TIDAL WAVE AUTO-SPA PENSACOLA, FLORIDA, ESCAMBIA COUNTY 5307 N. DAVIS HWY

UTILITY AND GOVERNING AUTHORITIES CONTACT LIST:

BUILDING & ZONING

CITY OF PENSACOLA
2849 N. PALAFOX ST.
PENSACOLA, FL, 32501
CONTACT: TOM LUCIA
TELEPHONE: (850) 435-1679
FAX: (850) 595-1470

ELECTRIC
GULF POWER

1 ENERGY PL.
PENSACOLA, FL, 32520
CONTACT:
EMAIL:
TELEPHONE: (800) 225-5797

WATER & SEWER

EMERALD COAST UTILITY AUTHORITY
9255 STURDEVANT ST.
PENSACOLA, FL, 32514
CONTACT: TIFFANIE NICKSON
EMAIL: TIFFANIE.NICKSON@ECUA.FL.COM
TELEPHONE: (850) 969-6534

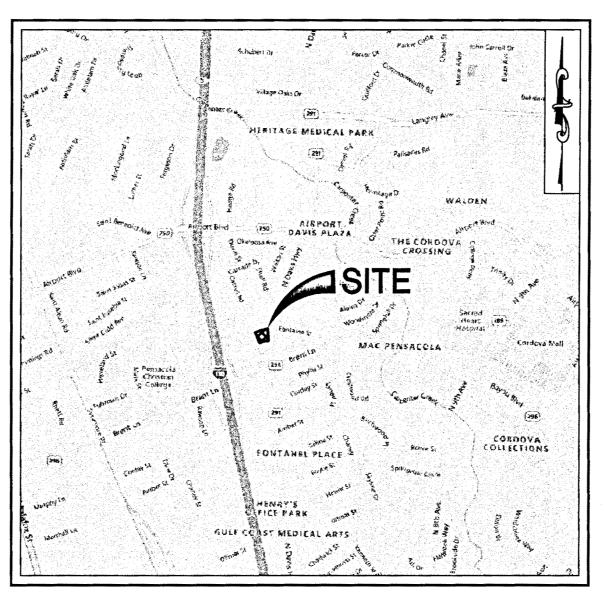
(850) 969-1759

GAS

PENSACOLA ENERGY
1625 ATWOOD DR.
PENSACOLA, FL, 32514
CONTACT: DIANE MOORE
EMAIL: D.MOORE@PENSACOLA.ORG
TELEPHONE: (850) 435-1800
FAX: (850) 435-1827

CITY ENGINEER

CITY OF PENSACOLA
2757 N PALAFOX ST.
PENSACOLA, FL, 32501
CONTACT: BRAD HINOTE
TELEPHONE: (850) 435-1646
FAX: (850) 435-1012



SITE LOCATION MAP

SCALE: 1" - 2000'

DDG PROJECT # 19-595

Approved ESCAMBIA COUNTY DRC PLAN REVIEW DRC Chairman Signature Printed Name: Services Director Designed This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



PROJECT NOTES:

- 1. THIS PROJECT IS BEING CONSTRUCTED WITHIN THE BOUNDARIES OF ESCAMBIA COUNTY.
- 2. THE CONTRACTOR SHALL ENSURE THAT ALL GOVERNMENTAL REQUIRED INSPECTIONS, ALONG WITH THOSE REQUIRED BY PRIVATE UTILITIES, ARE PERFORMED PRIOR TO TURNING THE BUILDING OVER TO TIDAL WAVE AUTO—SPA.
- 3. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED SITEWORK RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT DATED NOVEMBER 25, 2020 PREPARED BY ECS SOUTHEAST, LLP. OR THE SITEWORK SPECIFICATIONS FOR ESCAMBIA COUNTY, WHICHEVER IS MORE STRINGENT.
- 4. THE CONTRACTOR SHALL CONTACT HOME DEPOT PROJECT MANAGER (ALLAN WILLIAMS, (770)548-1642) 14 DAYS IN ADVANCE TO ATTEND THE PRE-CONSTRUCTION MEETING. MEETING SHALL TAKE PLACE ONSITE IN CONSTRUCTION TRAILER.
- 5. WORK OUTSIDE OF THE CARVE OUT PARCEL, BUT ON THE HOME DEPOT PARCEL SHALL FOLLOW THE HOME DEPOT SITE SPECIFICATION REFERENCE FOR CARVE OUT.

SHEET INDEX

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	2.	1	SURVEY PLAT
	3.	C1.00	EROSION AND SEDIMENT CONTROL (PHASE 1)
	4.	C1.10	EROSION AND SEDIMENT CONTROL (PHASE 2)
			EROSION CONTROL DETAILS
			SITE PLAN
	7.	C3.00	DIMENSIONAL CONTROL PLAN
	8.	C4.00	SURFACE GRADING & STORMWATER DRAINAGE PLA
			CONCRETE DETAILS
	10.	C5.00	STRIPING & SIGNAGE PLAN
	11.	C5.10	STRIPING DETAILS
	12.	C5.20	TRAFFIC SIGNAGE DETAILS
	13.	C6.00	UTILITY PLAN
	14.	C6.21	STORMWATER DETAILS
	15.	C6.31	WATER & SEWER DETAILS
	16.	L1.1	LANDSCAPE PLANTING PLAN
	17.	L1.2	LANDSCAPE PLANTING DETAILS
	18.	L1.3	LANDSCAPE PLANTING SPECS
	19.	L2.1	IRRIGATION PLAN
	20.	L2.2	IRRIGATION DETAILS
	21.	L2.3	IRRIGATION DETAILS
	22.	L2.4	IRRIGATION SPECIFICATIONS

DEVELOPER

OLSON LAND PARTNERS, LLC 4300 LEGENDARY DRIVE, SUITE 234 DESTIN, FLORIDA, 32541 (850) 650-4353



4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.388

Proje



5307 N. Davis Hwy

Pensacola, FL 32503

Designer's Information:



SEAL:



23 Bla

4-21-2021

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STATUS 04/21/21

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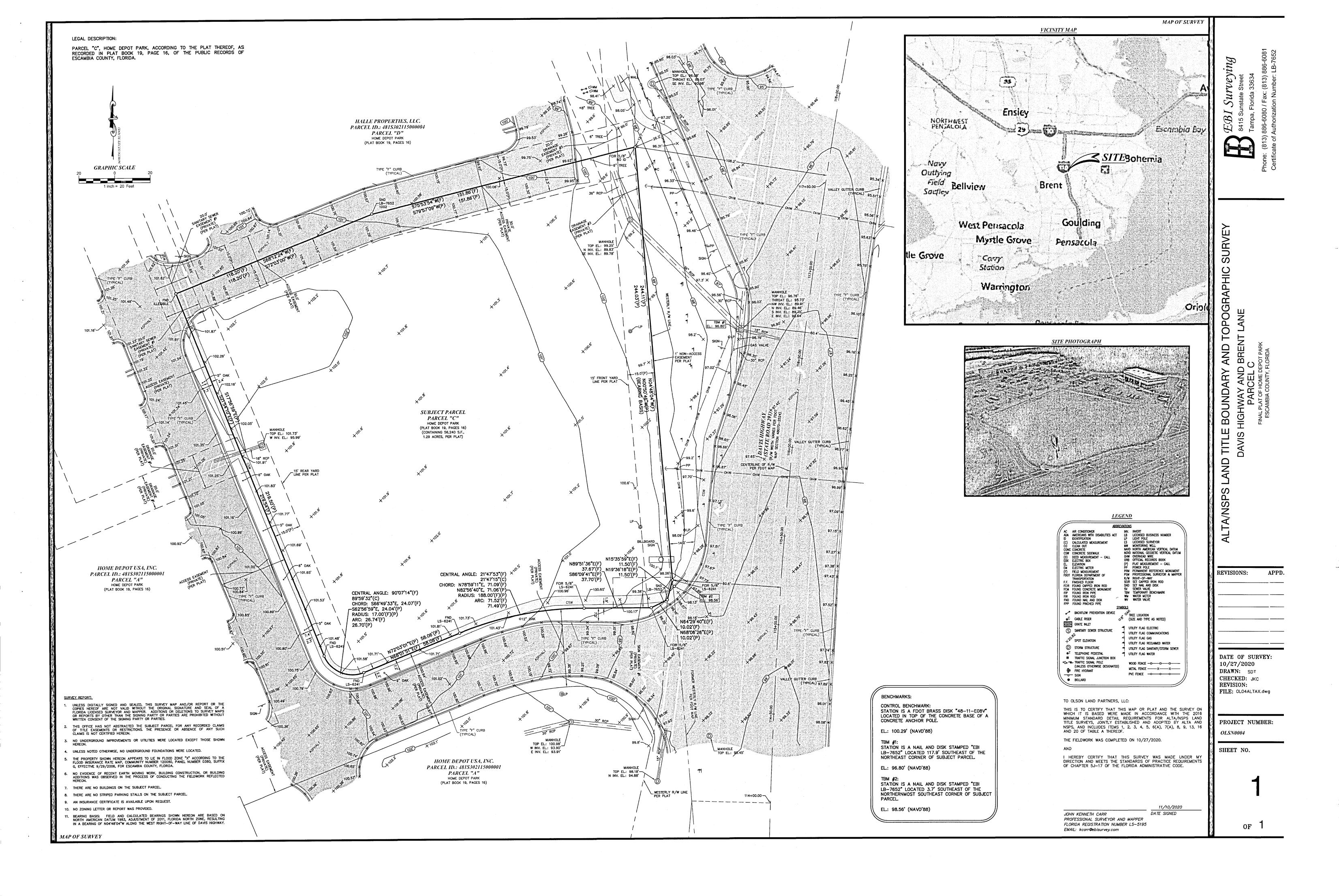
Sheet Title:

CIVIL COVER SHEET

Project Number: 19-595

Sheet Number:

C0.00



ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

EROSION CONTROL NOTES

- SEDIMENT & EROSION CONTROL FACILITIES & STORM DRAINAGE FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT.
- ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES. 4. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO 1' FROM THE BOTTOM OF THE FENCE.
- 5. EROSION CONTROL MEASURES ARE TO BE INSPECTED WEEKLY & AFTER EACH RAINFALL & REPAIRED AS NECESSARY. 6. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER &/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A
- PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR. 7. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY & PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS
- NOT ALLOWED TO FLOW OVER THE SLOPE FACE. THE GENERAL CONTRACTOR & THE GRADING CONTRACTOR SHALL REVIEW THEIR GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS. 10. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO
- 11. CONTRACTOR SHALL INSPECT ON A DAILY BASIS FOR NEEDED REMOVAL OF ANY ACCUMULATED SILTS, DEBRIS, OR REPAIR OF DAMAGED SILT FENCE AT NO ADDITIONAL EXPENSE TO OWNER.
- 12. PRIOR TO CONSTRUCTION, THE EROSION & SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING & GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION
- & SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE. 13. LAND DISTURBING ACTIVITIES WILL BE KEPT TO A MINIMUM & WILL NOT EXTEND BEYOND THE LIMITS SHOWN. 14. SEDIMENT & EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS & WILL BE REPAIRED, ADJUSTED & MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE
- EROSION & SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION & UNTIL ALL DISTURBED AREAS ARE STABILIZED. 15. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE "PRIME CONTRACTOR CERTIFICATION" & "THE MONTHLY INSPECTION REPORT & CERTIFICATION FORM FOR EROSION & SEDIMENT CONTROLS" LOCATED IN THE SITEWORK SPECIFICATIONS & SUBMITTING THE FORMS TO THE OFFICE OF POLLUTION CONTROL.
- 16. THE CONTRACTOR SHALL ALSO CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR
- 17. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
- 18. STAGING SHALL OCCUR ONLY WITHIN THE LIMITS OF CONSTRUCTION.

BMP MAINTENANCE EROSION NOTES:

ALL MEASURES STATED ON THIS SITE MAP, & IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, & REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

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- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE—HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS
- 5. THE TEMPORARY PARKING & STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING & STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONAL AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY
- 7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS &/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

ACREAGE SU	JMMARY
TOTAL PROJECT AREA	+/- 1.29 ACRES
DISTURBED AREA	+/- 1.29 ACRES
UNDISTURBED AREA	+/- 0.00 ACRES

LEGEND - NEW IMPROVEMENTS

PROPOSED BUILDING PROPERTY LINE LIMITS OF DISTURBANCE (SS) SWPPP INFORMATION SIGN (SB) TEMPORARY SEDIMENT BASIN

EXISTING SUMMARY IMPERVIOUS - 0.11 ACRES PERVIOUS - 1.18 ACRES PROPOSED SUMMARY IMPERVIOUS - 0.99 ACRES PERVIOUS - 0.30 ACRES

Project Number: 19-595

Sheet Number:

EROSION CONTROL PLAN

(PHASE 1)

PARTNERS, LLC

Real Estate Acquisitions & Development

4300 Legendary Drive, Suite 234

Destin, Florida 32541

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5307 N. Davis Hwy

Pensacola, FL 32503

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Construction

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4-21-2021

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Date

WRITTEN CONSENT OF THE ARCHITECT

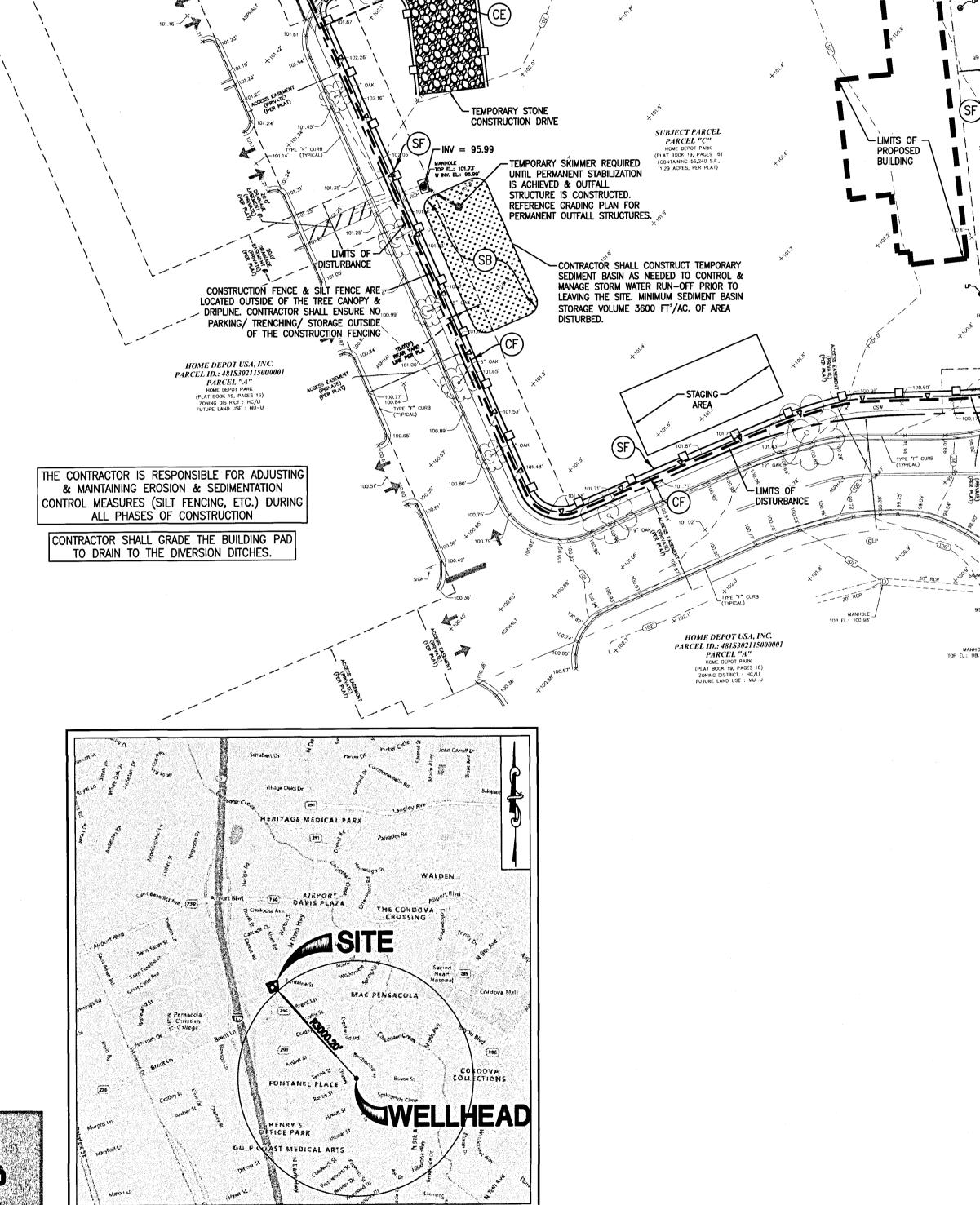
314 E. Bayou Road

Office: 985.447.0090

Fax: 985.447.7009

Designer's Information:

Project:





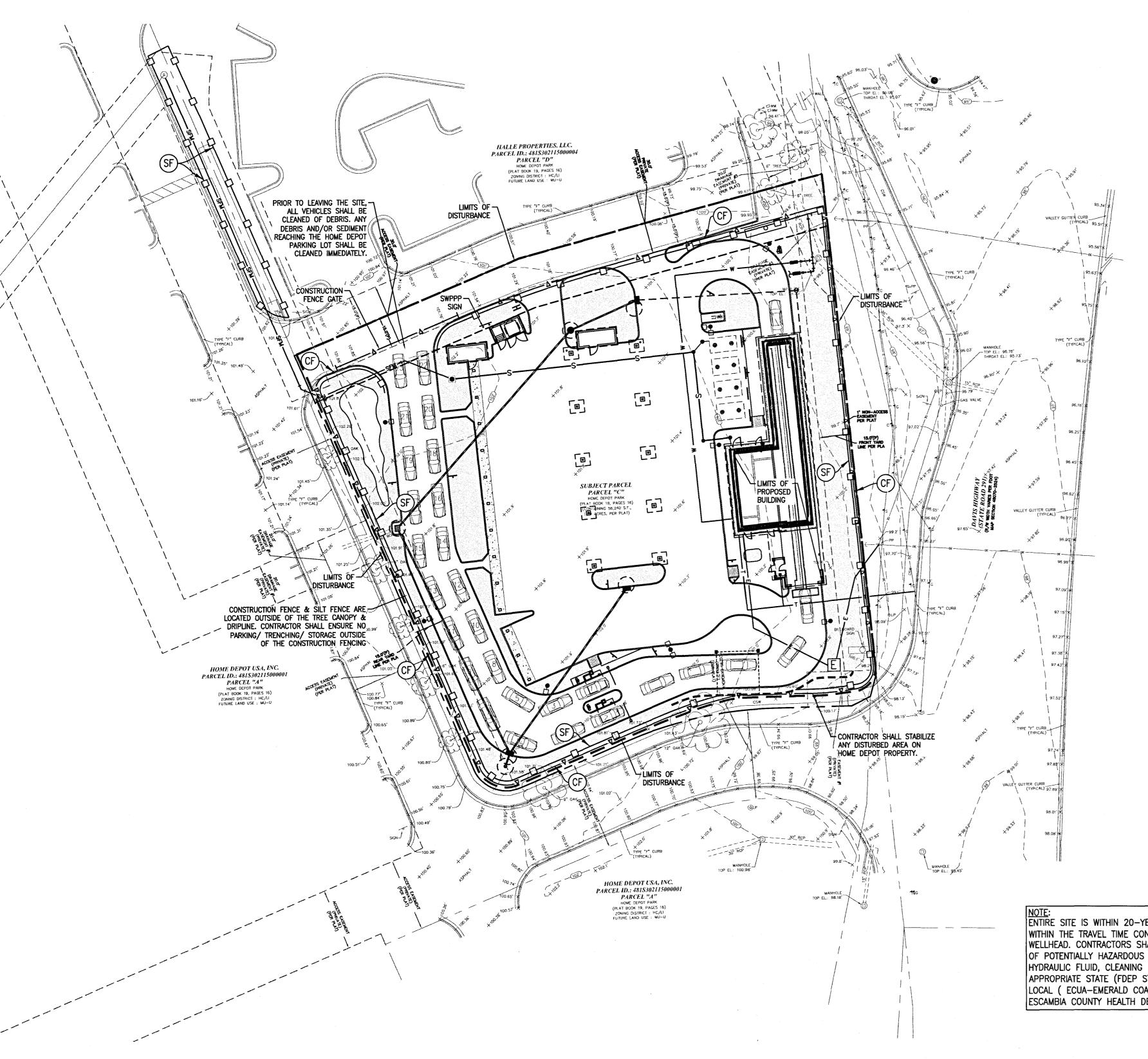
WELLHEAD PROTECTION VICINITY MAP SCALE: 1' - 2000'

(CE) TEMPORARY CONSTRUCTION EXIT

(CF) CONSTRUCTION FENCE

SCALE IN FEET





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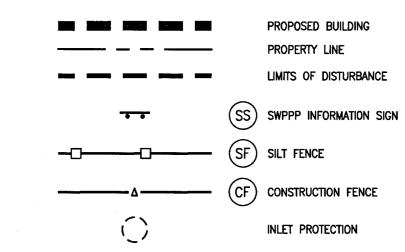
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ACREAGE SUMMARY		
TOTAL PROJECT AREA	+/- 1.30 ACRES	
DISTURBED AREA	+/- 1.30 ACRES	
UNDISTURBED AREA	+/- 0.00 ACRES	

LEGEND - NEW IMPROVEMENTS

SCALE IN FEET

30' 15' **0**





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Real Estate Acquisitions & Development
4300 Legendary Drive, Suite 234
Destin, Florida 32541

T: 850.650.4353 F: 850.650.3881

Project:



5307 N. Davis Hwy Pensacola, FL 32503

Designer's Information:



Not For



Construction

23 Blanc

4-21-2021

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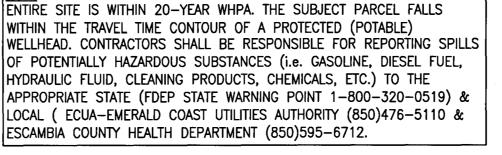
Date Description

Sheet Title:
EROSION CONTROL PLAN
(PHASE 2)

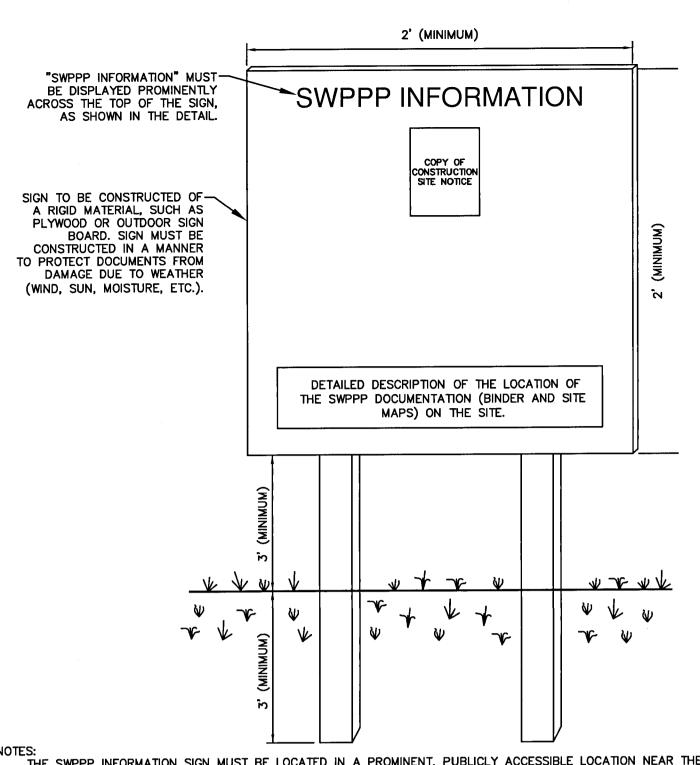
Project Number: 19-595

Sheet Number:

C1.10







- 1. THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE, SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE
- JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.

 2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT COMPLETION REPORT (PRC) IS FILED FOR THE PERMIT.

 3. ALL PAGES OF NOTICES OF INTENT AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSING THE STORY OF THE PERMIT. PAGES INDIVIDUALLY.
- 4. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCIES.

 5. SUBSEQUENT PERMIT MODIFICATION REQUESTS OR RENEWAL APPLICATIONS AND THEIR ASSOCIATED
- AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.

 6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

NO.9 GAGE, 0.148" ± 0.00", FINISHED SIZE GALVANIZED STEEL
WIRES, 2" MESH, TOP AND
BOTTOM SELVAGES TWISTED AND
BARBED CONFORMING TO ASTM
A392, A491, F668, OR F573.

FILL VOIDED AREA AROUND—
POST WITH SAND _

SWPPP INFORMATION SIGN N.T.S.

TEMPORARY CHAINLINK

CONSTRUCTION FENCE DETAIL

N.T.S.

- ENDURO SHADE CLOTH BY

HENDEE ENTERPRISES, INC.

-CONTRACTOR SHALL UTILIZE

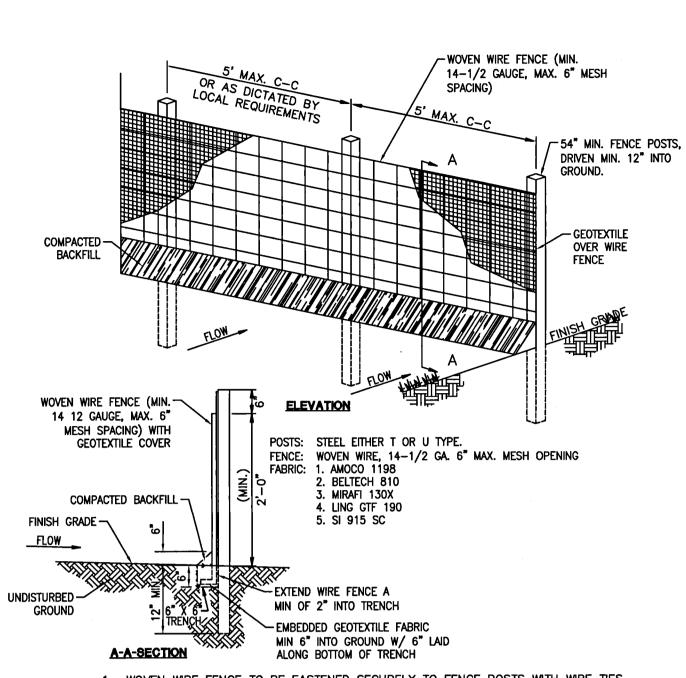
WITHIN EXISTING PAVEMENT

AREAS TO REMAIN.

EMBEDDED OR NON-EMBEDDED

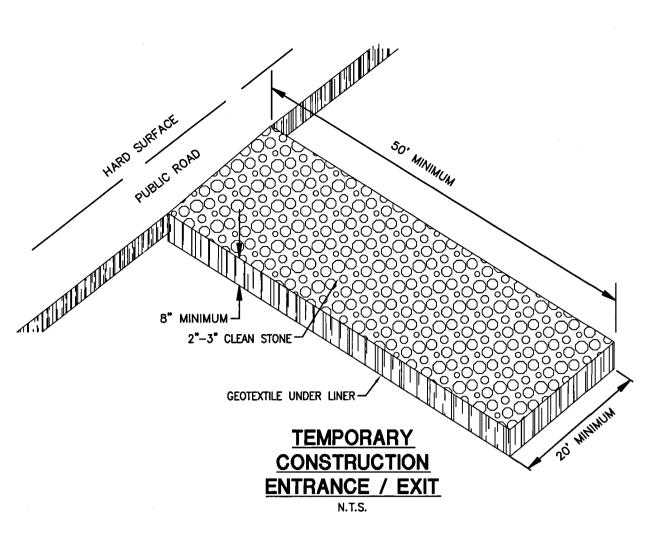
FENCE POSTS AS NEEDED TO INSTALL TEMPORARY FENCING

AT CORNERS FABRIC EXTENDS 1' MIN. SILT FENCE INLET



- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. 2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- 5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT N.T.8.



ELEVATION VIEW PROFILE VIEW OF

INSTALLED FILTER SACK

2"X2"X3/4" RUBBER BLOCK

ISOMETRIC VIEW

INLET PROTECTION - PAVED AREAS

2"X2"X3/4" — RUBBER BLOCK

1/4" BRIGHTLY-COLORED NYLON

RESTRAINT

ROPE EXPANSION

LOOPS SIZED FOR 1" REBAR.

LIFT FILTER BAG FROM INLET

USING REBAR FOR HANDLES.

OVERFLOW HOLES-

GEOTEXTILE BAG-

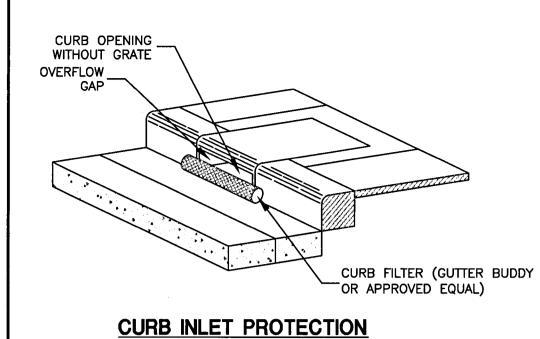
1/4" BRIGHTLY COLORED NYLON-ROPE EXPANSION RESTRAINT

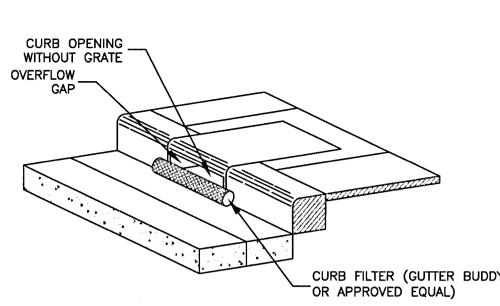
SEDIMENT COLLECTION

LOOPS SIZED FOR 1" REBAR.— USE REBAR FOR A HANDLE TO EMPTY FILTER SACK AT A

(OPTIONAL)

(TYP)





Project:

PARTNERS, LLC

Real Estate Acquisitions & Development

4300 Legendary Drive, Suite 234

Destin, Florida 32541 T: 850.650.4353 F: 850.650.3881

5307 N. Davis Hwy Pensacola, FL 32503

Designer's Information:



314 E. Bayou Road Fax: 985.447.7009

Not For Construction



KA Blanc

4-21-2021

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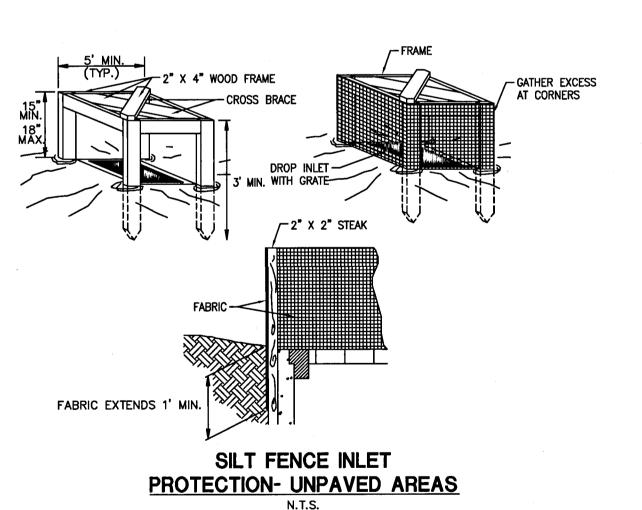
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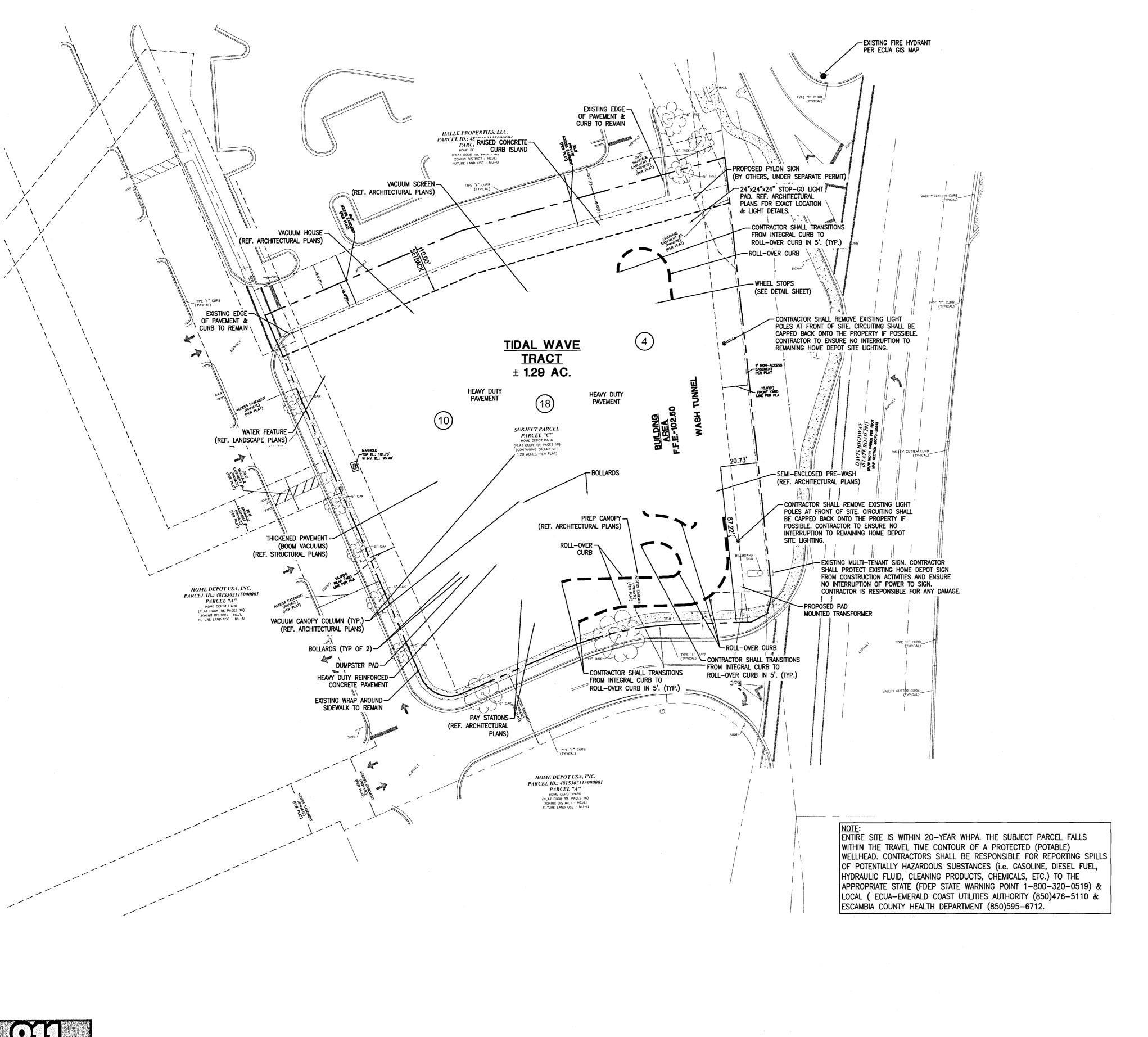
Sheet Title: **EROSION CONTROL DETAILS**

Project Number: 19-595

Sheet Number:

C1.20





SITE PLAN NOTES:

- 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING. CONTRACTOR SHALL CONTACT NIKOLAS MELANCON WITH DUPLANTIS DESIGN GROUP FOR NECESSARY CAD FILES © NMELANCON@DDGPC.COM
- 2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10/27/2020 BY EBI SURVEYING.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK. 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF PYLON SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
- 7. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT
- 8. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SÚCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- 9. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING. 10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATION AND GEOTECHNICAL RECOMMENDATIONS.
- 11. ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- 14. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES)
- 18. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD
- 19. THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE X, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY
- F.E.M.A. COMMUNITY PANEL NO. 12033C0380G DATED 9/29/2006. 20. PROTECT CONCRETE PAVING WITH HEAVY DUTY PLASTIC AND/OR SAND, POSSIBLY PLYWOOD IN SOME AREA SUCH AS DRAINS AND
- GRATES, OR OTHERWISE PRICE FOR SUITABLE CLEANING TO DELIVER LIKE NEW PAVING AT TURNOVER. THIS INCLUDES CAR WASH
- 22. ALL TREE REMOVAL, LAND CLEARING, REPLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR

63 SF (ADA RESTROOM)

1,360 SF

3,507 SF

1,774 SF

THICKENED PAVEMENT BUILDING (BOOM VACUUMS) CURB & GUTTER HEAVY DUTY REINFORCED ROLL OVER CURB (MOUNTABLE) CONCRETE PAVEMENT PROPERTY LINE HEAVY DUTY PAVEMENT PARKING SPACES

> Sheet Title: SITE PLAN

Sheet Reviisons

|#| Date

EXHIBIT

PARTNERS, LLO

Real Estate Acquisitions & Development

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5307 N. Davis Hwy

Pensacola, FL 32503

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GRACE HEBERT CURTIS ARCHITECTS, APAC

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Description

Office: 985.447.0090

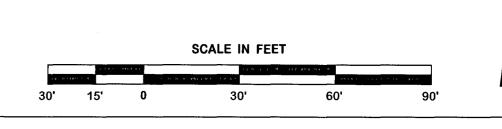
Fax: 985.447.7009

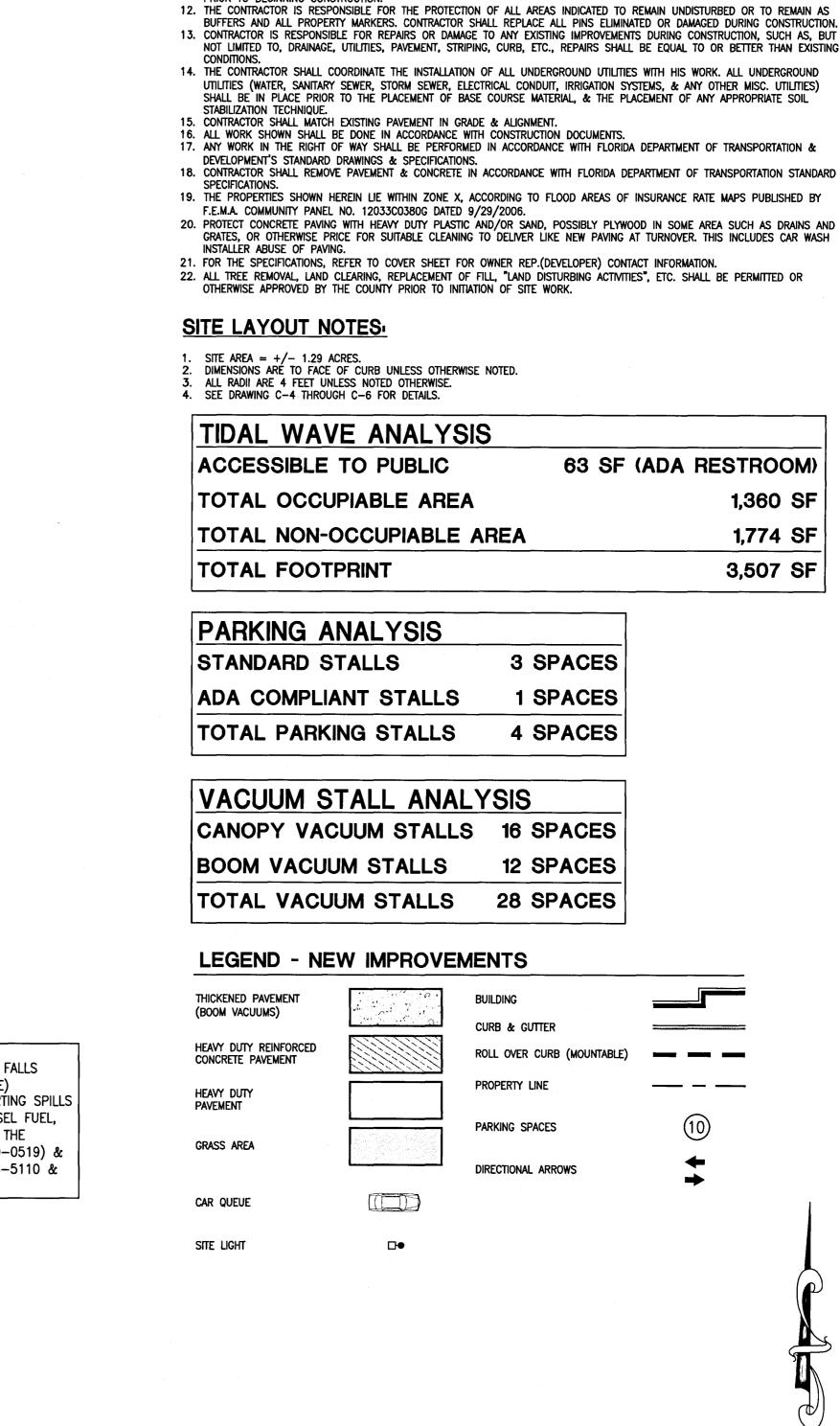
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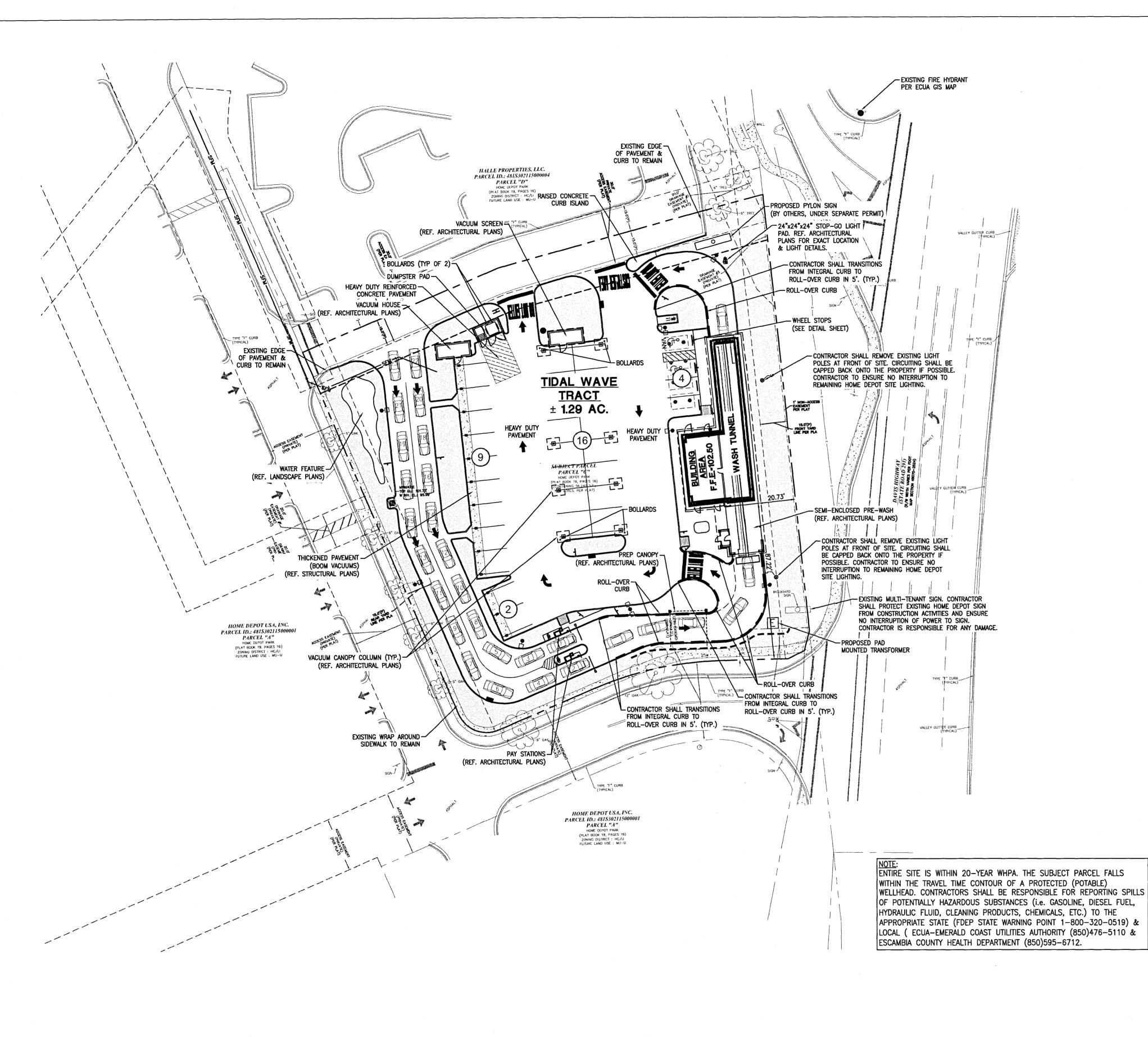
DUPLANTIS DESIGN GROUP

Project:

Project Number: 19-595









- 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING. CONTRACTOR SHALL CONTACT NIKOLAS MELANCON WITH DUPLANTIS DESIGN GROUP FOR NECESSARY CAD FILES •
- 2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10/27/2020 BY EBI SURVEYING.
- 4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF PYLON SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM
- AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS .

DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING

- 8. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO
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- 10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATION AND GEOTECHNICAL RECOMMENDATIONS.
- 11. ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION. 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS
- BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION. 13. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING
- 14. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE'IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- 15. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- 16. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. 17. ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION &
- DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS. 18. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD
- 19. THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE X, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 12033C0380G DATED 9/29/2006.
- 20. PROTECT CONCRETE PAVING WITH HEAVY DUTY PLASTIC AND/OR SAND, POSSIBLY PLYWOOD IN SOME AREA SUCH AS DRAINS AND GRATES, OR OTHERWISE PRICE FOR SUITABLE CLEANING TO DELIVER LIKE NEW PAVING AT TURNOVER. THIS INCLUDES CAR WASH INSTALLER ABUSE OF PAVING.
- 21. FOR THE SPECIFICATIONS, REFER TO COVER SHEET FOR OWNER REP. (DEVELOPER) CONTACT INFORMATION. 22. ALL TREE REMOVAL, LAND CLEARING, REPLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

SITE LAYOUT NOTES.

- SITE AREA = +/- 1.29 ACRES. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4 FEET UNLESS NOTED OTHERWISE. . SEE DRAWING C-4 THROUGH C-6 FOR DETAILS.

TOTAL PARKING STALLS

TIDAL WAVE A	NALYSIS		
ACCESSIBLE TO	PUBLIC	63 SF (ADA	RESTROOM
TOTAL OCCUPIAE	BLE AREA		1,360 S

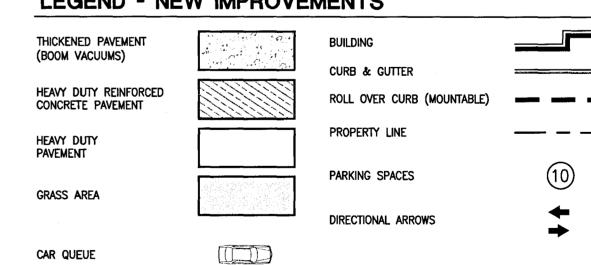
TOTAL NON-OCCUPIABLE AREA TOTAL FOOTPRINT

PARKING ANALYSIS STANDARD STALLS 3 SPACES ADA COMPLIANT STALLS 1 SPACES

4 SPACES

VACUUM STALL ANALYSIS CANOPY VACUUM STALLS 16 SPACES **BOOM VACUUM STALLS** 11 SPACES 27 SPACES TOTAL VACUUM STALLS

LEGEND - NEW IMPROVEMENTS



SITE LIGHT

SCALE IN FEET



Real Estate Acquisitions & Developme

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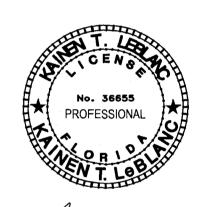


5307 N. Davis Hwy Pensacola, FL 32503

Designer's Information:



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1,774 SF

3.507 SF

K3 Blanc

4-21-2021

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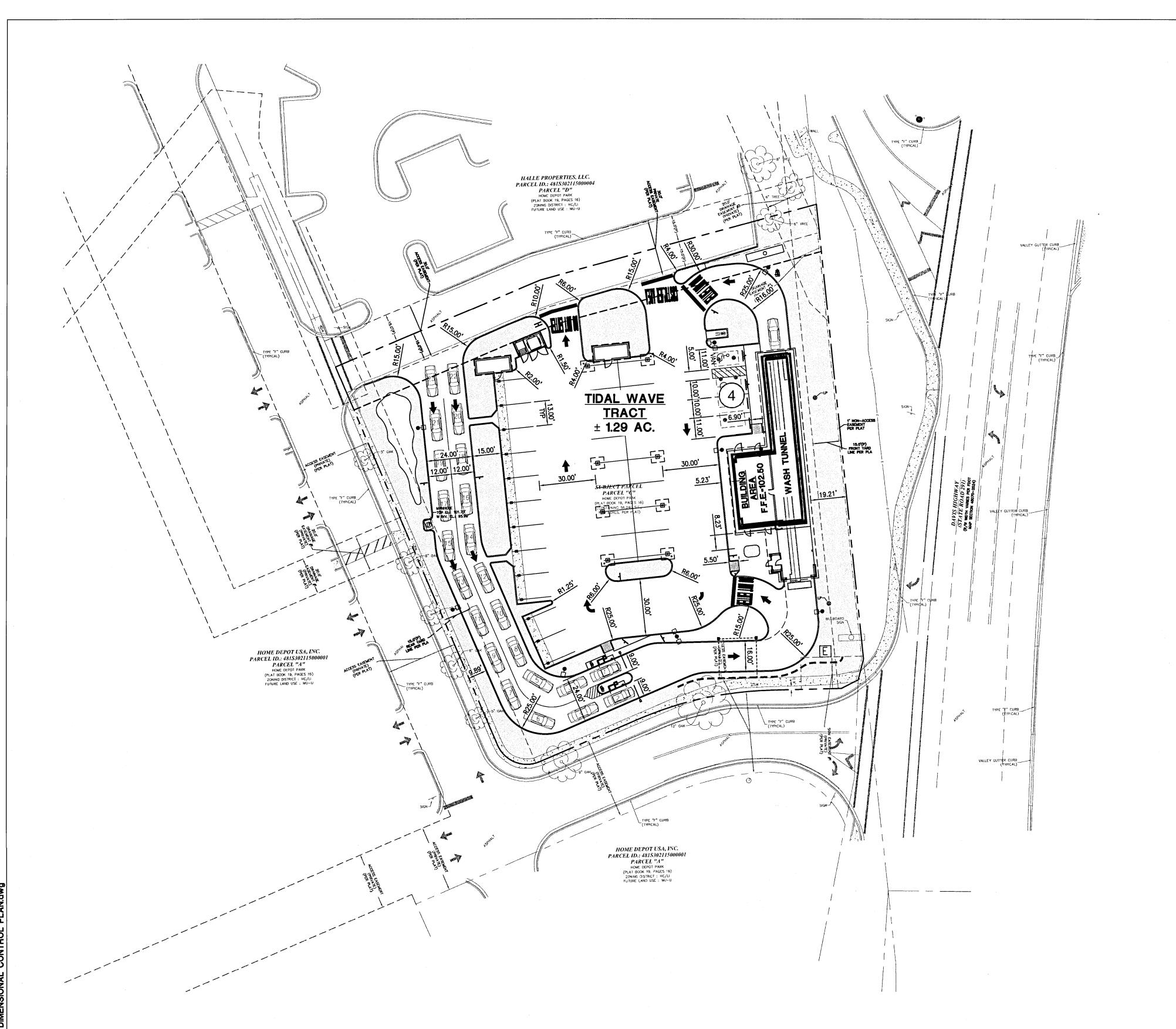
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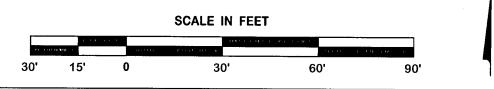
SITE PLAN

Project Number: 19-595











Project:



5307 N. Davis Hwy Pensacola, FL 32503

Designer's Information:



314 E. Bayou Road Thibodaux, LA 70301 Office: 985.447.0090 Fax: 985.447.7009 www.ddgpc.com

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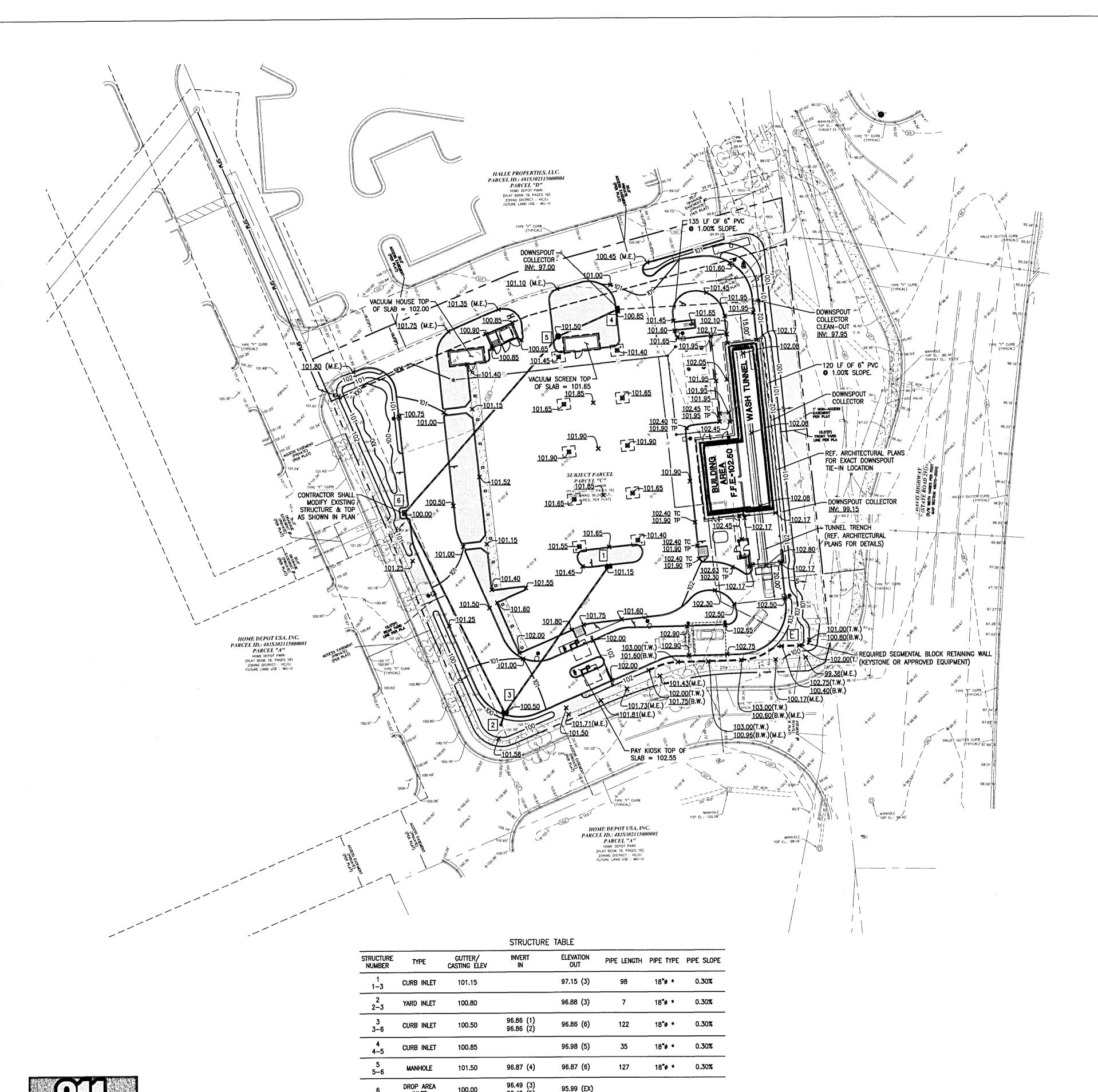
Sheet Title:

DIMENSIONAL CONTROL PLAN

Project Number: 19-595

Sheet Number:

C3.00



GRADING NOTES:

- 1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM THE TOPOGRAPHIC SURVEY INCLUDED AS PART OF THESE CONSTRUCTION DOCUMENTS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR & SUBMIT IT TO THE OWNER FOR REVIEW AND APPROVAL.
- EXISTING AND/OR PROPOSED GRADE CONTOURS ARE SHOWN AT ONE FOOT (1') INTERVALS.
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES & WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE REQUIRED IMPROVEMENTS SHOWN
- ON THE PLANS.

 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.

 5. CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION. PRIOR
- TO ORDERING STORM DRAIN STRUCTURES, THE CONTRACTOR SHALL VERIFY THE INVERT OF THE EXISTING STORM DRAIN SYSTEM AT THE TIE IN POINT(S) AND NOTIFY THE CIVIL ENGINEER OF ANY DEVIATION TO WHAT IS SHOWN ON THE PLANS.

 6. CLEARING & GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL
- UNDISTURBED AREAS, ALL PROPERTY CORNERS & REPLACING ALL PROPERTY CORNER MARKERS ELIMINATED OR DAMAGED DURING CONSTRUCTION.

 7. THE EARTHWORK FOR ALL PAVEMENT AREAS OUTSIDE OF THE BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

 8. THE EARTHWORK FOR THE BUILDING FOUNDATION AND UP TO 5' BEYOND SHALL BE IN ACCORDANCE WITH SITE SPECIFICATION & GEOTECHNICAL RECOMMENDATIONS.
- 9. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTEND WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

 10. SEE SHEET C-1 FOR GENERAL NOTES.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING VERTICAL CONTROL INCLUDING THE SETTING OF CONSTRUCTION BENCHMARKS.

 12. DUE TO CONTINUAL CHANGES TO FLOOD MAPS THE CONTRACTOR SHALL CONTACT THE PERMIT AUTHORITY PRIOR TO THE START OF CONSTRUCTION AND CONFIRM THE NEED (OR LACK OF) FOR AN ELEVATION CERTIFICATE AND SHALL NOTIFY THE OWNER AND CIVIL ENGINEER IF THE MINIMUM REQUIRED FINISH FLOOR ELEVATION OF THE
- BUILDING IS HIGHER THAN WHAT IS SHOWN ON THE PLANS.

 13. ADEQUATE DRAINAGE MEASURES MUST BE ESTABLISHED, MAINTAINED, AND TEMPORARILY ADJUSTED AS NEEDED THROUGHOUT CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES AND PREVENT ACCUMULATION OF SURFACE WATER. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SUBGRADE CONDITIONS AND PROTECTING THE CONDITION OF PREVIOUSLY PERFORMED EARTHWORK. CONTRACTOR IS TO PERFORM A WATER/FLOOD TEST TO ENSURE NO LOW SPOTS ARE PRESENT
- IN PARKING LOT AND SHALL CORRECT CONCRETE WORK AT NO ADDITIONAL COST OF THE OWNER.

 14. <u>DEWATERING:</u> GROUNDWATER LEVELS CAN FLUCTUATE DEPENDING ON TIME OF YEAR. THE CONTRACTOR SHALL INCLUDE PROVISIONS IN THEIR BASE BID FOR WATER CONTROL DURING CONSTRUCTION INCLUDING (BUT NOT LIMITED TO) DEEP EXCAVATIONS, DEMOLITION, PROOF ROLLING ACTIVITIES, FOUNDATION/FOOTING WORK,
- PLACEMENT OF FILL, AND INSTALLATION OF SUB-SURFACE IMPROVEMENTS.

 15. ALL TREE REMOVAL, LAND CLEARING, REPLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY
- 16. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED,
- SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER".

 17. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- 18. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- 19. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- 20. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH, HYDROSEED AND/OR SOD.
- 21. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

 22. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF
- RECORD PRIOR TO REQUESTING FINAL INSPECTION."

 23. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE
- INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

 24. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770."
- 25. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT "SIGN OFF FROM THE COUNTY.
 26. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY."

STORM DRAINAGE NOTES

PRIOR TO INITIATION OF SITE WORK.

- ALL PIPES ENTERING STORM SEWER STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- 2. ALL PIPES & STRUCTURES ON STREET RIGHT-OF-WAY SHALL BE PER FLORIDA DEPARTMENT OF
- TRANSPORTATION STANDARDS & SPECIFICATIONS.

 3. REFERENCE DETAIL SHEETS FOR CONSTRUCTION DETAILS.

LEGEND - NEW IMPROVEMENTS

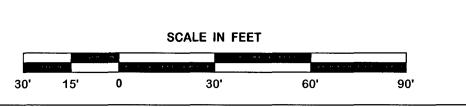
SUBSURFACE DRAINAGE	
BLOCK RETAINING WALL	
MANHOLE	•
AREA INLET	
CURB INLET	
CONTOUR	12
SPOT ELEVATION (ALL SPOT SHOTS REPRESENT TOP OF PAVEMENT UNLESS OTHERWISE NOTED)	× <u>12.00</u>
SPOT ELEVATION (TOP OF WALL)	× 12.00 T.W.
SPOT ELEVATION (BOTTOM OF WALL)	× <u>12.00 B.W.</u>
SPOT ELEVATION (TOP OF PAVEMENT)	× <u>12.00 T.P.</u>
SPOT ELEVATION (TOP OF CURB)	12.00 T.C.
SPOT ELEVATION (MATCH EXISTING)	× 12.00 M.E.
SPOT ELEVATION (TOP OF SIDEWALK)	× <u>12.00 T.S.</u>
STRUCTURE NUMBER	1

NOTE:
ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS
WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE)
WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS
OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL,
HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE
APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) &
LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 &
ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

STORMWATER CERTIFICATION STATEMENT

I CERTIFY THAT THE TIDAL WAVE CARWASH STORM DRAINAGE SYSTEM WAS DESIGNED TO THE PARAMETERS SET FORTH IN THE HOME DEPOT STORMWATER MANAGEMENT PLAN PREPARED BY S.E. CIVIL & DATED MAY 9, 2006. THE SITE WILL DISCHARGE INTO THE GRISTING 18" PIPE STUBBED ONTO THE PROPERTY & TO THE REGIONAL DETENTION POND TO THE NORTH OF DISCOUNT TREE.

KAINEN T. LEBLANC, P.E.





OLSON LAND PARTNERS, LLO

4300 Legendary Drive, Suite 234 Destin, Florida 32541 T: 850.650.4353 F: 850.650.3881

Real Estate Acquisitions & Development

Orojoot:



5307 N. Davis Hwy Pensacola, FL 32503

Designer's Information:



314 E. Bayou Road Thibodaux, LA 70301 Office: 985.447.0090 Fax: 985.447.7009

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4-21-2021

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Sheet Reviisons

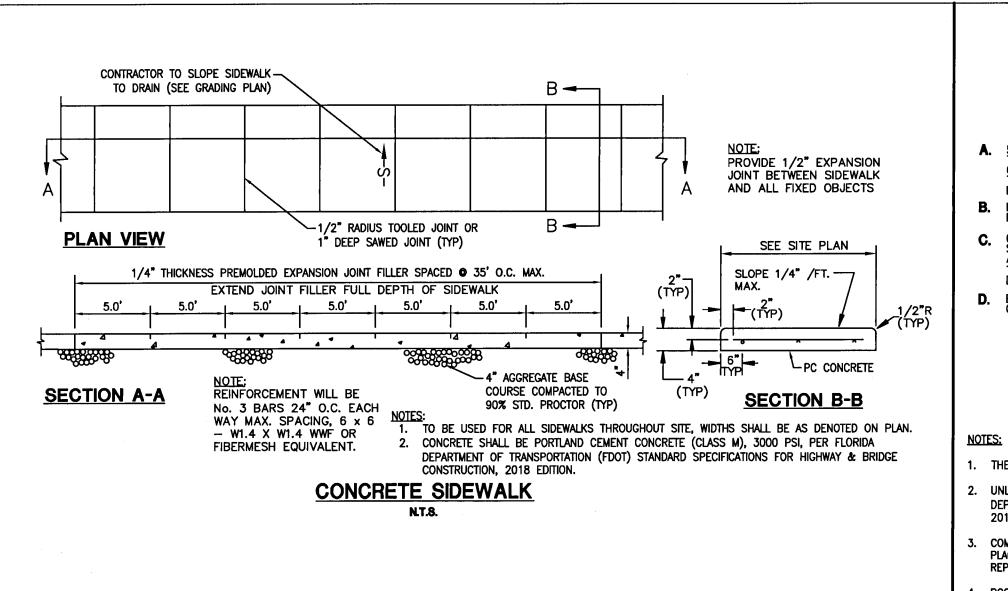
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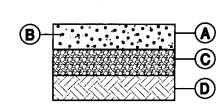
Sheet Title:
SURFACE GRADING &
STORMWATER DRAINAGE
PLAN

Project Number: 19-595

Sheet Number:

C4.00





- TO 100% OF IT'S MAXIMUM DEY DENSITY AS DETERMINED BY ASTM D-1557.
- EXISTING PROOFROLLED STABLE SUBGRADE PER GEO-REPORT

TYPE B. (No, 4 BARS AT 12" INTEGRALS EACH

5. 5. 5. 5. 5.

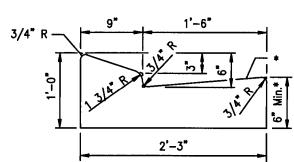
- D. 6" AGGREGATED BASE. AGGREGATE BASE COURSE SHALL BE CONSISTENT WITH FDOT STANDARDS. AGGREGATE BASE COURSE SHALL BE COMPACTED TO 100% OF IT'S MAXIMUM DEY DENSITY AS DETERMINED BY ASTM D-1557.
- E. EXISTING PROOFROLLED STABLE SUBGRADE PER GEO-REPORT

HEAVY DUTY CONCRETE PAVEMENT N.T.S.

HEAVY DUTY REINFORCED **CONCRETE PAVEMENT** N.T.S.

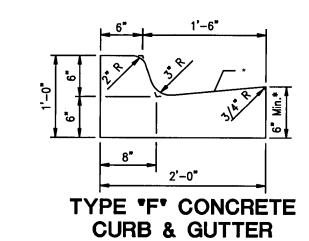
1. THE PCC SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS

- 2. UNLESS NOTED OTHERWISE, ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR HIGHWAY & BRIDGE CONSTRUCTION, 2018 EDITION.
- COMPACTED SELECT FILL SHALL BE PLACED TO BRING THE SUBGRADE UP TO ELEVATION WHERE REQUIRED. PRIOR TO PLACING THE SELECT FILL IN ANY AREA, THE SUBGRADE SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE, OR A 3RD PARTY TESTING AGENCY TO DETERMINE THE SUITABILITY OF THE SUBGRADE.
- PCC PAVEMENT DETAILS FOR JOINT SPACING, JOINT REINFORCEMENT, & JOINT SEALING SHALL BE PREPARED IN ACCORDANCE WITH ACI 330 & ACI 335. PCC PAVEMENT SHALL BE PROVIDED WITH MECHANICALLY REINFORCED JOINTS (DOWELED OR KEYED) IN ACCORDANCE WITH ACI 300.

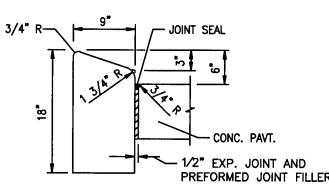


TYPE 'E' CONCRETE **CURB & GUTTER**

** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS, SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



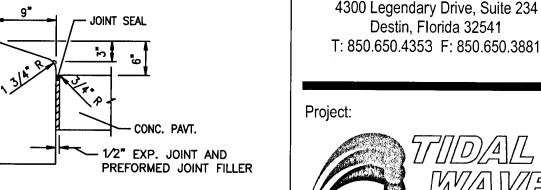
N.T.S. ** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS. SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



TYPE 'B' **CURB DETAIL**

NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY, SEE SHEET 2.

** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS, SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



Pensacola, FL 32503

5307 N. Davis Hwy

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PARTNERS, LLC

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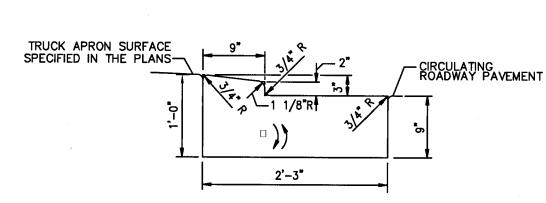


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1/2" EXP. JOINT AND PREFORMED JOINT FILLER TYPE 'D' **CURB DETAIL**

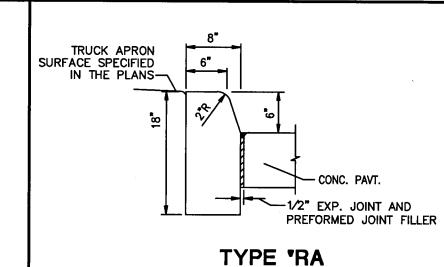
NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT. CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY, SEE SHEET 2.

** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS, SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



TYPE 'RA' CONCRETE **CURB & GUTTER**

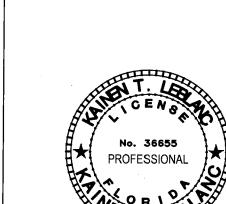
** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS, SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



CURB DETAIL

NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY, SEE SHEET 2.

** SEE CONCRETE PAVING DETAIL FOR PAVEMENT SECTIONS. SUB-BASE, SUBGRADE & COMPACTION REQUIREMENETS



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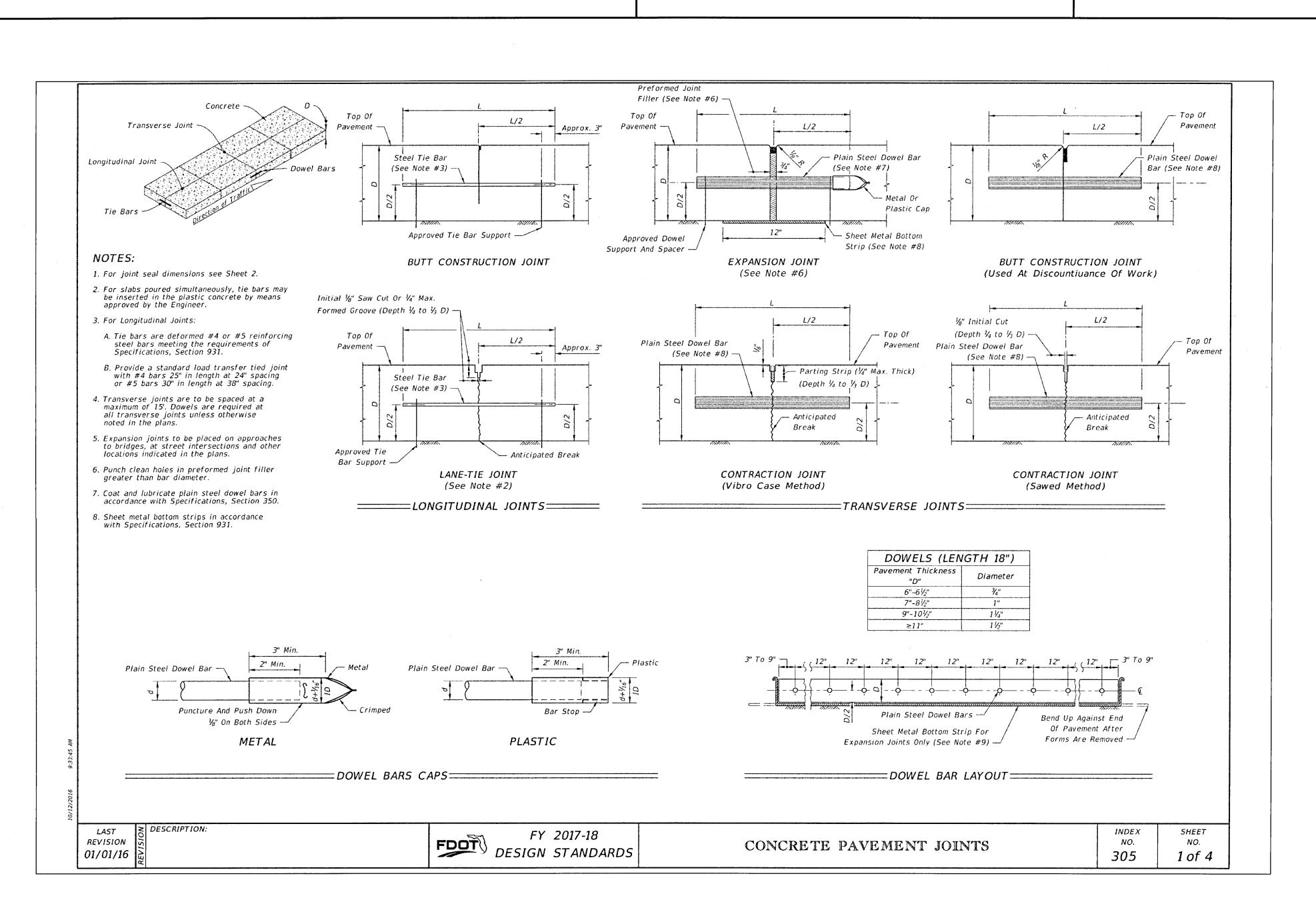
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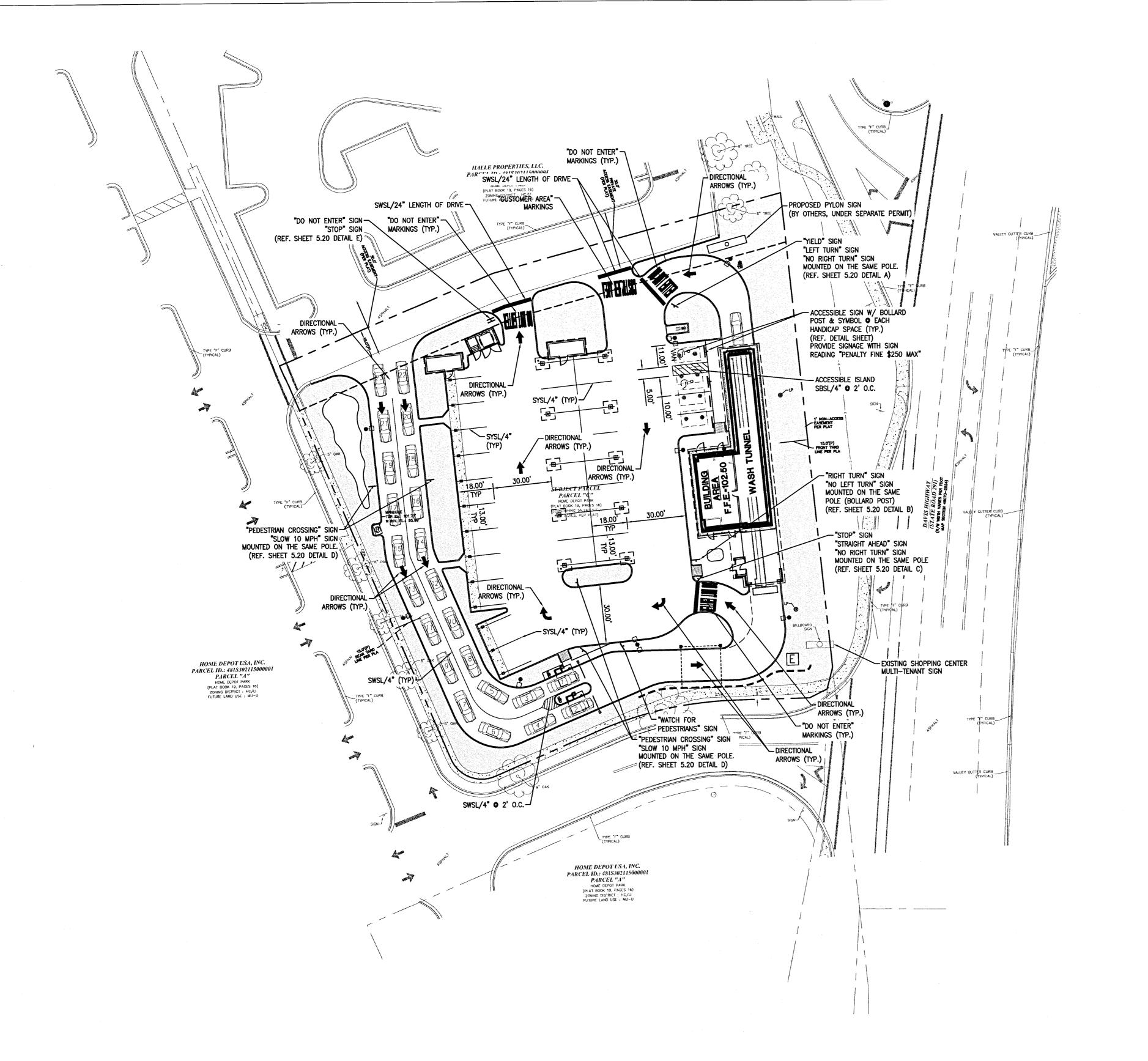
> **STATUS** 04/21/21

Sheet Reviisons Date Description

Sheet Title: **CONCRETE DETAILS**

Project Number: 19-595





SITE LAYOUT NOTES

- . SITE AREA = +/- 1.29 ACRES.
 2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ALL RADII ARE A FEET UNLESS NOTED OTHERWISE.
- 4. SEE DRAWING C5.10 THROUGH CC5.20 FOR DETAILS.

TIDAL WAVE ANALYSIS

ACCESSIBLE TO PUBLIC

63 SF (ADA RESTROOM)

TOTAL OCCUPIABLE AREA

1,360 SF

1,774 SF

TOTAL NON-OCCUPIABLE AREA TOTAL FOOTPRINT

3,507 SF

PARKING ANALYSIS

STANDARD STALLS

3 SPACES

ADA COMPLIANT STALLS TOTAL PARKING STALLS

4 SPACES

12 SPACES

1 SPACES

VACUUM STALL ANALYSIS

CANOPY VACUUM STALLS 16 SPACES

BOOM VACUUM STALLS

28 SPACES TOTAL VACUUM STALLS

LEGEND - NEW IMPROVEMENTS

BUILDING CURB & GUTTER ROLL OVER CURB (MOUNTABLE) PARKING SPACES DIRECTIONAL ARROWS

GRASS AREA

LEGEND - STRIPING

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE

SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE

SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE SWSL/8" - SINGLE WHITE SOLID LINE / 8" WIDE

NOTES:

1. ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION. COMPLETE STRIPING AFTER CAR WASH EQUIPMENT INSTALL IS COMPLETE; REFER TO A0.04 FOR STRIPING PAINT SPECIFICATIONS. REFER TO PAINT MANUFACTURER RECOMMENDATIONS FOR INSTALLATION.

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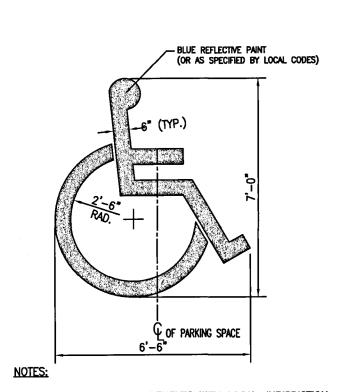
Sheet Title: **STRIPING & SIGNAGE PLAN**

Project Number: 19-595

Sheet Number:

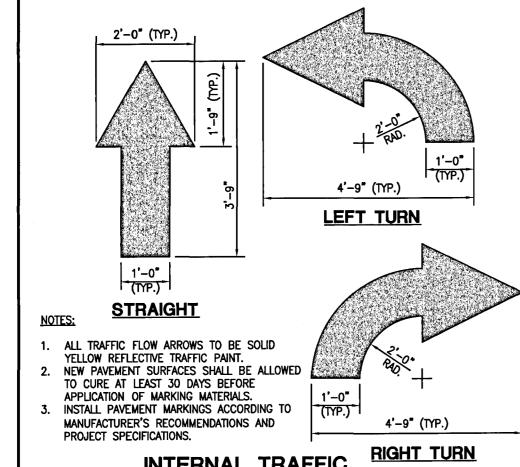


SCALE IN FEET

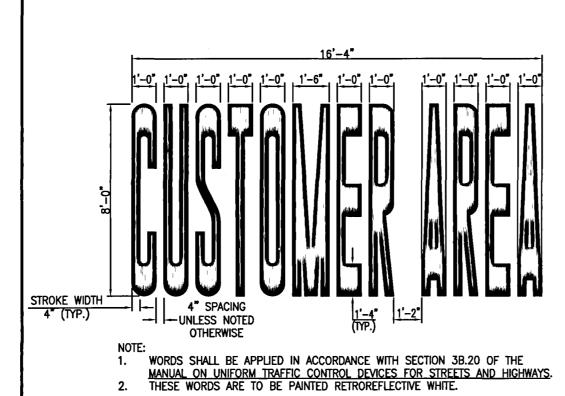


 VERIFY SYMBOL REQUIREMENTS WITH LOCAL JURISDICTION.
 ADD "VAN" LETTERING WHERE INDICATED ON SITE PLAN. 3. LOCATE SYMBOL AT THE EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING.

ACCESSIBLE PARKING SYMBOL DETAIL

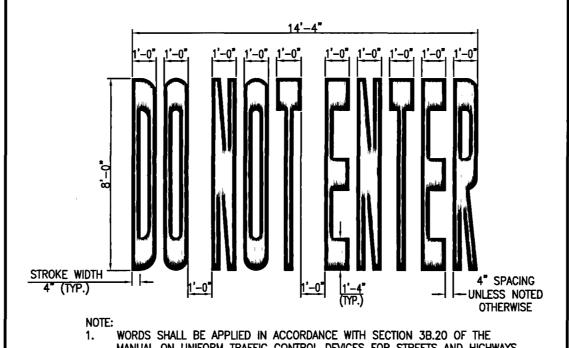


INTERNAL TRAFFIC FLOW ARROW DETAIL



***CUSTOMER AREA* PAVEMENT MARKING**

AS INDICATED ON PLAN



 WORDS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 3B.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 THESE WORDS ARE TO BE PAINTED RETROREFLECTIVE WHITE. **'DO NOT ENTER' PAVEMENT MARKING**

AS INDICATED ON PLAN

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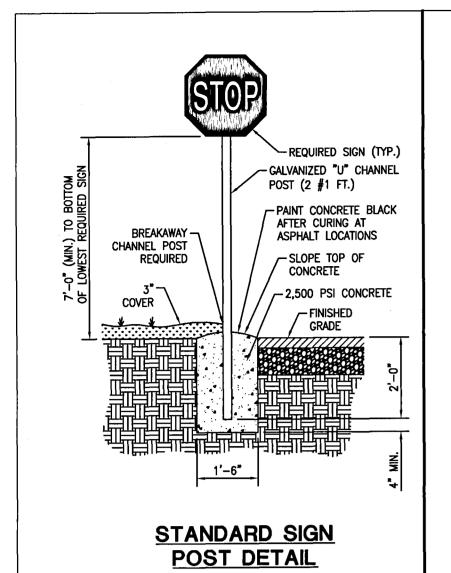
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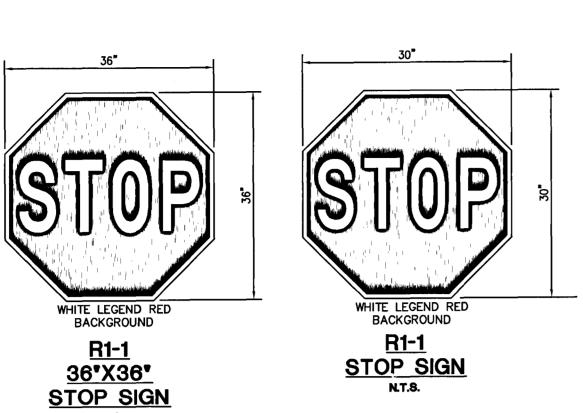
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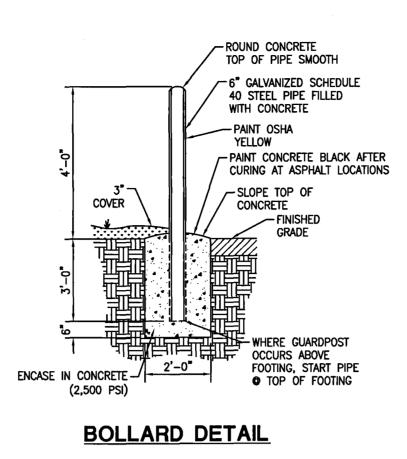
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STRIPING DETAILS

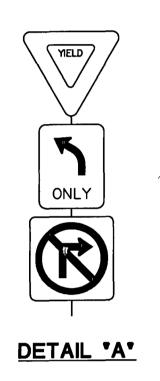
Project Number: 19-595

Sheet Number: C5.10



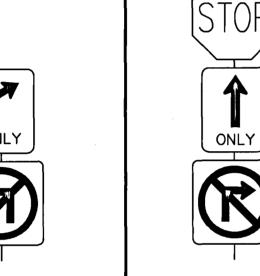




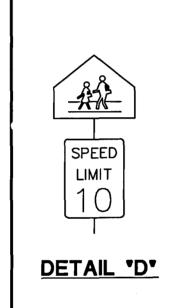


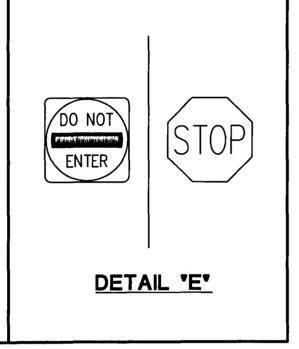


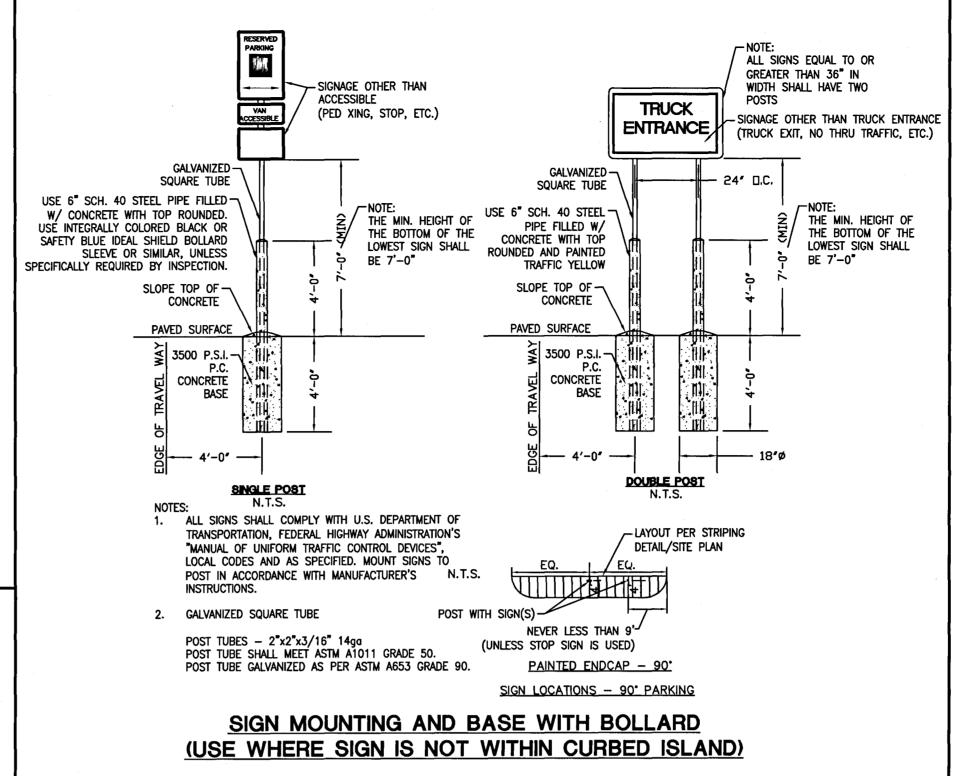
DETAIL 'B'



DETAIL 'C'









Project:



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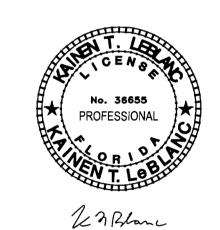
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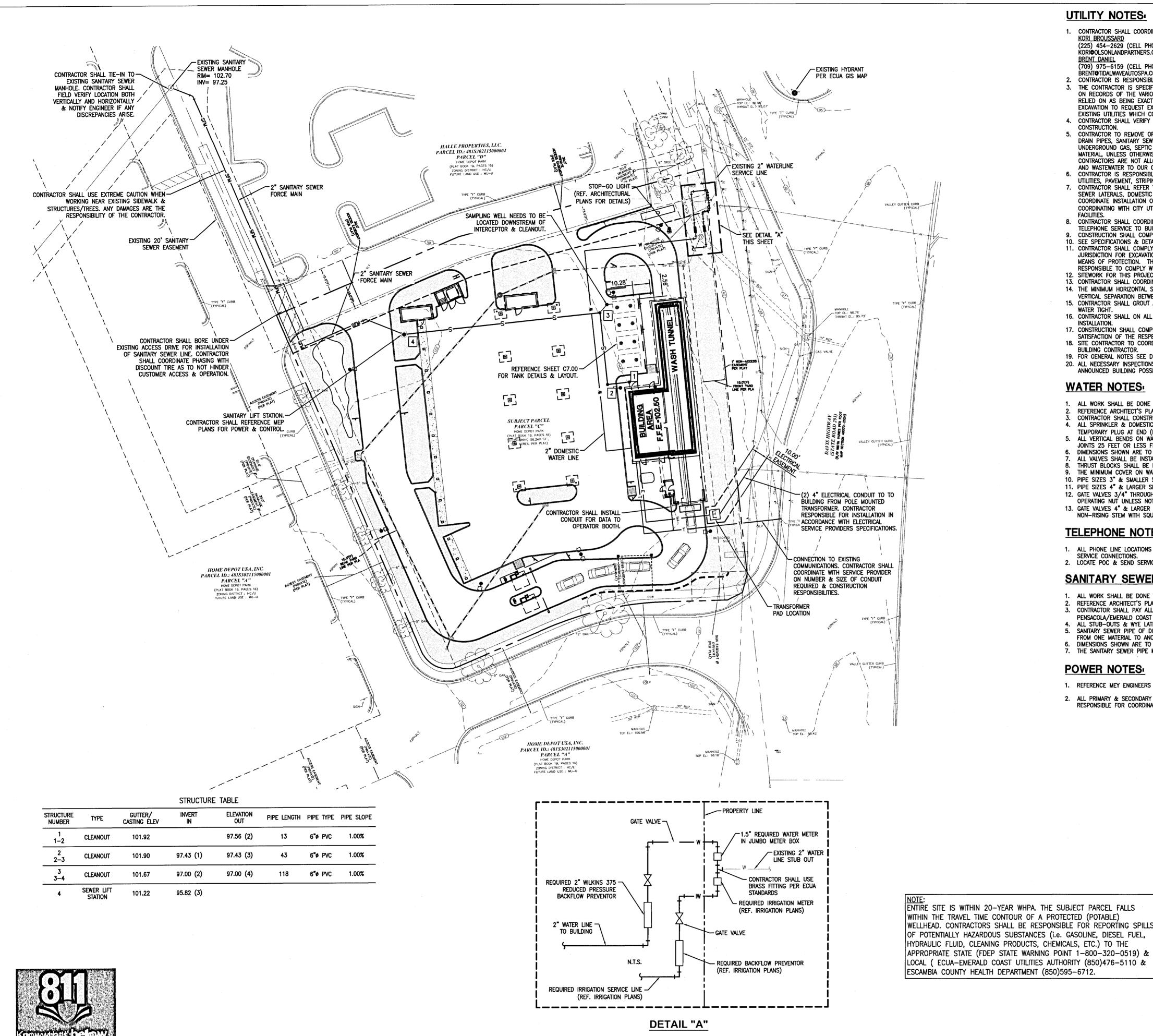
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Sheet Title:
TRAFFIC SIGNAGE
DEATILS

Project Number: 19-595

heet Number:

C5.20



UTILITY NOTES:

- 1. CONTRACTOR SHALL COORDINATE UTILITIES WITH OWNER-OPERATOR REPS:
- KORI BROUSSARD (225) 454-2629 (CELL PHONE) KORIGOLSONLANDPARTNERS.COM
- <u>Brent_daniel</u> (709) 975-6159 (CELL PHONE) BRENTOTIDALWAVEAUTOSPA.COM
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES &, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY
- EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, & CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPE, POWER POLES & GUY WIRES, WATER METERS & WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, & ASPHALT, SHOWN & NOT SHOWN, WITHIN CONSTRUCTION LIMITS & WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION. IN COORDINATION WITH EMERALD COAST UTILITIES CONTRACTORS ARE NOT ALLOWED TO OPERAGE VALVES OR REMOVE ANY EMERALD COAST OWNED EQUIPMENT SERVING POWER, CABLE, GAS, WATER AND WASTEWATER TO OUR CUSTOMERS.

EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL

CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS & SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING

- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS & SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC & FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, CABLE T.V., & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS
- 8. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER & TELEPHONE SERVICE TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & BE CONSTRUCTED TO SAME.
- 10. SEE SPECIFICATIONS & DETAIL SHEETS FOR BACKFILLING & COMPACTION REQUIREMENTS ON UTILITY TRENCHES. 11. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS
- RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA. 12. SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT ISSUED STANDARD SITEWORK SPECIFICATIONS.
- 13. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH & PREVENT ANY CONFLICT OF UTILITIES. 14. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS TEN (10) FEET, OR MINIMUM
- VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS EIGHTEEN (18) INCHES.
- 15. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS 16. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT
- 17. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE
- SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES & OWNERS INSPECTING AUTHORITIES. 18. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES &
- BUILDING CONTRACTOR. 19. FOR GENERAL NOTES SEE DRAWING C1.00.
- 20. ALL NECESSARY INSPECTIONS &/OR CERTIFICATIONS REQUIRED BY CODES &/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION & THE FINAL CONNECTION OF SERVICES.

WATER NOTES:

- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING FIRE SERVICE & DOMESTIC SERVICE CONNECTION LOCATIONS.
- CONTRACTOR SHALL CONSTRUCT WATER SERVICES AS SHOWN, & CONSTRUCT METERS, PITS, & INSTALL CHECK VALVE. 4. ALL SPRINKLER & DOMESTIC LEADS TO BUILDING SHALL END AT THE FACE OF BUILDING WALL, UNLESS NOTED, & SHALL BE PROVIDED WITH A
- TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE & EXTEND AS NECESSARY), ALL VERTICAL BENDS ON WATER MAIN SHALL BE RESTRAINED WITH A MECHANICAL JOINT FITTING SUPPLIED WITH THE RETAINER GLANDS. ANY
- JOINTS 25 FEET OR LESS FROM EITHER SIDE OF VERTICAL BEND SHALL BE RESTRAINED WITH A RETAINER GLAND. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING. ALL VALVES SHALL BE INSTALLED IN A CAST IRON VALVE BOX WITH COVER.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, & FIRE HYDRANTS. SEE DETAIL. THE MINIMUM COVER ON WATER MAINS SHALL BE 3 FEET.
- 10. PIPE SIZES 3" & SMALLER SHALL BE PVC, RATED AT 200 PSI, SDR 21.
- 11. PIPE SIZES 4" & LARGER SHALL BE DUCTILE IRON, MECHANICAL JOINT FITTING.
- 12. GATE VALVES 3/4" THROUGH 3" SHALL BE BRONZE WEDGE TYPE GATE VALVE. VALVES SHALL HAVE NON-RISING STEM WITH SOLID TEE HEAD OPERATING NUT UNLESS NOTED OTHERWISE
- 13. GATE VALVES 4" & LARGER SHALL BE CAST IRON GATE VALVE WITH PARALLEL DOUBLE DISC. VALVES SHALL HAVE MECHANICAL JOINT ENDS & NON-RISING STEM WITH SQUARE OPERATING NUT.

TELEPHONE NOTES:

1. ALL PHONE LINE LOCATIONS ARE APPROXIMATE & SHOWN FOR COORDINATION PURPOSES ONLY. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS. 2. LOCATE POC & SEND SERVICE CONDUIT IN THAT DIRECTION.

SANITARY SEWER NOTES:

- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS. CONTRACTOR SHALL PAY ALL FEES & CHARGES PERTINENT TO SANITARY SEWER CONSTRUCTION & SHALL COORDINATE WITH CITY OF
- PENSACOLA/EMERALD COAST UTILITY AUTHORITY PRIOR TO COMMENCING WITH CONSTRUCTION. 4. ALL STUB-OUTS & WYE LATERALS SHALL BE PLUGGED WITH A STANDARD TYPE PLUG.
- SANITARY SEWER PIPE OF DIFFERENT MATERIAL SHALL BE JOINED BY A RUBBER SLEEVE WITH STAINLESS STEEL COUPLING, MADE FOR TRANSITIONS FROM ONE MATERIAL TO ANOTHER.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE. 7. THE SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SDR 26, SEWER PIPE UNLESS OTHERWISE NOTED ON PLAN.

POWER NOTES

- 1. REFERENCE MEY ENGINEERS PROVIDED ELECTRICAL SITE PLAN; REFERENCE E0.01 PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- 2. ALL PRIMARY & SECONDARY SERVICE LOCATIONS ARE APPROXIMATE & ARE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POWER COMPANY, TO DETERMINE EXACT LOCATION & RESPONSIBILITIES INCLUDING COST.

SEWER MANHOLE & STRUCTURE #

WATERLINE DOMESTIC WATERLINE IRRIGATION WATERLINE FIRE WATERLINE SANITARY SEWERLINE GAS LINE OVERHEAD TELEPHONE & ELECTRIC SEWER FORCE MAIN UNDERGROUND TELEPHONE UNDERGROUND ELECTRIC STORM DRAIN SYSTEM FIRE HYDRANT POWER POLE

LEGEND - NEW IMPROVEMENTS

SCALE IN FEET



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Project:



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Not For Construction



23 Blanc

4-21-2021

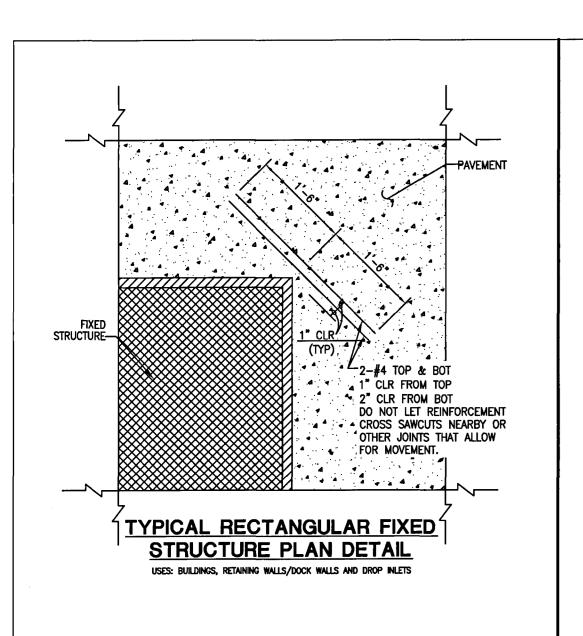
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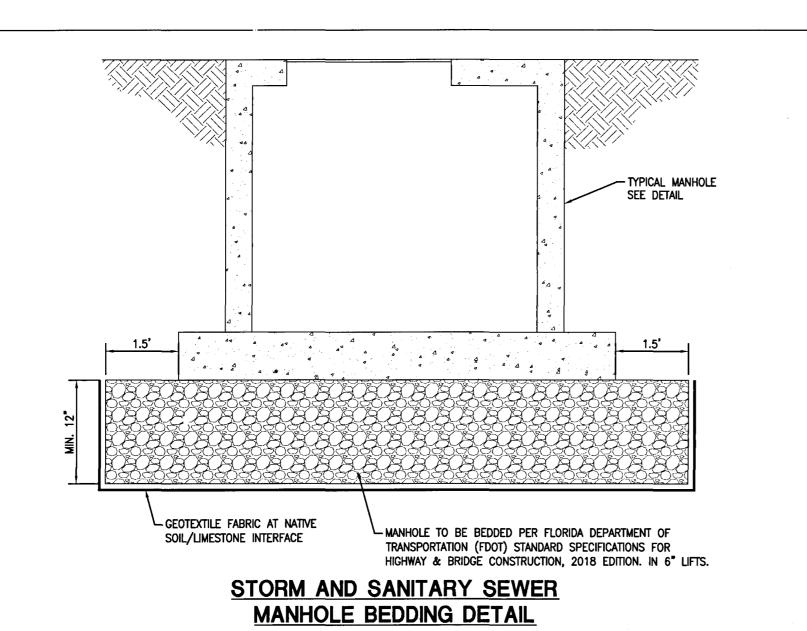
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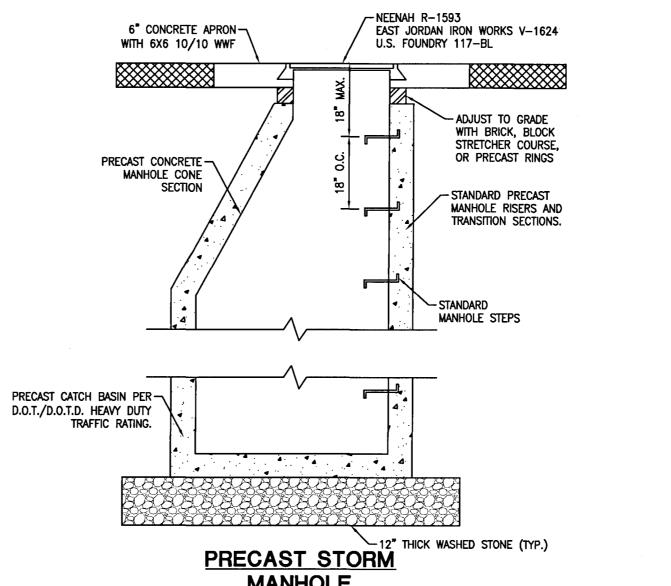
Sheet Reviisons Date Description

Sheet Title: **UTILITY PLAN**

Project Number: 19-595



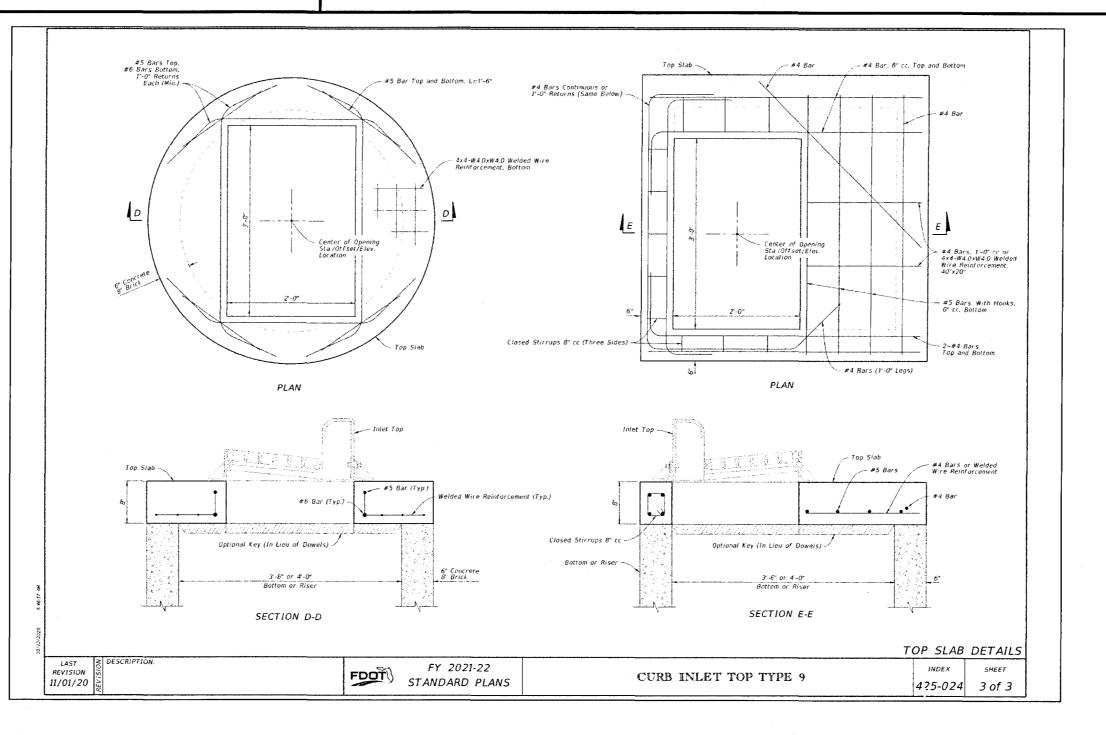


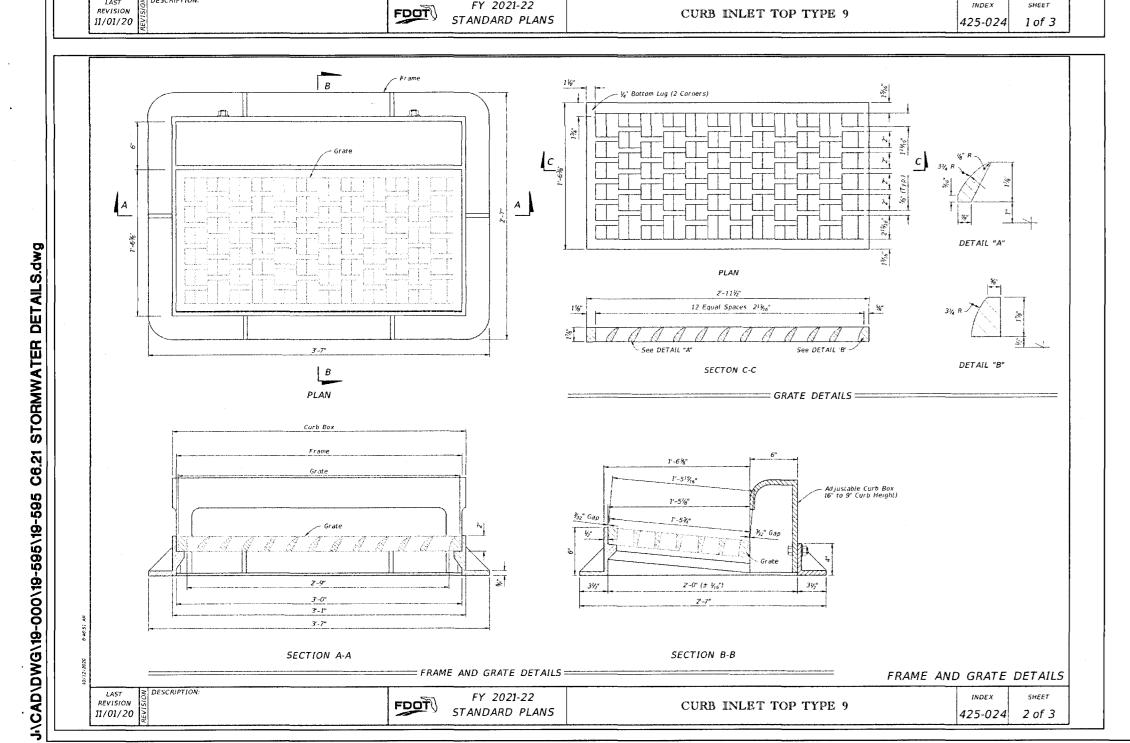


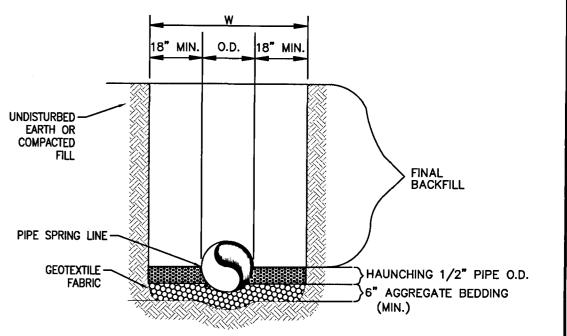
MANHOLE

N.T.S.

GENERAL NOTES: 1. Work this Index with Index 425-001 and Index 425-010. 2. Orient grate with vanes directed toward predominant flow. 3. Provide 11/4" minimum cover for steel in slab tops unless otherwise shown. Tops may be either cast-in-place or precast concrete. Place top slab openings such that 2 edges of inlet frame will be located directly above bottom wall or riser wall for Alternate B applications. 5. When used on a structure with dimensions larger than those detailed on Sheet 3 and risers are not applied, construct the top slab using Index 425-010 with the slab opening adjusted to 24"x36". The "Special Top Slab" on Index 425-010 is not permitted. 6. Frame may be adjusted with one to six courses of brick. Vaned grates with approximately equal openings that satisfy AASHTO HL-93 loading are permitted. Provide reversible (right or left) grates. TABLE OF CONTENTS: General Notes and Content Frame and Grate Details
Top Slab Details CURB INLET TOP TYPE 9 FY 2021-22 INDEX SHEET







GENERAL NOTES

- 1. BEDDING SHALL BE #57 STONE OR RECYCLED CONCRETE CONFORMING TO FLORIDA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES,
- 2018 EDITION. COMPACTED 90% MAXIMUM DRY DENSITY (ASTM D698).
- 2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE SAME MATERIAL AS BEDDING.

 3. IF UTILITY TRENCHES ARE BACKFILLED WITH RELATIVELY CLEAN GRANULAR MATERIALS, THEY SHALL BE CAPPED WITH AT LEAST 18" OF COHESIVE FILL IN NON-PAVEMENT AREAS TO REDUCE THE INFILTRATION & CONVEYANCE OF SURFACE WATER THROUGH THE
- TRENCH BACKFILL. 4. FINAL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR. (ASTM D698).
- 5. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
 6. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED,
- BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA
- REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS) GEOTEXTILE FABRIC SHALL BE MIRAFI 600 OR APPROVED EQUAL. 8. GEOTEXTILE FABRIC SHALL BE PLACED AT THE INTERFACE OF THE BEDDING MATERIAL AND NATURAL SUBGRADE AS WELL AS AROUND THE PIPE AT EACH JOINT.

STORM SEWER TRENCH AND BEDDING

N.T.8.



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314 E. Bayou Road



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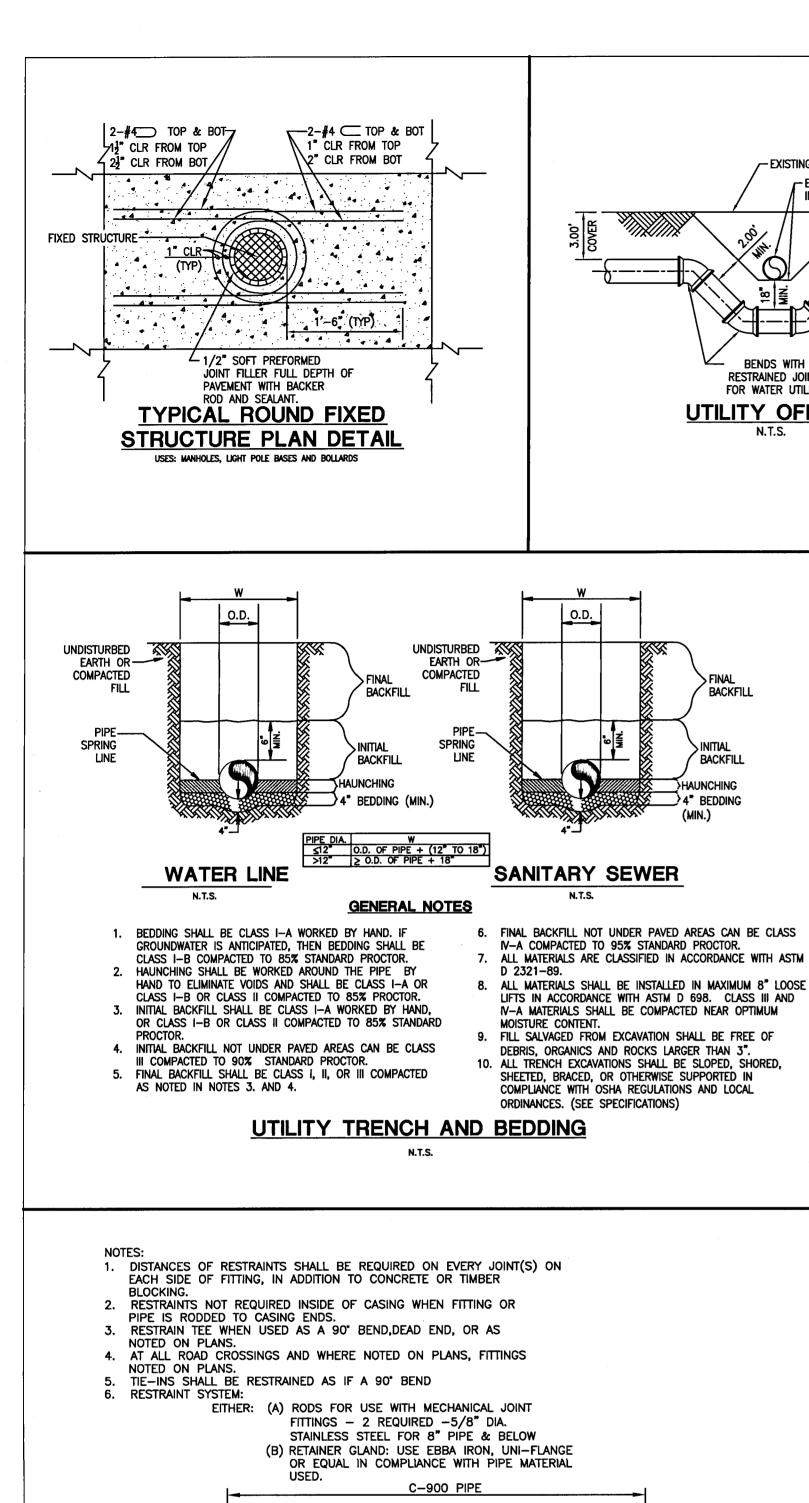
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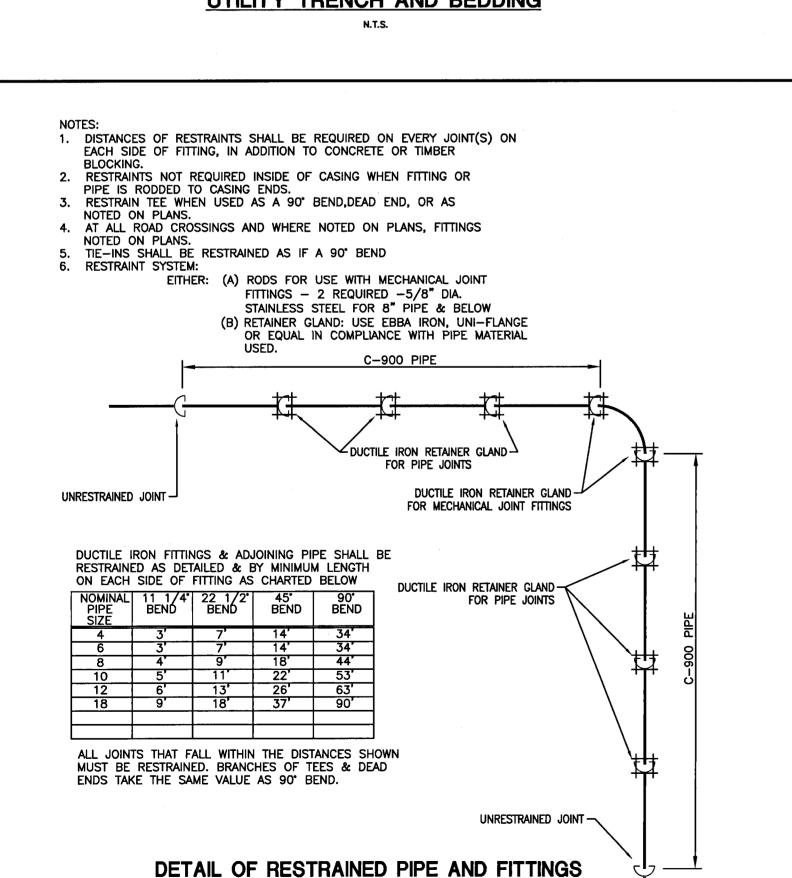
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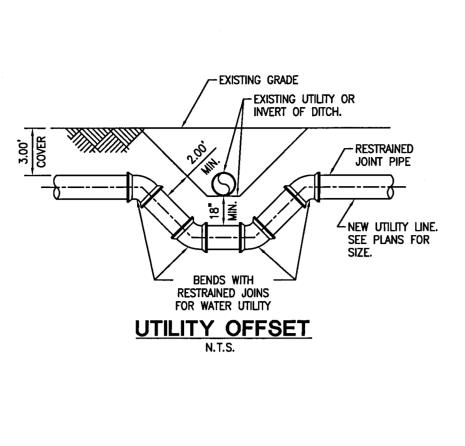
Sheet Title: **STORMWATER DETAILS**

Project Number: 19-595





N.T.S.



BACKFILL

>HAUNCHING

___>4" BEDDING

NOTE: TOP OF MANHOLE TO BE LEVEL WITH FINISH GRADE UNLESS

OTHERWISE NOTED OR DIRECTED

CONCRETE

4'-0"

SANITARY SEWER DROP MANHOLE

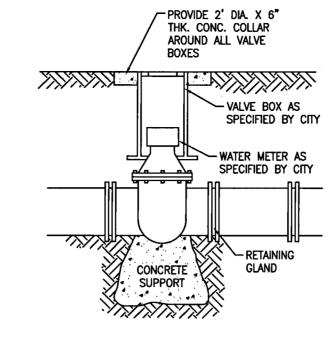
INVERT POURED SEC. A-A

MONOLITHICALLY. BASE MUST

SUPPORT PIPE TO FIRST JOINT.

SECTIONS

BY THE ENGINEER.



- GROOVE IN CONCRETE BASE BOTTOM OF

AS LARGE A CURVE AS POSSIBLE)

PIPE AS SPECIFIED ON

GROOVE TO MATCH PIPE INVERTS (PROVIDE

GROUT FRAME TO MANHOLE --- CAST IRON MANHOLE RING &

- GASKET BETWEEN ALL SECTIONS PAINT

EXTERIOR OF MANHOLE WITHIN 5" OF

CONNECTION MUST BE

OF THE MANHOLE.

-#610 STONE ENCASEMENT

STANDARD TEE FITTING

RUBBER GASKET PER MANUFACTURER'S

SPECS IN NON-SHRINKING GROUT

SHALL EXTEND 4" BEYOND

THE BELL OF THE TEE FITTING.

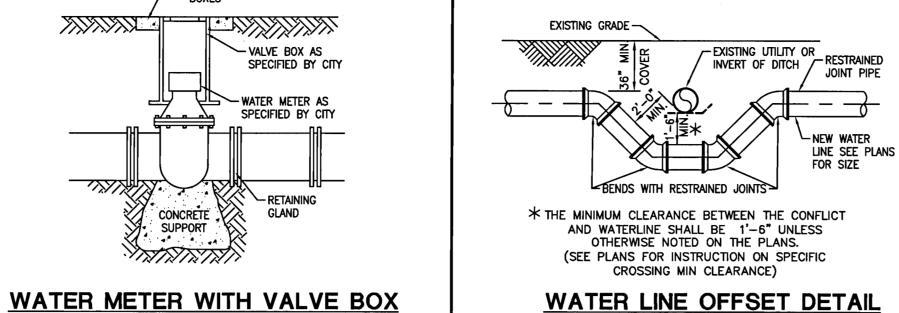
INLET PIPE (SEE UTILITY

MADE ON THE OUTSIDE

JOINT WITH MASTIC WATERPROOFING.

COVER, SEE SPECIFICATIONS.

GRADE RINGS AS REQUIRED - PRECAST CONCRETE CONE SECTION



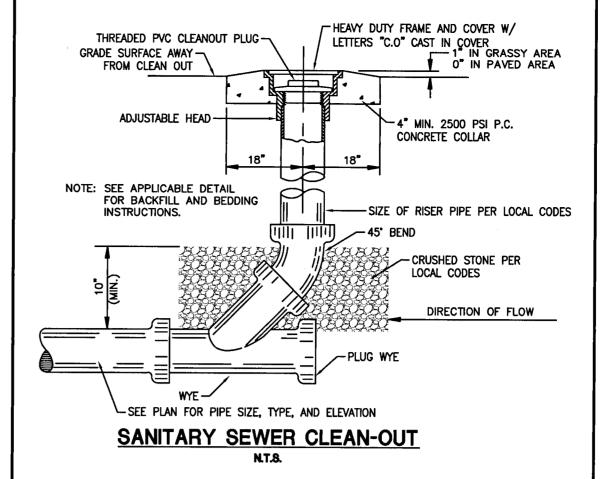
NOTE: TOP OF MANHOLE TO BE

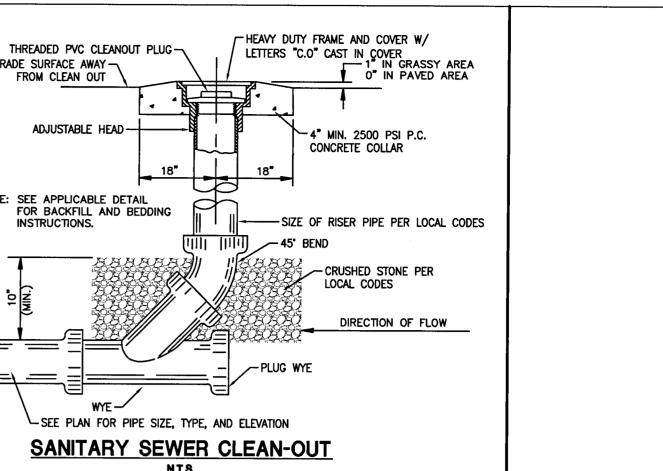
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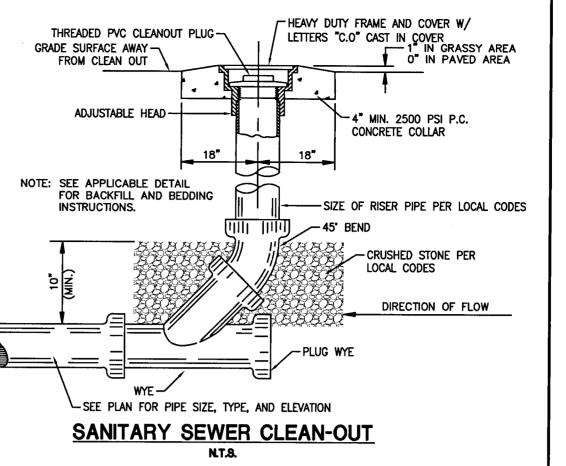
BY THE ENGINEER.

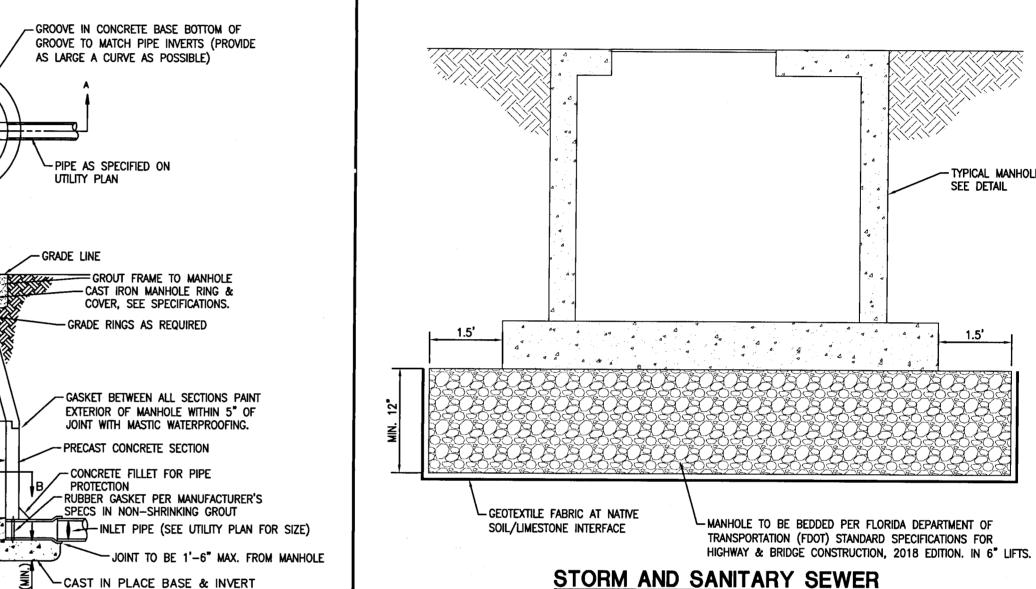
LEVEL WITH FINISH GRADE UNLESS

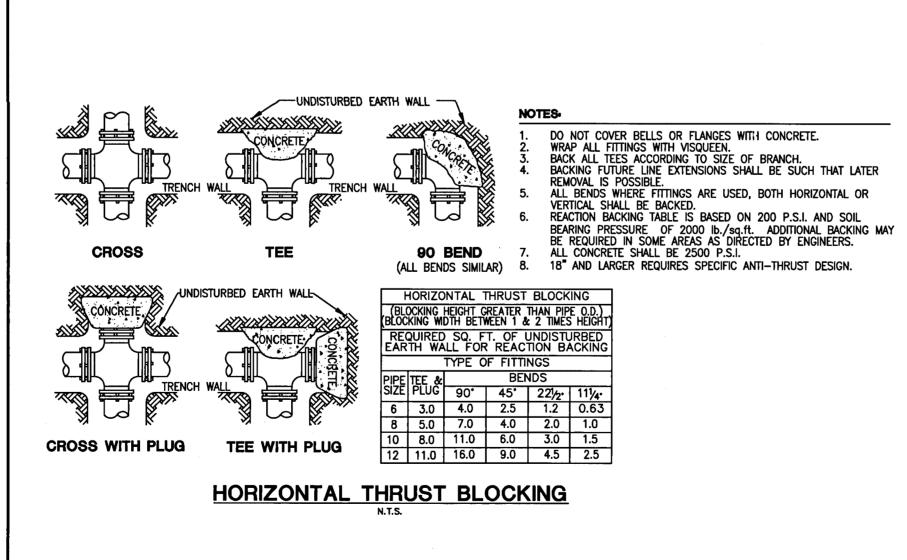
4'-0"

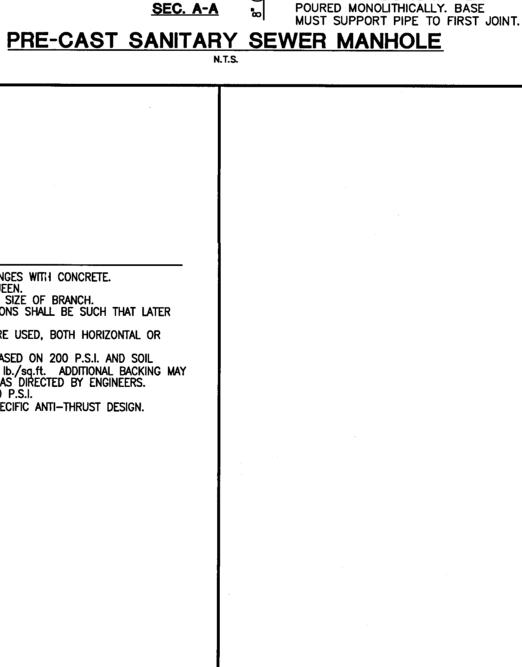


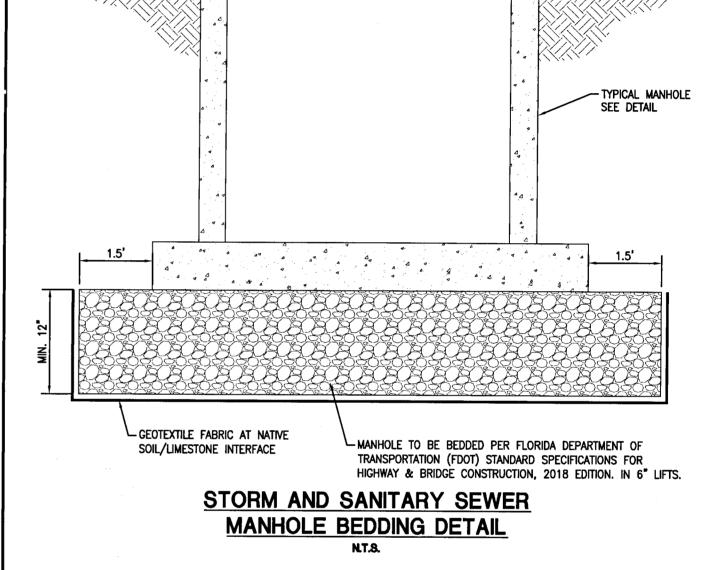














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SEAL



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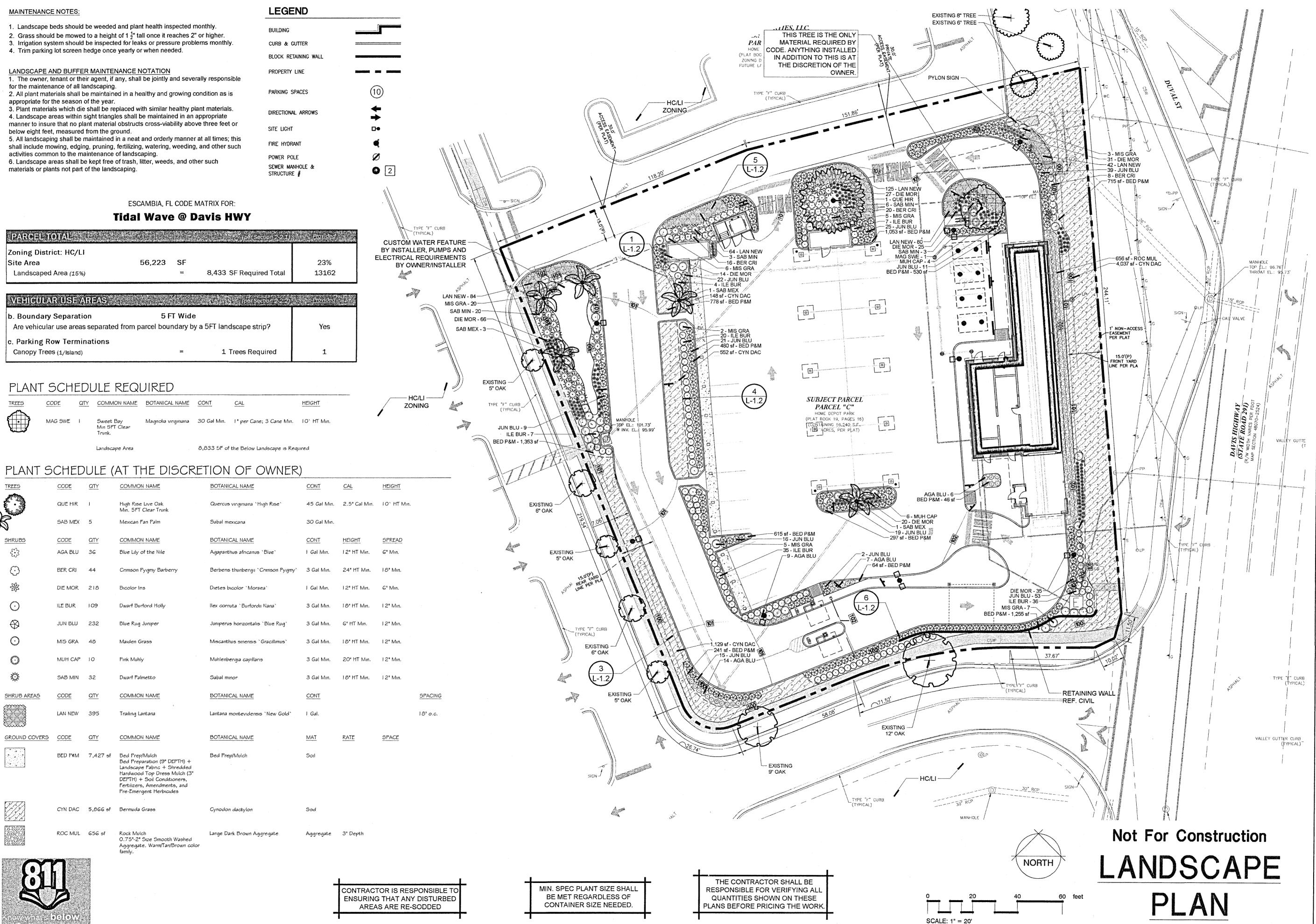
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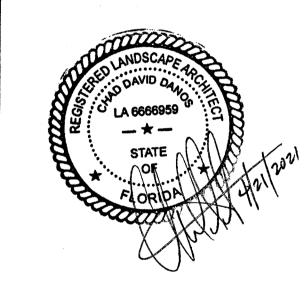
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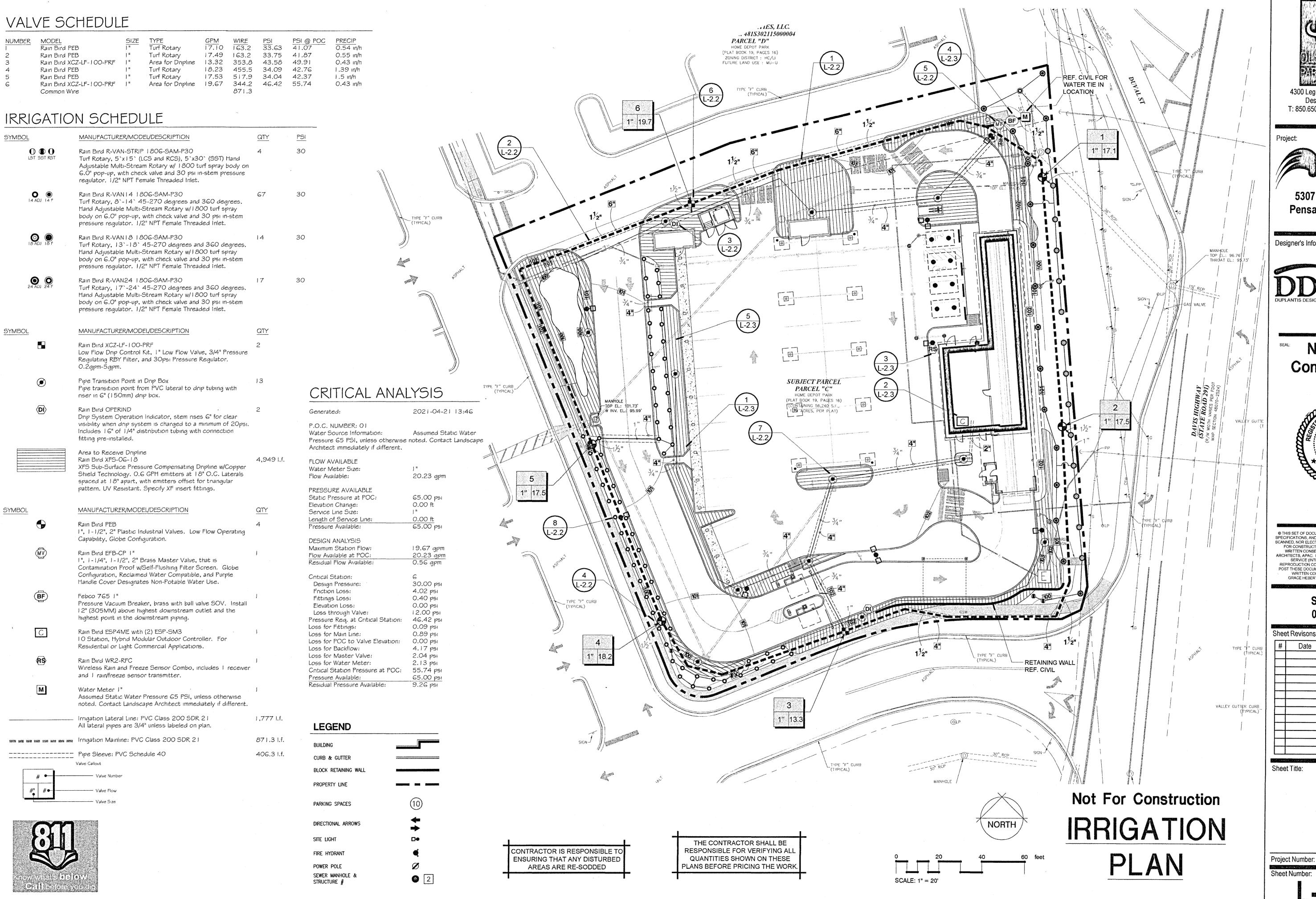
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