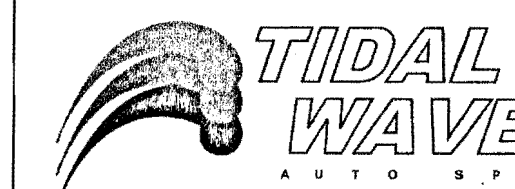


Project



Designer's Information



SFA



K. R. Raman

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GRACE HEBERT CURTIS ARCHITECTS. APAC

Sheet Revisions

Sheet Title:

Project Number: 19-595

Sheet Number:

C0.00

BUILDING & ZONING

ELECTRIC

WATER & SEWER

GAS

CITY ENGINEER

The map displays the proposed hospital site, marked with a black arrow and the word "SITE". The site is located near the intersection of I-10 and I-25, south of the Airport Davis Plaza and east of the Heritage Medical Park. The map also shows other nearby areas such as Mae Pensacola, Fontaine Place, Henry's Office Park, and Gulf Coast Medical Arts. Major roads like I-10, I-25, and I-75 are clearly marked, along with various local streets and landmarks.

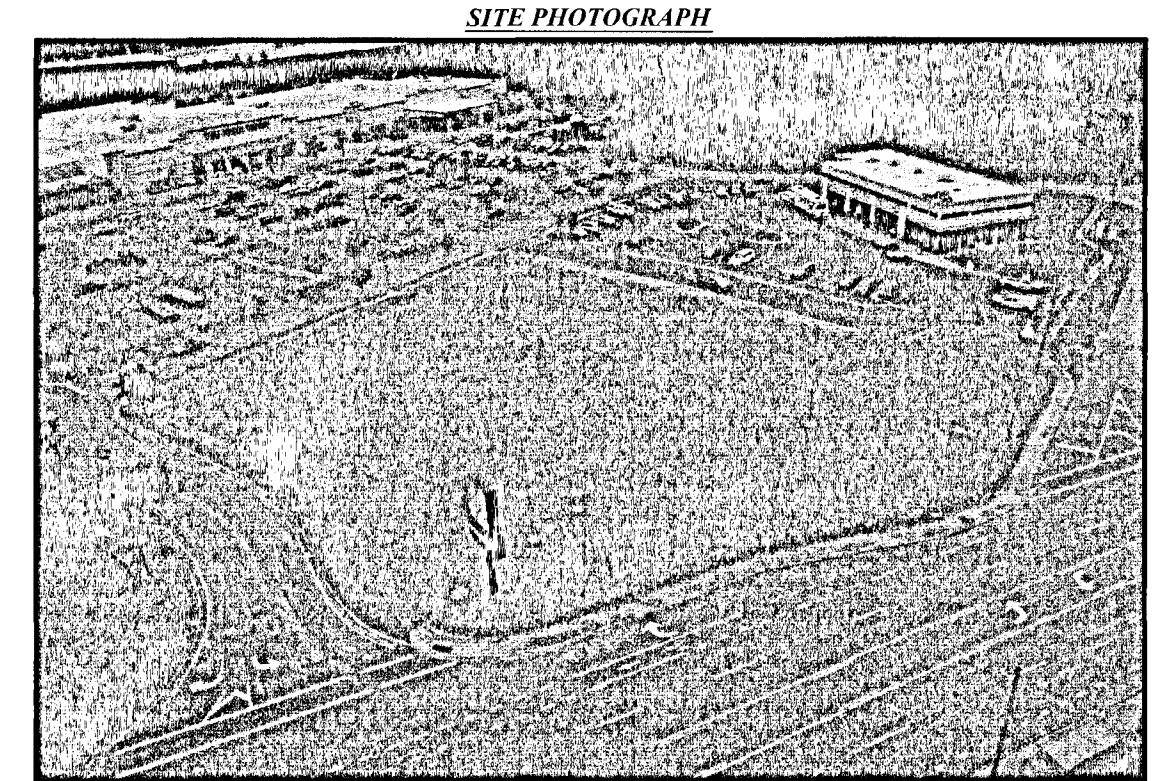
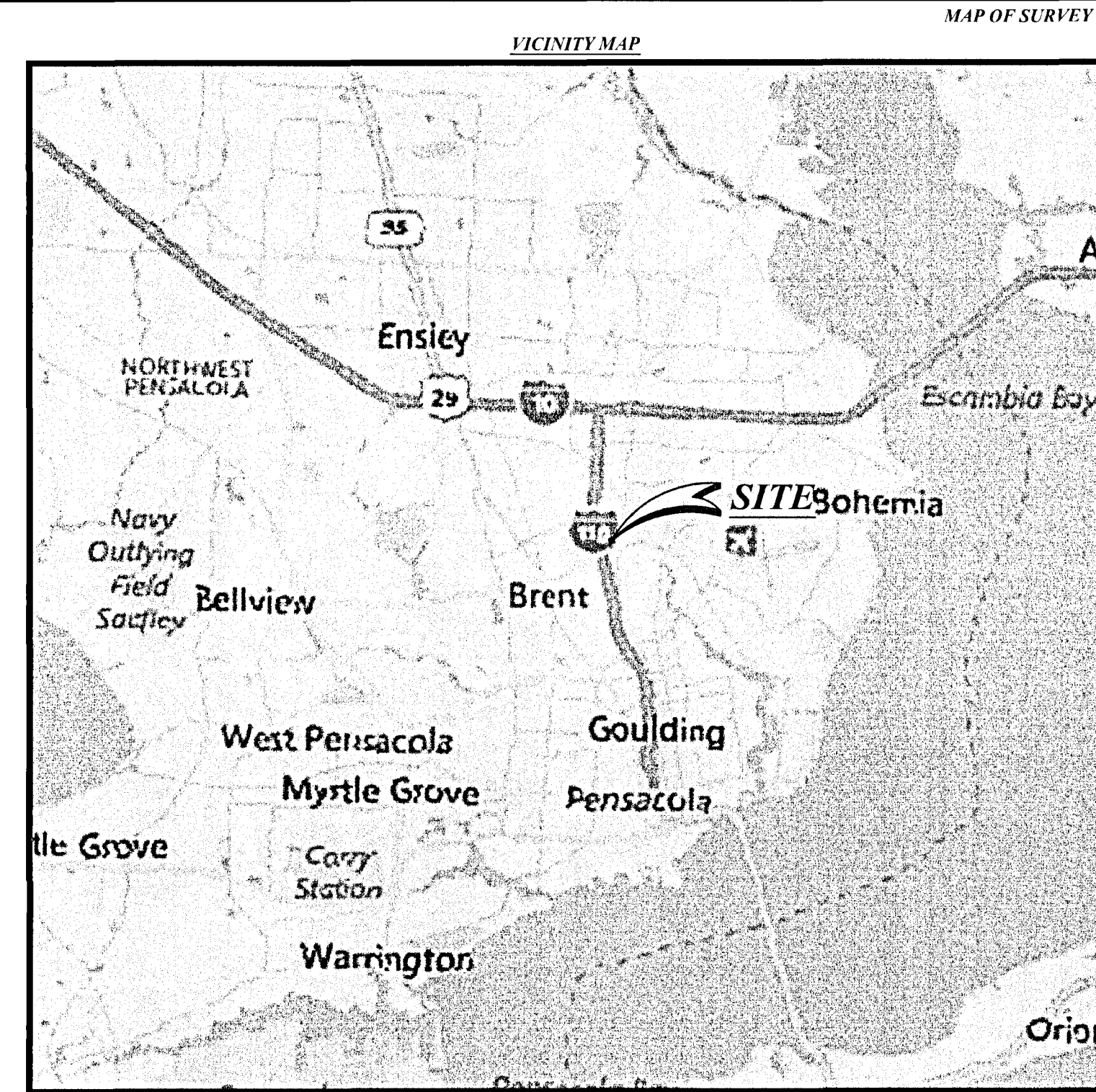
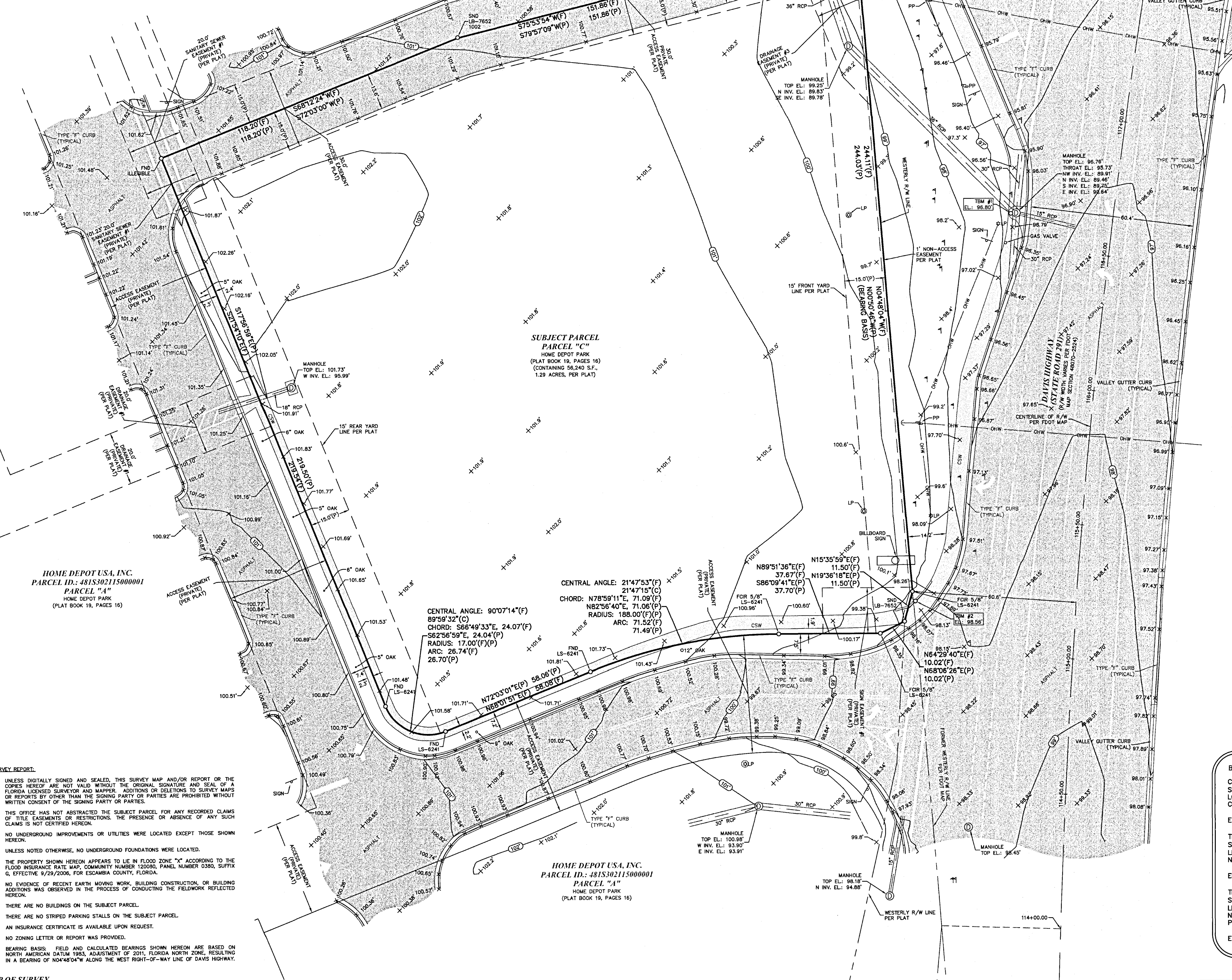
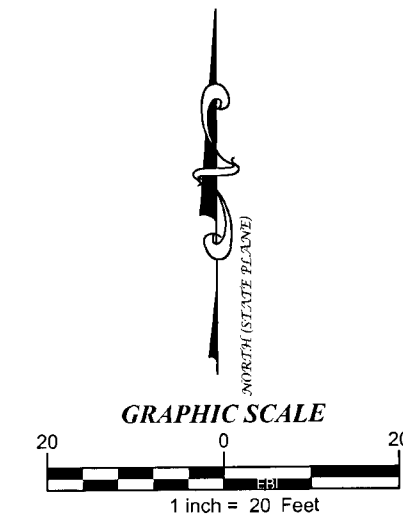
SCALE: 1" = 2000'

1. C0.00.....CIVIL COVER SHEET
2. 1.....SURVEY PLAT
3. C1.00.....EROSION AND SEDIMENT CONTROL (PHASE 1)
4. C1.10.....EROSION AND SEDIMENT CONTROL (PHASE 2)
5. C1.20.....EROSION CONTROL DETAILS
6. C2.00.....SITE PLAN
7. C3.00.....DIMENSIONAL CONTROL PLAN
8. C4.00.....SURFACE GRADING & STORMWATER DRAINAGE PLAN
9. C4.20.....CONCRETE DETAILS
10. C5.00.....STRIPING & SIGNAGE PLAN
11. C5.10.....STRIPING DETAILS
12. C5.20.....TRAFFIC SIGNAGE DETAILS
13. C6.00.....UTILITY PLAN
14. C6.21.....STORMWATER DETAILS
15. C6.31.....WATER & SEWER DETAILS
16. L1.1.....LANDSCAPE PLANTING PLAN
17. L1.2.....LANDSCAPE PLANTING DETAILS
18. L1.3.....LANDSCAPE PLANTING SPECS
19. L2.1.....IRRIGATION PLAN
20. L2.2.....IRRIGATION DETAILS
21. L2.3.....IRRIGATION DETAILS
22. L2.4.....IRRIGATION SPECIFICATIONS

**OLSON LAND PARTNERS, LLC
4300 LEGENDARY DRIVE,
SUITE 234
DESTIN, FLORIDA, 32541
(850) 650-4353**



LEGAL DESCRIPTION:
PARCEL "C", HOME DEPOT PARK, ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 19, PAGE 16, OF THE PUBLIC RECORDS OF
ESCAMBIA COUNTY, FLORIDA.



LEGEND	
ABBREVIATIONS	
AC	AIR CONDITIONER
ADA	AMERICAN WITH DISABILITIES ACT
D	IDENTIFICATION
CM	CALCULATED MEASUREMENT
CO	CLEAN OUT
CONC	CONCRETE
CSW	CONCRETE SIDEWALK
DEM	DEED MEASUREMENT - CALL
ELB	ELECTRIC BOX
ELV	ELEVATION
EM	ELECTRIC METER
FF	FINISHED FLOOR
FM	FOUND CONCRETE FOUNDATION
FR	FOUND IRON ROD
FW	FOUND WEL AND DISK
FRP	FOUND REINFORCED PEE
IN	INVERT
LB	LICENSED BUSINESS NUMBER
LP	LIGHT POLE
LS	LICENSED SURVEYOR
MM	MONITORING WELL
NAD	NORTH AMERICAN VERTICAL DATUM
NOD	NATIONAL GEODETIC VERTICAL DATUM
OW	OVERHEAD WIRE
ORB	OFFICIAL RECORDS BOOK
P	PLAT MEASUREMENT - CALL
PP	POWER POLE
PSM	PERMANENT SURVEY MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
R/W	RIGHT-OF-WAY
SCR	SET CAPTED IRON ROD
SD	SET ME AND DISK
SV	SEWER VALVE
TD	TEMPORARY DIMENSION
TM	TEMPORARY MONUMENT
WV	WATER VALVE
WV	WATER VALVE
WV	WATER VALVE
SYMBOLS	
BACKFLOW PREVENTION DEVICE	OF
CABLE RISER	OF
GRATE INLET	OF
SANITARY SEWER STRUCTURE	OF
SPOT ELEVATION	OF
STORM STRUCTURE	OF
TELEPHONE PEDESTAL	OF
TRAFFIC SIGNAL JUNCTION BOX	OF
TRAFFIC SIGNAL POLE	OF
FIRE HYDRANT	OF
SEW	OF
BOLLARD	OF
UTILITY FLAG ELECTRIC	OF
UTILITY FLAG COMMUNICATIONS	OF
UTILITY FLAG GAS	OF
UTILITY FLAG RECLAIMED WATER	OF
UTILITY FLAG SANITARY/STORM SEWER	OF
UTILITY FLAG WATER	OF
WOOD FENCE	OF
METAL FENCE	OF
PVC FENCE	OF

BENCHMARKS:
CONTROL BENCHMARK:
STATION IS A FOOT BRASS DISK "48-11-E08V"
LOCATED IN TOP OF THE CONCRETE BASE OF A
CONCRETE ANCHOR POLE.
EL: 100.29' (NAVD'88)
TBM #1:
STATION IS A NAIL AND DISK STAMPED "EBI
LB-7652" LOCATED 117.9' SOUTHEAST OF THE
NORTHEAST CORNER OF SUBJECT PARCEL.
EL: 96.80' (NAVD'88)
TBM #2:
STATION IS A NAIL AND DISK STAMPED "EBI
LB-7652" LOCATED 3.7' SOUTHEAST OF THE
NORTHEAST CORNER OF SUBJECT PARCEL.
EL: 98.56' (NAVD'88)

TO OLSON LAND PARTNERS, LLC:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON
WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018
MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND
TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND
NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 8, 9, 13, 16
AND 20 OF TABLE A THEREOF.
THE FIELDWORK WAS COMPLETED ON 10/27/2020.
AND
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY
DIRECTION AND MEETS THE STANDARDS OF PRACTICE REQUIREMENTS
OF CHAPTER 54-17 OF THE FLORIDA ADMINISTRATIVE CODE.
11/10/2020
DATE SIGNED
JOHN KENNETH CARR
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NUMBER LS-5185
EMAIL: kcarr@ebisurveying.com

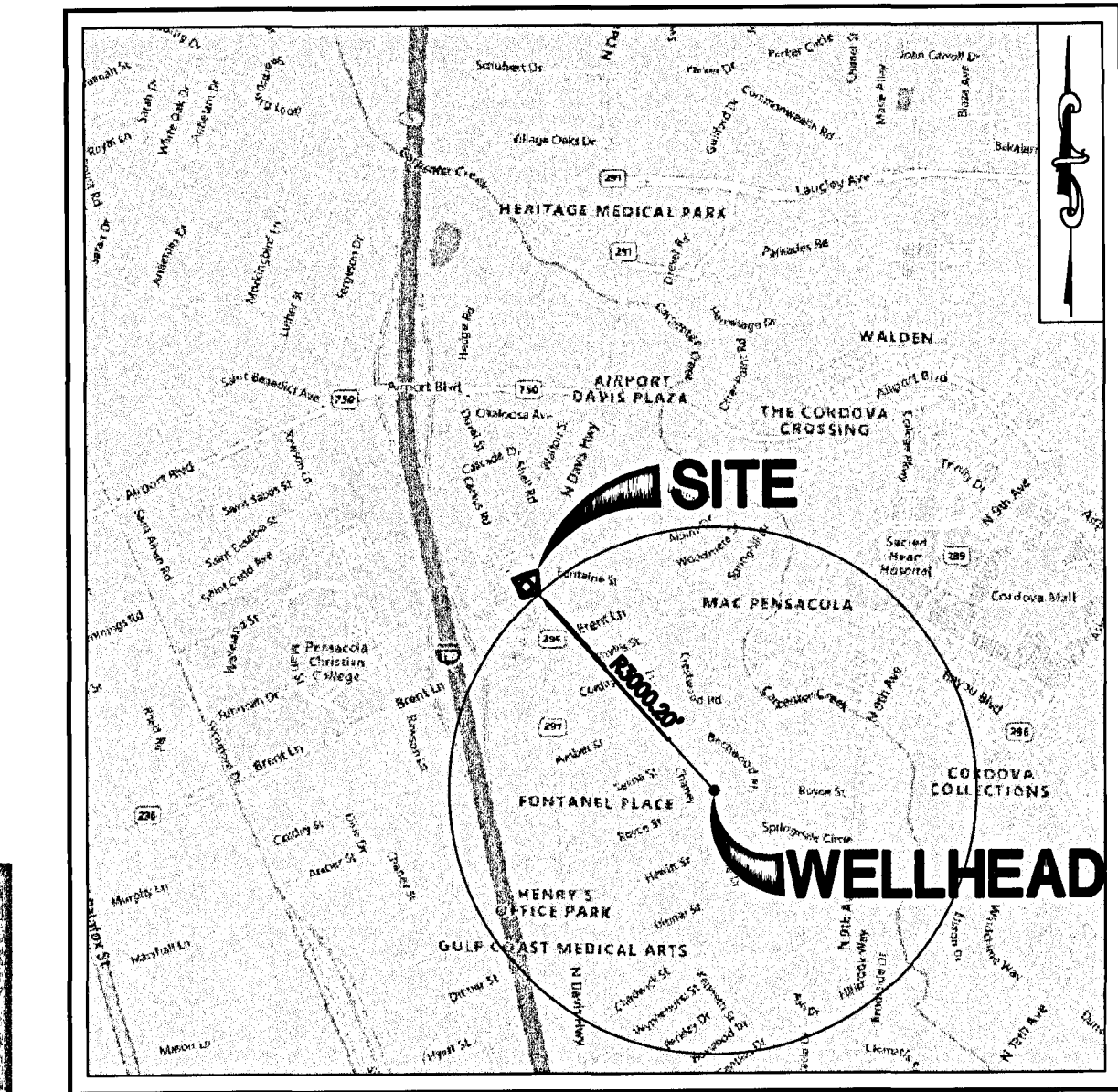
ALTANSPS LAND TITLE BOUNDARY AND TOPOGRAPHIC SURVEY
DAVIS HIGHWAY AND BRENT LANE
PARCEL C
ESCAMBIA COUNTY, FLORIDA

REVISIONS: APPD.
DATE OF SURVEY:
10/27/2020
DRAWN: SDT
CHECKED: JKC
REVISION:
FILE: OL04ALTAX.dwg

PROJECT NUMBER:
OLSN0004
SHEET NO.
1

OF 1

EBI Surveying
8415 Sunstate Street
Tampa, Florida 33634
Phone: (813) 886-6080 / Fax: (813) 886-6081
Certificate of Authorization Number: LB-7652



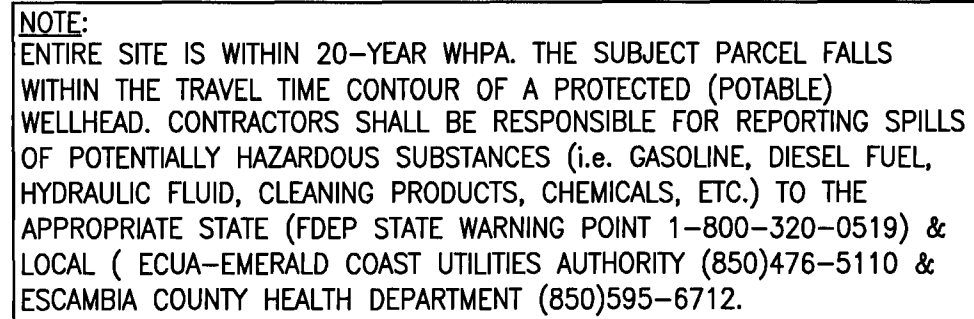
CONTRACTOR SHALL GRADE THE BUILDING PAD
TO DRAIN TO THE DIVERSION DITCHES.

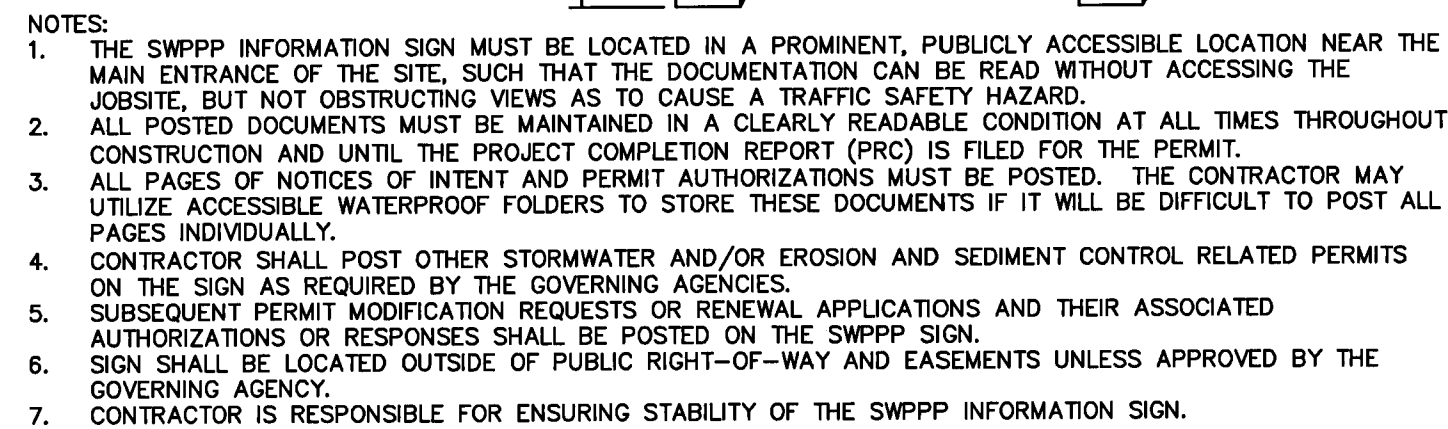
WELLHEAD PROTECTION VICINITY MAP
SCALE: 1" = 2000'

NOTE:
ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

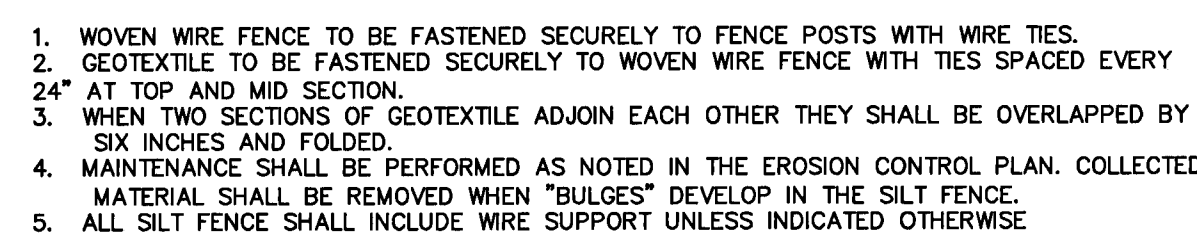
EXISTING SUMMARY
IMPERVIOUS - 0.11 ACRES
PERVIOUS - 1.18 ACRES
PROPOSED SUMMARY
IMPERVIOUS - 0.99 ACRES
PERVIOUS - 0.30 ACRES

C1.00





N.T.S



NT.8



4-21-2021

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GRACE HEBERT CURTIS ARCHITECTS, APAC

STATUS
04/21/21

Sheet Revisions


[illegible]

Sheet Title:
**EROSION CONTROL
DETAILS**

Project Number: 19-595

Sheet Number:

C1.20



5307 N. Davis Hwy
Pensacola, FL 32503



DDG
DURLANTIS DESIGN GROUP

314 E. Bayou Road
Thibodaux, LA 70301
Office: 985.447.0090
Fax: 985.447.7009
www.ddgpc.com

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STATUS
04/21/21

[illegible]

SITE PLAN EXHIBIT

Sheet Number:

C2.00

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING. CONTRACTOR SHALL CONTACT NIKOLAS MELANCON WITH DUPUENTS DESIGN GROUP FOR NECESSARY CAD FILES ●
NMELANCON@DDGPG.COM.
2. ALL UNBURIED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
3. PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10/27/2020 BY EBI SURVEYING.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FROM POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF Pylon SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE AS ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-IN/CONNECTIONS TO THEIR FACILITIES.
7. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN TO UNCOVER & TALK THROUGH THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS .
8. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID COLLISIONS & ASSURE PROPER TIE-INS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-IN/CONNECTIONS TO THEIR FACILITIES.
9. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATION AND GEOTECHNICAL RECOMMENDATIONS.
11. ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS EXISTING AND ALL AREAS WHERE THE CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
14. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL.
15. STABILIZATION TECHNIQUES SHALL BE USED TO PREVENT EROSION.
16. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
17. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
18. ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS.
19. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
20. THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE X, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY THE FLOOD COMMUNITY PANEL NO. 12033-00300G DATED 9/29/2006.
21. PROTECT CONCRETE, REINFORCING, AND CEMENT FROM ALL WEATHER AND/OR SAND, POSSIBLY PLYWOOD IN SOME AREA SUCH AS DRAINS AND GRATES, OR OTHERWISE PRICE FOR SUITABLE CLEANING TO DELIVER LIME NEW PAVING AT TURNOVER. THIS INCLUDES CAR WASH INSTALLER ABOVE DRIVE.
22. FOR THE SPECIFICATIONS, REFER TO COVER SHEET FOR OWNER REP.(DEVELOPER) CONTACT INFORMATION.
23. ALL REMOVAL OF EXISTING AND CLEARING OF AREAS FOR "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

1. SITE AREA = +/- 1.29 ACRES.
2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
3. ALL RADII ARE 4 FEET UNLESS NOTED OTHERWISE.
4. SEE DRAWING C-4 THROUGH C-6 FOR DETAILS.

TIDAL WAVE ANALYSIS	
ACCESSIBLE TO PUBLIC	63 SF (ADA RESTROOM)
TOTAL OCCUPIABLE AREA	1,360 SF
TOTAL NON-OCCUPIABLE AREA	1,774 SF
TOTAL FOOTPRINT	3,507 SF

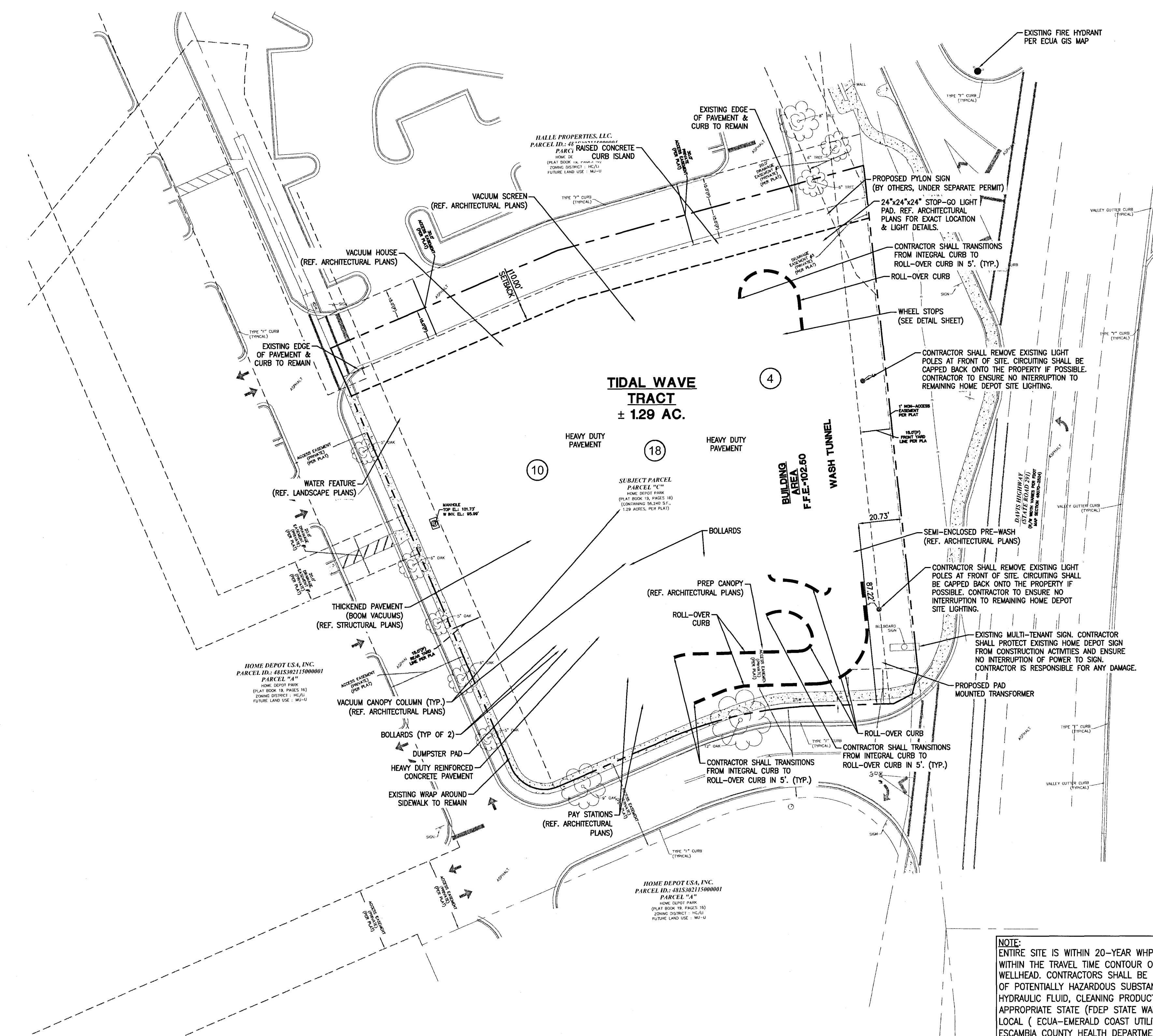
STANDARD STALLS	3 SPACES
ADA COMPLIANT STALLS	1 SPACES
TOTAL PARKING STALLS	4 SPACES

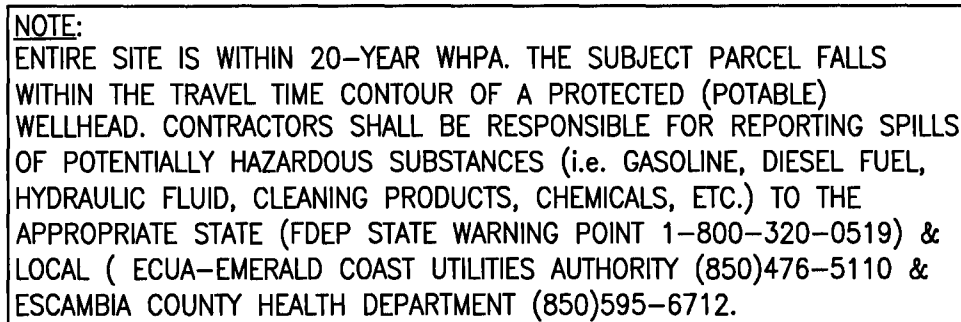
CANOPY VACUUM STALLS	16 SPACES
BOOM VACUUM STALLS	12 SPACES
TOTAL VACUUM STALLS	28 SPACES

THICKENED PAVEMENT (BOOM VACUUMS)		BUILDING	
HEAVY DUTY REINFORCED CONCRETE PAVEMENT		CURB & GUTTER	
HEAVY DUTY PAVEMENT		ROLL OVER CURB (MOUNTABLE)	
GRASS AREA		PROPERTY LINE	
CAR QUEUE		PARKING SPACES	
SITE LIGHT		DIRECTIONAL ARROWS	

30' 15' 0 30' 60'

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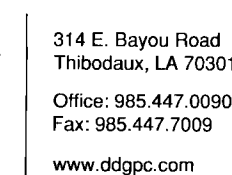
C2.00



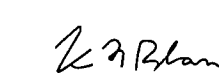
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STATUS
04/21/21

Sheet Revisions

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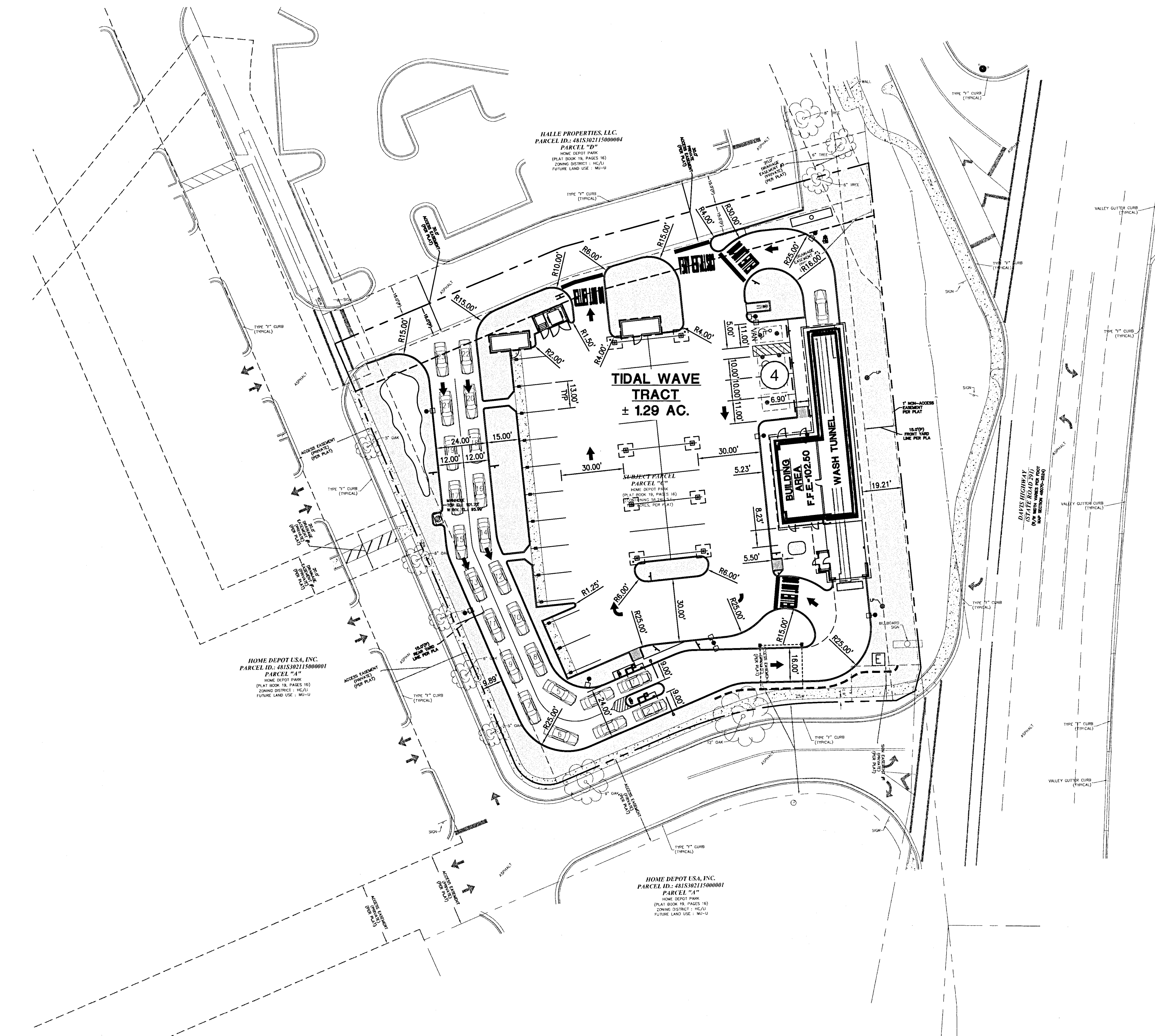
Sheet Title:

DIMENSIONAL CONTROL PLAN

Project Number: 19-595

Sheet Number:

C3.00



J:\CAD\DWG\19-000\19-595\19-595 C3.00 DIMENSIONAL CONTROL PLAN.dwg

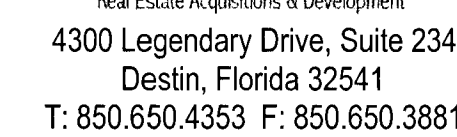
SCALE IN FEET

A horizontal scale bar with alternating black and white segments. Below the bar, the following measurements are marked: 30', 15', 0, 30', 60'.



811
Know what's below.
Call before you dig.

C4.00



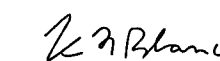
5307 N. Davis Hwy
Pensacola, FL 32503



DDG
DUPONT DESIGN GROUP

314 E. Bayou Road
Thibodaux, LA 7030
Office: 985.447.0090
Fax: 985.447.7009
www.ddpc.com

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4-21-2021

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STATUS
04/21/21

[illegible]

**STRIPING & SIGNAGE
PLAN**

Sheet Number:

C5.00

TOTAL FOOTPRINT	3,507 SF
------------------------	-----------------

TOTAL PARKING STALLS	4 SPACES
-----------------------------	-----------------

TOTAL VACUUM STALLS	28 SPACES
---------------------	-----------

BUILDING

CURB & GUTTER

ROLL OVER CURB (MOUNTABLE)

PARKING SPACES

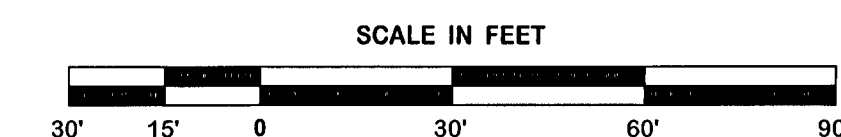
DIRECTIONAL ARROWS

GRASS AREA

The diagram shows a street layout with several features labeled. At the top, a building is represented by a thick black line. Below it is a curb and gutter, shown as a double line. A roll-over curb (mountable) is indicated by a dashed line. Parking spaces are marked with a circle containing the number 10. Directional arrows point left and right. A grass area is shown as a shaded rectangle at the bottom.

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SBLS/4" - SINGLE BLUE SOLID LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE
 SWSL/8" - SINGLE WHITE SOLID LINE / 8" WIDE

1. ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION. COMPLETE STRIPING AFTER CAR WASH EQUIPMENT INSTALL IS COMPLETE; REFER TO A0.04 FOR STRIPING PAINT SPECIFICATIONS. REFER TO PAINT MANUFACTURER RECOMMENDATIONS FOR INSTALLATION.



\\CAD\DWG\19-000\19-595\19-595 C5.00 STRIPING-SIGNAGE PLAN.dwg

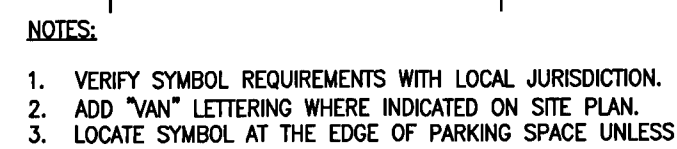
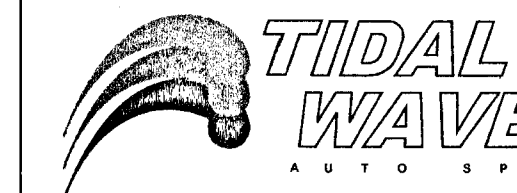
[illegible]

Diagram illustrating the dimensions for the "DO NOT ENTER" sign. The overall width is 14'-4" and the height is 8'-0". The letters are 1'-0" wide and 1'-4" high. The spacing between the letters is 4" (typ). The stroke width is 4" (typ).

4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.3881

Project:



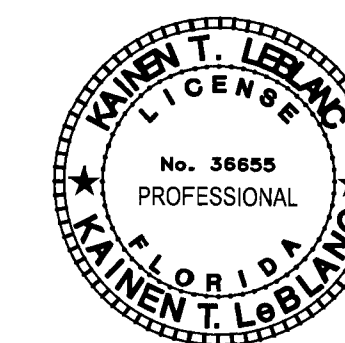
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Pensacola, FL 32503

Designer's Information:



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SEARCH



23/3/2020

4-21-2021

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Sheet Revisions

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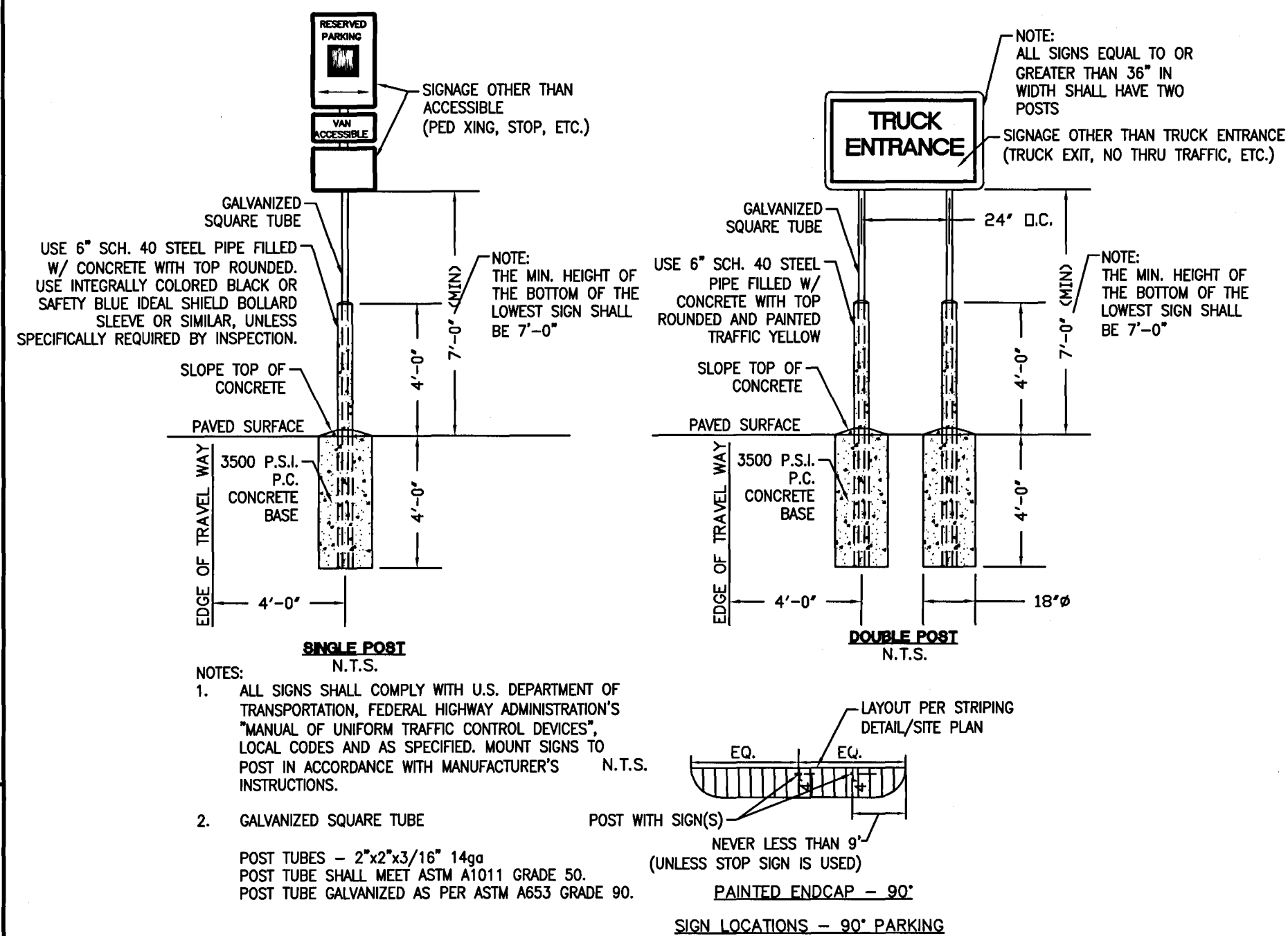
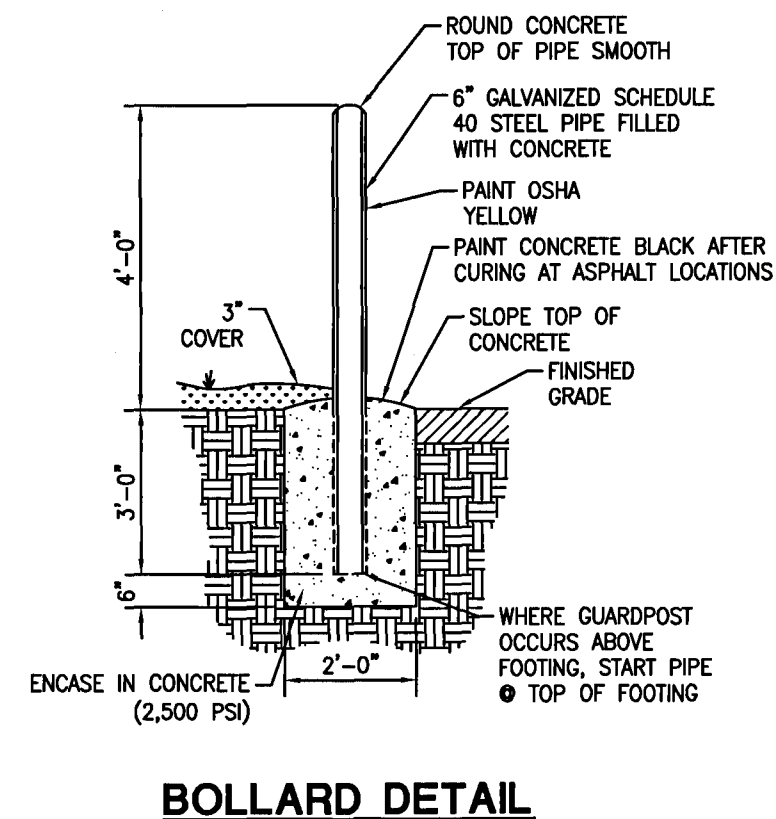
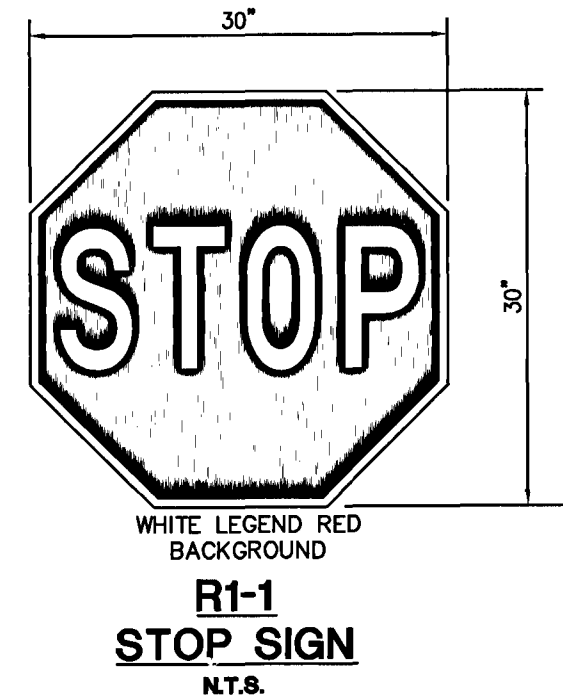
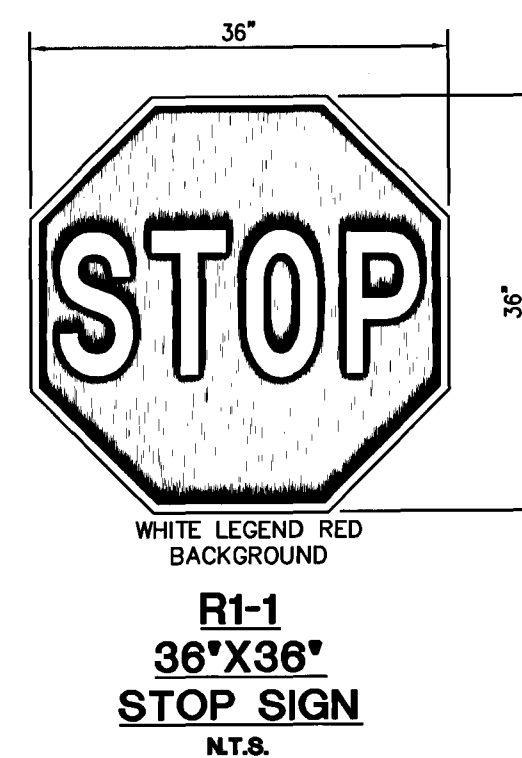
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STRIPING DETAILS

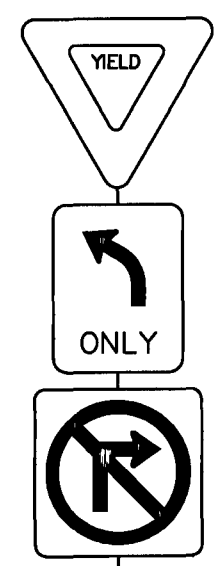
Project Number: 19-595

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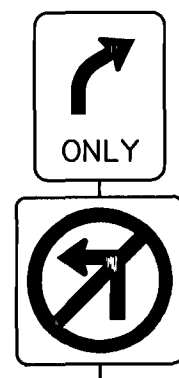
C5.10



SIGN MOUNTING AND BASE WITH BOLLARD
(USE WHERE SIGN IS NOT WITHIN CURBED ISLAND)



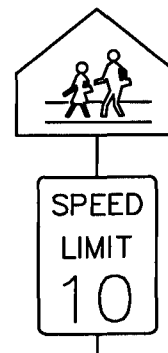
DETAIL 'A'



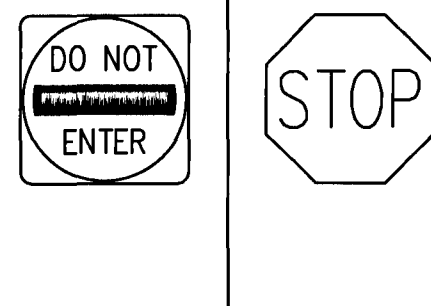
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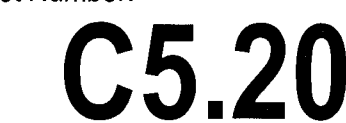
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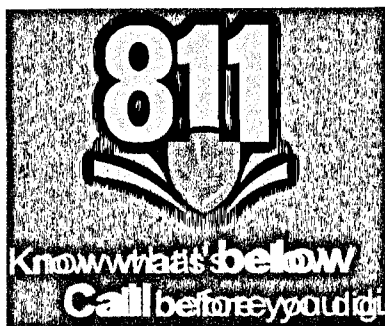


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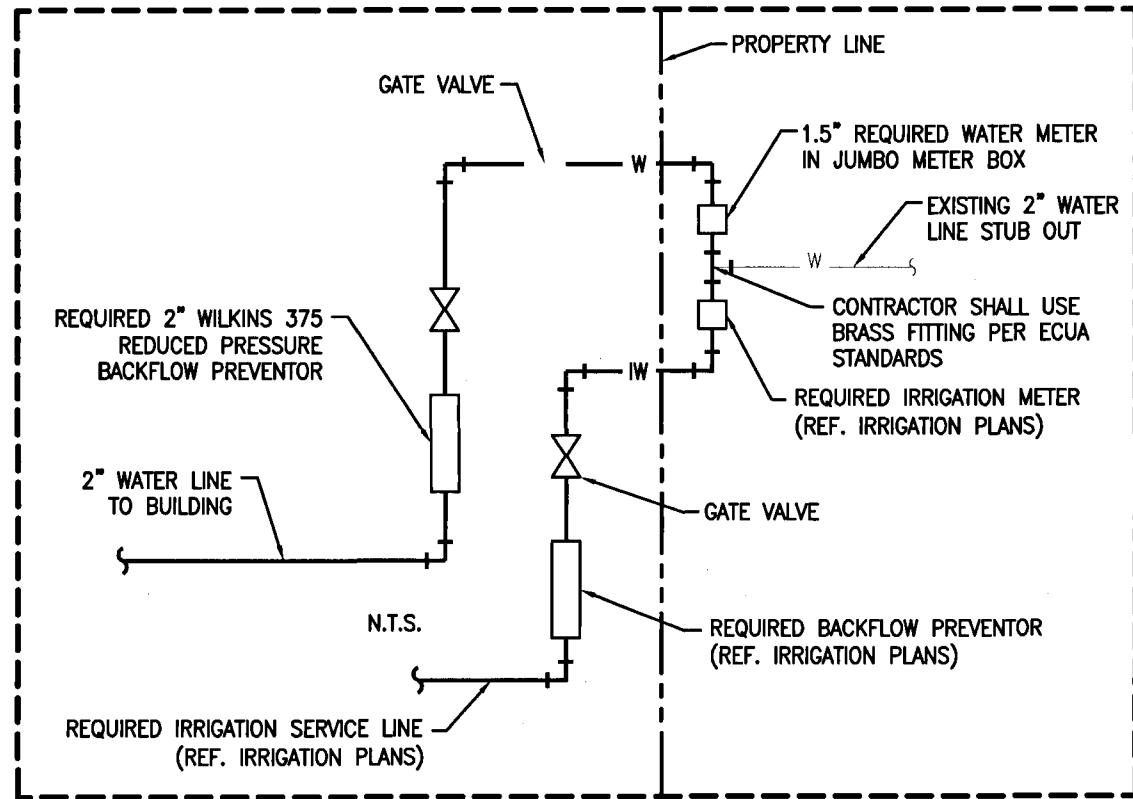


DETAIL 'E'





STRUCTURE TABLE							
STRUCTURE NUMBER	TYPE	CUTTER/CASTING ELEV	INVERT IN	ELEVATION OUT	PIPE LENGTH	PIPE TYPE	PIPE SLOPE
1	CLEANOUT	101.92		97.56 (2)	13	6" PVC	1.00%
1-2	CLEANOUT	101.92	97.43 (1)	97.43 (3)	43	6" PVC	1.00%
2-3	CLEANOUT	101.90	97.00 (2)	97.00 (4)	118	6" PVC	1.00%
3-4	CLEANOUT	101.67					
4	SEWER LIFT STATION	101.22	95.82 (3)				



DETAIL "A"

NOTE:
ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE UTILITIES WITH OWNER-OPERATOR REPS: KORI BROUSSARD (225) 454-2629 (CELL PHONE) KORIBOLSONLANDPARTNERS.COM BRENT DANIEL (709) 975-6159 (CELL PHONE) BRENT@TIDALWAVEAUTOSPA.COM
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES &, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, & CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPE, POWER POLES & GUY WIRES, WATER METERS & WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, & ASPHALT, SHOWN & NOT SHOWN, WITHIN CONSTRUCTION LIMITS & WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION. IN COORDINATION WITH EMERALD COAST UTILITIES CONTRACTORS ARE NOT ALLOWED TO OPERATE VALVES OR REMOVE ANY EMERALD COAST OWNED EQUIPMENT SERVING POWER, CABLE, GAS, WATER AND WASTEWATER TO OUR CUSTOMERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS & SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC & FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, CABLE T.V., & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS & SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER & TELEPHONE SERVICE TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & BE CONSTRUCTED TO SAME.
- SEE SPECIFICATIONS & DETAIL SHEETS FOR BACKFILLING & COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- SITINGWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT ISSUED STANDARD SITINGWORK SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH & PREVENT ANY CONFLICT OF UTILITIES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS TEN (10) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS EIGHTEEN (18) INCHES.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES & OWNERS INSPECTING AUTHORITIES.
- SITE CONTRACTOR SHALL COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES & BUILDING CONTRACTOR.
- FOR GENERAL NOTES SEE DRAWING C1.00.
- ALL NECESSARY INSPECTIONS &/OR CERTIFICATIONS REQUIRED BY CODES &/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION & THE FINAL CONNECTION OF SERVICES.

WATER NOTES:

- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING FIRE SERVICE & DOMESTIC SERVICE CONNECTION LOCATIONS.
- CONTRACTOR SHALL CONSTRUCT WATER SERVICES AS SHOWN, & CONSTRUCT METERS, PITS, & INSTALL CHECK VALVE.
- ALL SPRINKLER & DOMESTIC LEADS TO BUILDING SHALL END AT THE FACE OF BUILDING WALL, UNLESS NOTED, & SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE & EXTEND AS NECESSARY).
- ALL VERTICAL BENDS ON WATER MAIN SHALL BE RESTRAINED WITH A MECHANICAL JOINT FITTING SUPPLIED WITH THE RETAINER GLANDS. ANY JOINTS 25 FEET OR LESS FROM EITHER SIDE OF VERTICAL BEND SHALL BE RESTRAINED WITH A RETAINER GLAND.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL VALVES SHALL BE INSTALLED IN A CAST IRON VALVE BOX WITH COVER.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, & FIRE HYDRANTS. SEE DETAIL.
- THE MINIMUM COVER ON WATER MAINS SHALL BE 3 FEET.
- PIPE SIZES 3" & SMALLER SHALL BE PVC, RATED AT 200 PSI, SDR 21.
- PIPE SIZES 4" & LARGER SHALL BE DUCTILE IRON, MECHANICAL JOINT FITTING.
- GATE VALVES 3/4" THROUGH 3" SHALL BE BRONZE WEDGE TYPE GATE VALVE. VALVES SHALL HAVE NON-RISING STEM WITH SOLID TEE HEAD OPERATING NUT UNLESS NOTED OTHERWISE.
- GATE VALVES 4" & LARGER SHALL BE CAST IRON GATE VALVE WITH PARALLEL DOUBLE DISC. VALVES SHALL HAVE MECHANICAL JOINT ENDS & NON-RISING STEM WITH SQUARE OPERATING NUT.

TELEPHONE NOTES:

- ALL PHONE LINE LOCATIONS ARE APPROXIMATE & SHOWN FOR COORDINATION PURPOSES ONLY. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- LOCATE POC & SEND SERVICE CONDUIT IN THAT DIRECTION.

SANITARY SEWER NOTES:

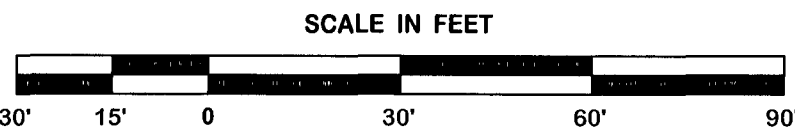
- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- CONTRACTOR SHALL PAY ALL FEES & CHARGES PERTINENT TO SANITARY SEWER CONSTRUCTION & SHALL COORDINATE WITH CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL STUB-OUTS & WYE LATERALS SHALL BE PLUGGED WITH A STANDARD TYPE PLUG.
- SANITARY SEWER PIPE OF DIFFERENT MATERIAL SHALL BE JOINED BY A RUBBER SLEEVE WITH STAINLESS STEEL COUPLING, MADE FOR TRANSITIONS FROM ONE MATERIAL TO ANOTHER.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE.
- THE SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SDR 26, SEWER PIPE UNLESS OTHERWISE NOTED ON PLAN.

POWER NOTES:

- REFERENCE MEY ENGINEERS PROVIDED ELECTRICAL SITE PLAN; REFERENCE E0.01 PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- ALL PRIMARY & SECONDARY SERVICE LOCATIONS ARE APPROXIMATE & ARE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POWER COMPANY, TO DETERMINE EXACT LOCATION & RESPONSIBILITIES INCLUDING COST.

LEGEND - NEW IMPROVEMENTS

WATERLINE	
DOMESTIC WATERLINE	
IRRIGATION WATERLINE	
FIRE WATERLINE	
SANITARY SEWERLINE	
GAS LINE	
OVERHEAD TELEPHONE & ELECTRIC	
SEWER FORCE MAIN	
UNDERGROUND TELEPHONE	
UNDERGROUND ELECTRIC	
STORM DRAIN SYSTEM	
FIRE HYDRANT	
POWER POLE	
SEWER MANHOLE & STRUCTURE #	



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Sheet Revisions

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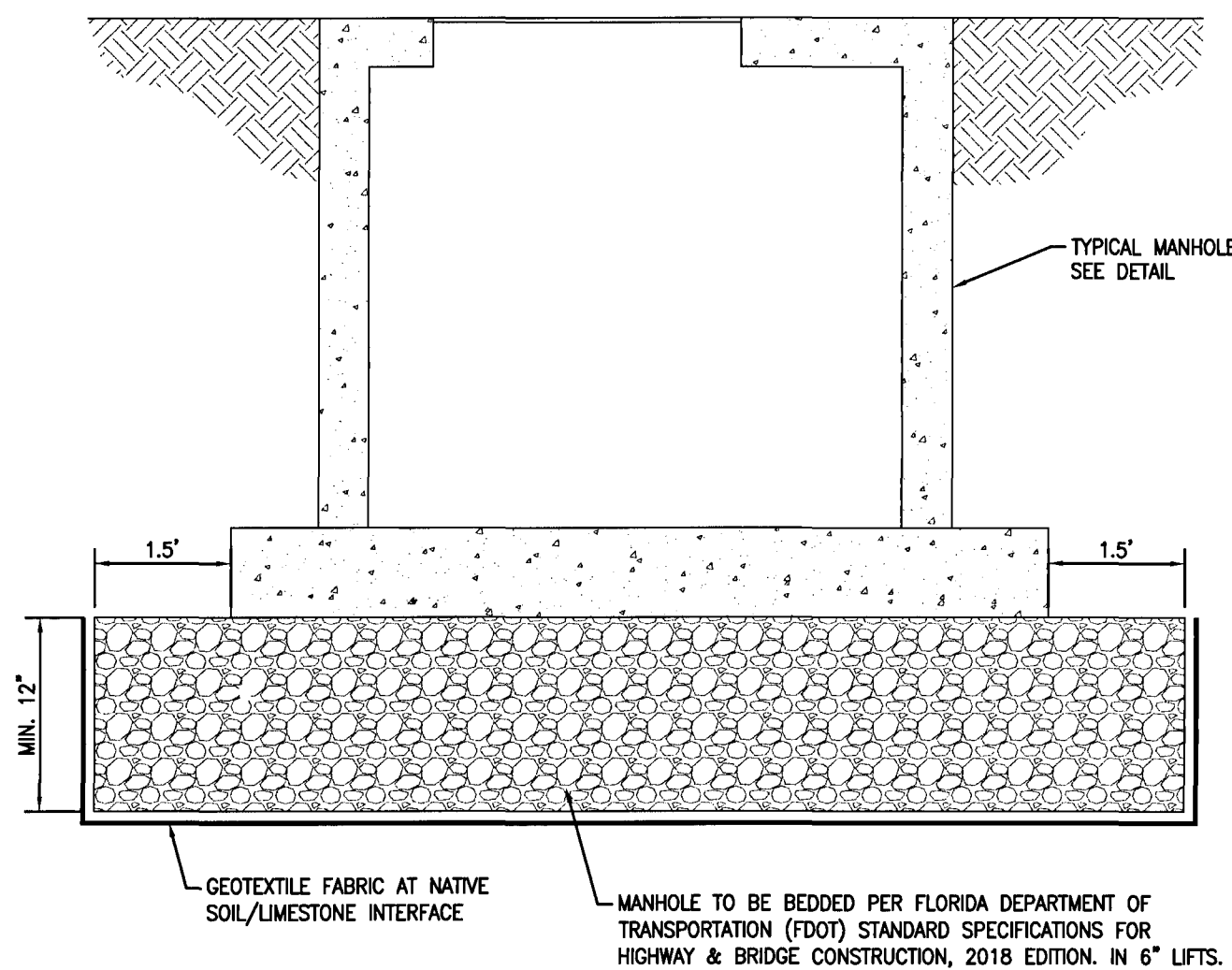
Sheet Title:

UTILITY PLAN

Project Number: 19-595

Sheet Number:

C6.00



6" CONCRETE APRON WITH 6X8 10/10 WWF

NEENAH R-1593 EAST JORDAN IRON WORKS V-1624 U.S. FOUNDRY 117-BL

ADJUST TO GRADE WITH BRICK BLOCK STRETCHER COURSE, OR PRECAST RINGS

STANDARD PRECAST MANHOLE RISERS AND TRANSITION SECTIONS.

STANDARD MANHOLE STEPS

18" O.C.

18" MAX.

PRECAST CONCRETE MANHOLE CONE SECTION

PRECAST CATCH BASIN PER D.O.T./D.O.T.D. HEAVY DUTY TRAFFIC RATING.

Diagram illustrating the cross-section of a trench for a 6" aggregate bedding. The diagram shows a pipe with a haunch (indicated by a dashed line) resting on a 6" aggregate bedding. The bedding is supported by a geotextile fabric. The trench is filled with undisturbed earth or compacted fill. The width of the bedding is labeled as 18" MIN. on each side of the pipe, with a total width (W) indicated. The final backfill is shown on the right side of the trench.

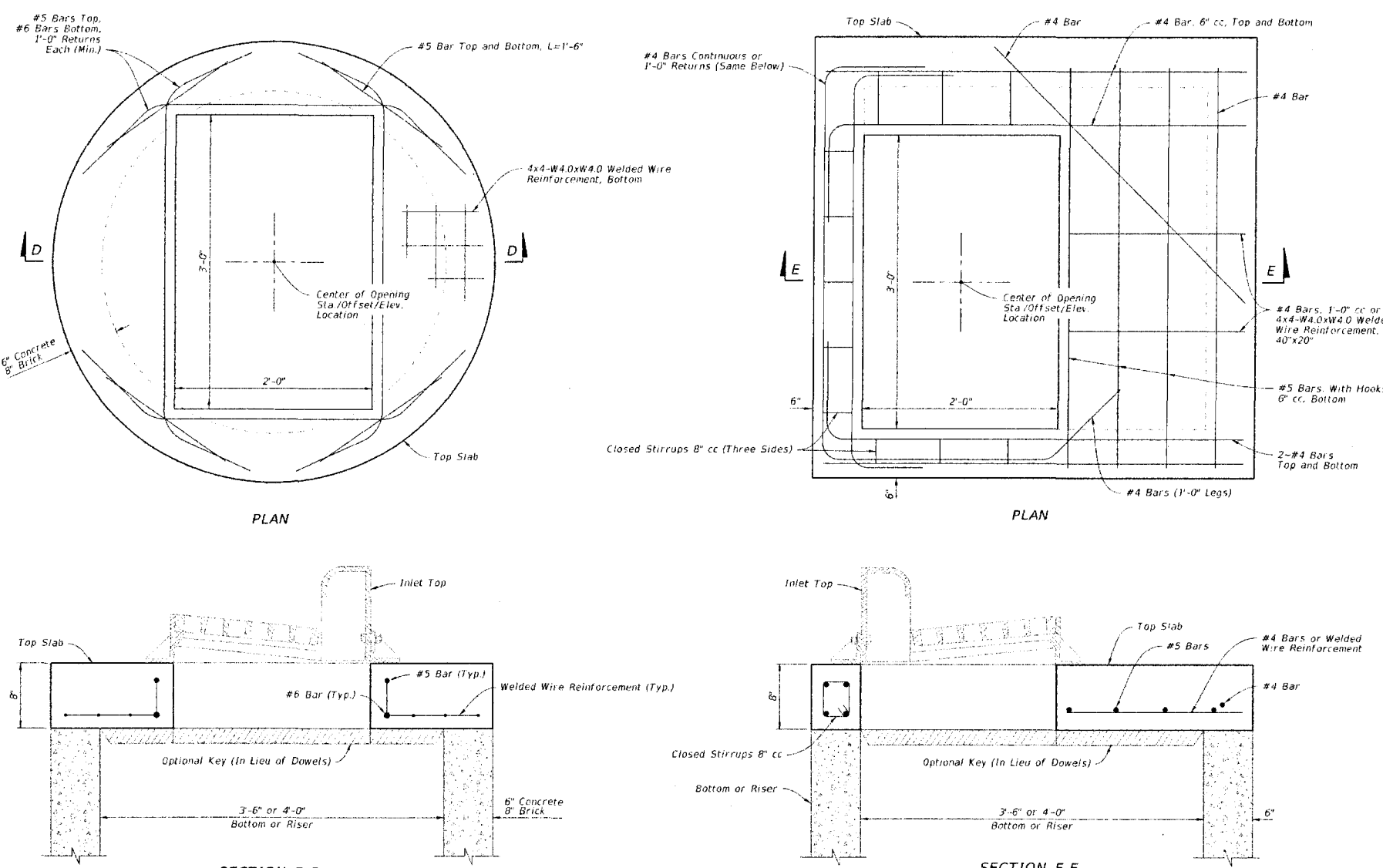
Labels in the diagram include:


- UNDISTURBED EARTH OR COMPACTED FILL
- PIPE SPRING LINE
- GEOTEXTILE FABRIC
- HAUNCHING 1/2" PIPE O.D.
- 6" AGGREGATE BEDDING (MIN.)
- FINAL BACKFILL
- 18" MIN.
- O.D.
- 18" MIN.
- W

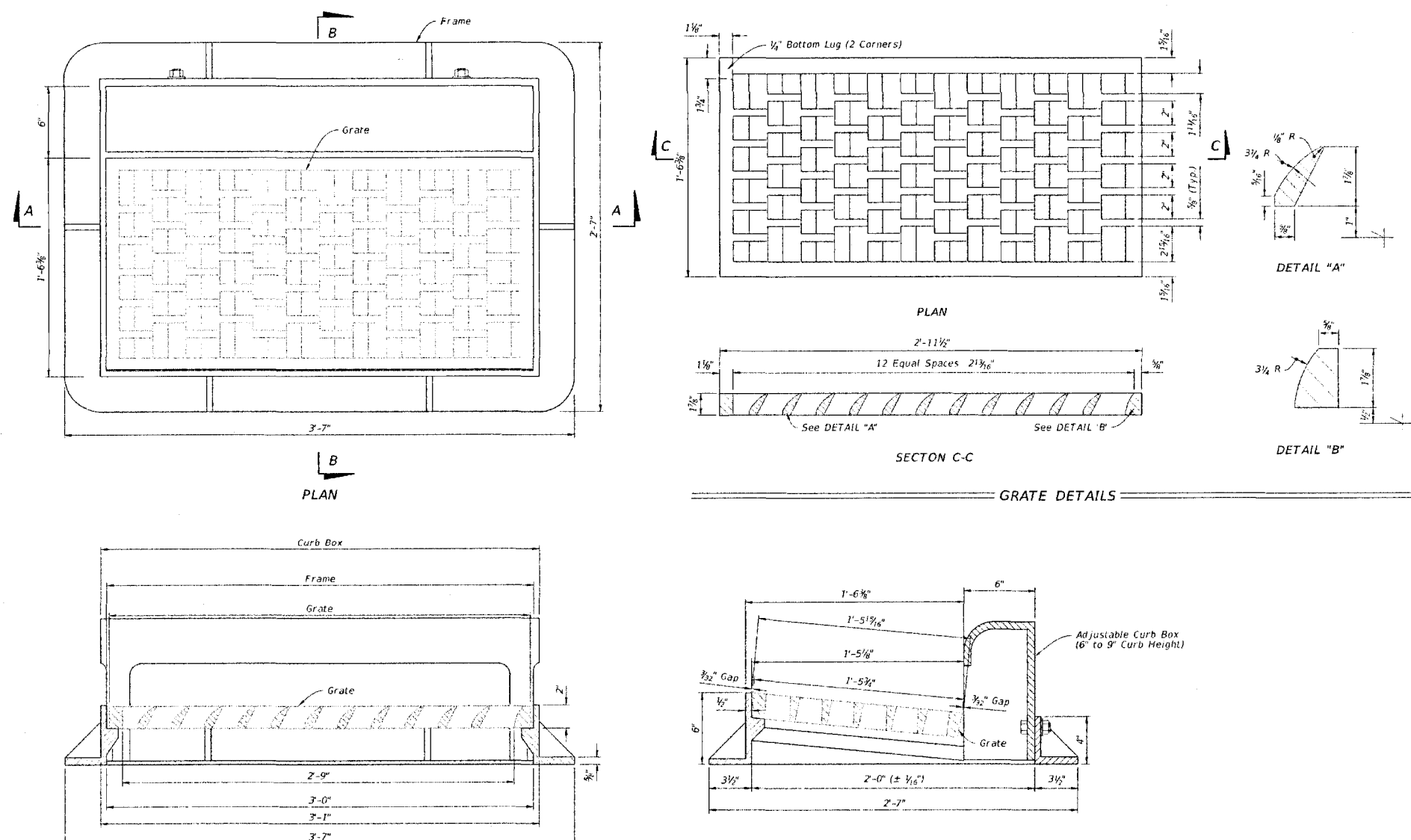
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Sheet	Description
1	General Notes and Contents
2	Frame and Grate Details
3	Top Slab Details

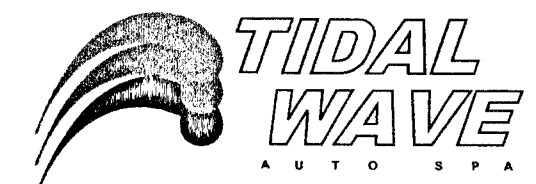


LAST REVISION 11/01/20		DESCRIPTION	 FY 2021-22 STANDARD PLANS		TOP SLAB DETAILS CURB INLET TOP TYPE 9		INDEX 425-024	SHEET 3 of 3
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LAST REVISION 11/01/20	DESCRIPTION:	 FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPE 9	INDEX 425-024	SHEET 2 of 3
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Project:



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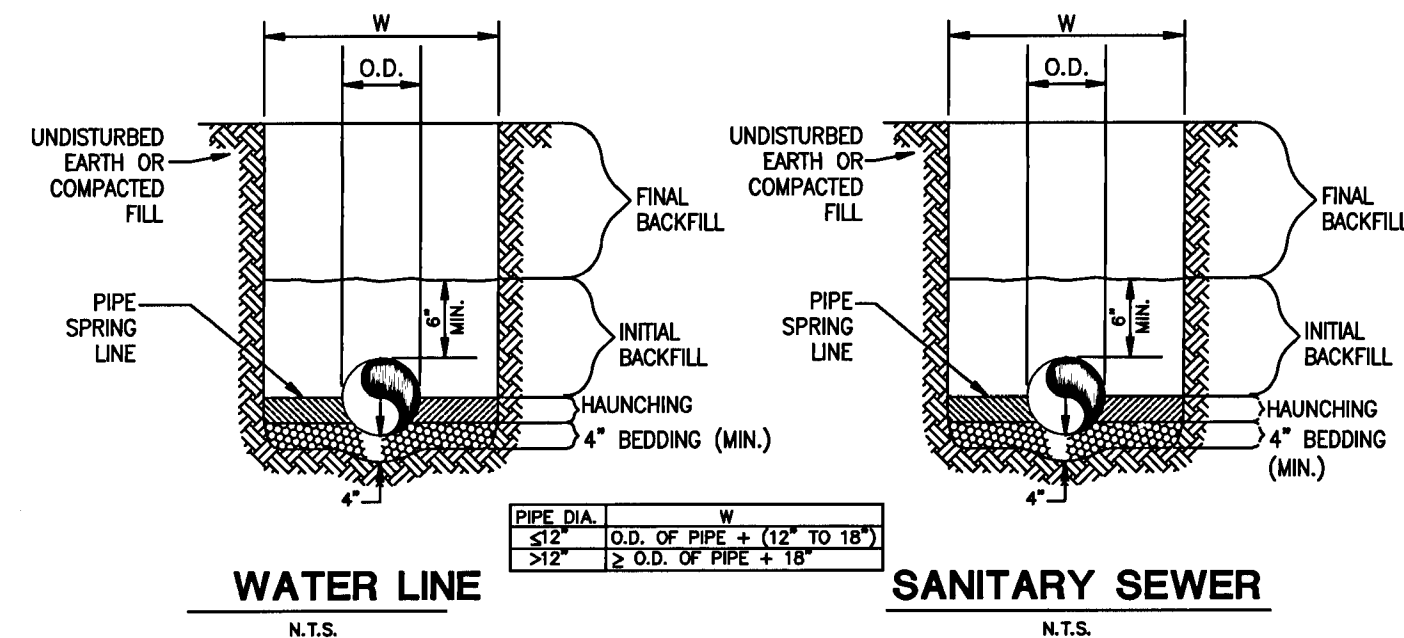
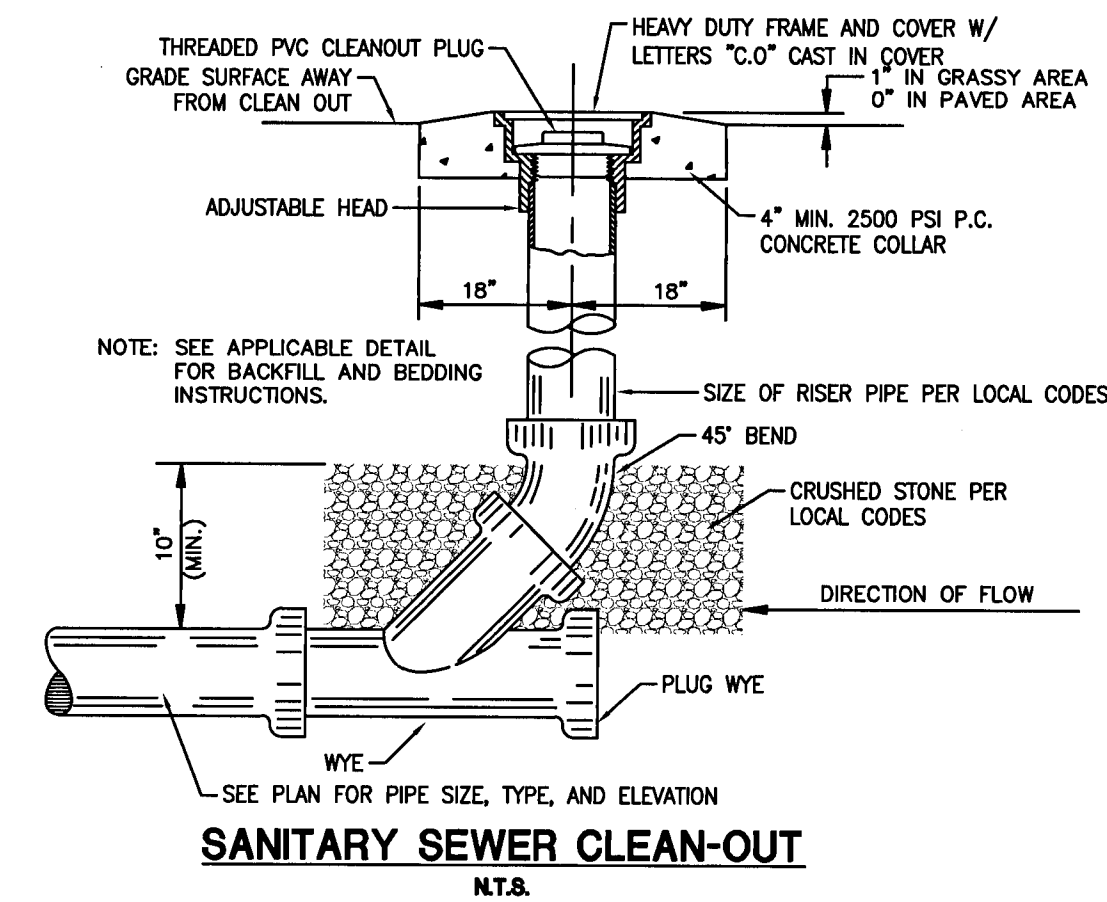
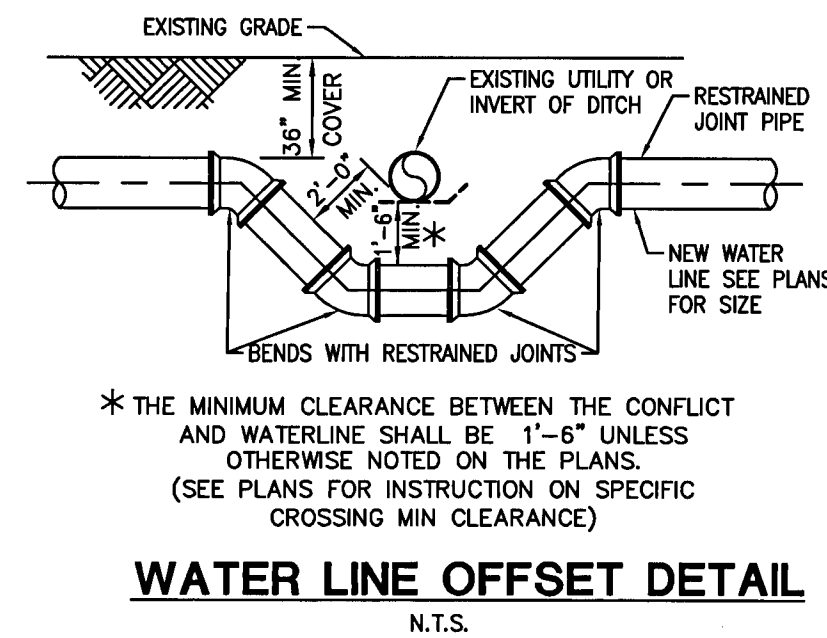
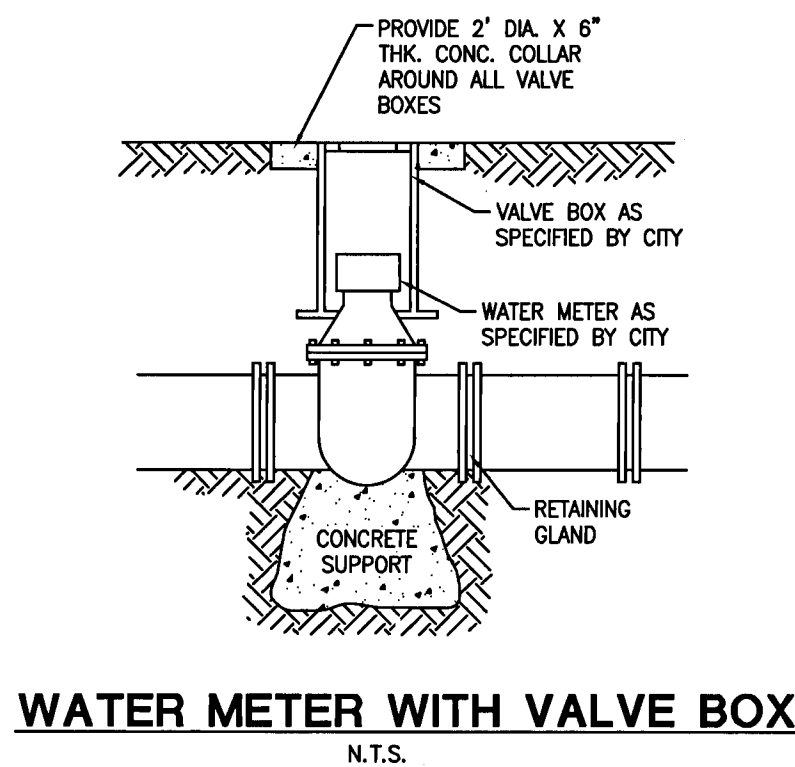
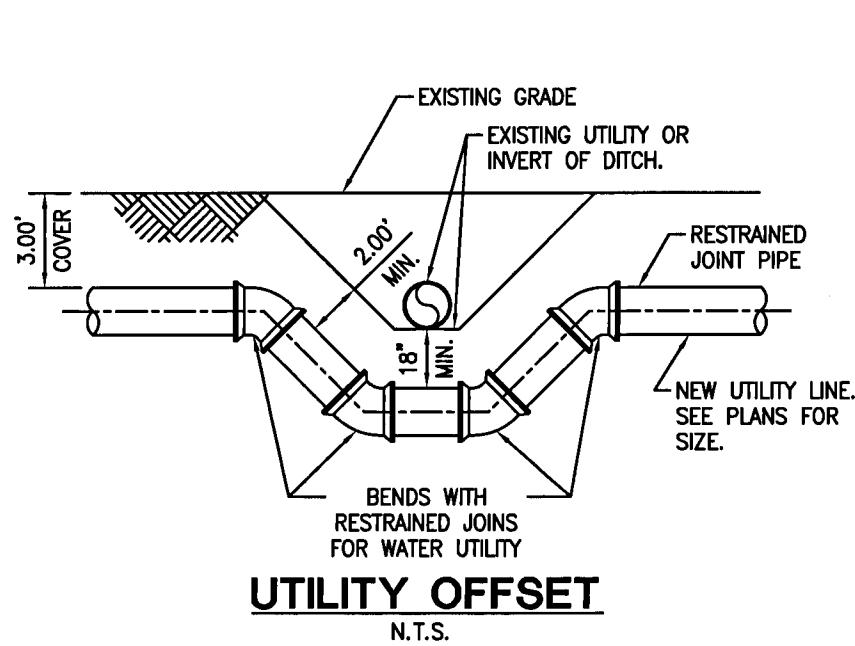
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STORMWATER DETAILS

Project Number: 19-595

Sheet Number

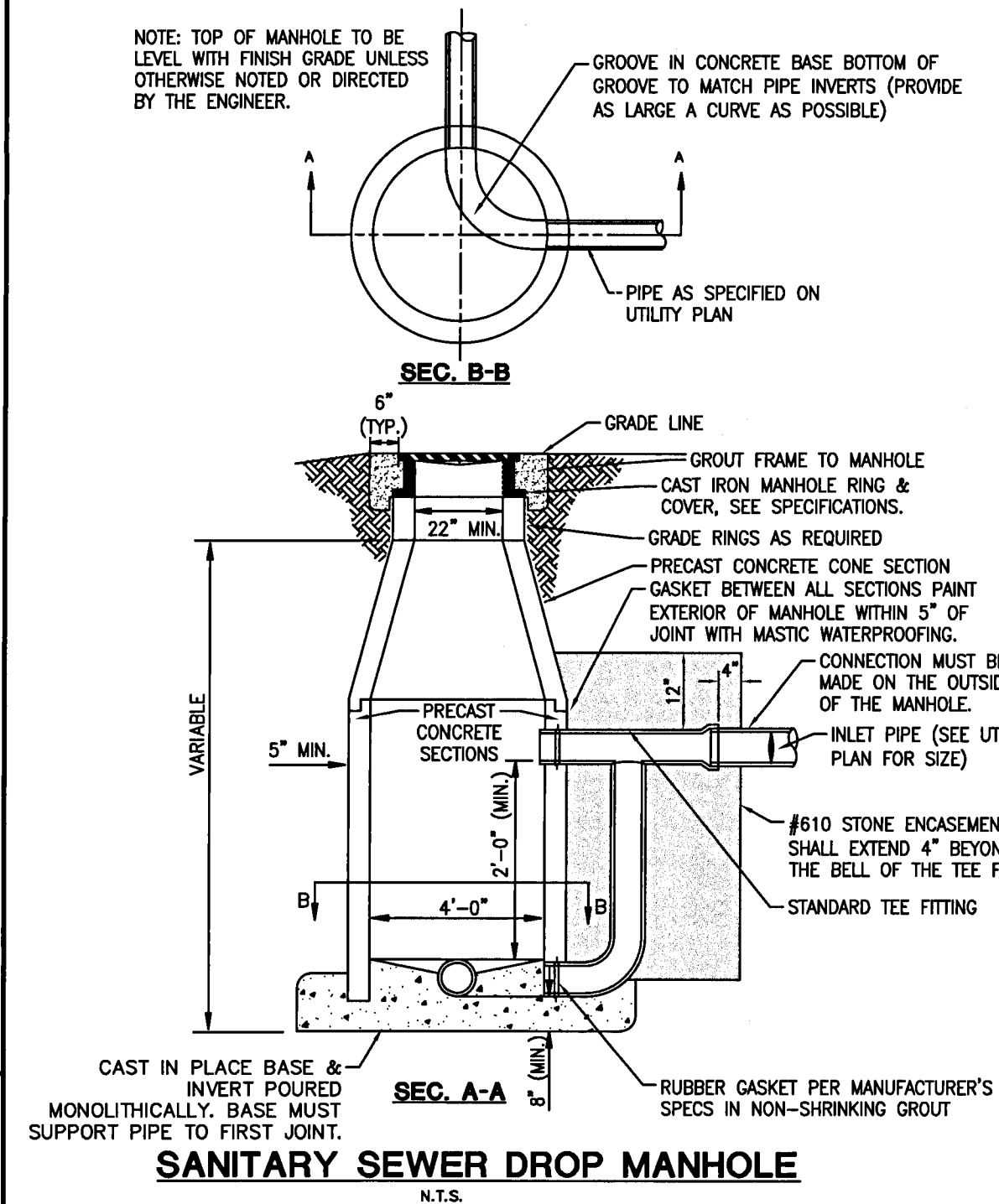
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- | | |
|---|--|
| 1. BEDDING SHALL BE CLASS I-A WORKED BY HAND, IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. | 6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II-A COMPACTED TO 95% STANDARD PROCTOR. |
| 2. HAUNCE SHALL BE BACKFILLED ABOVE THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS I-C COMPACTED TO 85% STANDARD PROCTOR. | 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 1557-89. |
| 3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS I-C COMPACTED TO 85% STANDARD PROCTOR. | 8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LAYS IN ACCORDANCE WITH ASTM D 5958. CLASS III AND CLASS II MATERIALS SHALL BE AT LEAST 10% MINIMUM MOISTURE CONTENT. |
| 4. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR. | 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF STONES, BRACKEN, AND ROCKS LARGER THAN 3" |
| 5. FINAL BACKFILL SHALL BE CLASS I-A, OR CLASS I-B, AS NOTED IN NOTES 3, & 4. | 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS) |

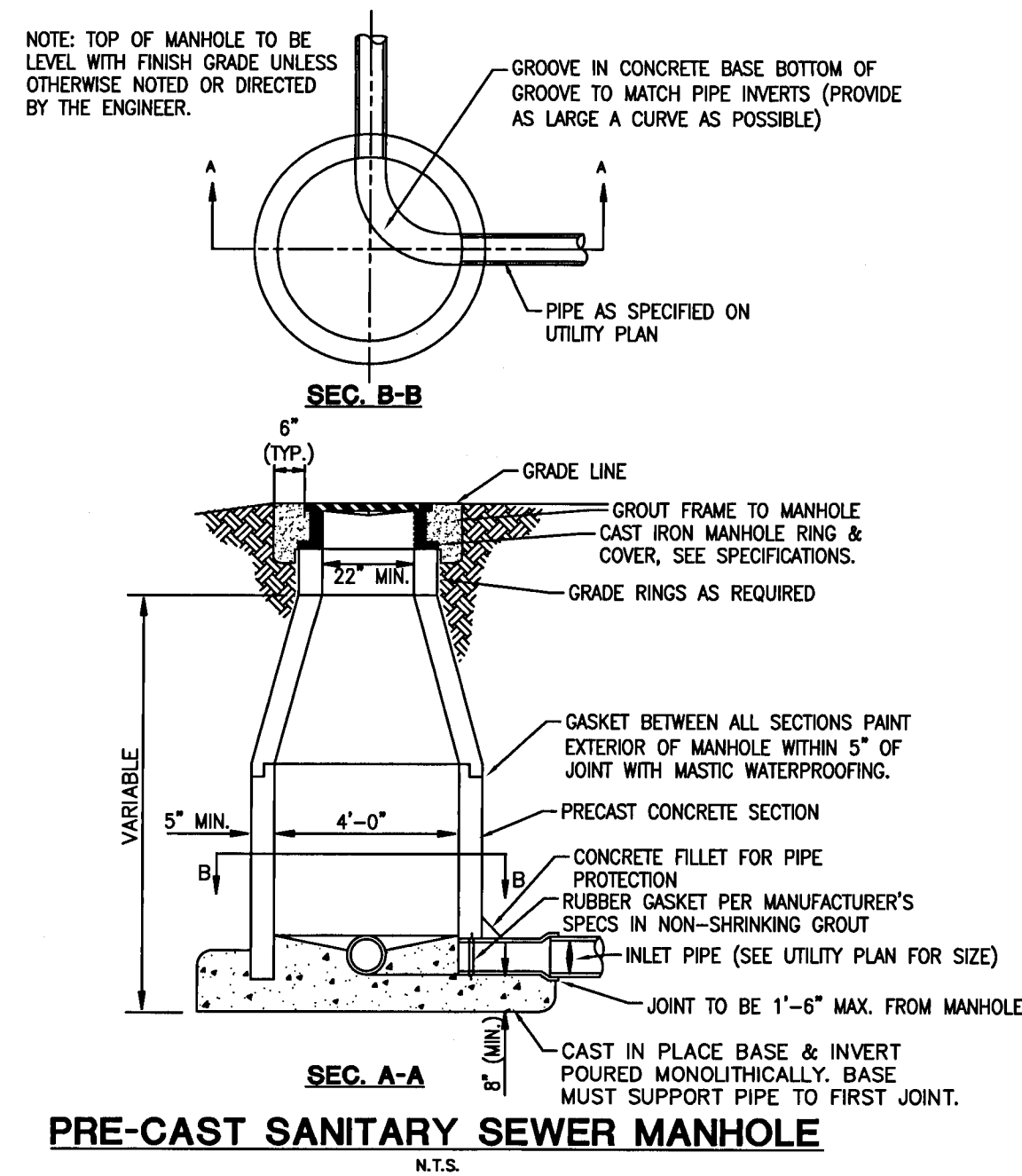
UTILITY TRENCH AND BEDDING

N.T.S.



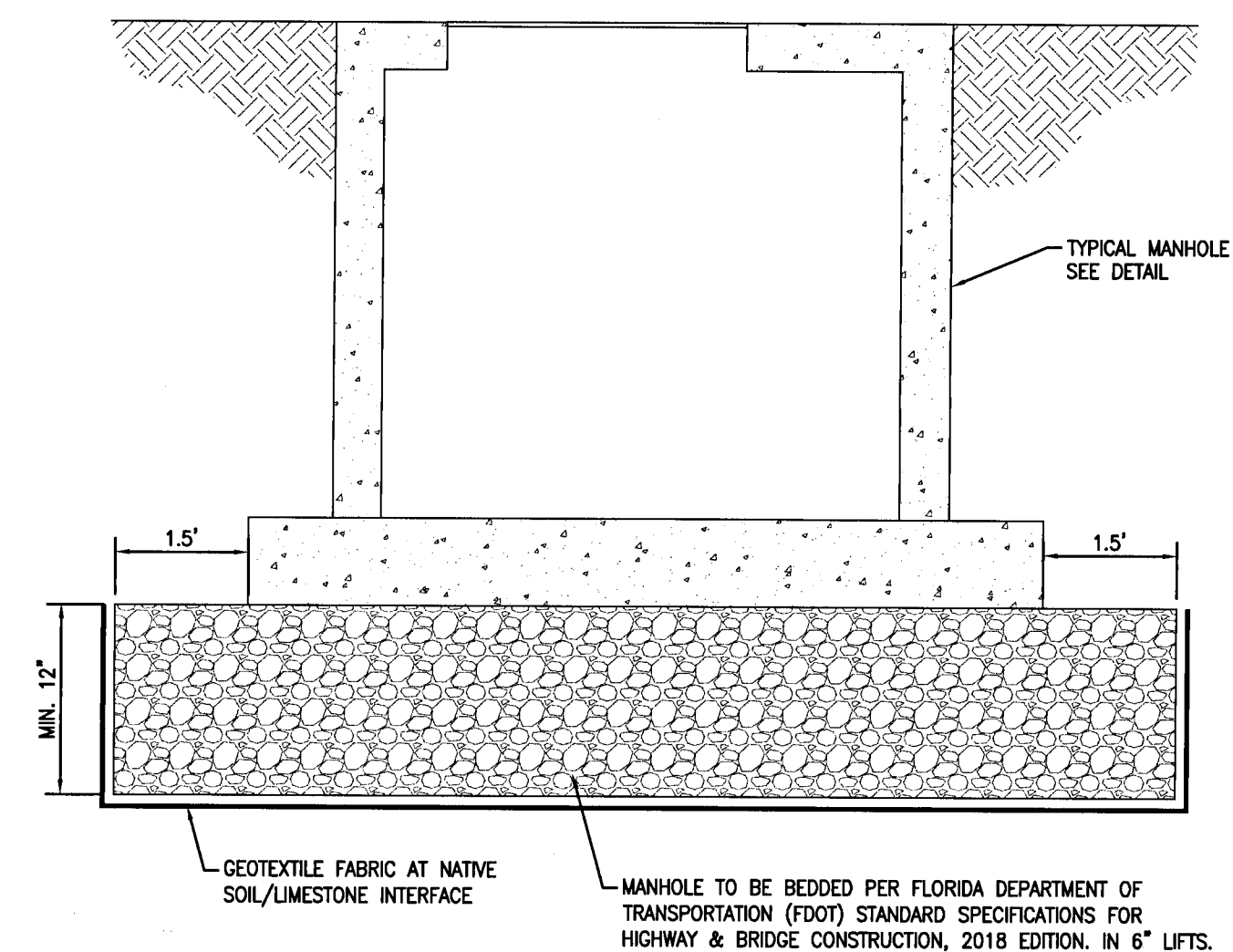
SANITARY SEWER DROP MANHOLE

N.T.S.



PRE-CAST SANITARY SEWER MANHOLE

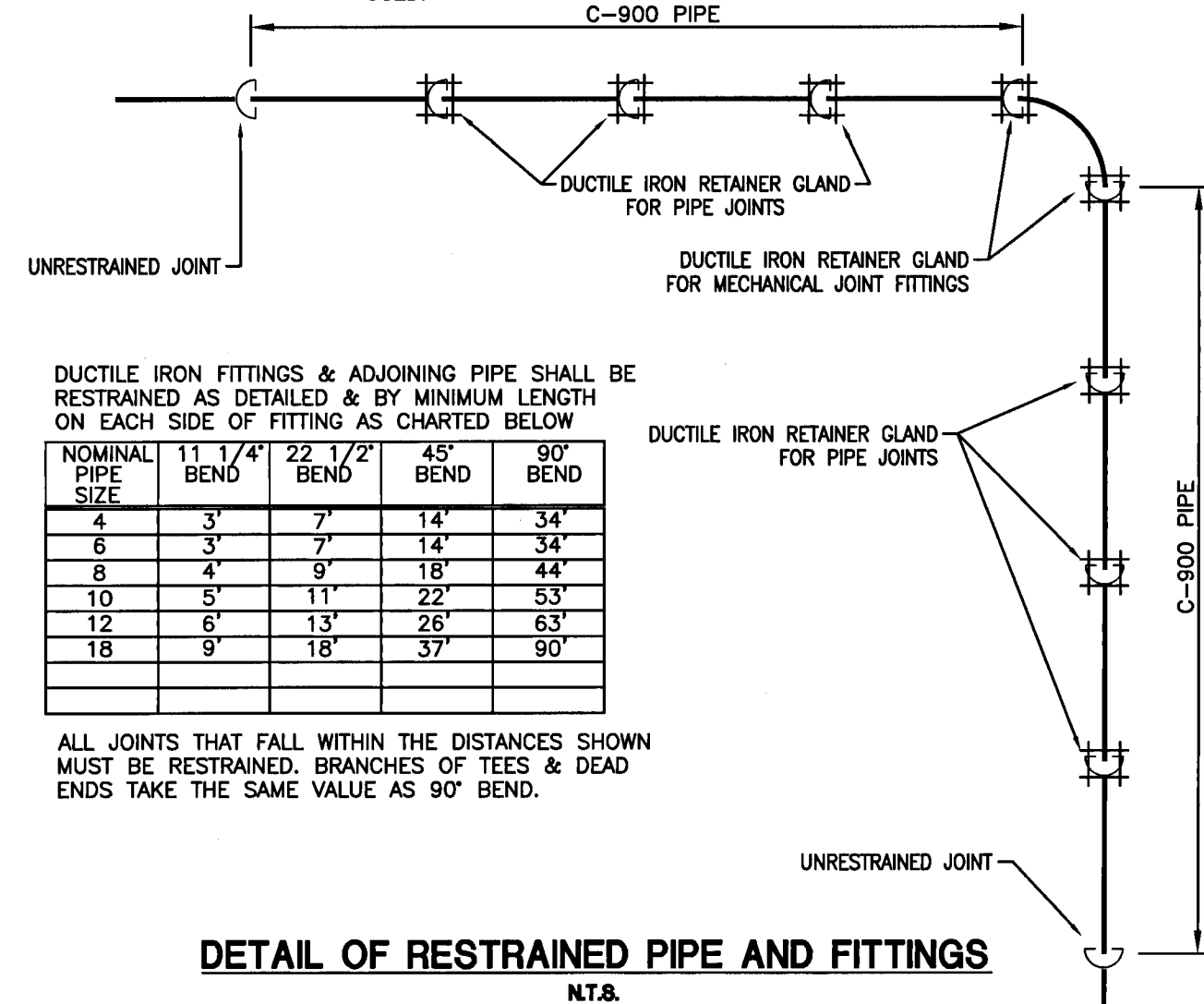
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STORM AND SANITARY SEWER MANHOLE BEDDING DETAIL

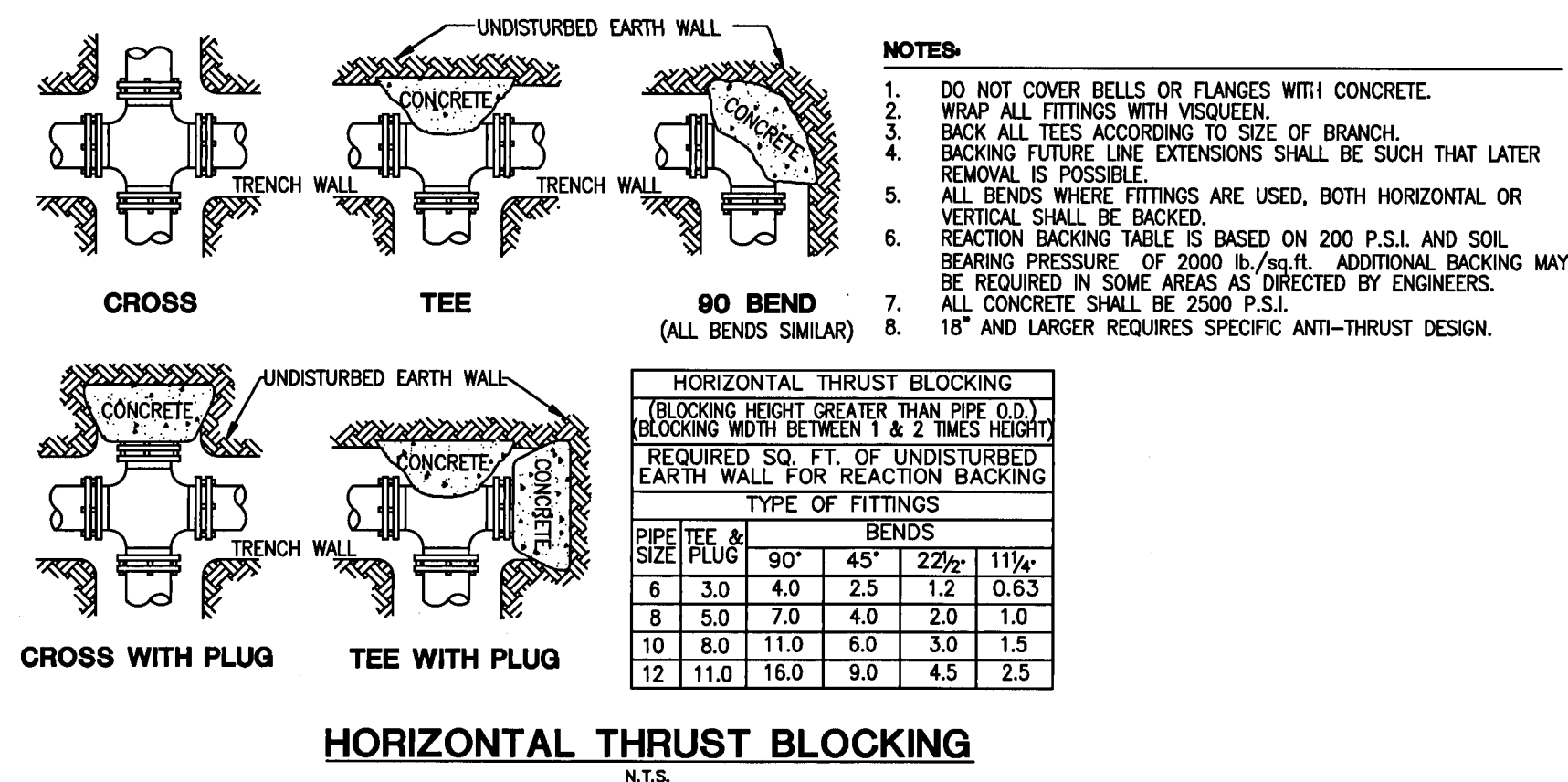
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- NOTES:
1. DISTANCES OF RESTRAINTS SHALL BE REQUIRED ON EVERY JOINT(S) ON EACH SIDE OF FITTING, IN ADDITION TO CONCRETE OR TIMBER BULGING.
 2. RESTRAINTS NOT REQUIRED INSIDE OF CASING WHEN FITTING OR PIPE IS RODDED TO CASING ENDS.
 3. RESTRAIN TIE WHEN USED AS A 90° BEND, DEAD END, OR AS NOTED ON PLANS.
 4. AT ALL ROAD CROSSINGS AND WHERE NOTED ON PLANS, FITTINGS NOTED ON PLANS.
 5. TIE-IN SHALL BE RESTRAINED AS IF A 90° BEND
 6. RESTRAINT SYSTEM:
 - 1. EITHER: (A) RODS FOR USE WITH MECHANICAL JOINT FITTINGS - 2 REQUIRED - 5/8" DIA. STAINLESS STEEL FOR 8" PIPE & BELOW
 - (B) RETAINER GLAND: USE EBBA IRON, UNI-FLANGE OR EQUAL IN COMPLIANCE WITH PIPE MATERIAL USED.



DETAIL OF RESTRAINED PIPE AND FITTINGS

NT.8.



HORIZONTAL THRUST BLOCKING

N.T.S.

HORIZONTAL THRUST BLOCKING					
(BLOCKING HEIGHT GREATER THAN PIPE O.D.)					
(BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT)					
REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING					
TYPE OF FITTINGS					
PIPE SIZE	TEE & PLUG	BENDS			
		90°	45°	22½°	11¼°
6	3.0	4.0	2.5	1.2	0.63
8	5.0	7.0	4.0	2.0	1.0
10	8.0	11.0	6.0	3.0	1.5
12	11.0	16.0	9.0	4.5	2.5



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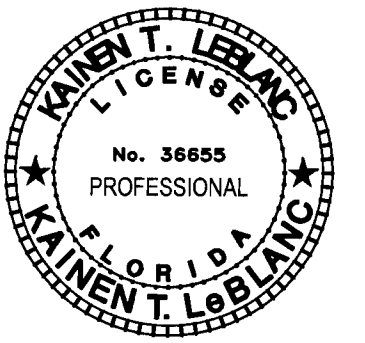
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Sheet Revisions

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Sheet Title:

WATER & SEWER DETAILS

Project Number: 19-595

Sheet Number:

C-6.31

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1"	Turf Rotary	17.10	163.2	33.63	41.07	0.54 in/h
2	Rain Bird PEB	1"	Turf Rotary	17.49	163.2	33.75	41.87	0.55 in/h
3	Rain Bird XGZ-LF-100-PRF	1"	Area for Dnpline	13.32	353.8	43.58	49.91	0.43 in/h
4	Rain Bird PEB	1"	Turf Rotary	18.23	455.5	34.09	42.76	1.39 in/h
5	Rain Bird PEB	1"	Turf Rotary	17.53	517.9	34.04	42.37	1.5 in/h
6	Rain Bird XGZ-LF-100-PRF	1"	Area for Dnpline	19.67	344.2	46.42	55.74	0.43 in/h
Common Wire					871.3			

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird R-VAN-STRIP 180G-SAM-P30 Turf Rotary, 5'x15' (LCS and RCS), 5'x30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4	30

	Rain Bird R-VAN14 180G-SAM-P30 Turf Rotary, 8'-14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	67	30
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	Rain Bird R-VAN18 180G-SAM-P30 Turf Rotary, 13'-18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	14	30
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	Rain Bird R-VAN24 180G-SAM-P30 Turf Rotary, 17'-24' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	17	30
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XGZ-LF-100-PRF Low Flow Drip Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 30psi Pressure Regulator. 0.2gpm-5gpm.	2

	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.	13
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	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16' of 1/4" distribution tubing with connection fitting pre-installed.	2
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	Area to Receive Dnpline Rain Bird XFS-OG-18 XFS Sub-Surface Pressure Compensating Dnpline w/Copper Shield Technology. 0.6 GPH emitters at 18" O.C. Laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	4,949 l.f.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	4

	Rain Bird EFB-CP 1" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use.	1
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	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1
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	Rain Bird ESP4ME with (2) ESP-SM3 IO Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1
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	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
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	Water Meter 1" Assumed Static Water Pressure G5 PSI, unless otherwise noted. Contact Landscape Architect immediately if different.	1
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	Irrigation Lateral Line: PVC Class 200 SDR 21 All lateral pipes are 3/4" unless labeled on plan.	1,777 l.f.
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	Irrigation Mainline: PVC Class 200 SDR 21	871.3 l.f.
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	Pipe Sleeve: PVC Schedule 40	406.3 l.f.
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	Valve Gailout	
	Valve Number	
	Valve Flow	
	Valve Size	

CRITICAL ANALYSIS

Generated: 2021-04-21 13:46

P.O.C. NUMBER: 01
Water Source Information: Assumed Static Water Pressure G5 PSI, unless otherwise noted. Contact Landscape Architect immediately if different.

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 20.23 gpm

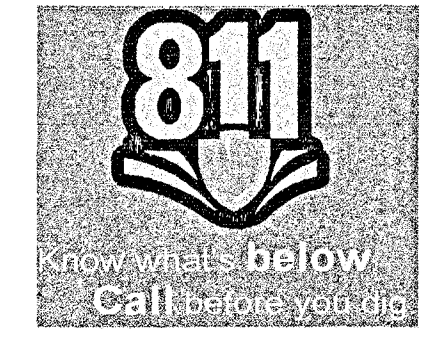
PRESSURE AVAILABLE
Static Pressure at POC: 65.00 psi
Elevation Change: 0.00 ft
Service Line Size: 1"
Length of Service Line: 0.00 ft
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 19.67 gpm
Flow Available at POC: 20.23 gpm
Residual Flow Available: 0.56 gpm

Critical Station: 6
Design Pressure: 30.00 psi
Friction Loss: 4.02 psi
Fittings Loss: 0.40 psi
Elevation Loss: 0.00 psi
Loss through Valve: 12.00 psi
Pressure Req. at Critical Station: 46.42 psi
Loss for Fittings: 0.09 psi
Loss for Main Line: 0.89 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.17 psi
Loss for Master Valve: 2.04 psi
Loss for Water Meter: 2.13 psi
Critical Station Pressure at POC: 55.74 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 9.26 psi

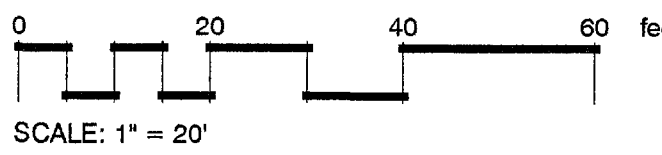
LEGEND

- BUILDING
- CURB & GUTTER
- BLOCK RETAINING WALL
- PROPERTY LINE
- PARKING SPACES
- DIRECTIONAL ARROWS
- SITE LIGHT
- FIRE HYDRANT
- POWER POLE
- SEWER MANHOLE & STRUCTURE #



CONTRACTOR IS RESPONSIBLE TO ENSURING THAT ANY DISTURBED AREAS ARE RE-SODDED

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.



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IRRIGATION
PLAN

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STATUS
04/21/21

Sheet Revisions		
#	Date	Description

Sheet Title:

Project Number: 19-595
Sheet Number:

L-2.1