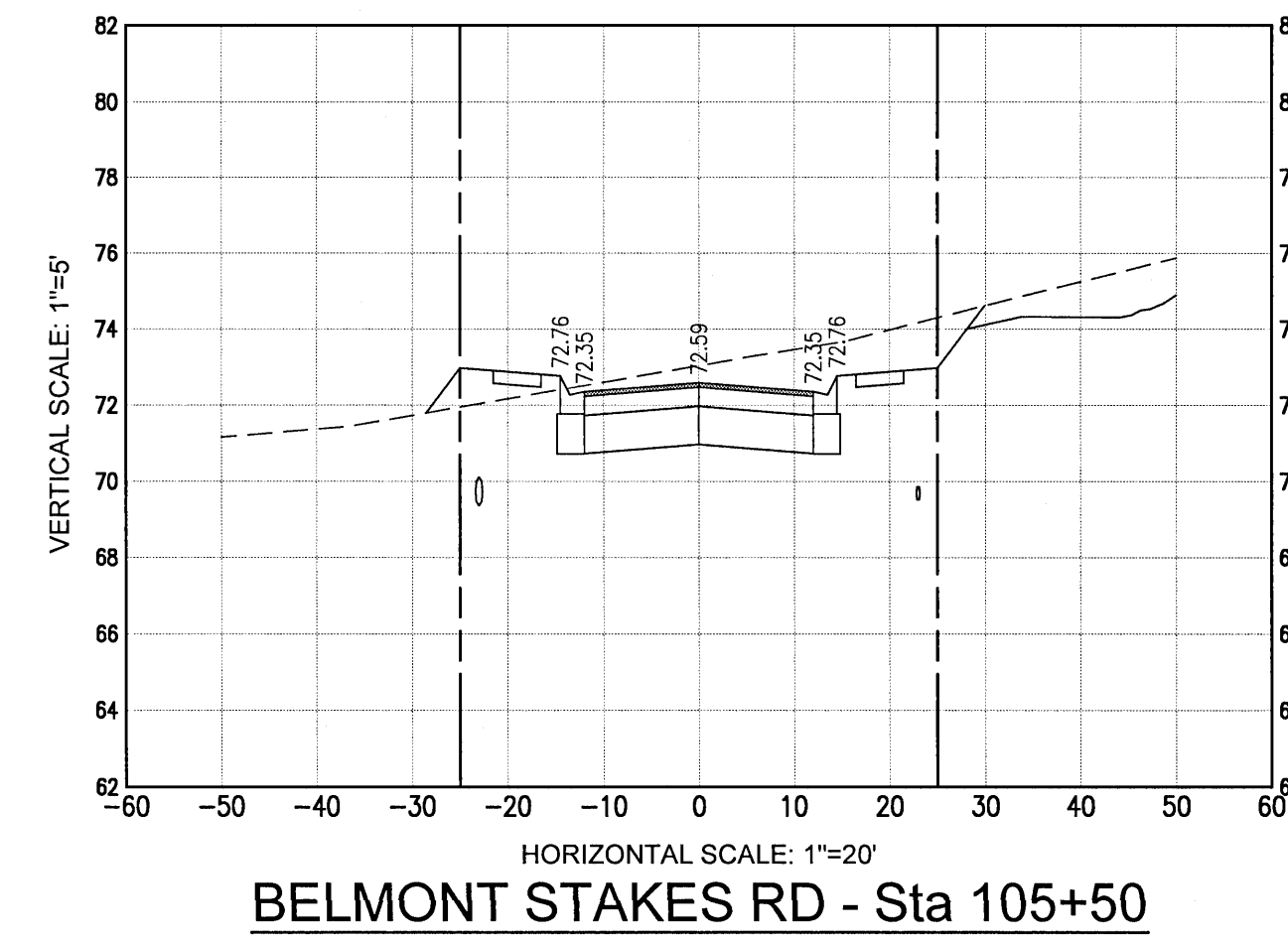
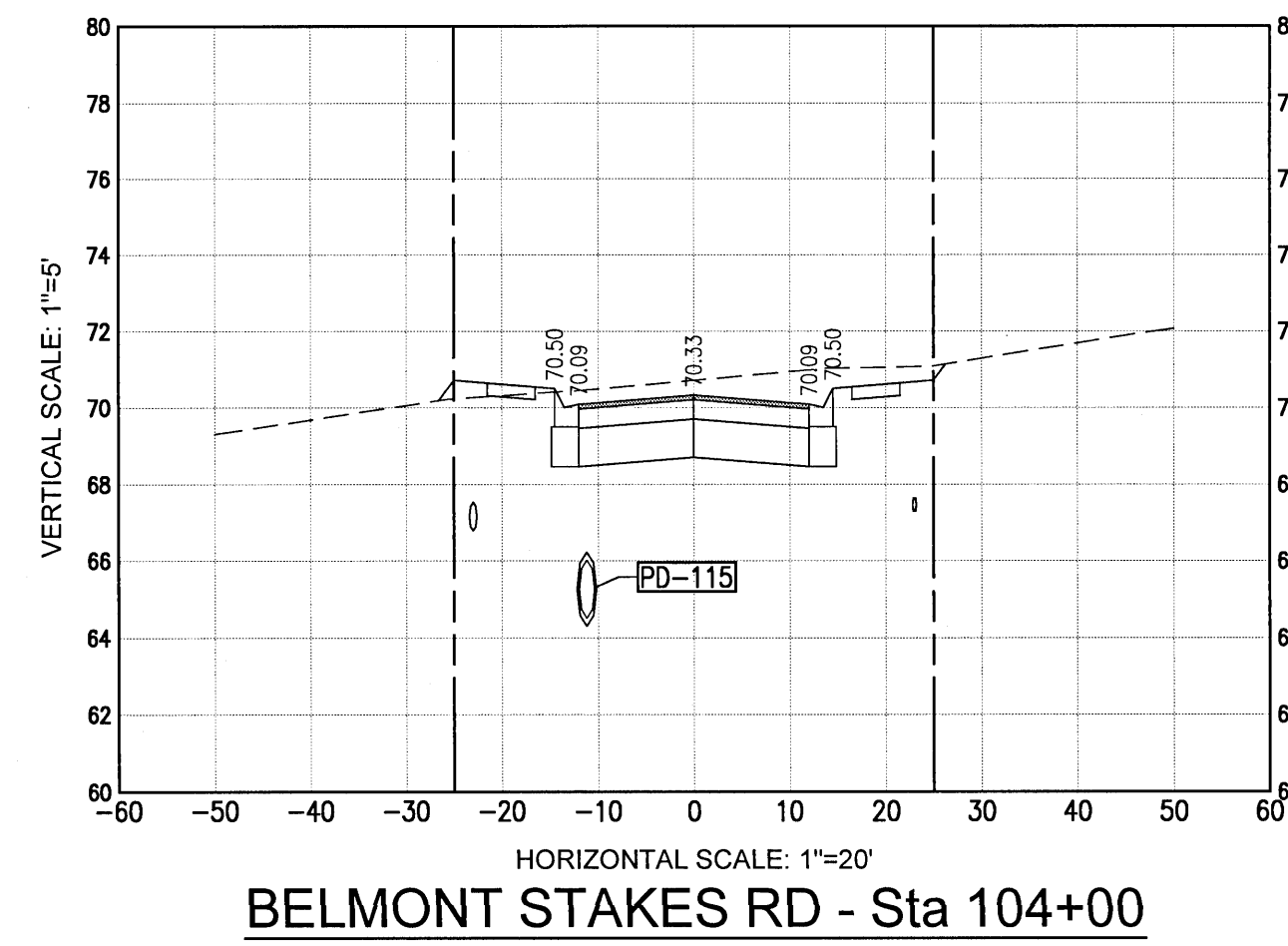
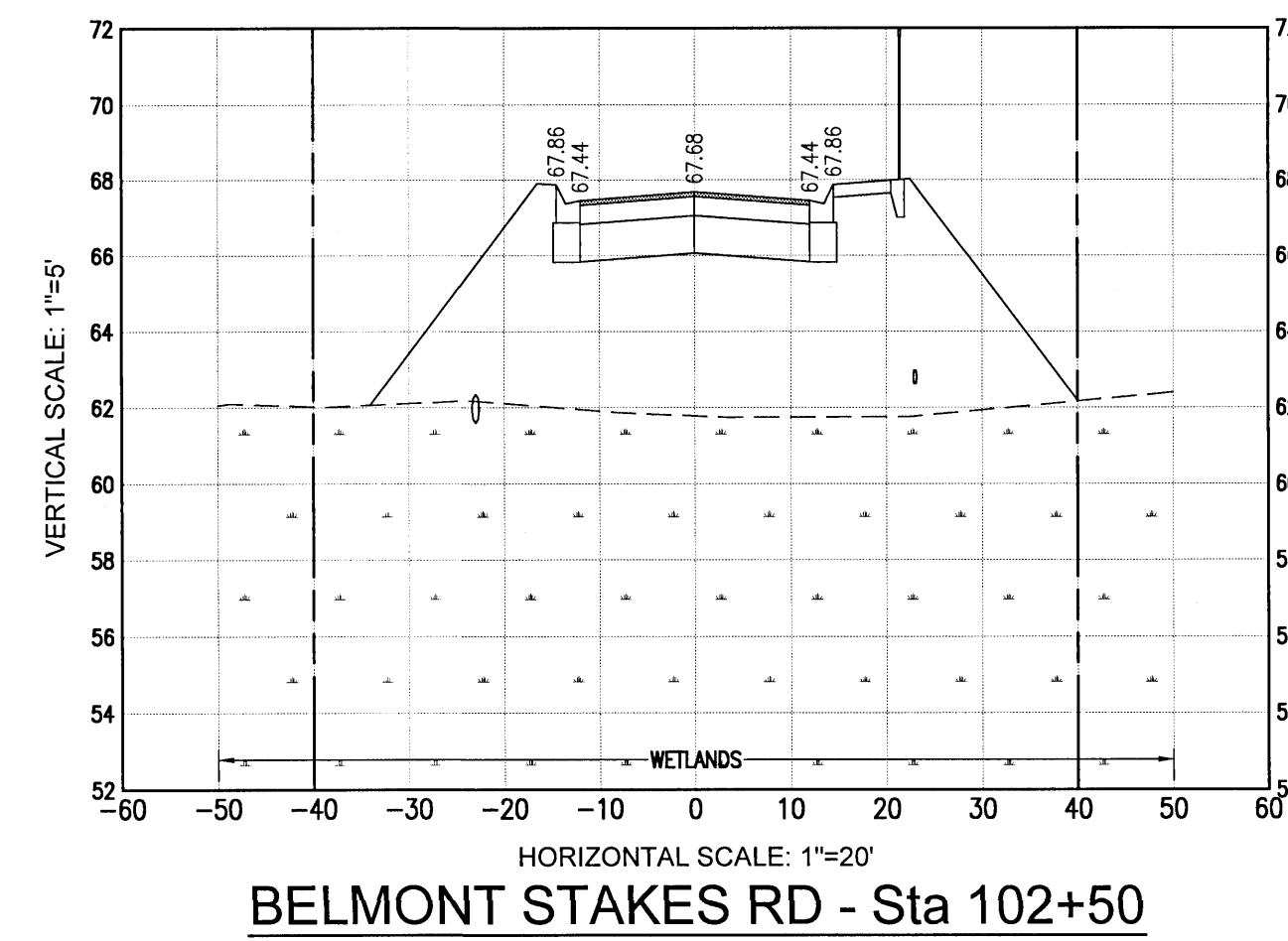
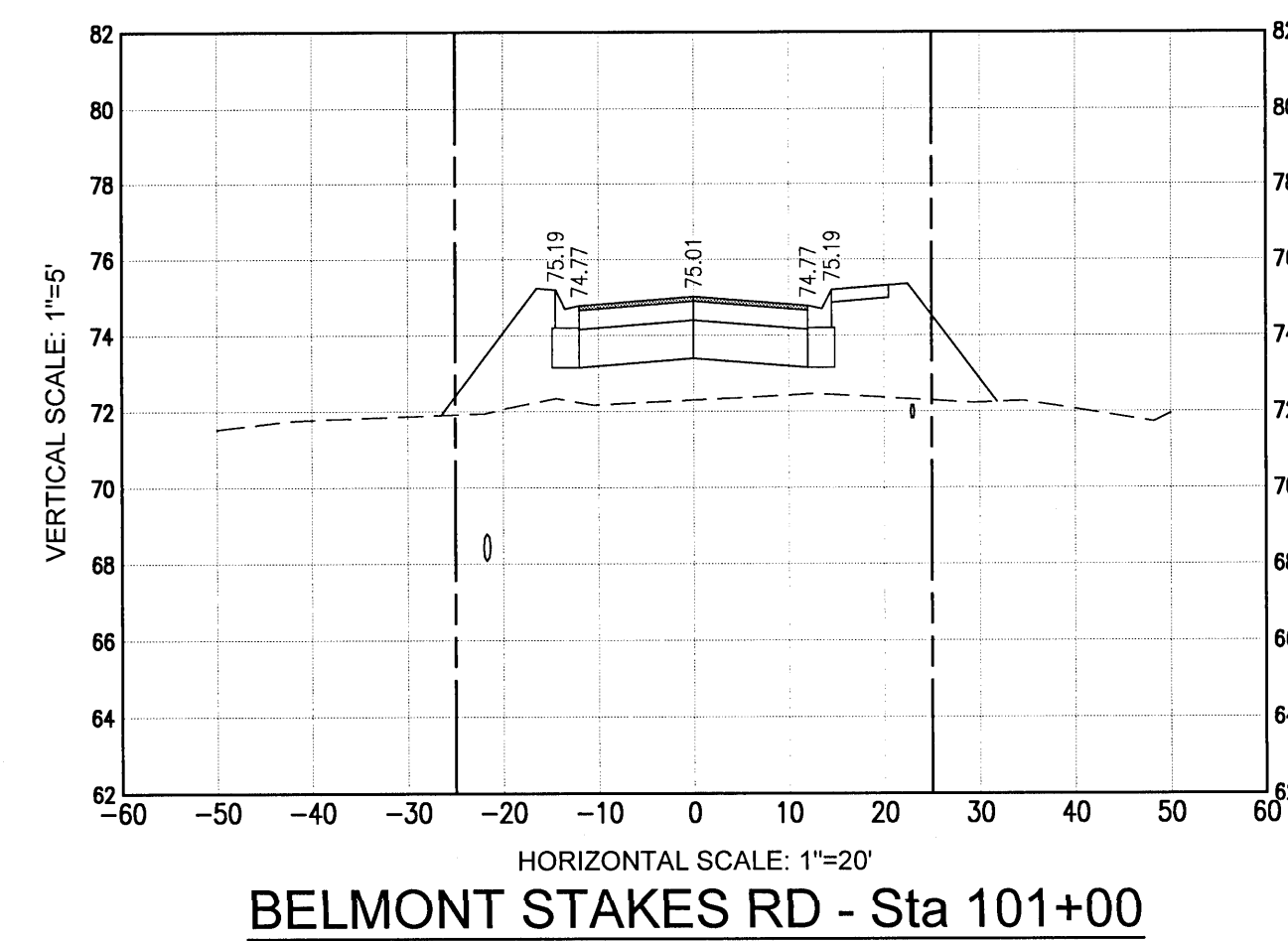
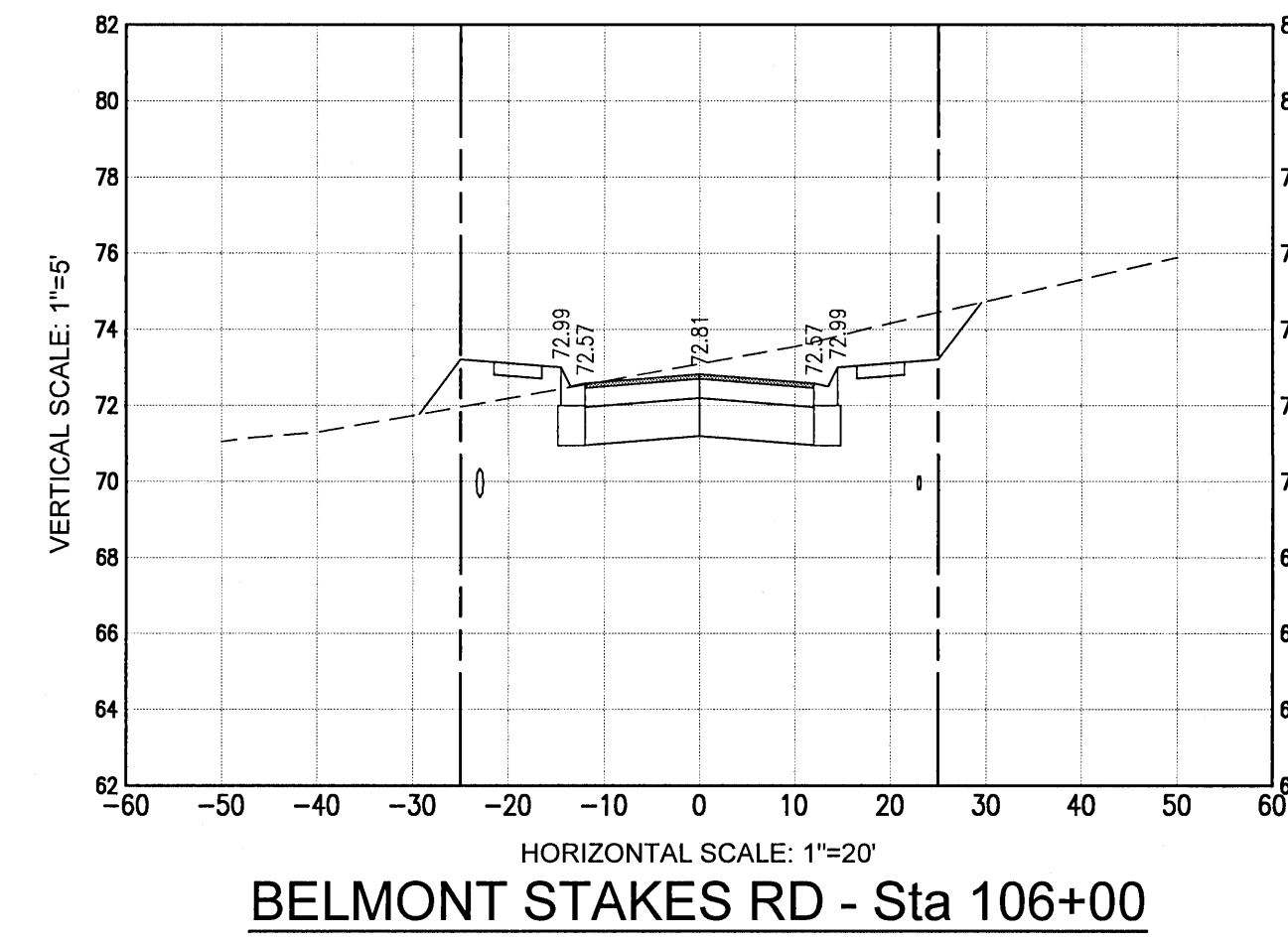
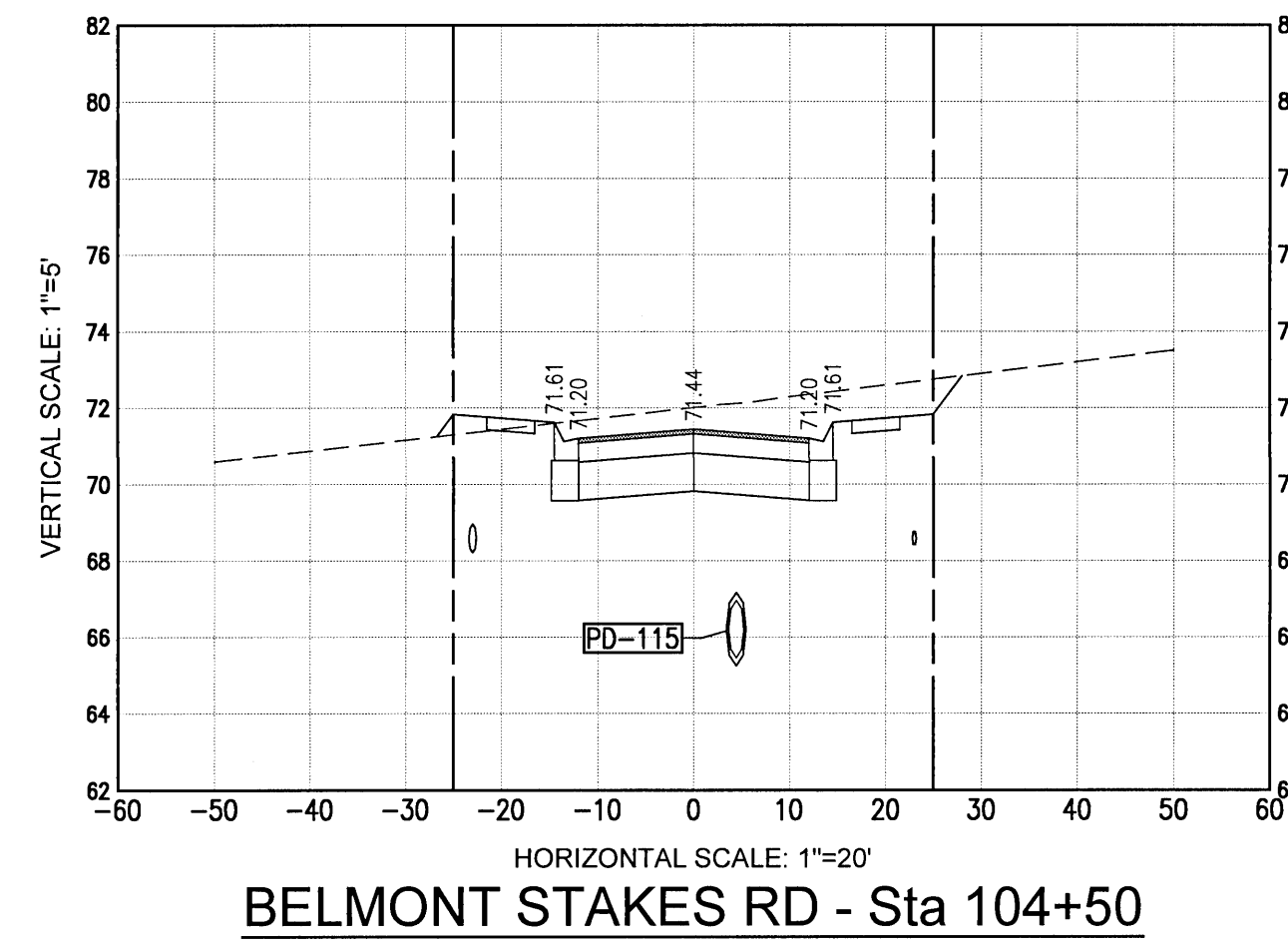
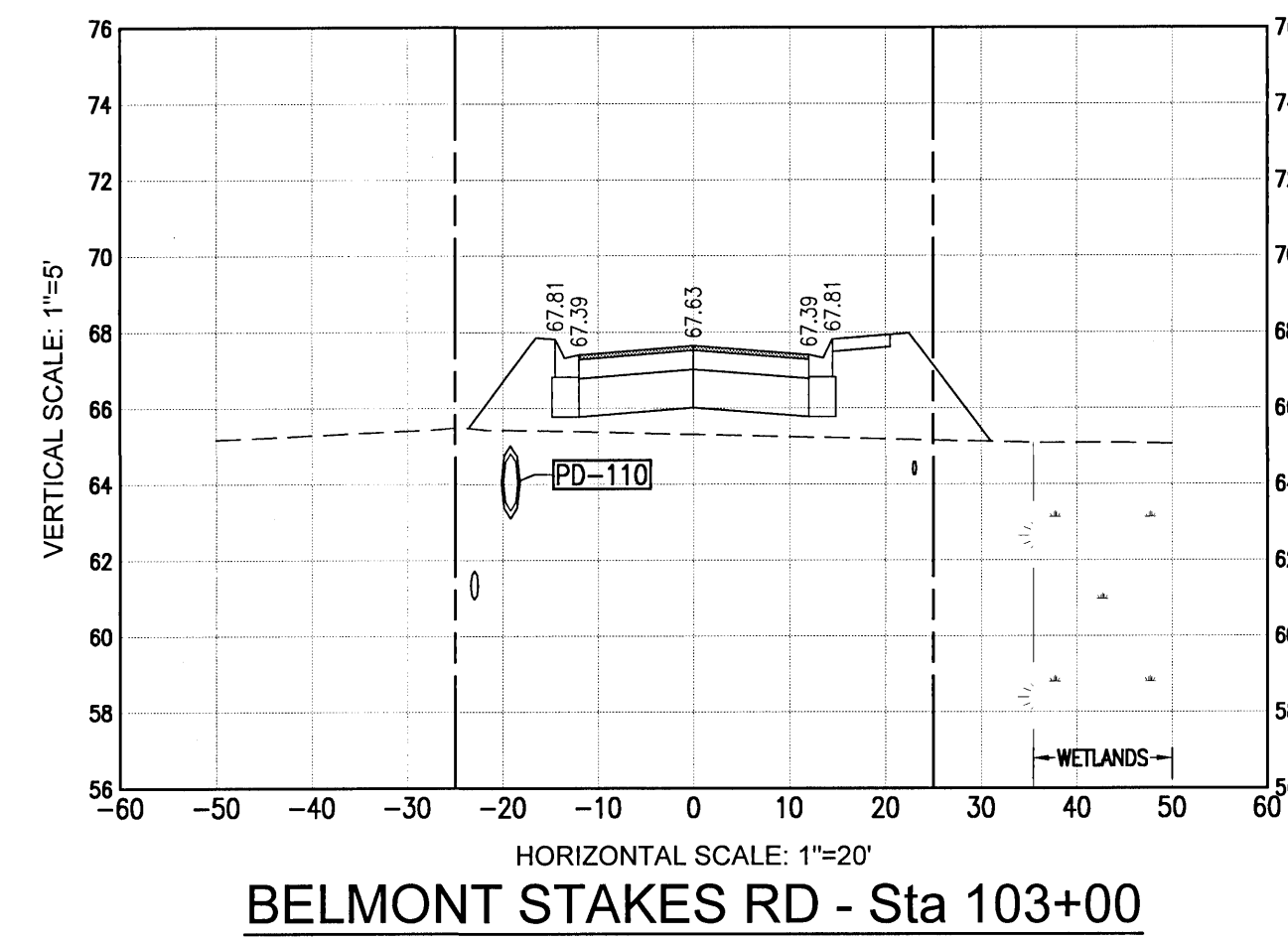
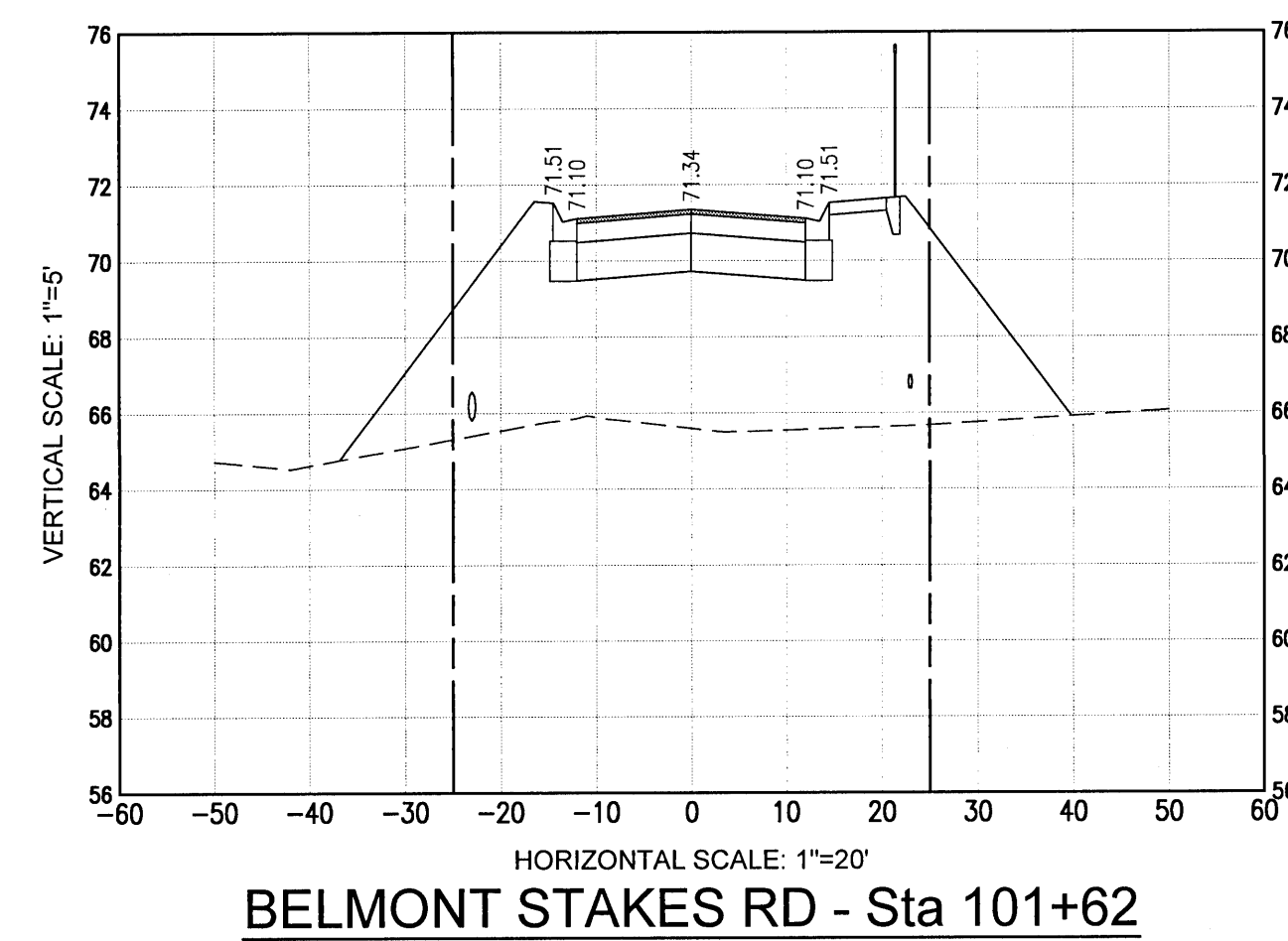
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	4/1/2021		



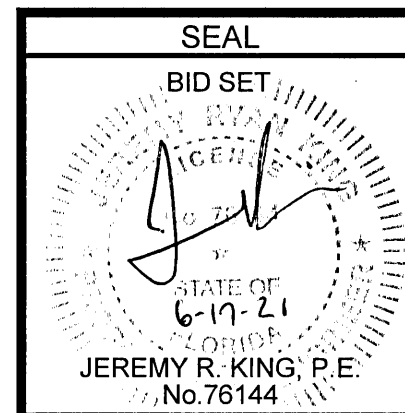
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Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021
DRAWING No.
C6.3

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CROSS SECTIONS

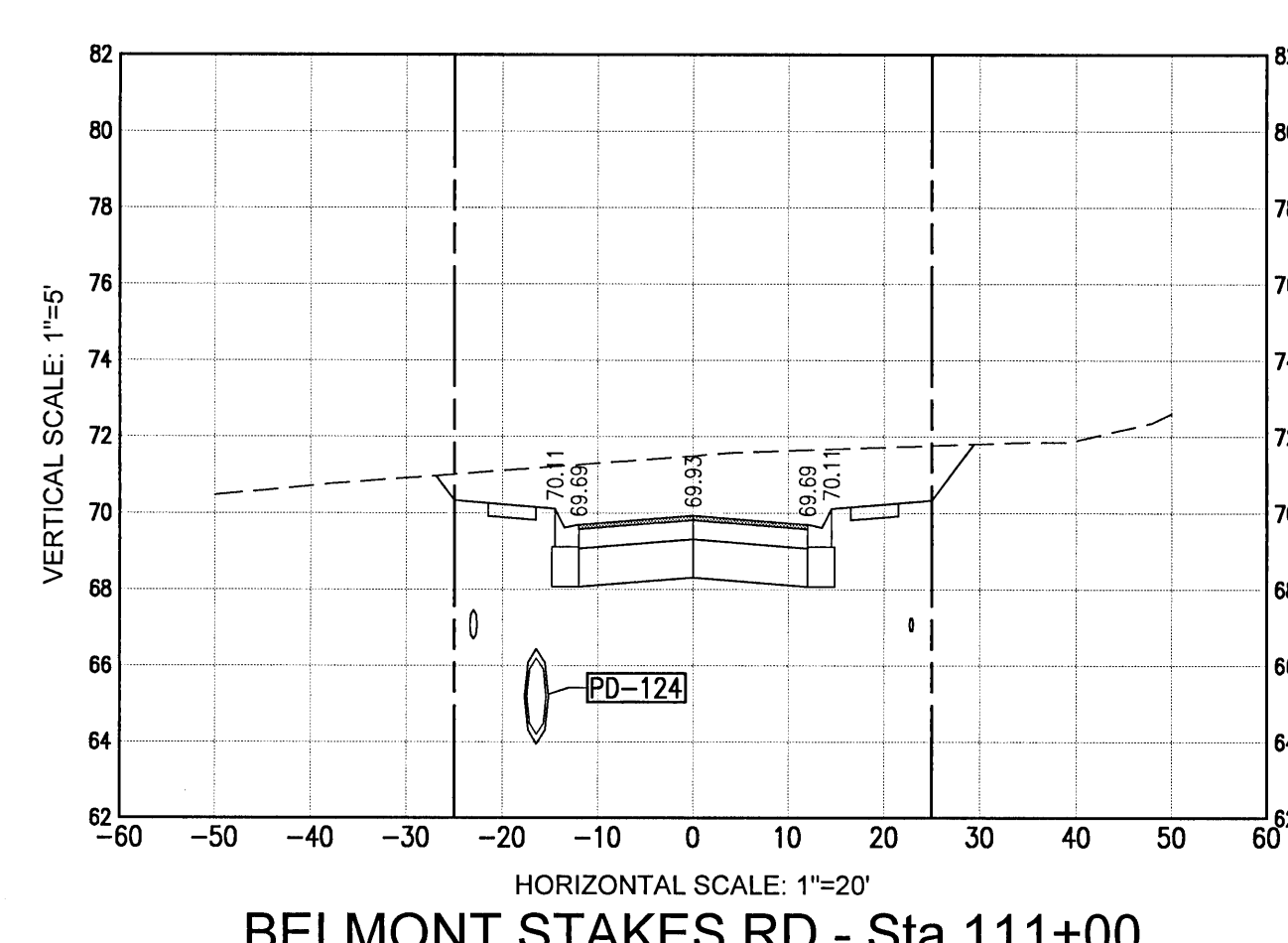
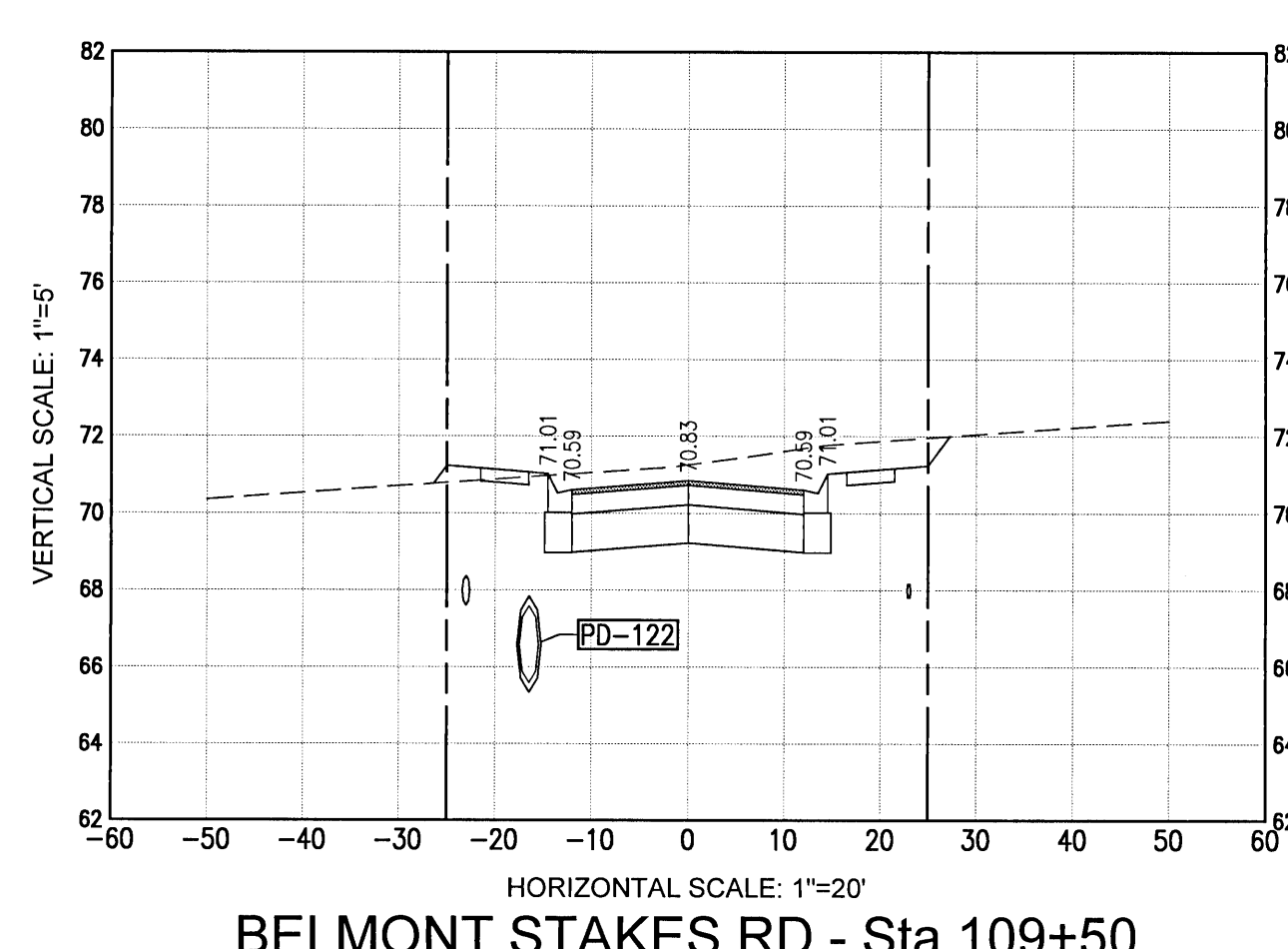
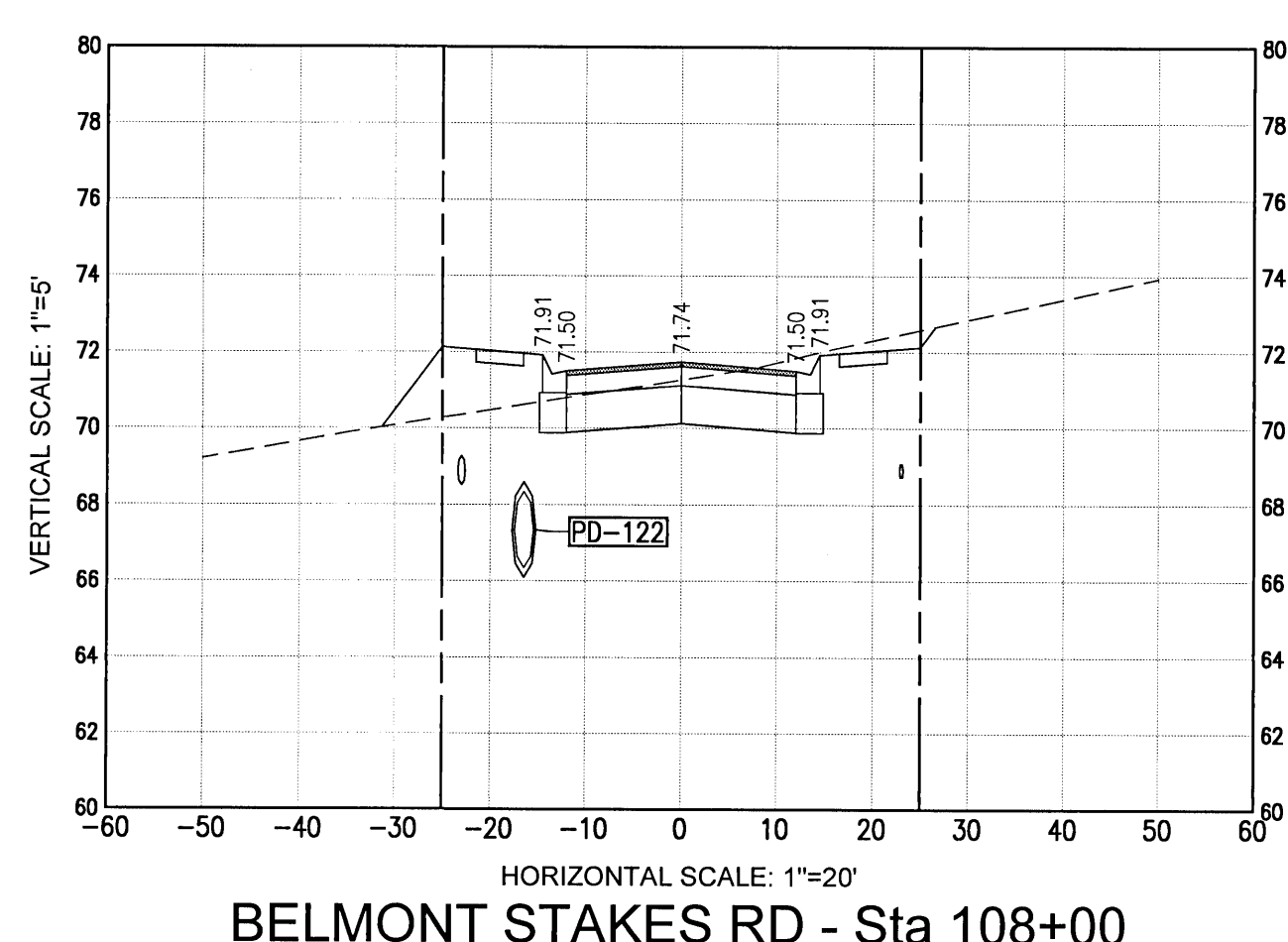
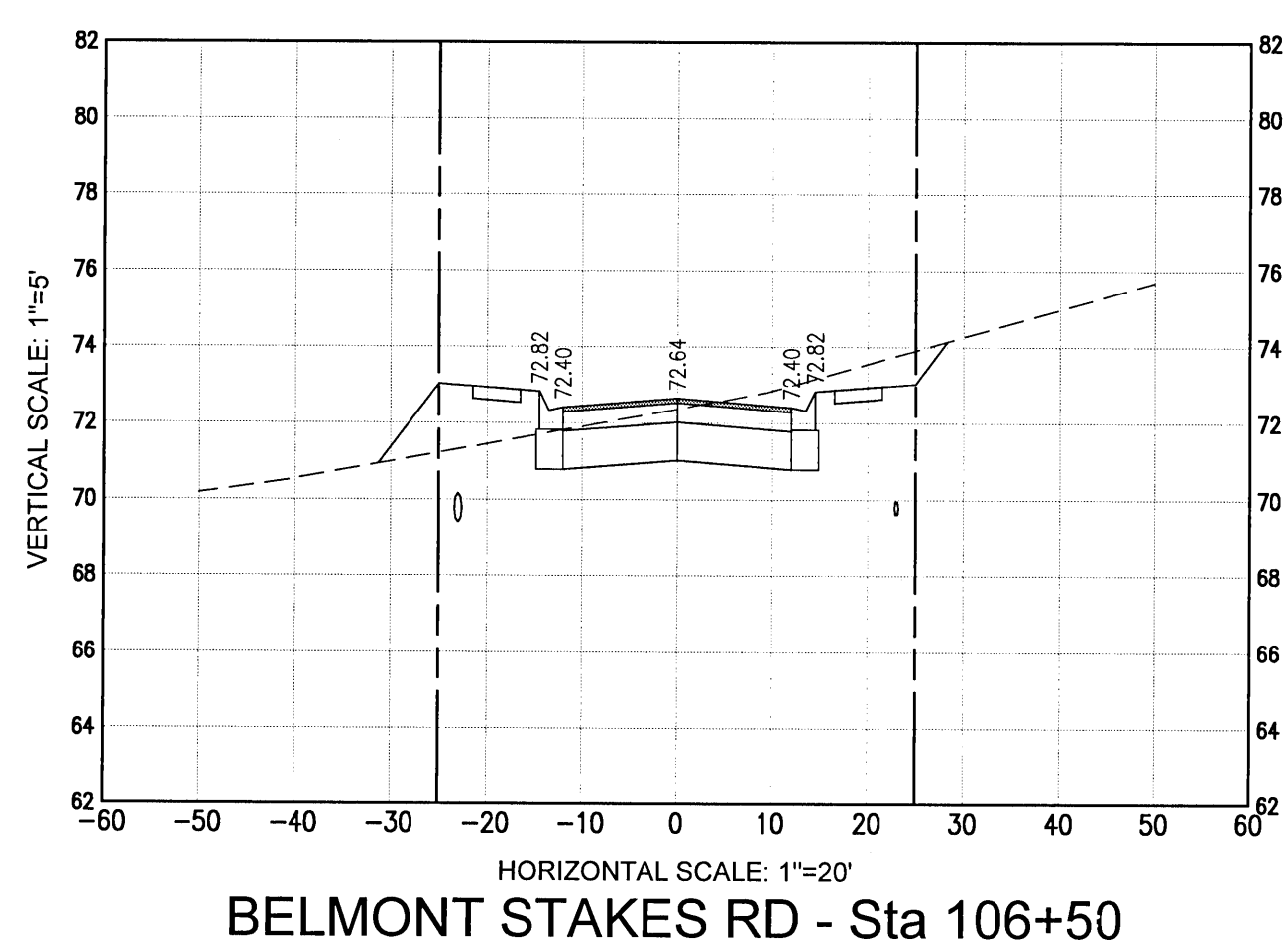
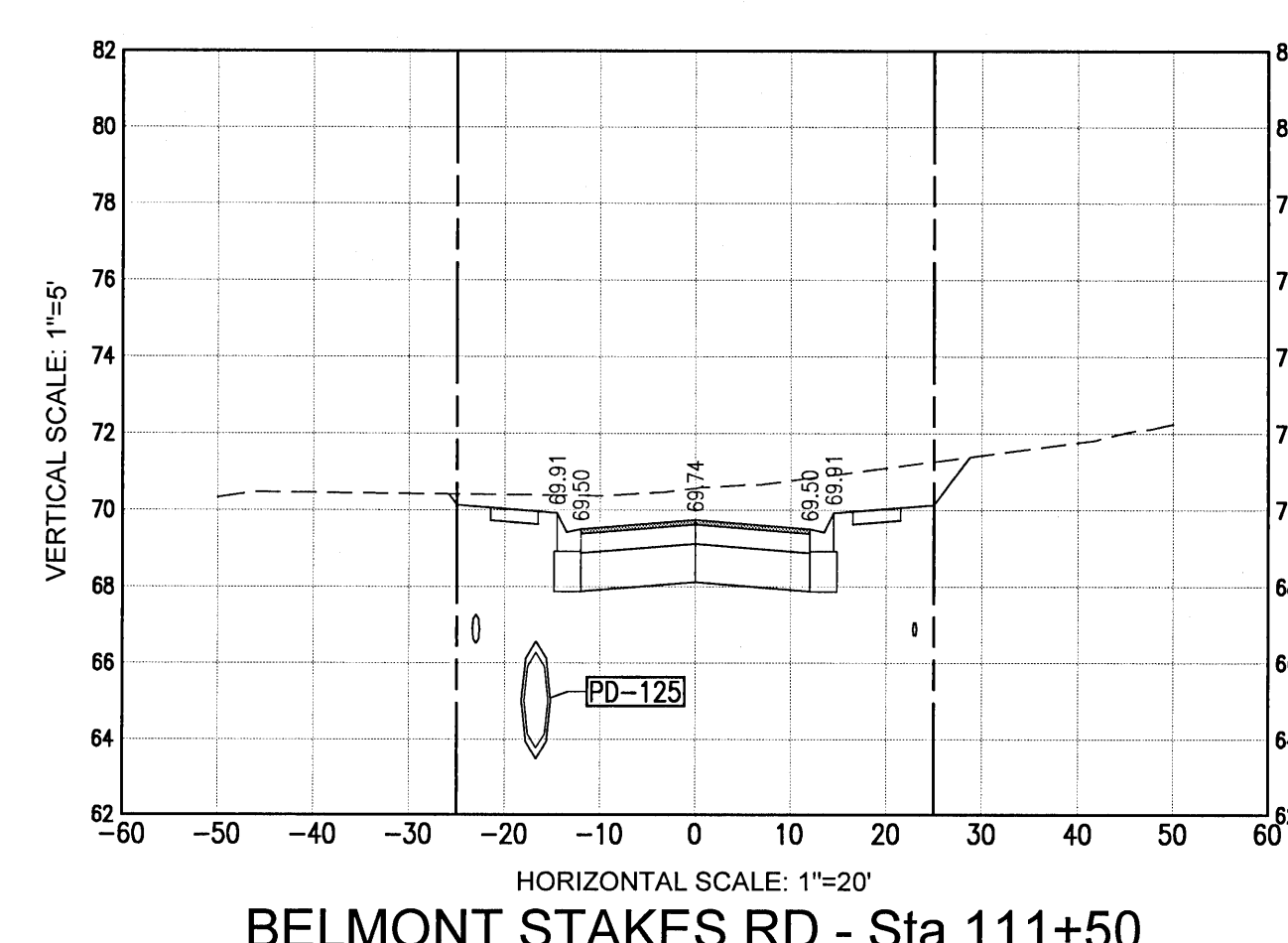
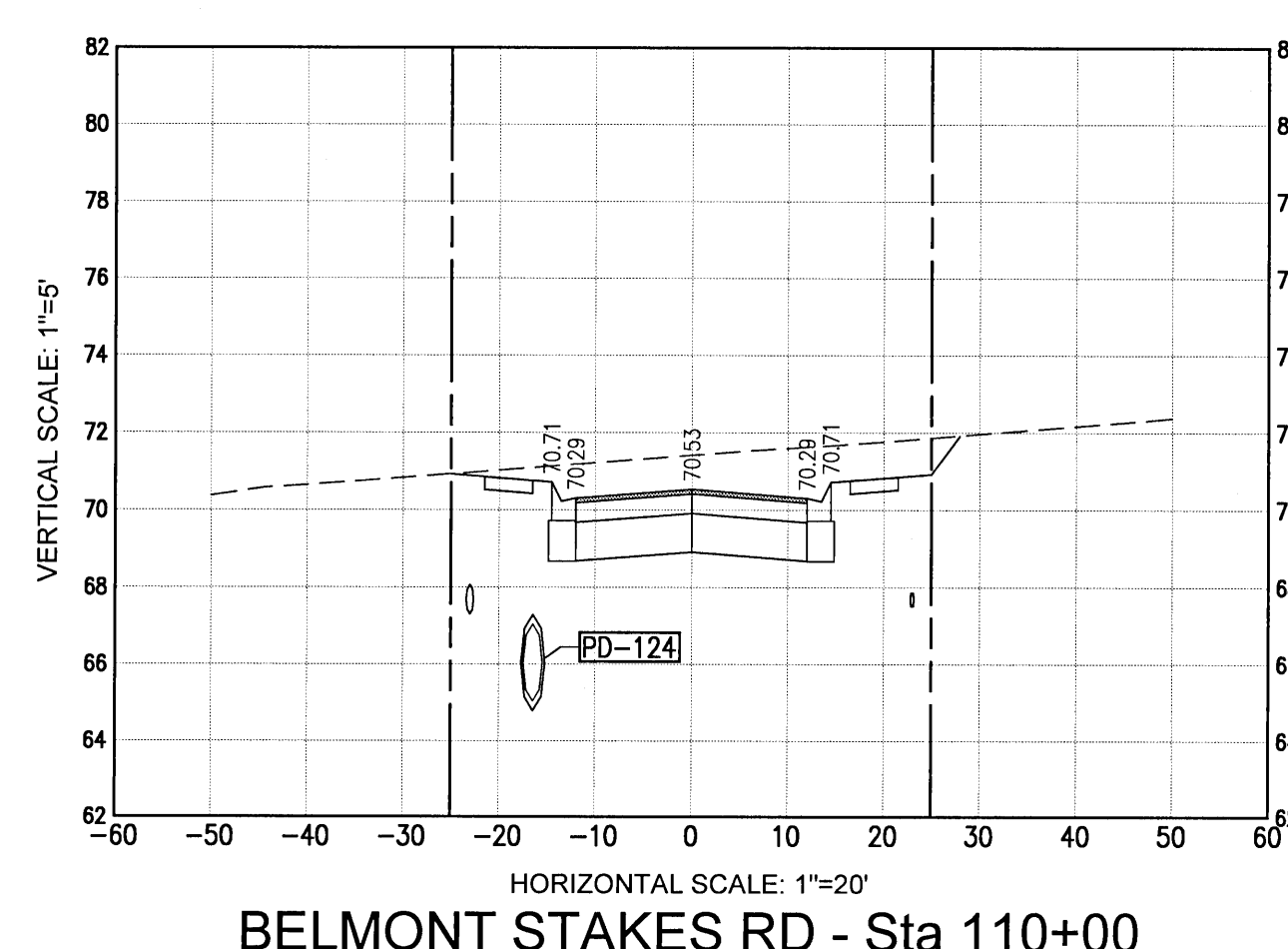
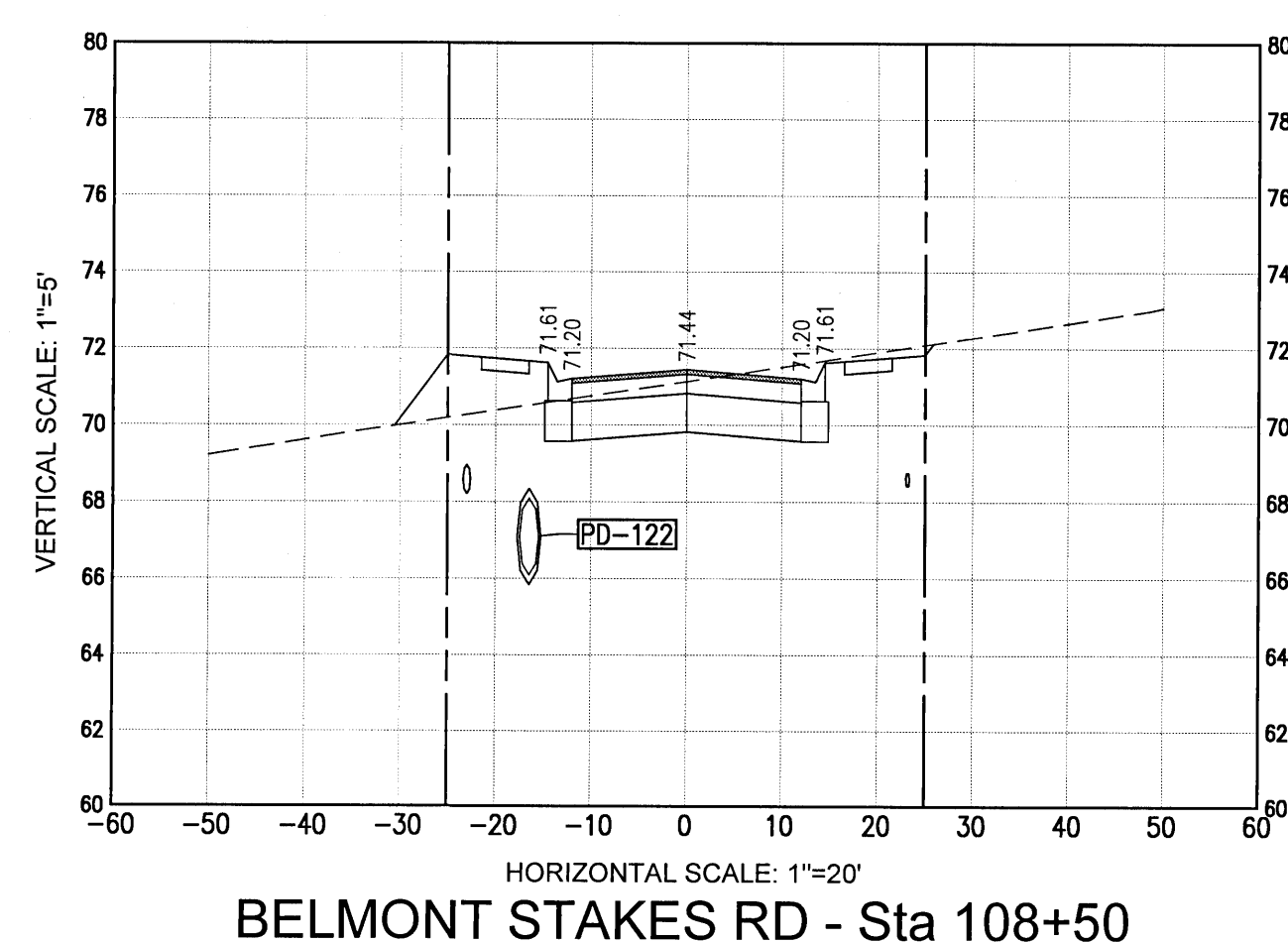
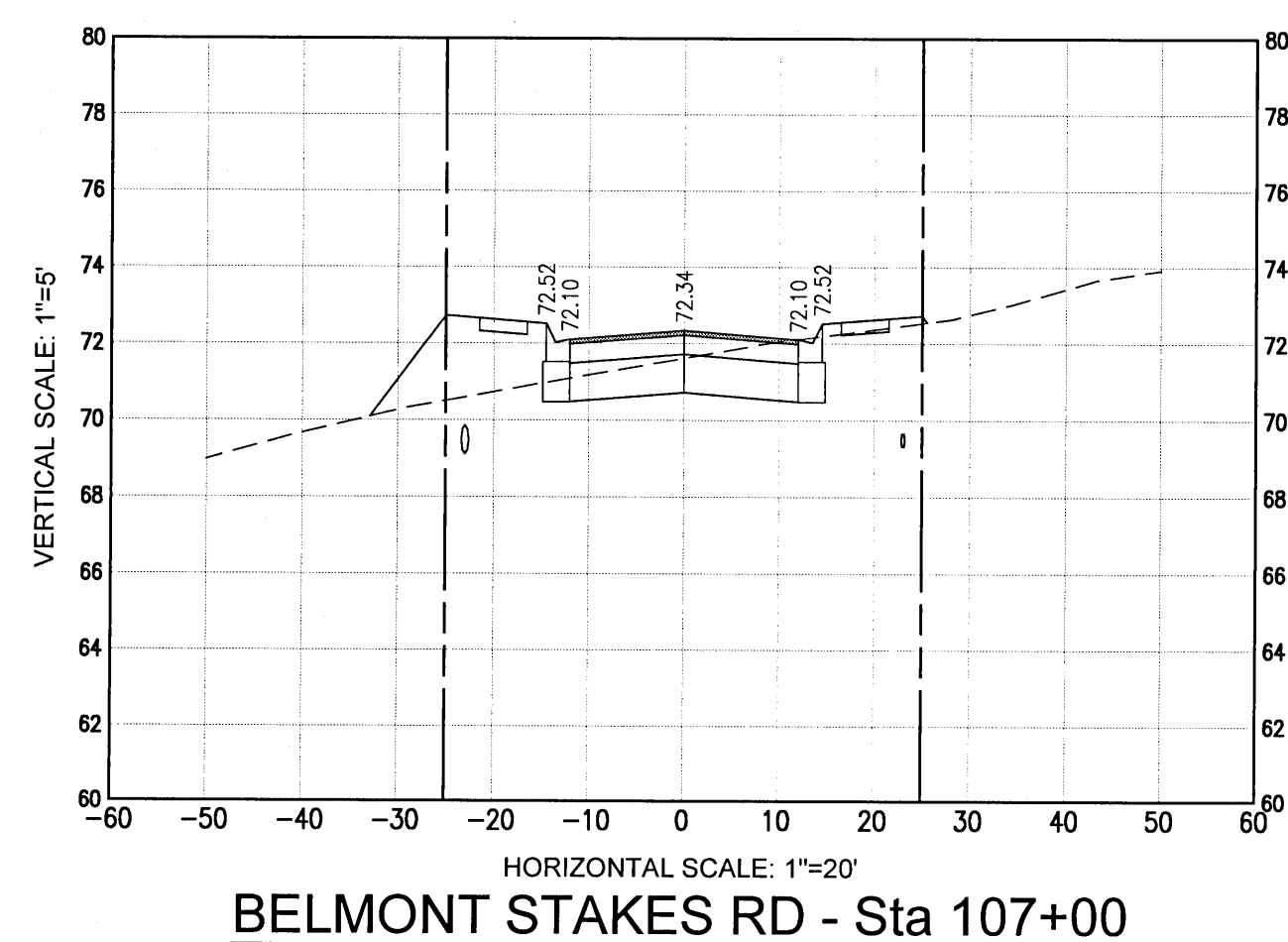
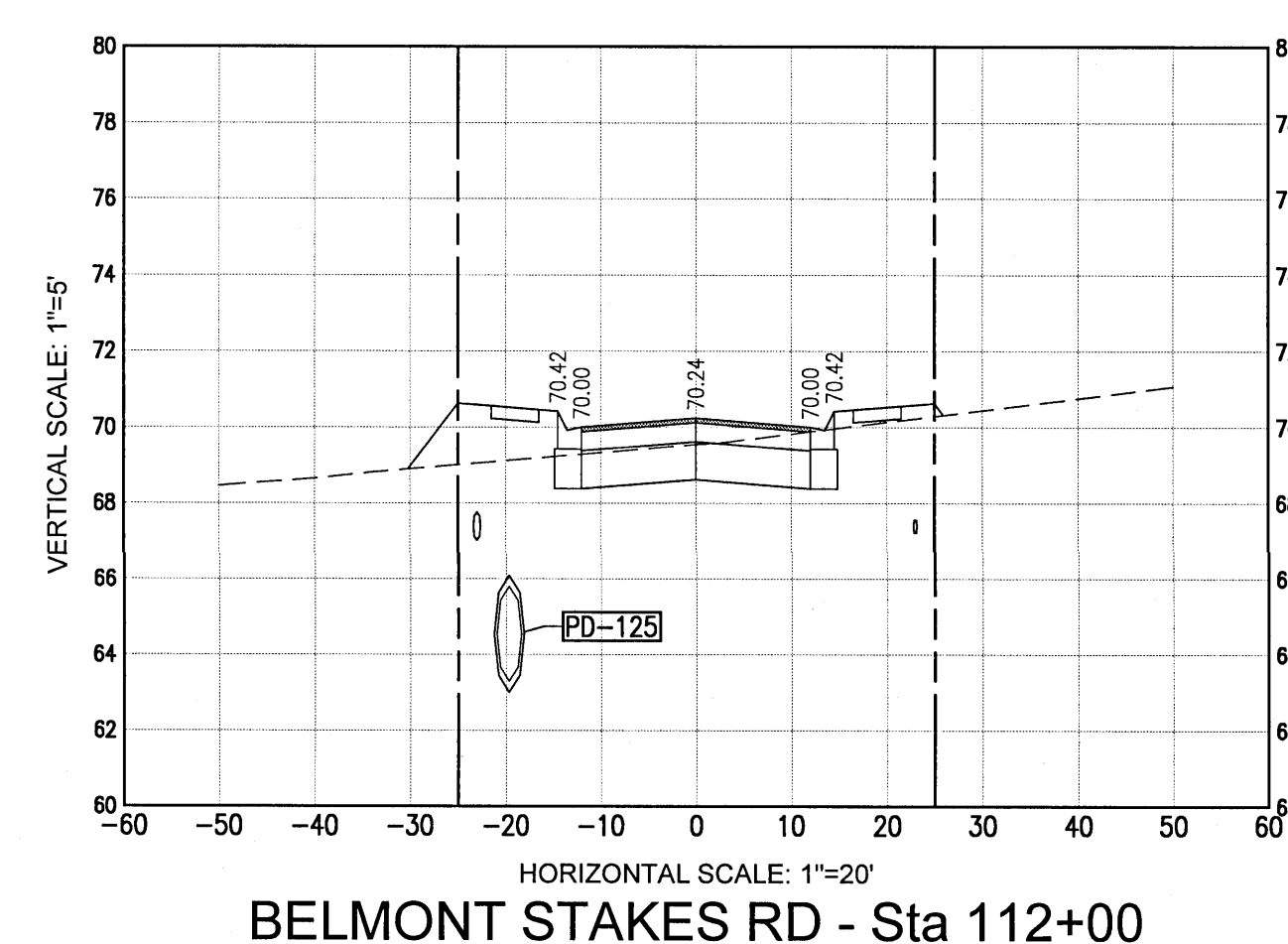
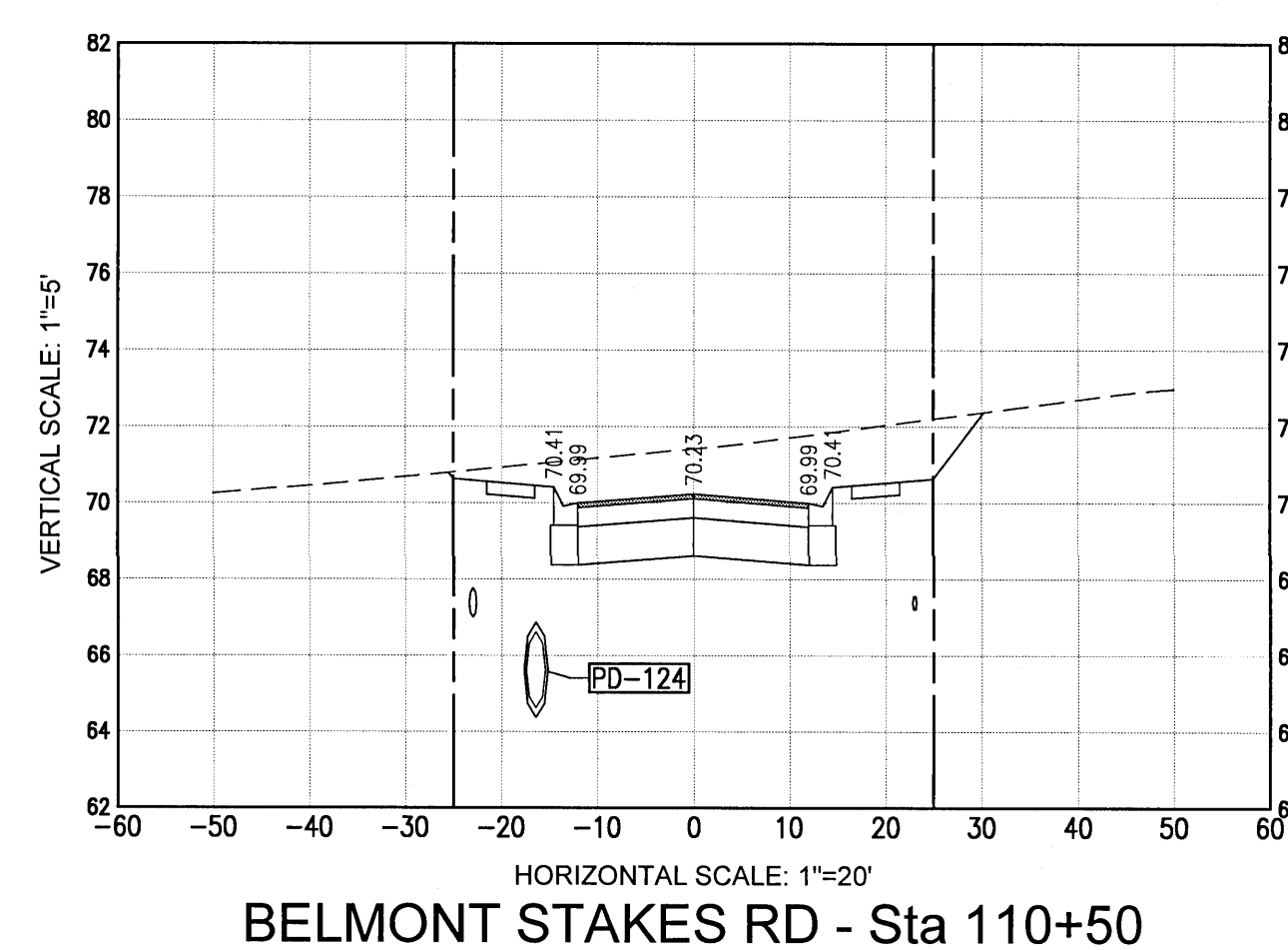
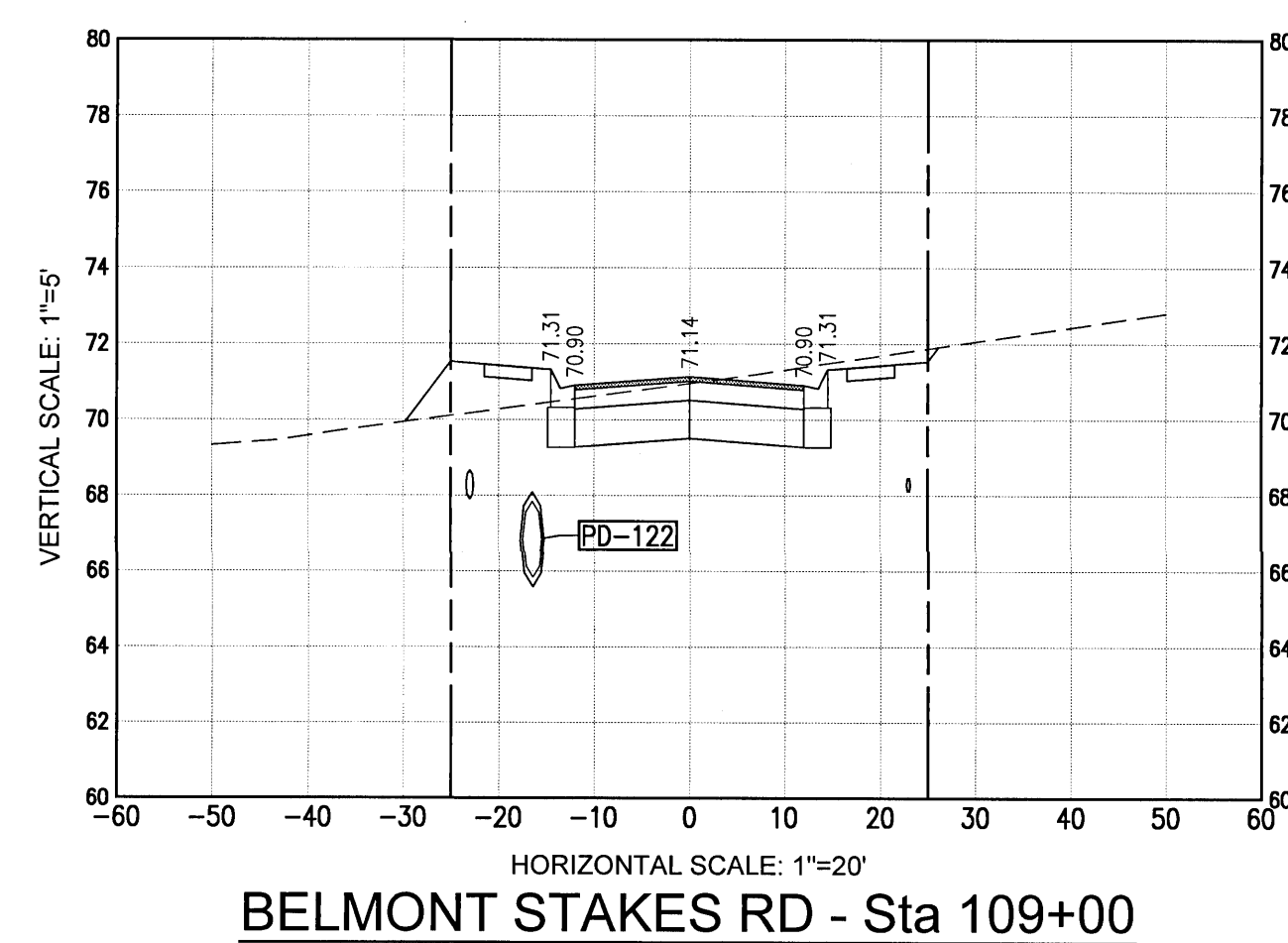
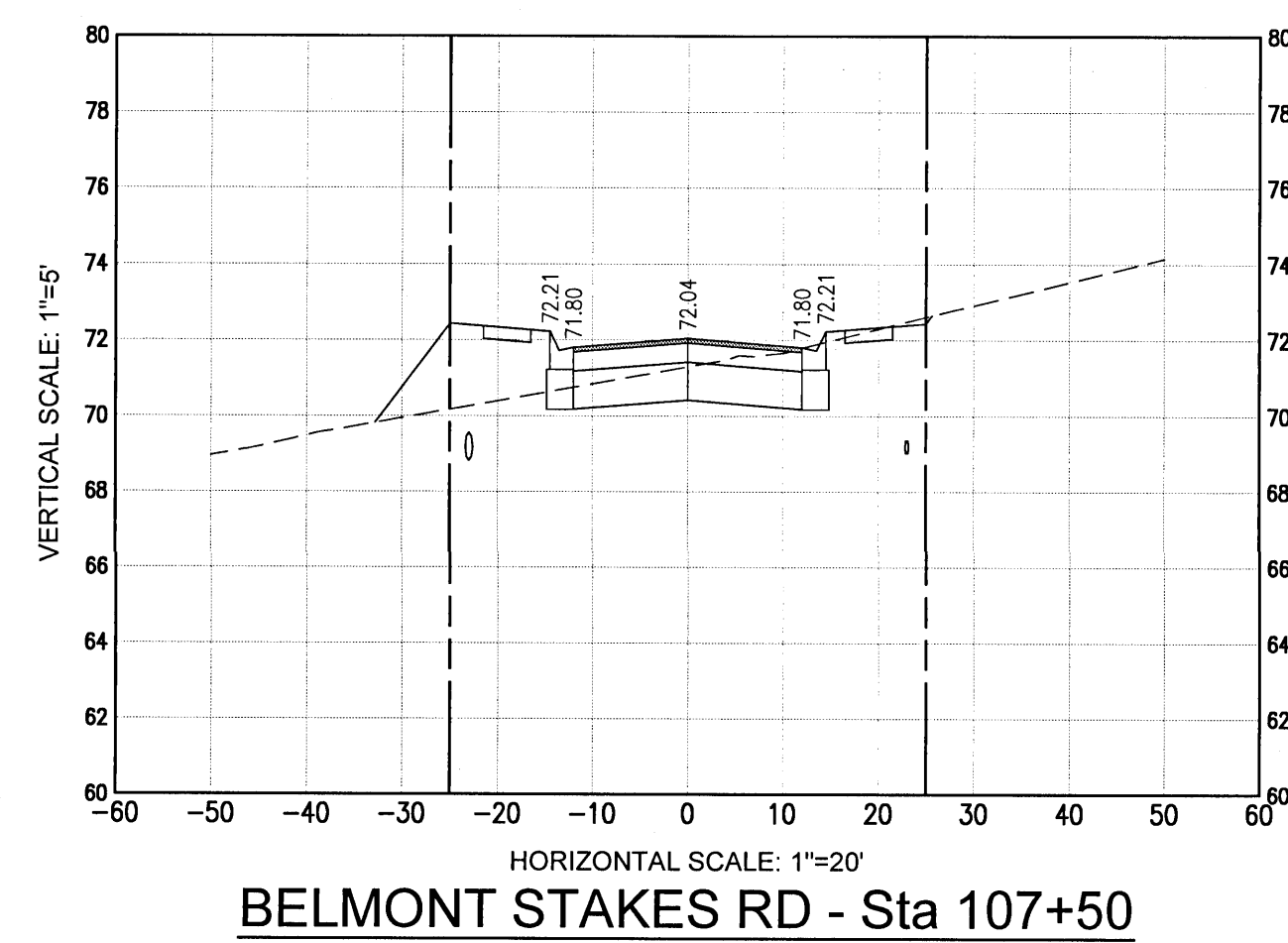
Bridlewood 2nd Addition
A 69 LOT SUBDIVISION
STEEPLECHASE BOULEVARD
ESCAMBIA COUNTY, FLORIDA

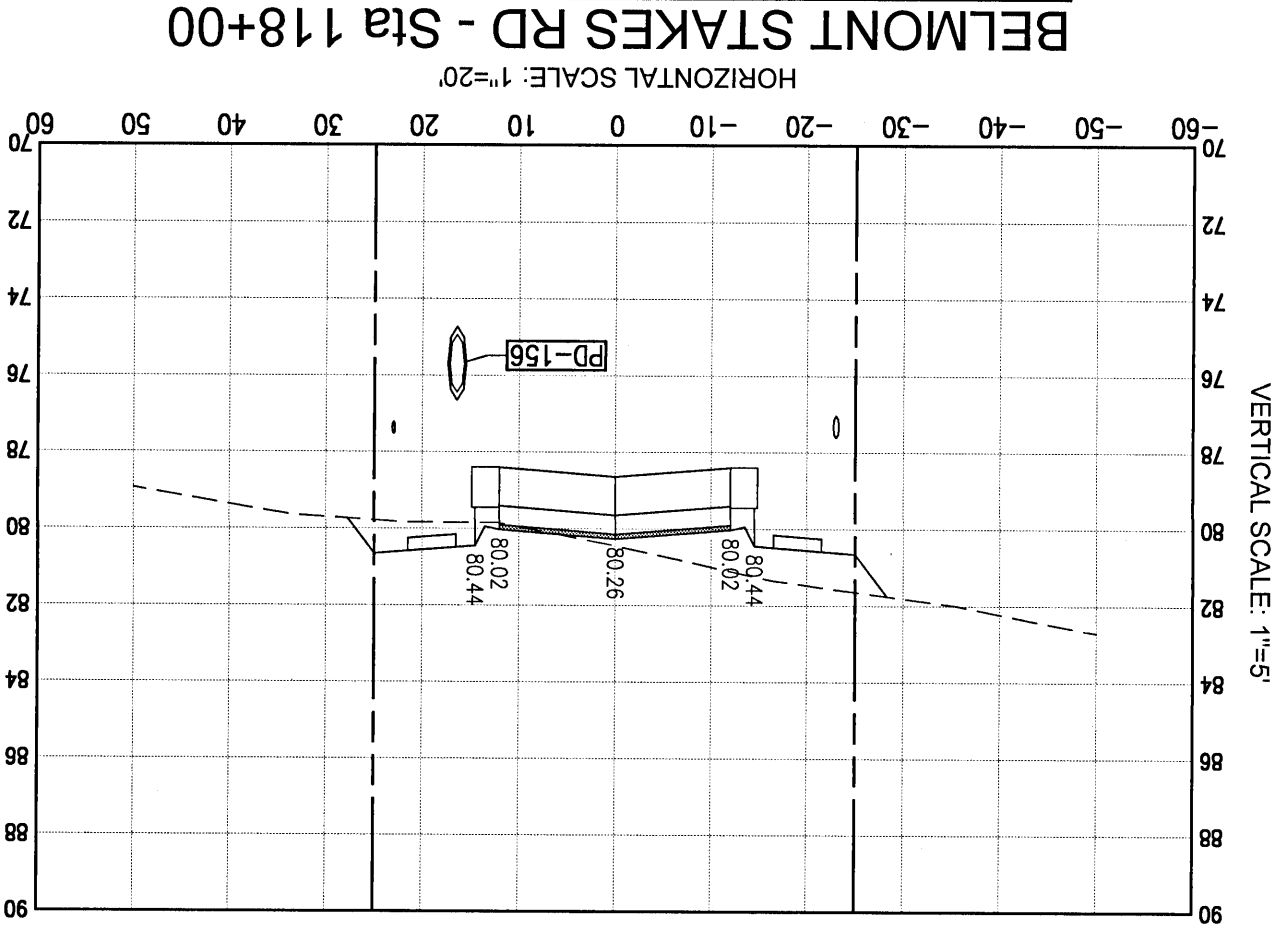
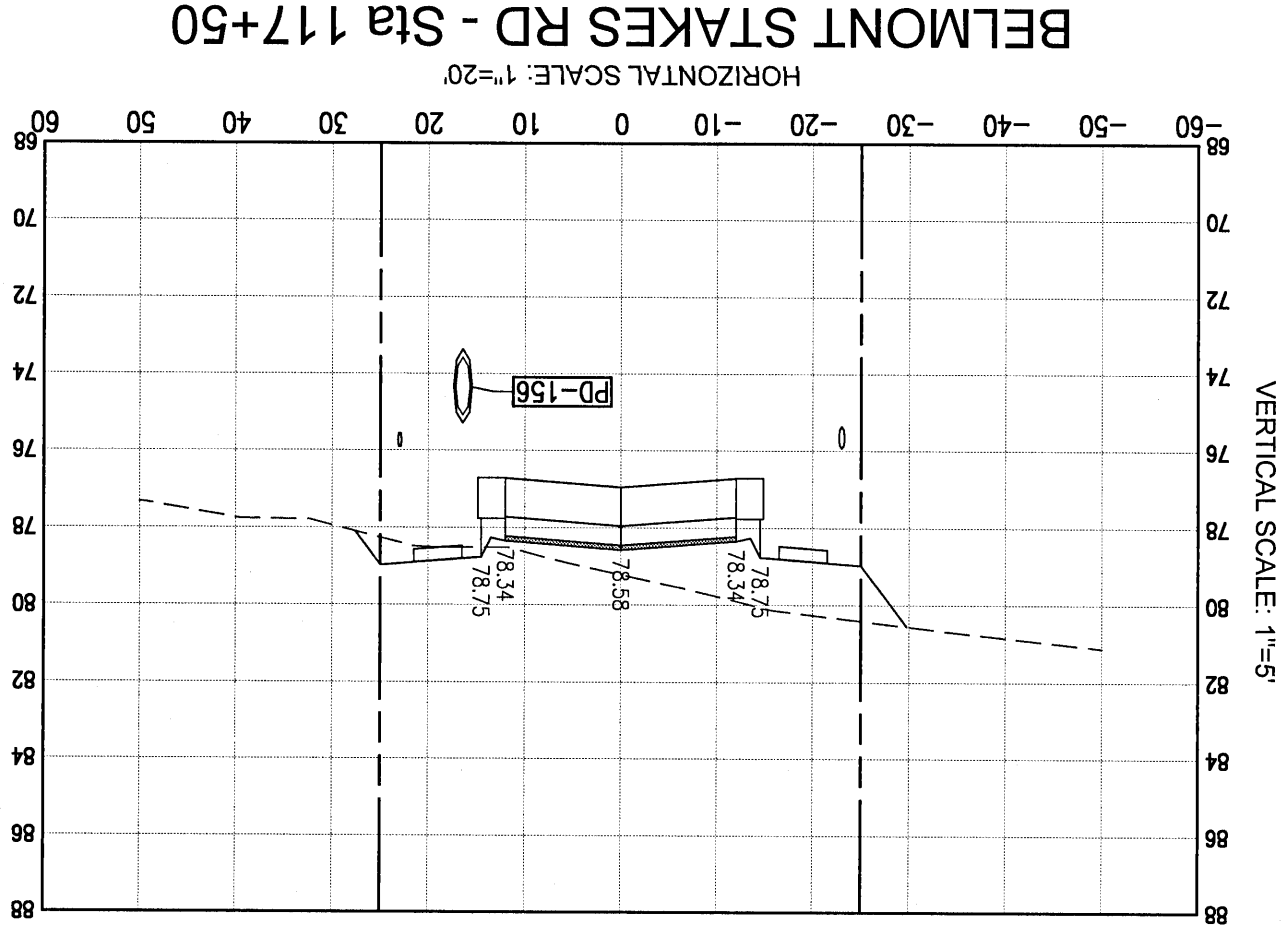
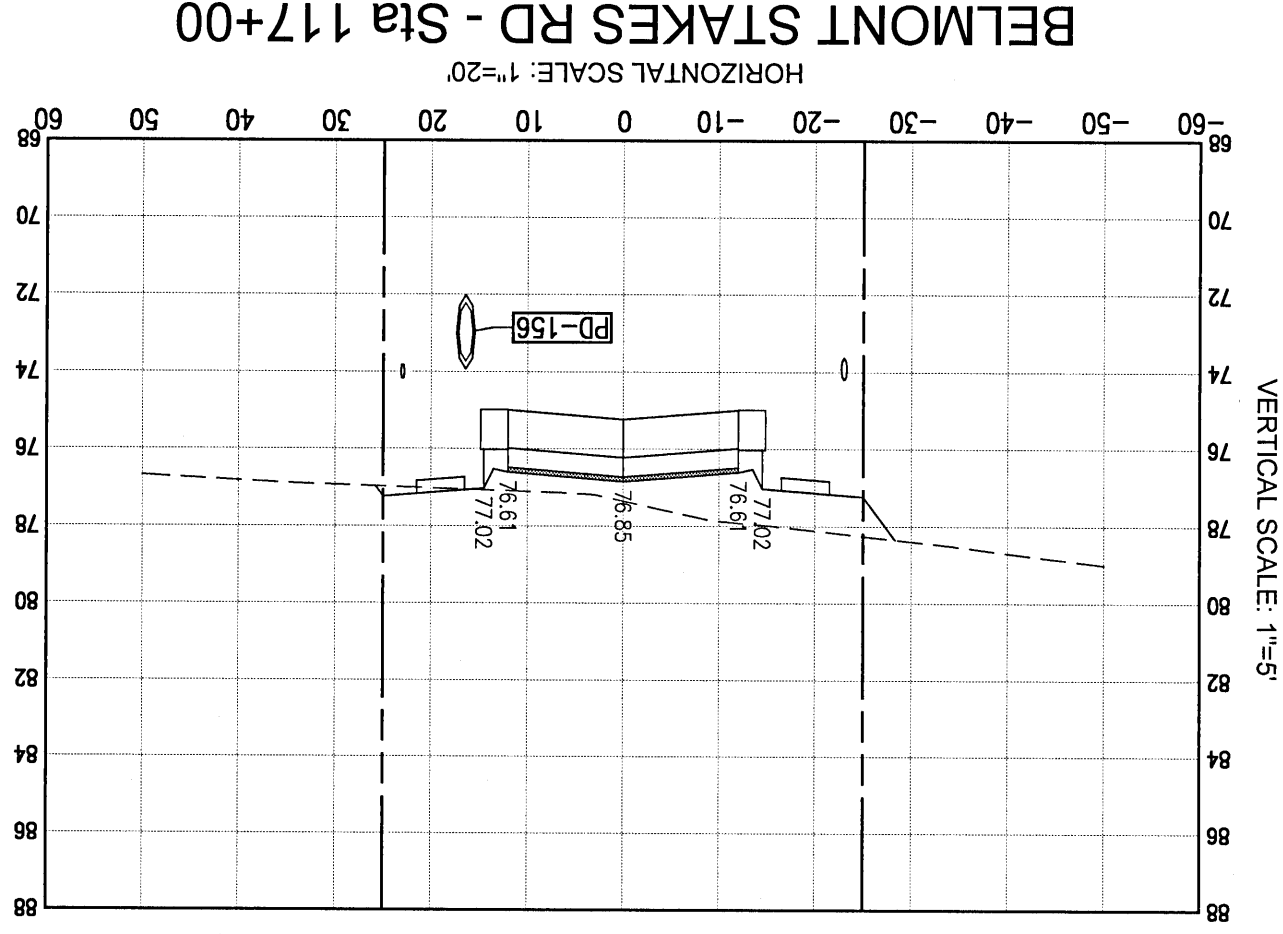
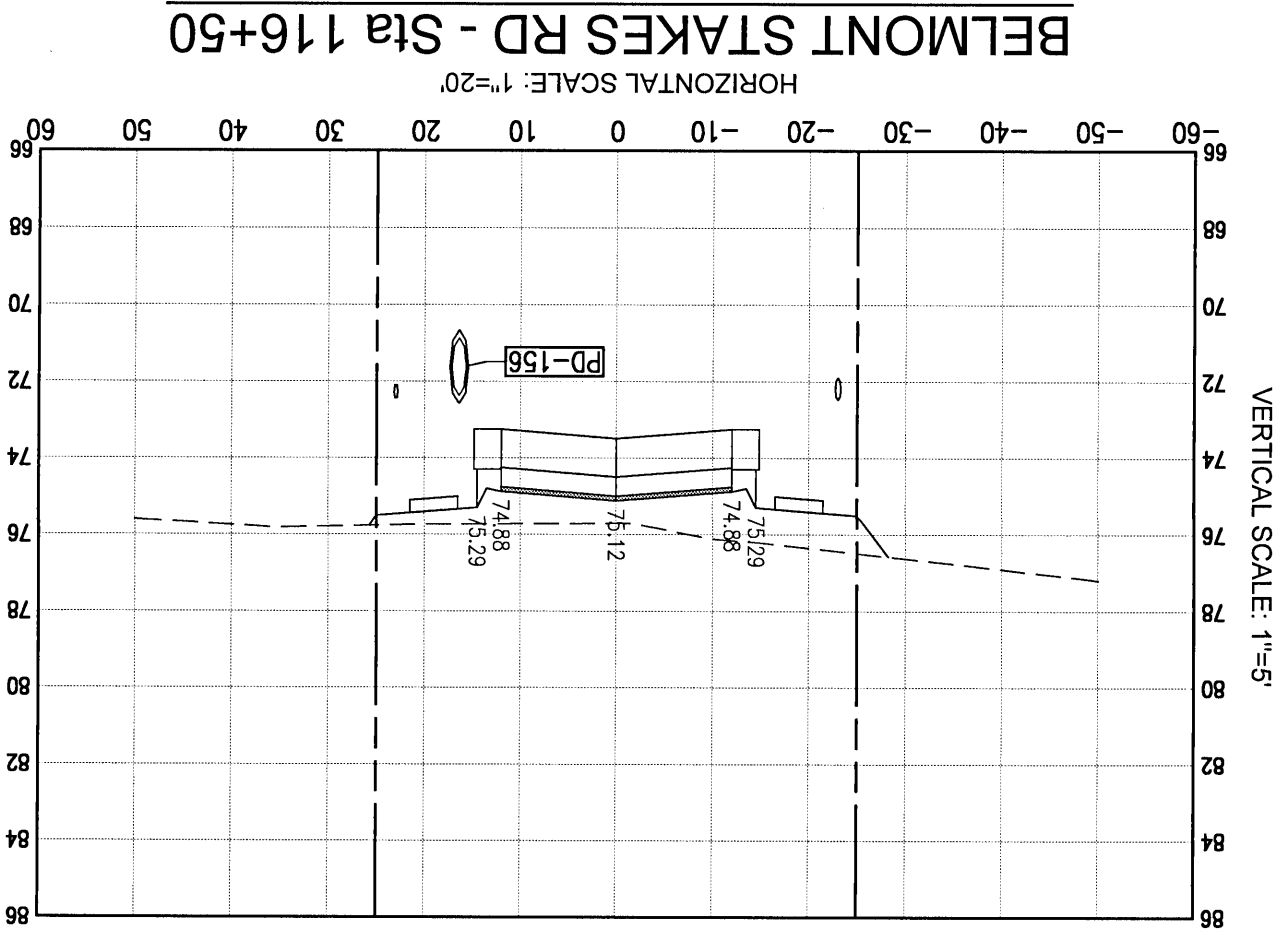
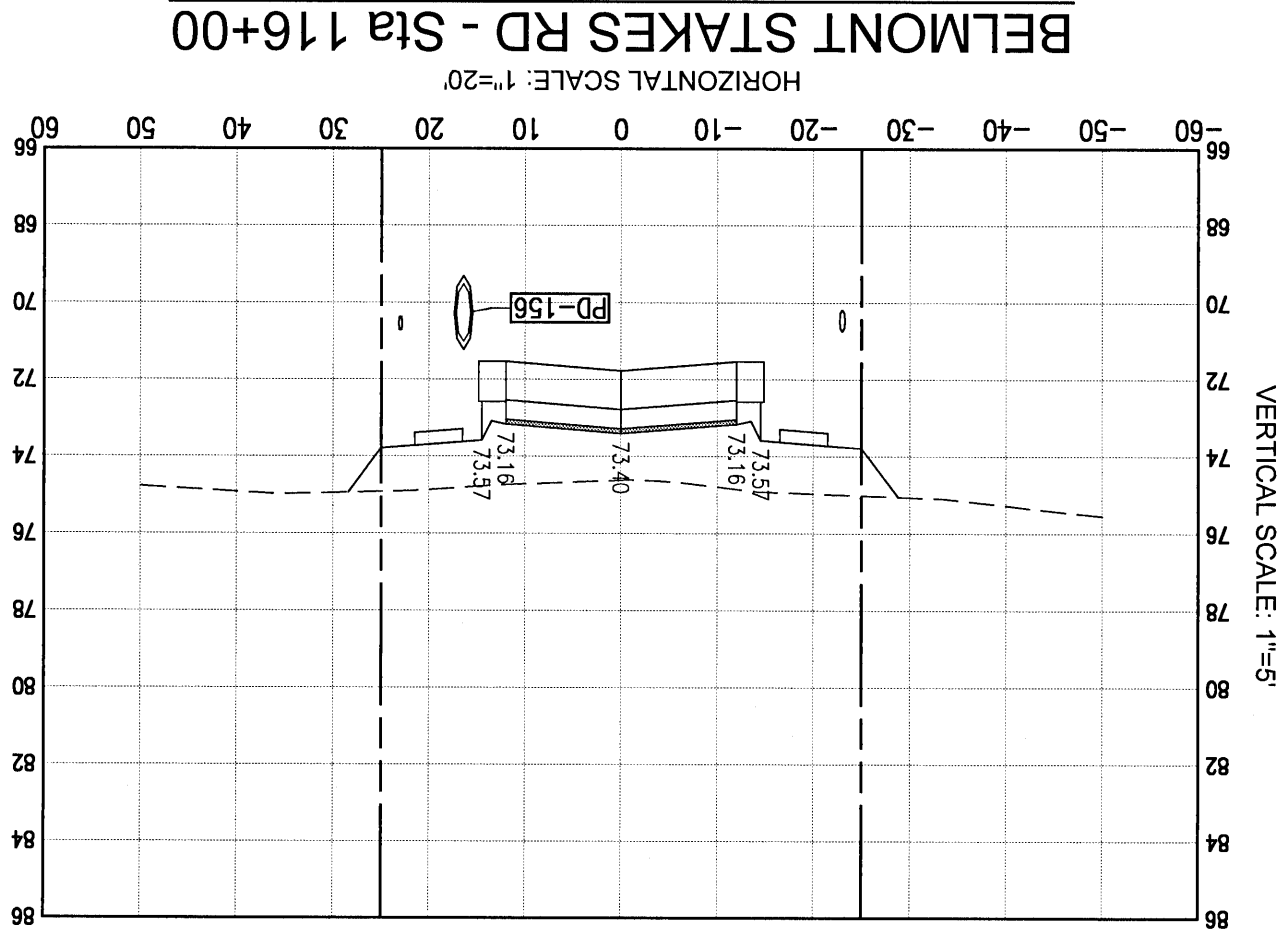
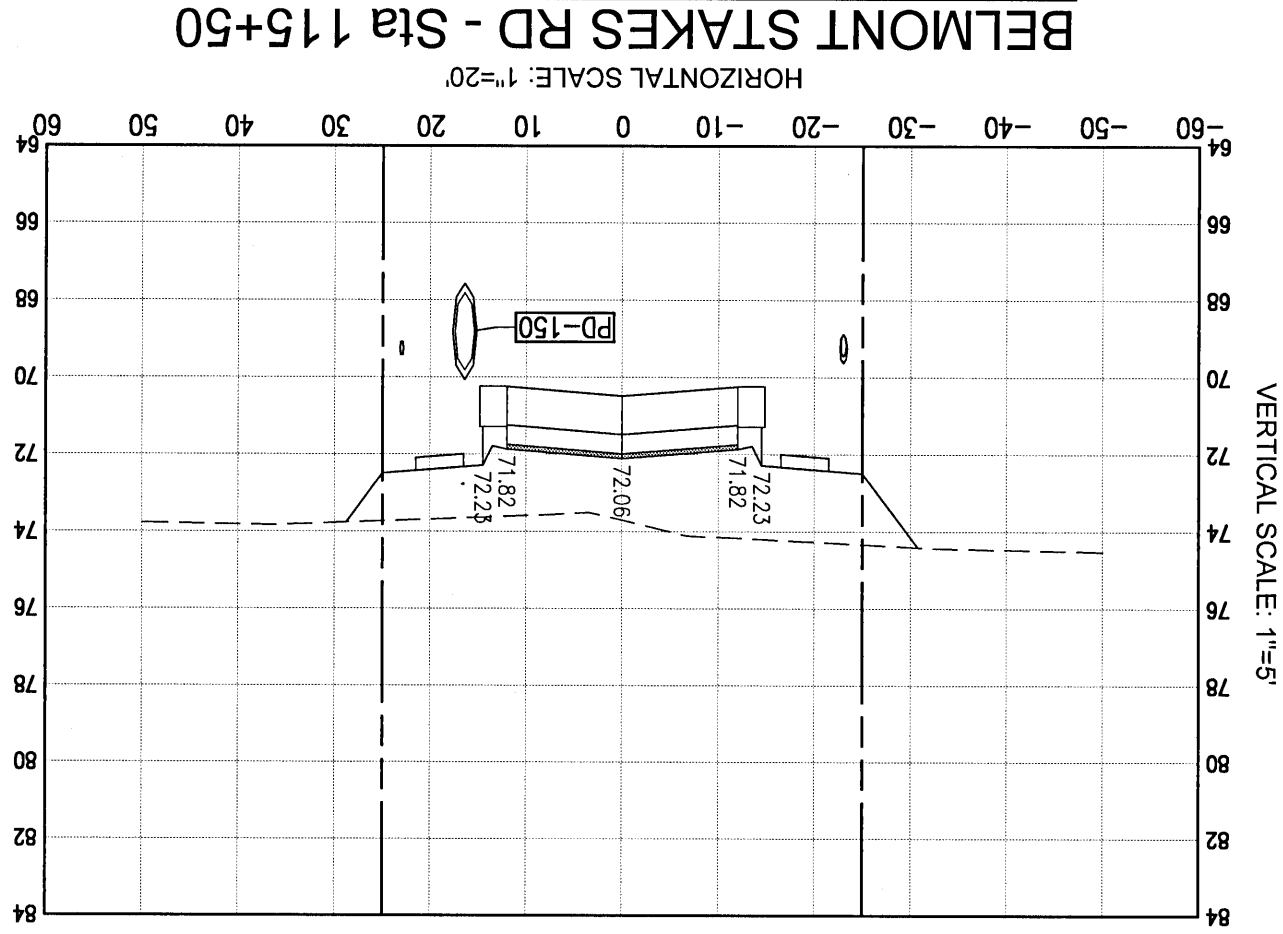
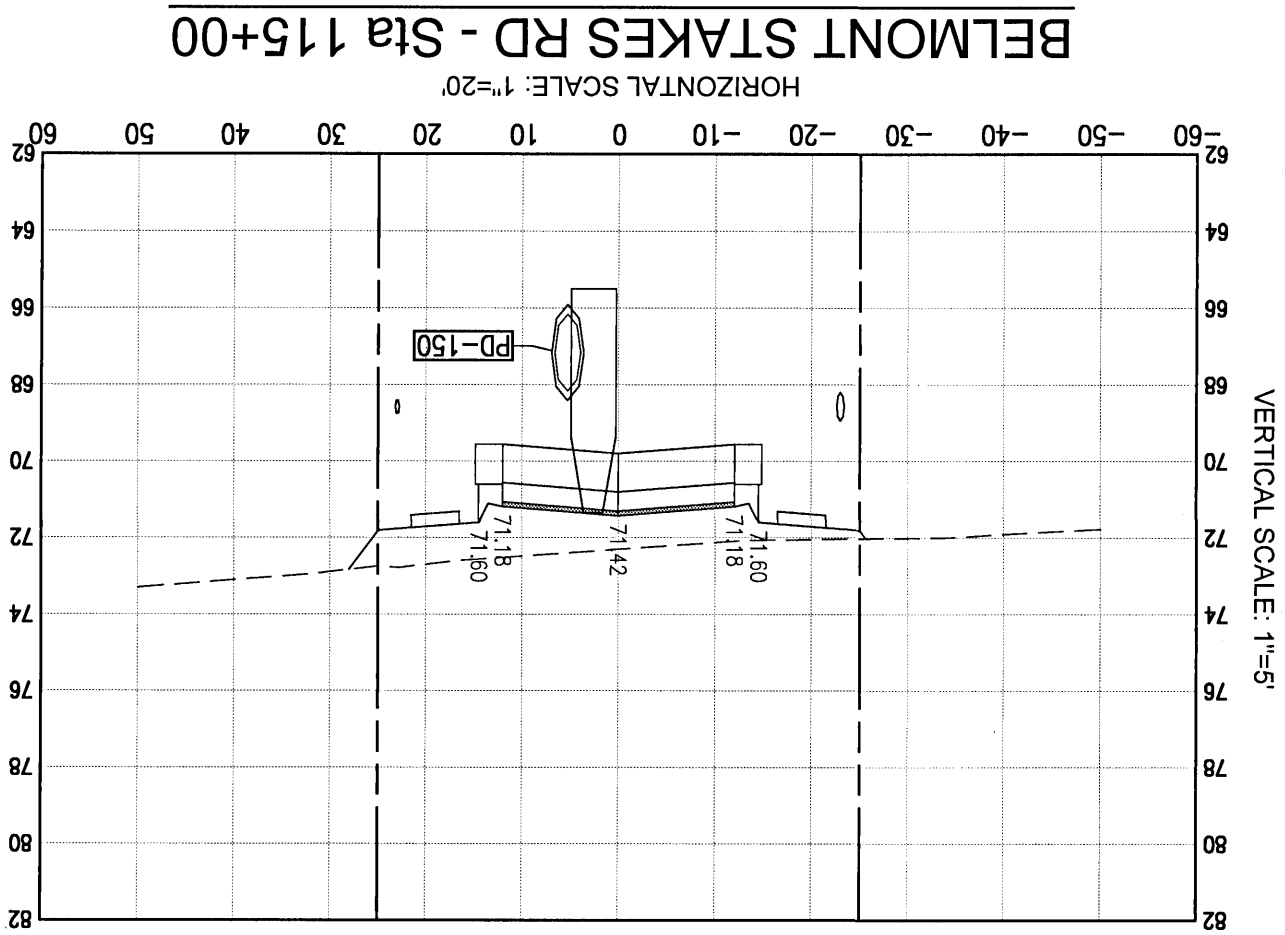
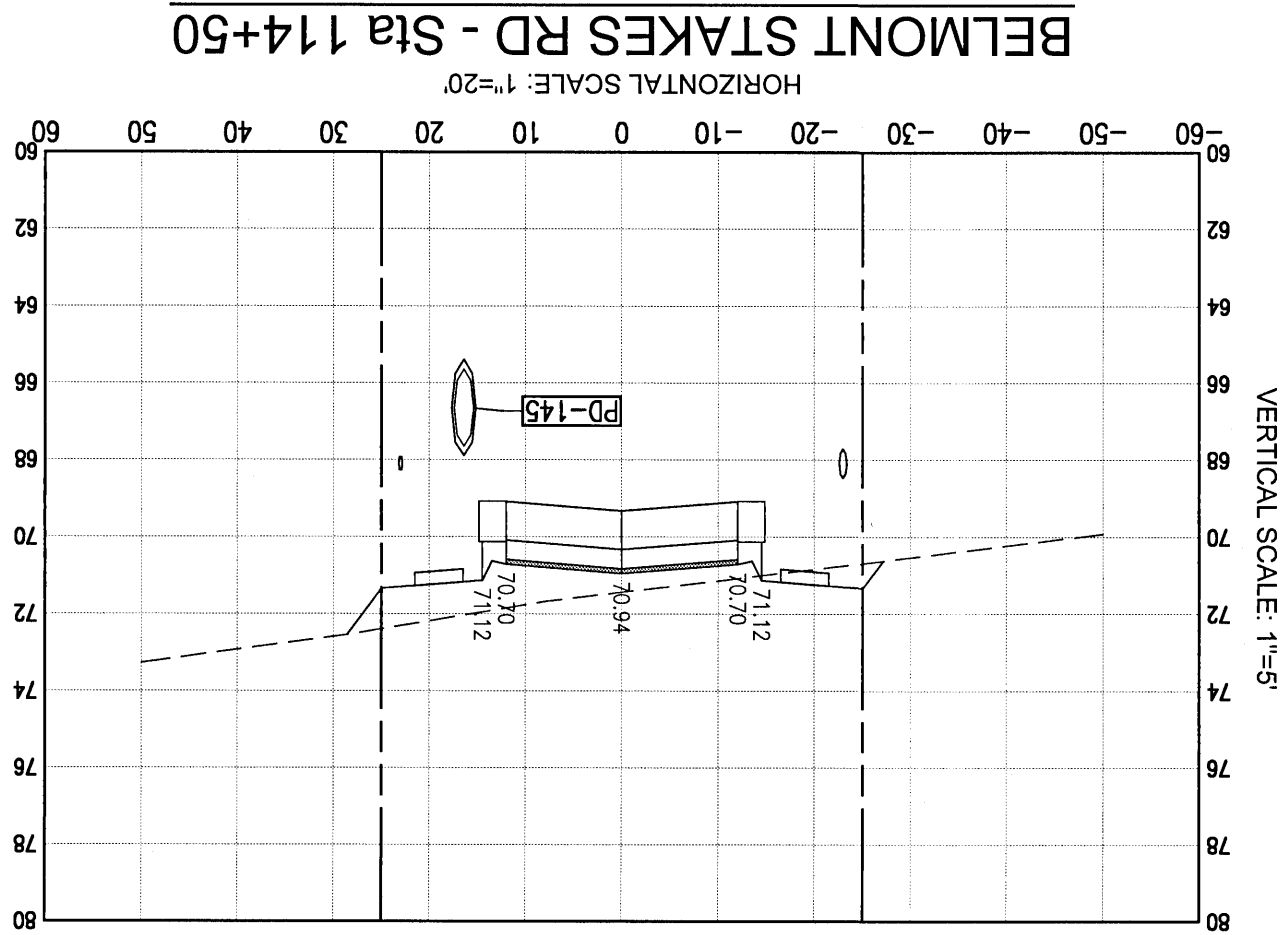
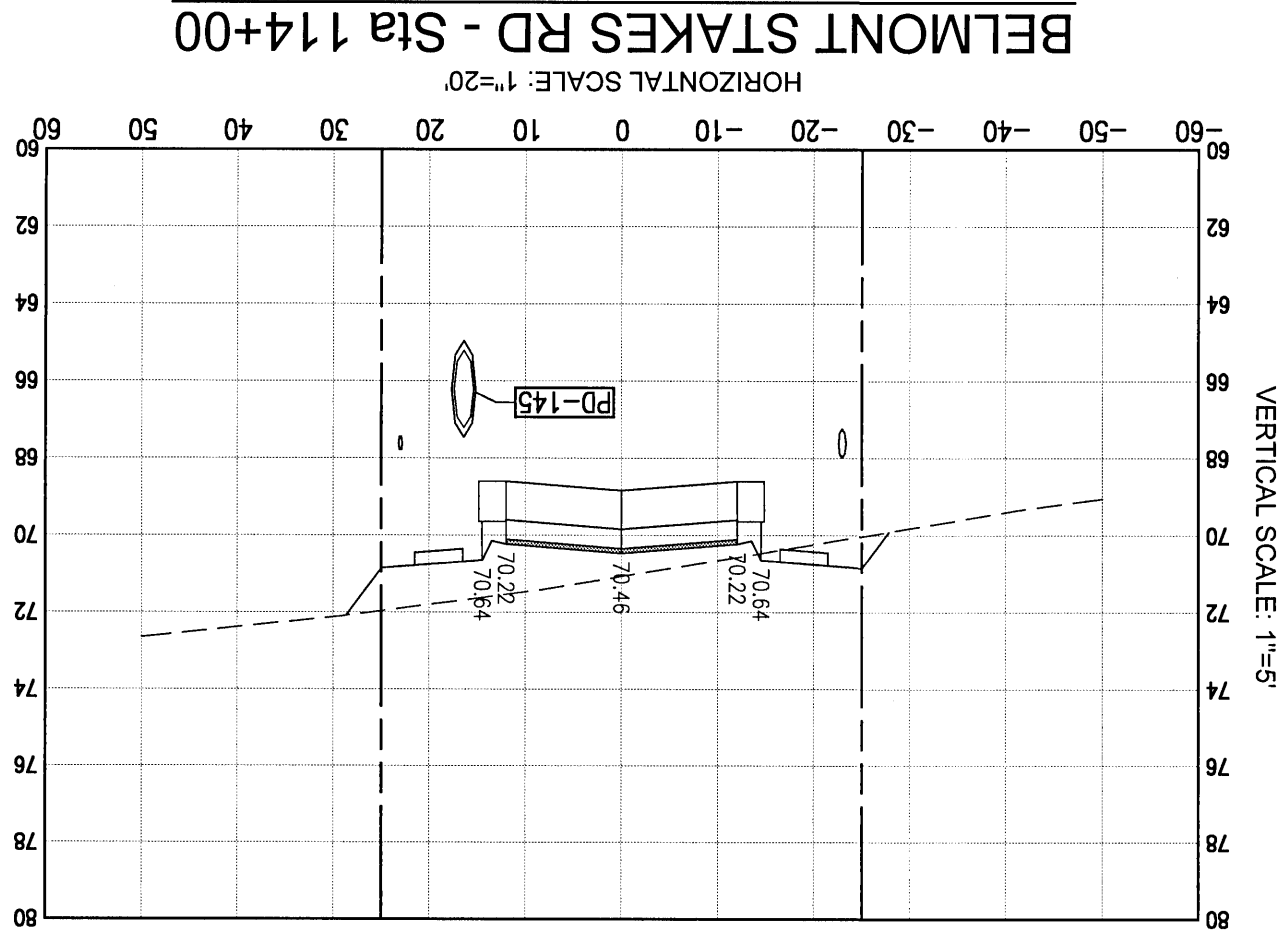
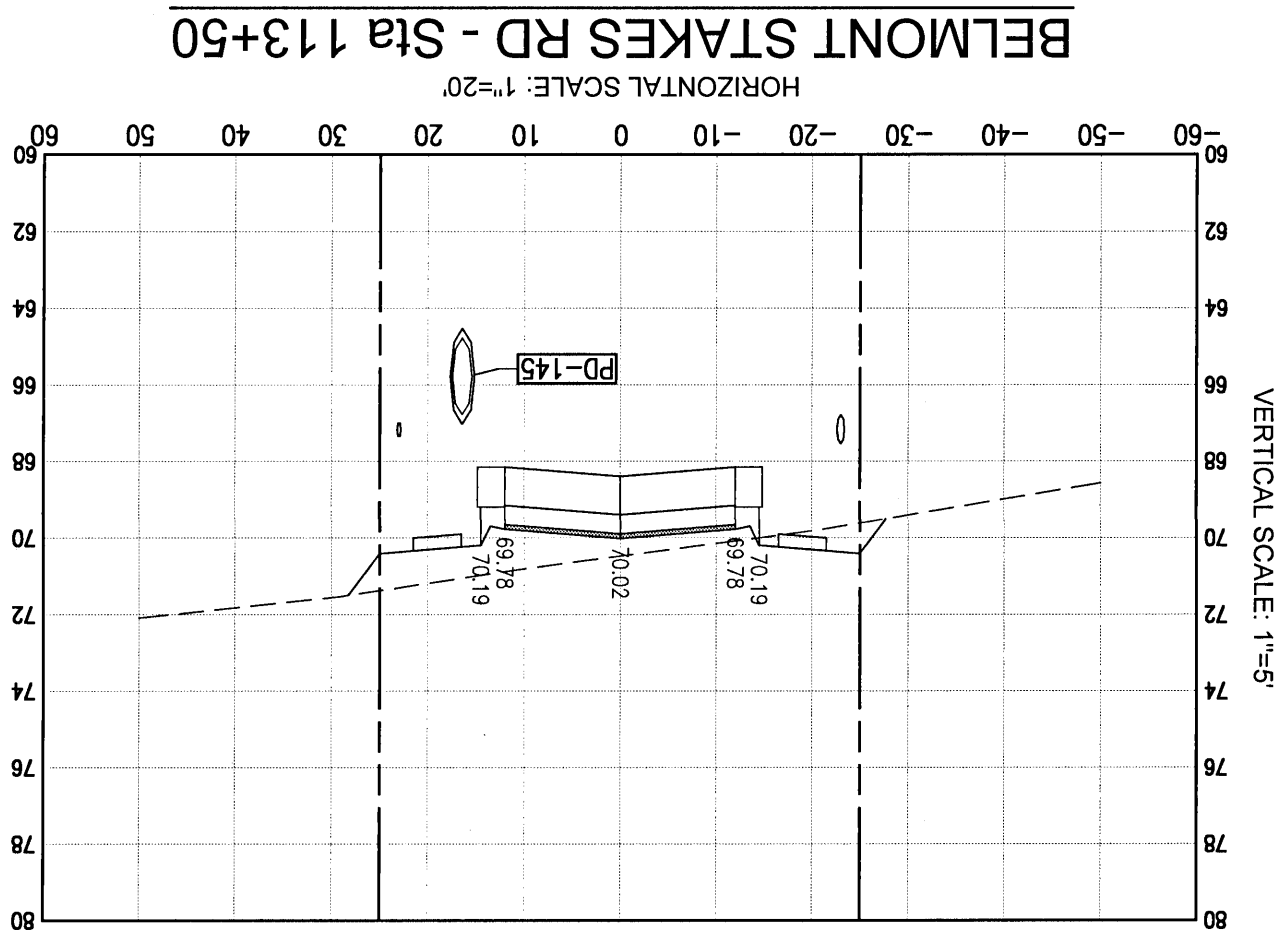
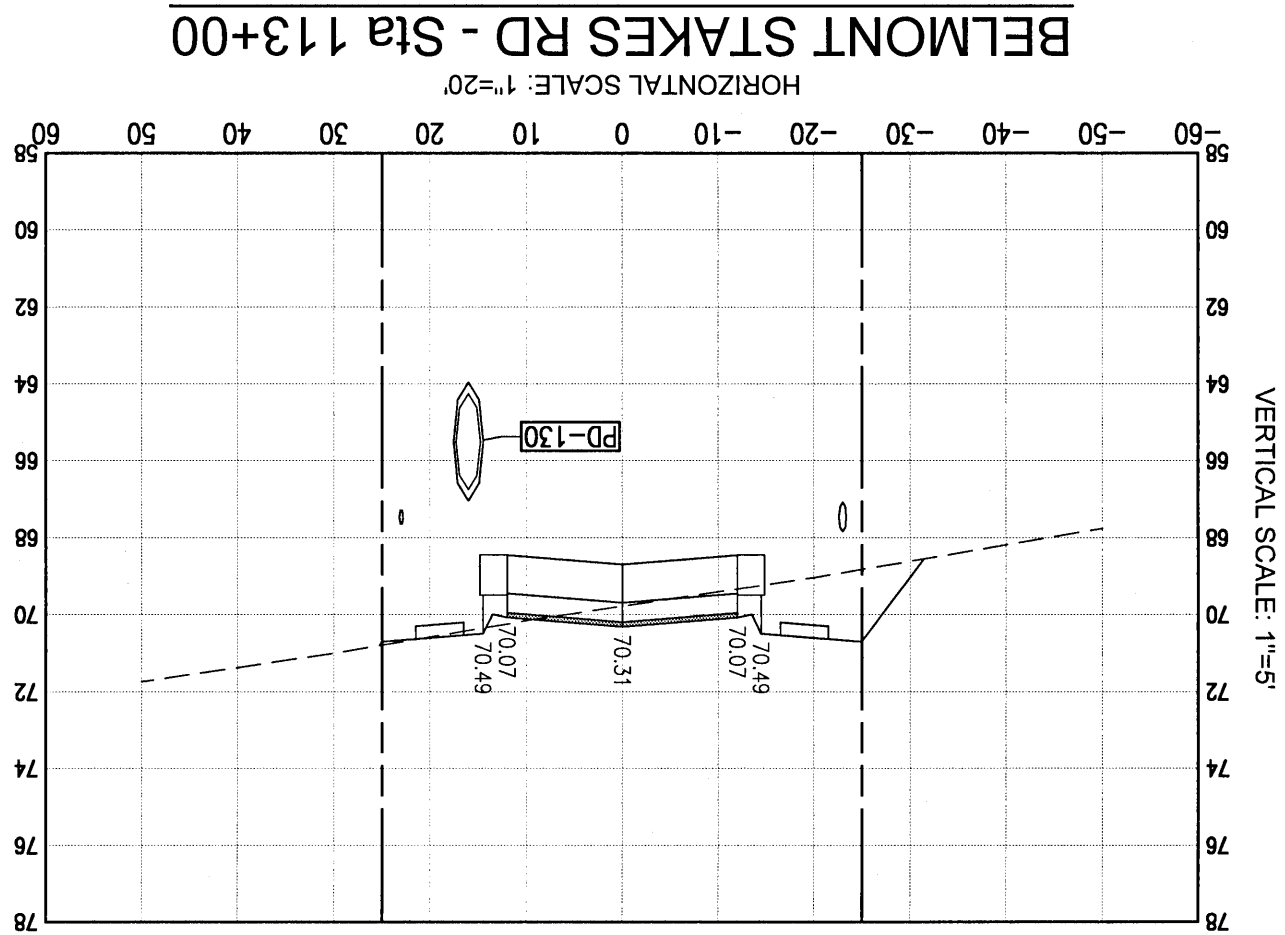
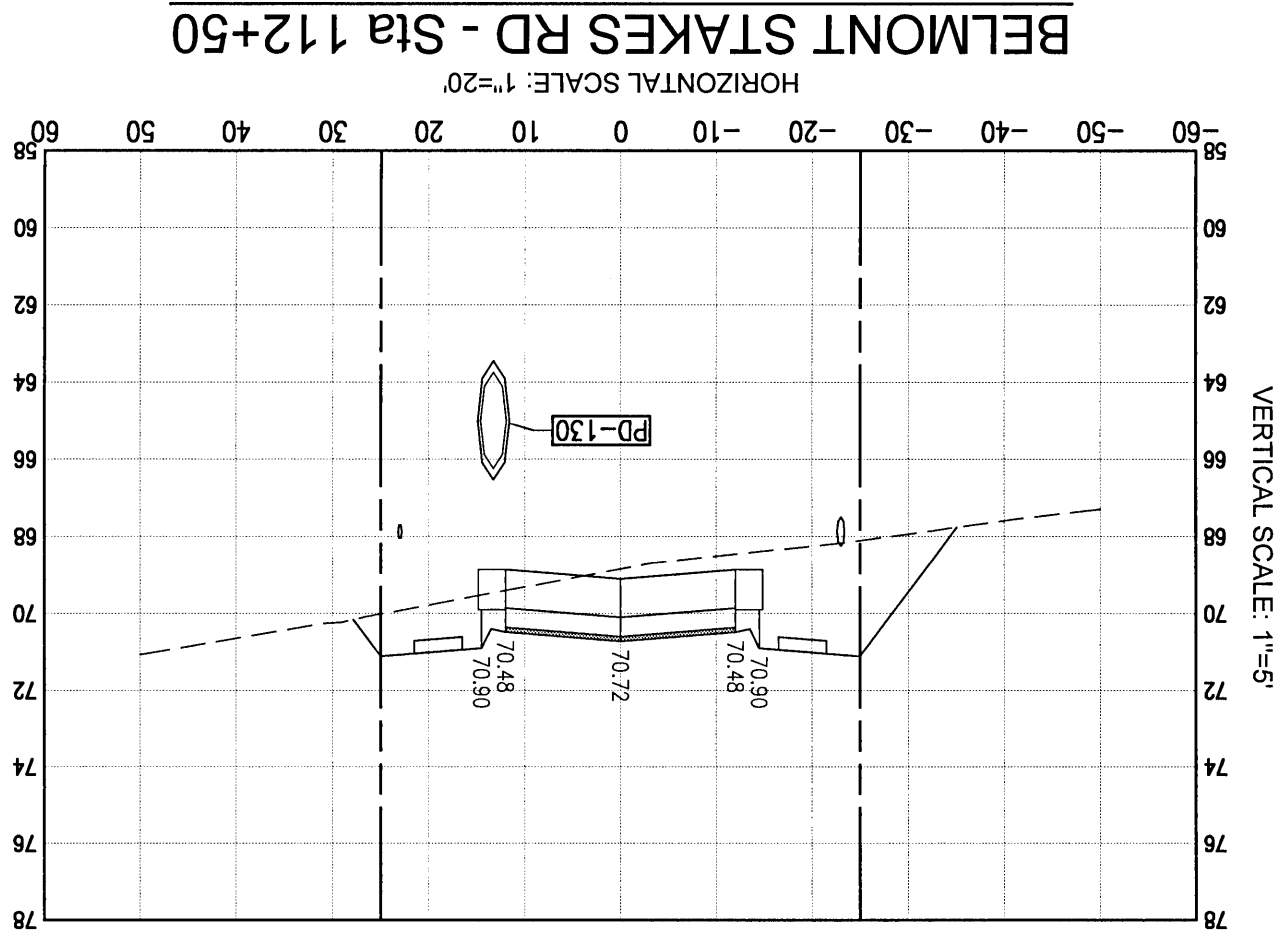
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Dr. By: CBD
Ck By: JRK
Job No.: 2017.274
Date: 6/16/2021

DRAWING No.

C7.0





C7.2

DRAWING No.

Date: 6/16/2021

Job No.: 2017.274

Dr. By: CBD

CK By: JRK

SEAL

JEREMY R. KING, P.E.

No. 76144

6-11-21

REBOL-BATTLE & ASSOCIATES, INC.

No.	DATE	REVISION

Bridlewood 2nd Addition

A 69 LOT SUBDIVISION

STEEPLECHASE BOULEVARD

ESCAMBIA COUNTY, FLORIDA

CROSS SECTIONS

RBA

REBOL-BATTLE & ASSOCIATES

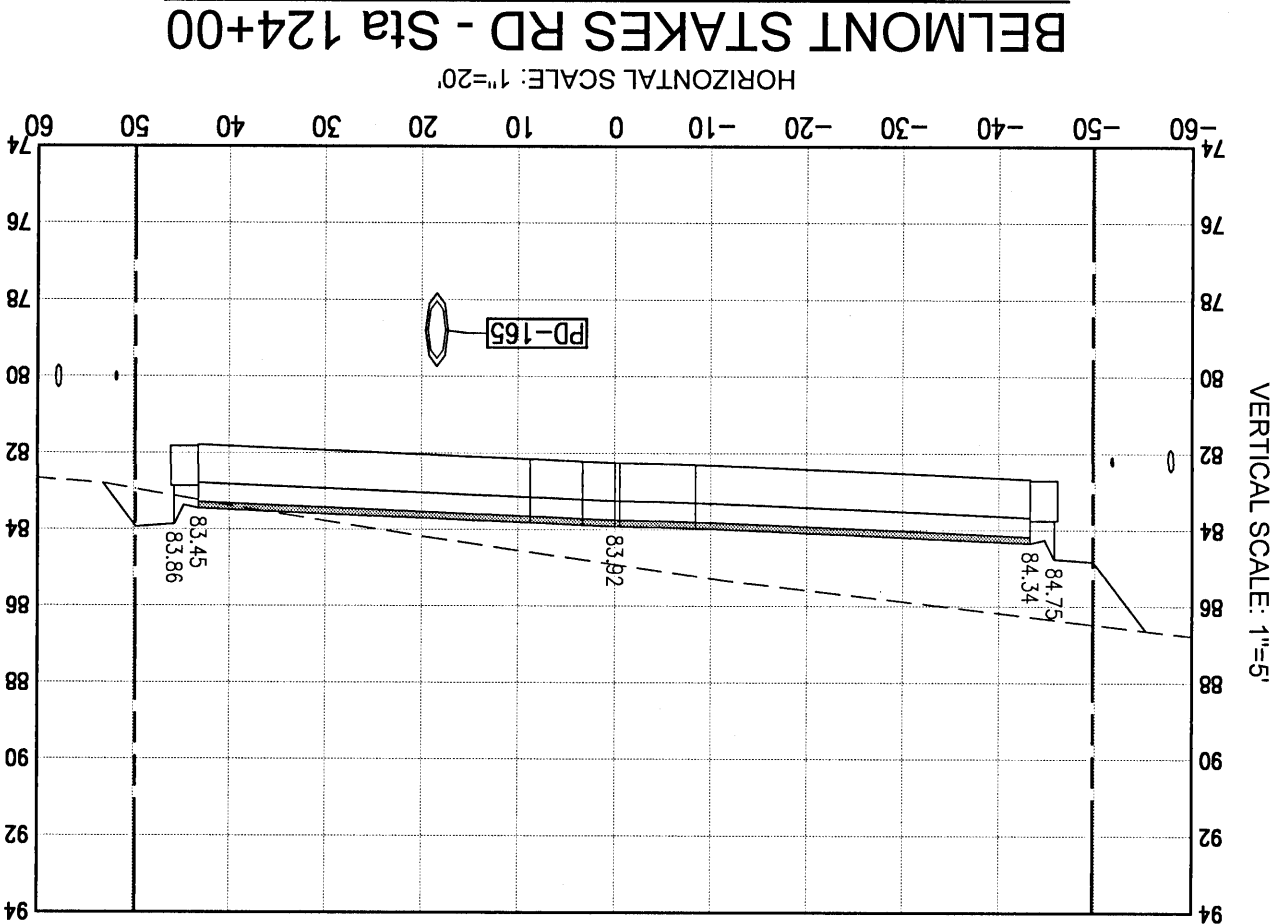
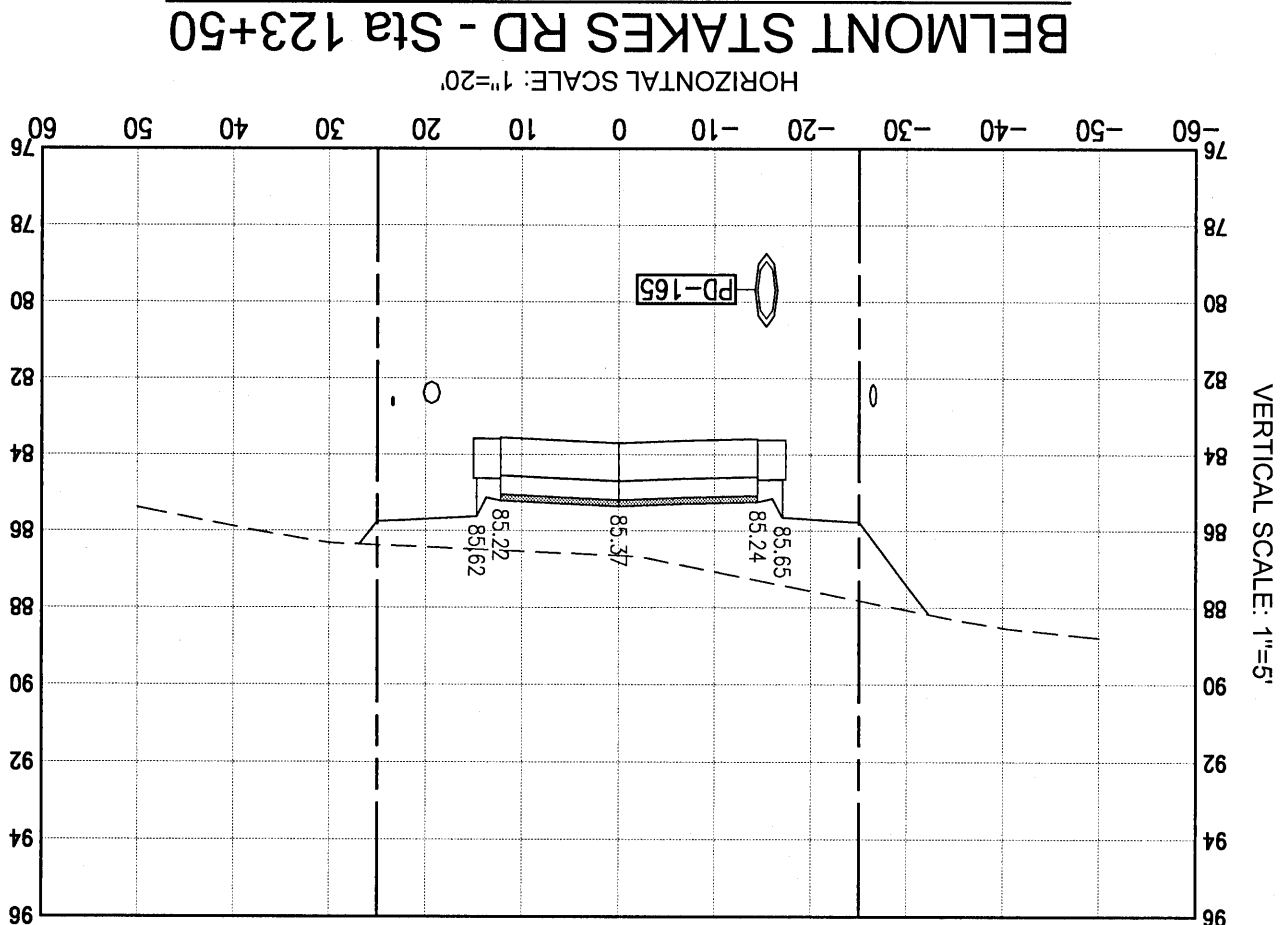
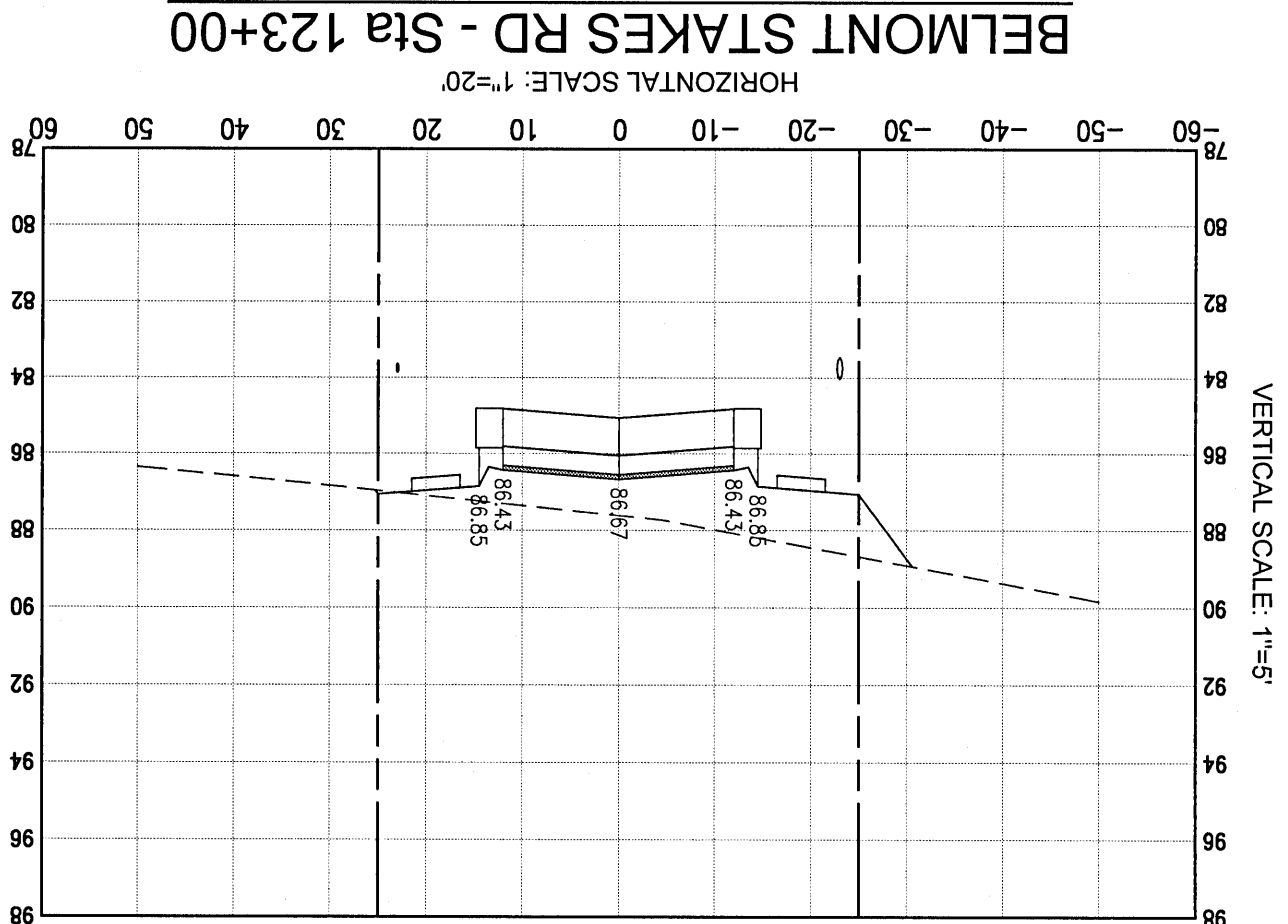
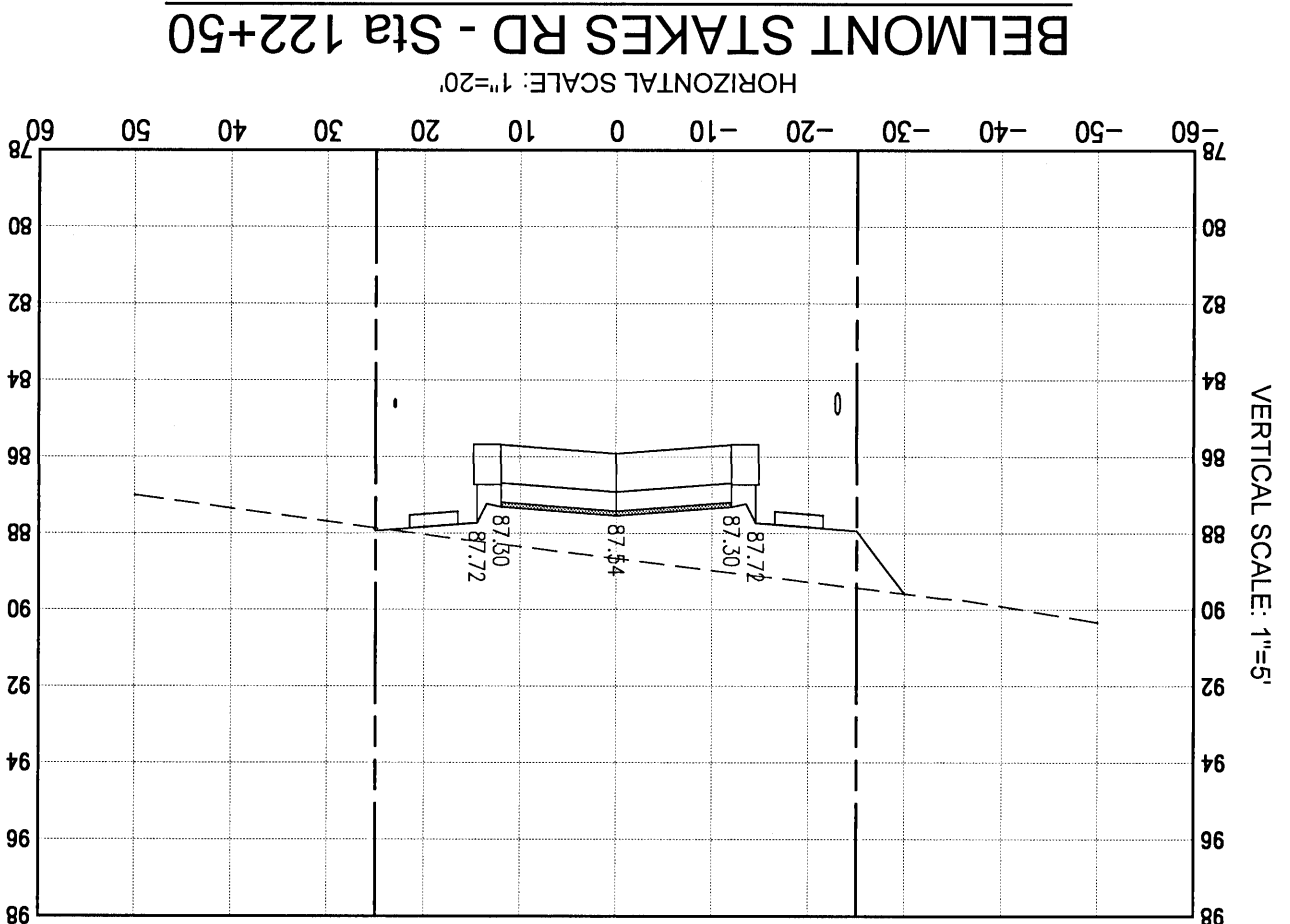
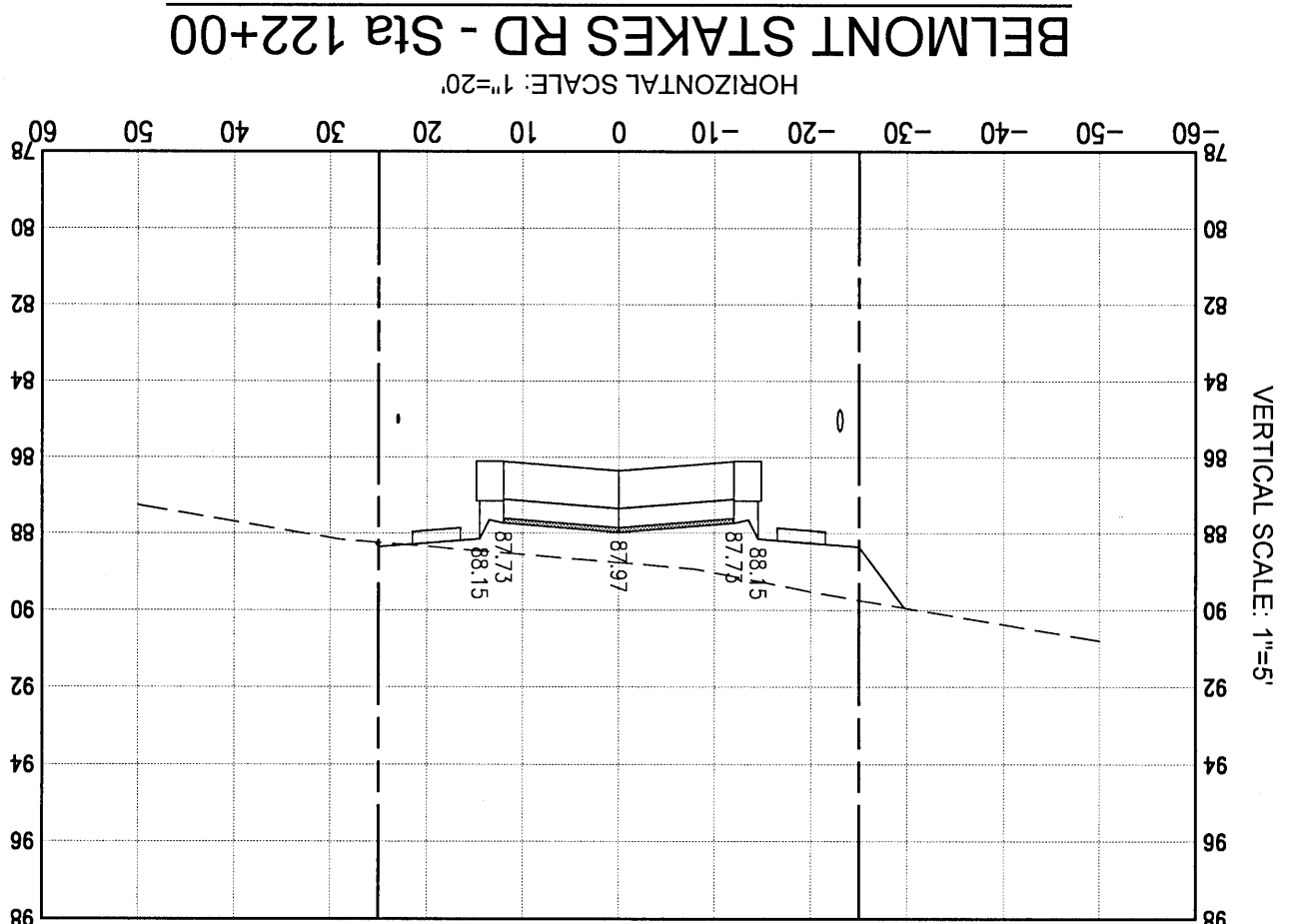
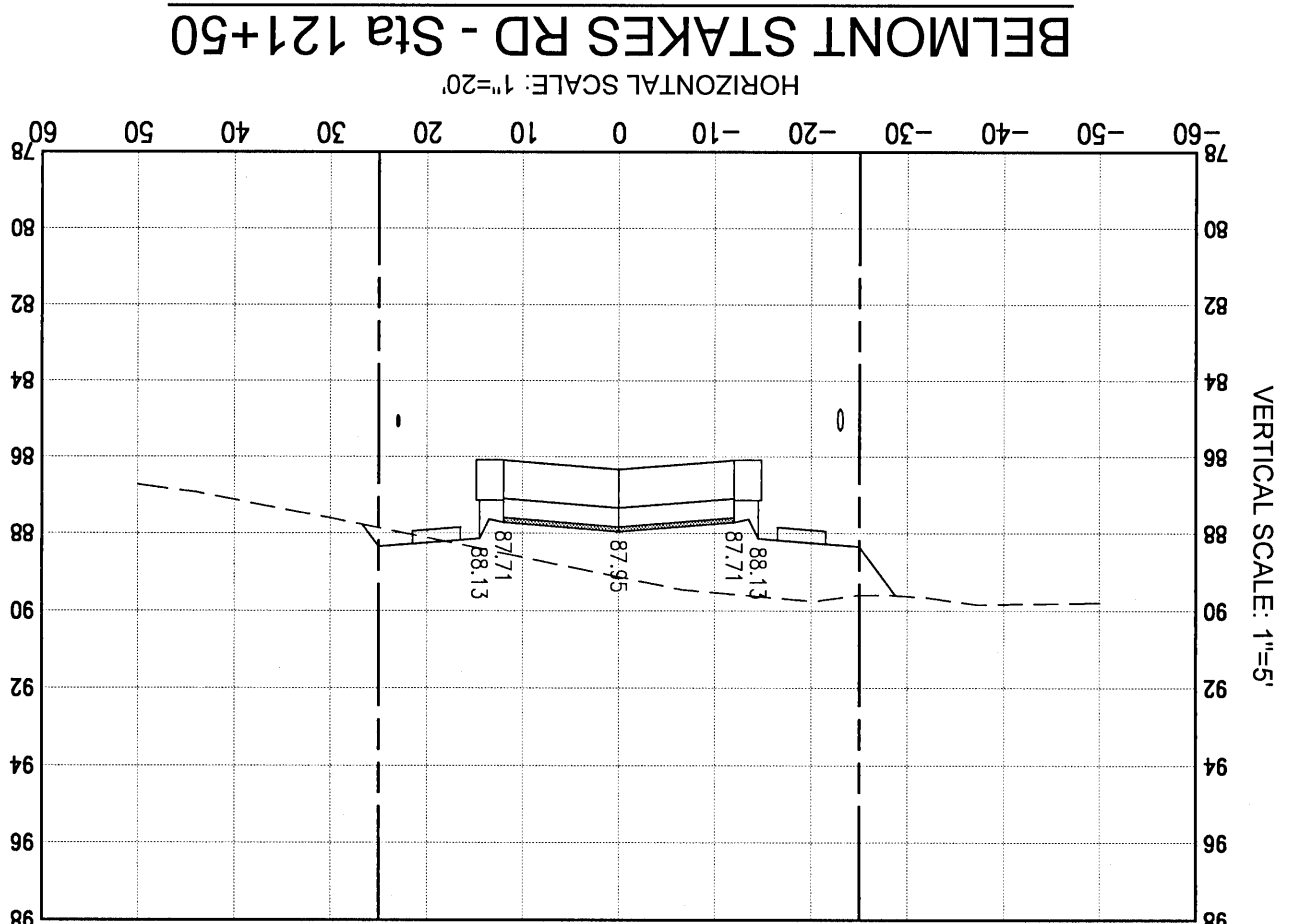
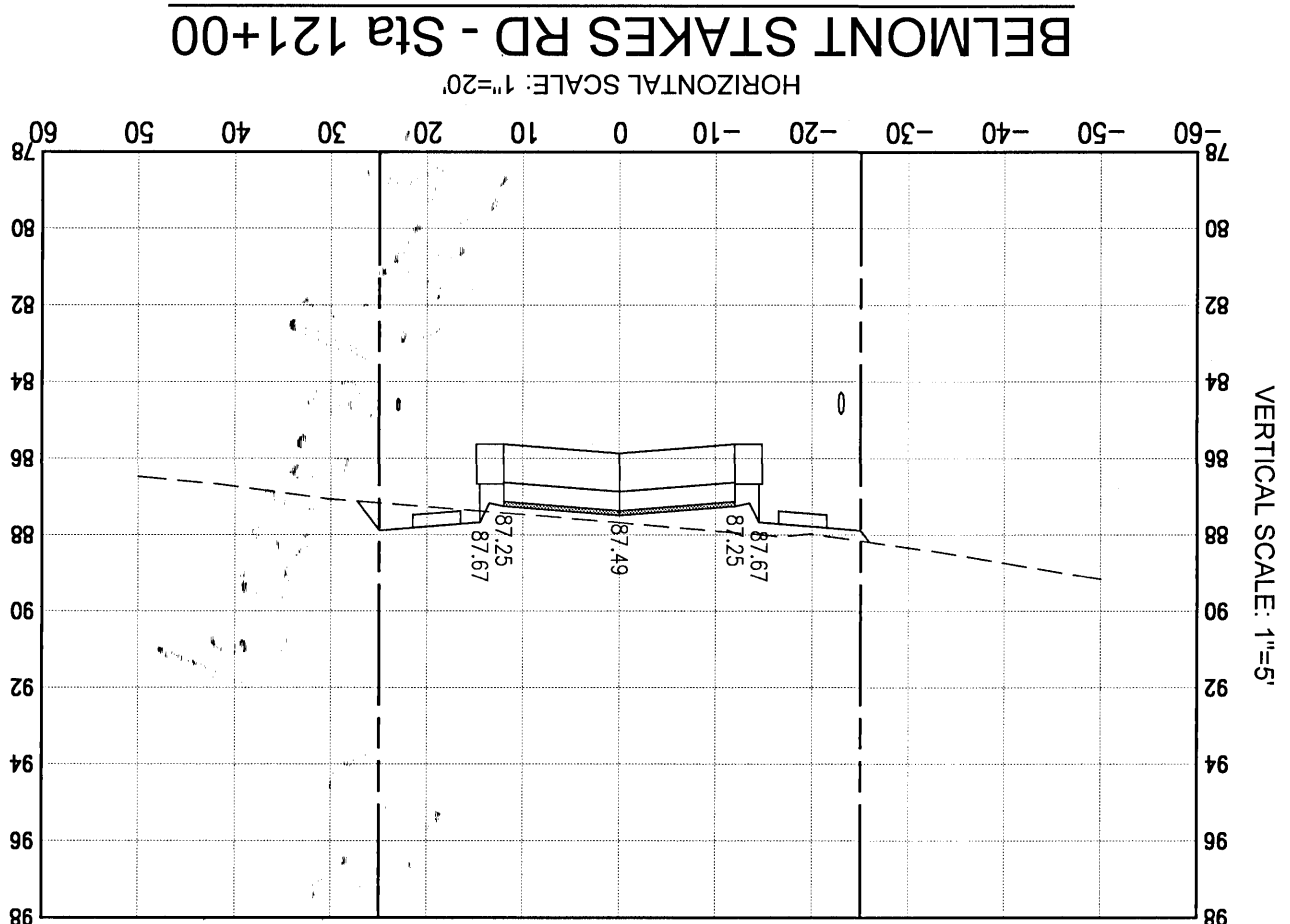
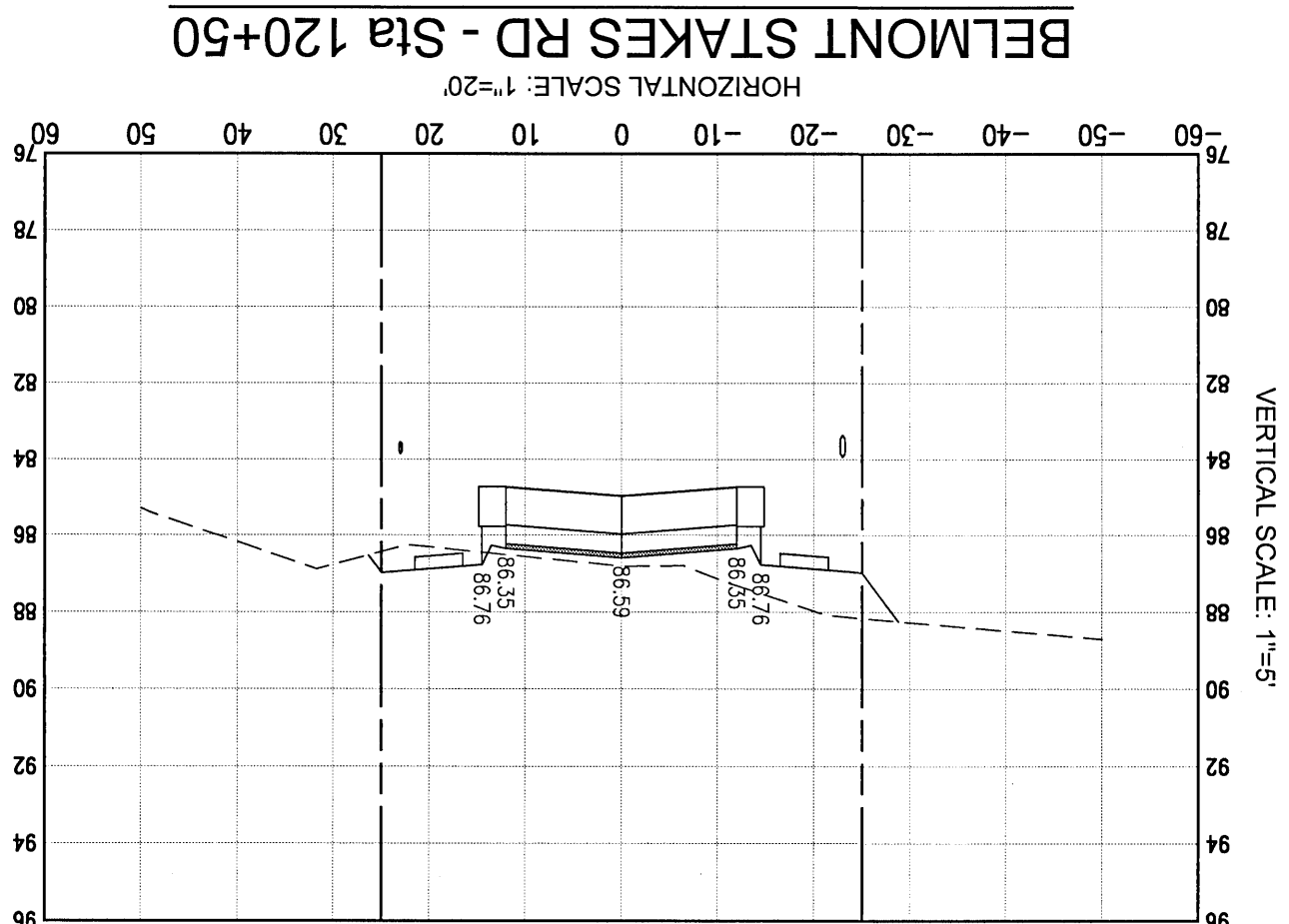
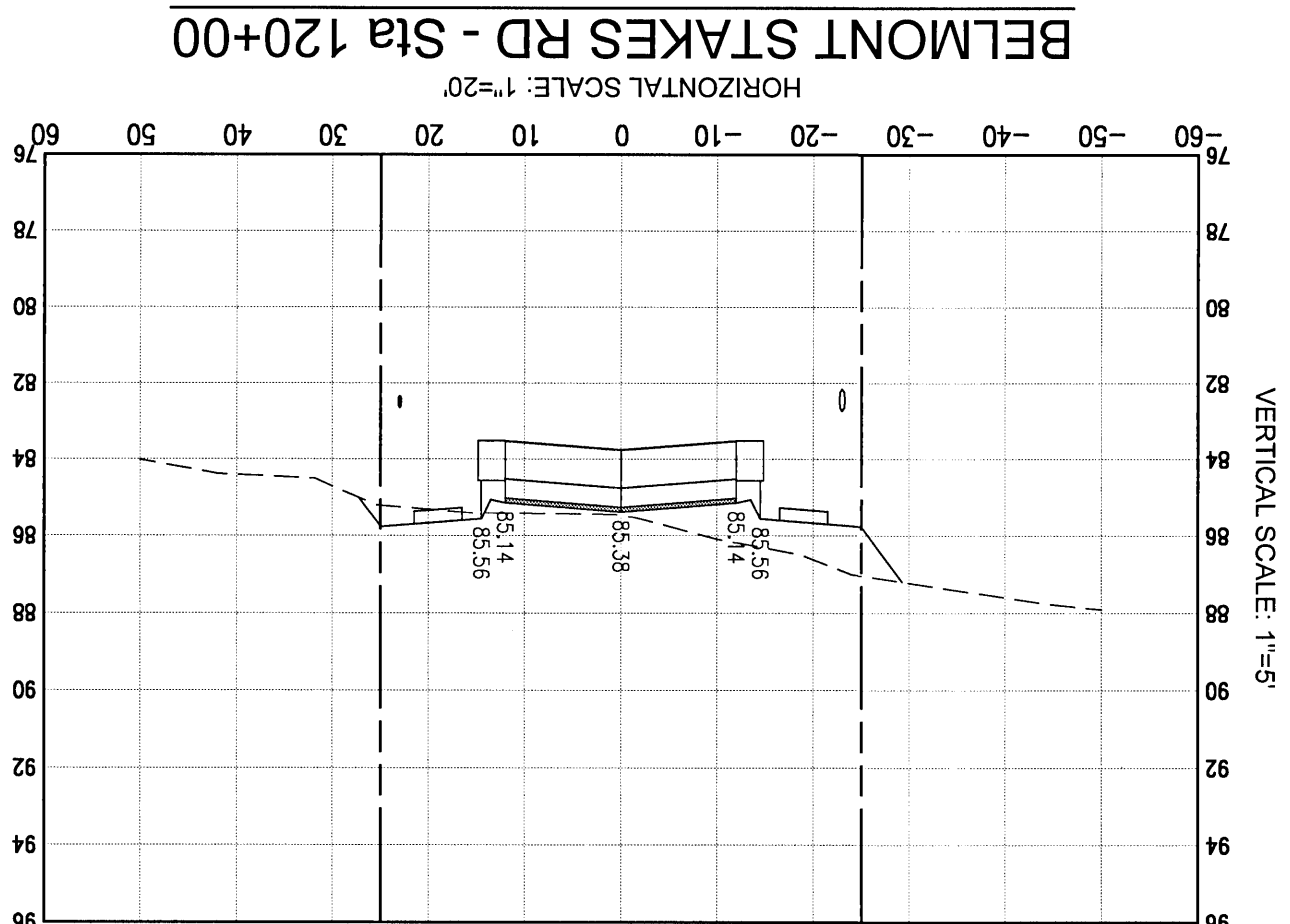
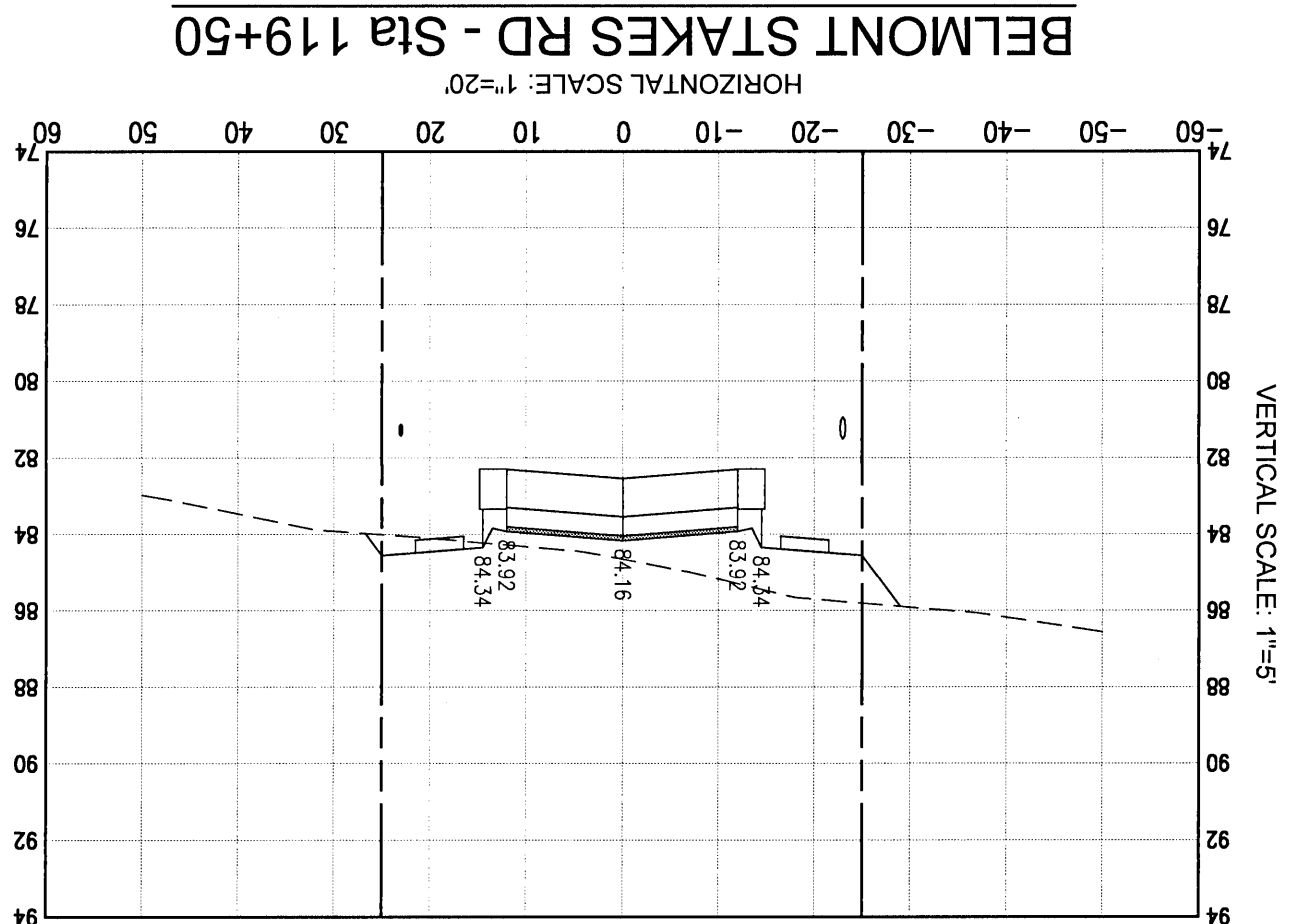
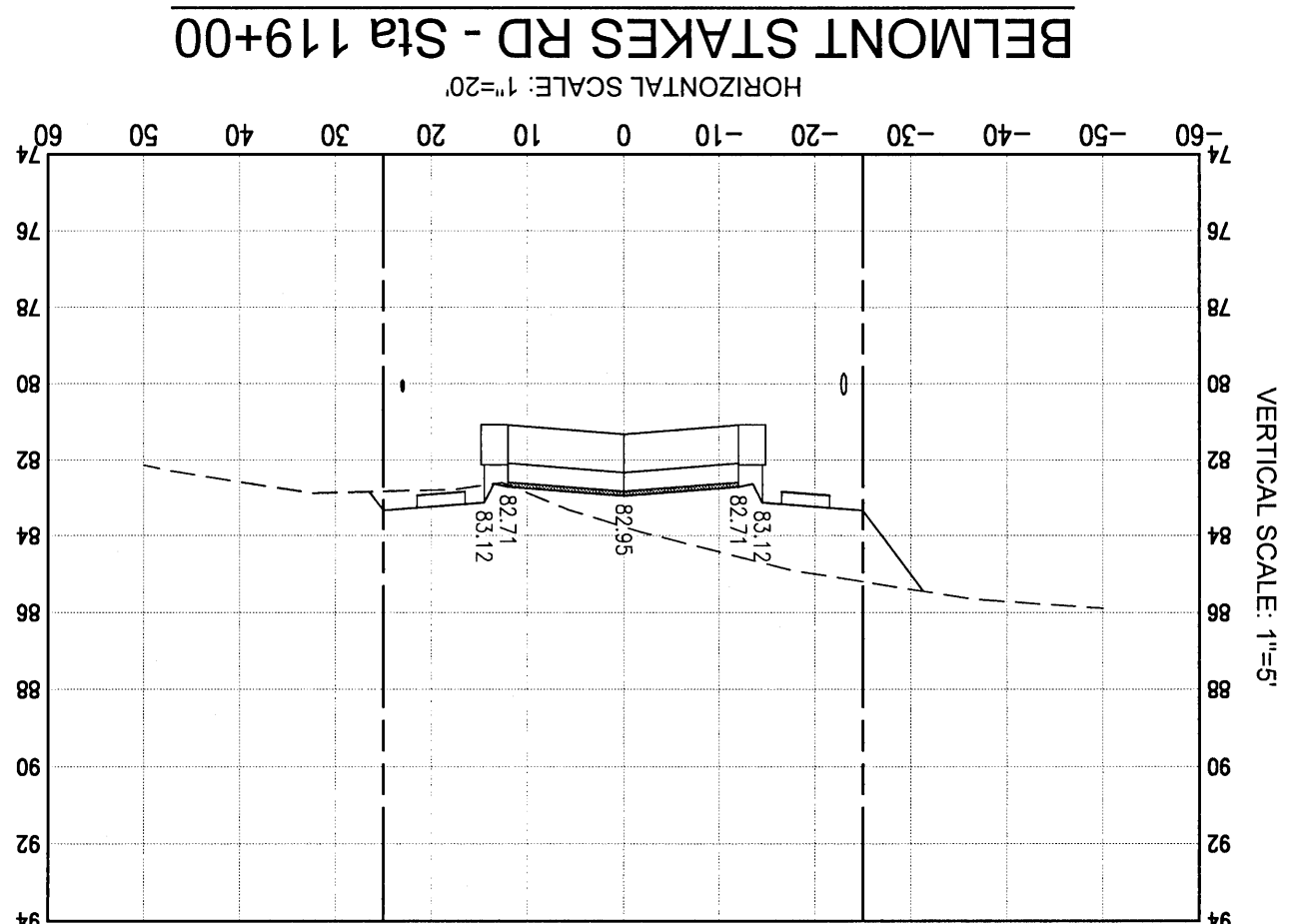
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