

CIVIL SITE PLANS FOR

OWNER: HANK CARLSTROM
10104 BITTERN DRIVE
PENSACOLA, FLORIDA 32507
850-449-1274

T1 - TITLE SHEET AND GENERAL NOTES
C1 - EXISTING SITE PLAN
C2 - DEMOLITION & EROSION CONTROL PLAN
C3 - SITE PLAN
C4 - GRADING PLAN
C5 - LANDSCAPE PLAN
C6 - UTILITY PLAN
C7 - CONSTRUCTION DETAILS

1. All work shall comply with these specifications and applicable standards established by Escambia County. Where these Specifications and the County Standards deviate, the more stringent requirements shall prevail unless approved otherwise by the engineer of record.
2. The Contractor shall coordinate the work of the utility subcontractors to ensure that all utility installations proceed in a timely manner and to prevent conflicts in the installation of the water, sewer, electric power, and telephone lines.
3. All conditions and stipulations of the construction permits and the approvals issued by the Escambia County and Florida Department of Transportation shall be complied with in every detail.
4. This is not a survey, boundary information based upon a survey performed by NORTHWEST FLORIDA LAND SURVEYING INC. (850-432-1052) Project #: 23756, dated 03-01-21.

1. All areas to be cut or filled shall be cleared and grubbed. The site grading plan and the retention pond details indicate which areas are to be cleared & grubbed. Clearing and grubbing shall be as per Section 110 of the 2020 FDOT Standard Specifications for Roads and Bridges..

3. The County, its officers, and employees shall be held harmless from any damage to persons or property which might result from work or activity undertaken by the developer and authorized by the County.

BENCHMARK DATA

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 21.51' (NAVD88)

PROPERTY REFERENCE #: 59-2S-30-2350-000-001
ZONING DISTRICT: COM
LOCATED IN BARRANCAS REDEVELOPMENT DISTRICT
FLUM CATEGORY: MU-U

7. The project engineer (engineer of record) shall provide to Escambia County As-Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As-Built Certification" that the project construction adheres to the permitted plans and specifications. As-Built drawings shall include top of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as-built data." The As-Built Certification or the As-Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.

10. Contractor shall maintain record drawings during construction which show As-Built conditions of all work including piping, drainage structures, topo of pond, outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Engineer prior to requesting final inspection.

17. Retention/Detention areas shall be substantially complete prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.

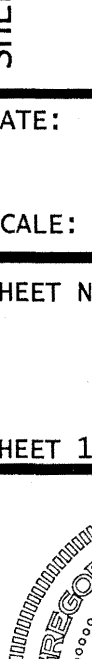
DESIGNED AND DRAWN BY
ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION #: 6515
GREGORY ALLEN CAMPBELL P.E.
FLORIDA LICENSE #: 38572
2120 MARIA CIRCLE
PENSACOLA, FL. 32514
(850) 982-8606

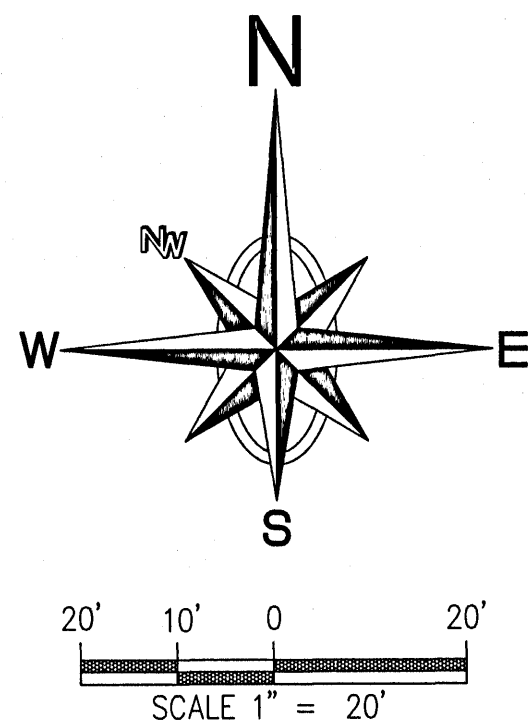


1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
2. All trees shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other land disturbance activities shall be permitted or otherwise approved by the County prior to initiation.

4 All work shall comply with applicable standards established by ECUA, Escambia County Health Department, Florida Department of Environmental Protection.

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2 PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0369G, MAP REVISION DATE SEPTEMBER 29, 2006.

PROJECT TITLE:		ENVIRONMENTAL ENGINEERING SERVICES CERTIFICATE OF AUTHORIZATION #: 6515	
SHEET TITLE:	TITLE SHEET AND GENERAL NOTES		
DATE:	04-02-21		
SCALE:	N.T.S.		
SHEET NUMBER:	T1		
SHEET 1 OF 8			
			
SUPER FOODS OFFICE AND EQUIPMENT REPAIR WORKSHOP		2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX)	
3405 BARRANCA AVENUE PENSACOLA, FLORIDA ESCAMBIA COUNTY		GREGORY ALLEN CAMPBELL, P.E. FL PE LICENSE #: 38572	
NO.		REVISIONS	BY DATE
1		ESCAMBIA COUNTY COMMENTS.	GAC 05-06-21



GENERAL NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 55 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF THE PROPERTY AS PER THE RECORD PLAT OF PALAO PLACE AS RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE RECORD PLAT OF PALAO PLACE AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0369 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PREFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

SPECIAL LINES:

SS ~ SS ~ SANITARY SEWER LINE
V ~ V ~ WATER SERVICE LINE
BT ~ BT ~ BURIED TELEPHONE LINE
GAS ~ GAS ~ NATURAL GAS LINE

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 21.66' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 21.51' (NAVD88)

ADJACENT EAST PROPERTY OWNER INFO

OWNER: SUNRAY ENTERPRISES INC
ADDRESS: 2710 ASBURY LN
CANTONMENT, FLORIDA 32533
PROP REF #: 59-2S-30-2300-020-001
ZONING DISTRICT: COM
FLU: MU-U
CURRENT USE: AUTO REPAIR SHOP
PROPERTY ADDRESS: 3415 BARRANCAS AVE
PENSACOLA, FLORIDA 32507

ADJACENT SOUTH PROPERTY OWNER INFO

OWNER: BAYSHORE STORAGE LLC
ADDRESS: 10104 BITTERN DRIVE
PENSACOLA, FL 32507
PROP REF #: 59-2S-30-2350-000-001
ZONING DISTRICT: COM
FLU: MU-U
CURRENT USE: VACANT LOT
PROPERTY ADDRESS: NOT ASSIGNED TO DATE
PENSACOLA, FLORIDA 32507

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- SEC. ~ SECTION
- TWP. ~ TOWNSHIP
- RGE. ~ RANGE
- PG. ~ PAGE
- ~ FIRE HYDRANT
- ~ BENCHMARK
- ~ SANITARY SEWER MANHOLE
- ~ STORM DRAIN MANHOLE
- 123 ~ MAIL BOX
- ~ WATER METER
- ~ GULF POWER BOX
- ~ UTILITY POLE
- ~ GUY ANCHOR
- ~ SIGN

X 33.35 EXISTING SPOT ELEV.

-31- EXISTING ELEV. CONTOUR

CONCRETE PARKING/DRIVEWAY

CONCRETE

PROPERTY BOUNDARY

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 8306, PAGE: 1552)

LOTS 1, 2 AND 3 OF THE PALAO PLACE, A SUBDIVISION OF A PORTION OF LOTS 2 AND 3, A SUBDIVISION OF WILLIAM FISHER'S 96 ACRES, IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF SAID COUNTY.

LESS AND EXCEPT:

THE SOUTHEASTERLY 50.00 FEET OF LOTS 1, 2 AND 3 OF THE PALAO PLACE, A SUBDIVISION OF A PORTION OF LOTS 2 AND 3, A SUBDIVISION OF WILLIAM FISHER'S 96 ACRES, IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF SAID COUNTY.

SANITARY SEWER DATA

MANHOLE NO.	NORTHING	EASTING	TOP ELEV.	INVERT
MH1	517505.05	1100423.17	21.82	16.48
MH2	517396.33	1100555.75	22.23	15.63
MH3	517341.87	1100565.99	21.43	13.47
MH4	517156.43	1100790.60	18.10	10.86

STATE PLANE COORDINATES DATUM: NAD83; MAPPING PLANE ZONE:
FLORIDA NORTH 0903; LAMBERT PROJECTION

ENVIRONMENTAL ENGINEERING SERVICES

FIRM REGISTRATION #: RY6515

2120 MARIA CIRCLE

PENSACOLA, FLORIDA 32514

850-982-8606 (OFC)

850-477-1176 (FAX)

GREGORY ALLEN CAMPBELL, P.E.

FL PE LICENSE #: 38572

PROJECT TITLE:

SUPER FOODS OFFICE AND EQUIPMENT
REPAIR WORKSHOP

3405 BARRANCAS AVENUE
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:

EXISTING SITE PLAN

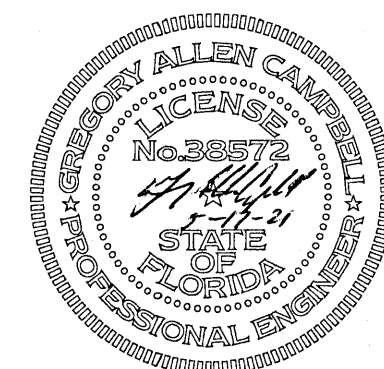
DATE: 04-02-21

SCALE: 1"=20'

SHEET NUMBER:

C1

SHEET 2 OF 8



DENOTES:

⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
⊙ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
⊙ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
(P) ~ PLATTED INFORMATION
(F) ~ FIELD INFORMATION
R/W ~ RIGHT OF WAY
SEC. ~ SECTION
TWP. ~ TOWNSHIP
RGE. ~ RANGE
PG. ~ PAGE

⊕ ~ FIRE HYDRANT
⊕ ~ BENCHMARK
⊕ ~ SANITARY SEWER MANHOLE
⊕ ~ STORM DRAIN MANHOLE

SPECIAL LINES:

—S—S—S— ~ SANITARY SEWER LINE
—W—W—W— ~ WATER SERVICE LINE
—T—T—T— ~ BURIED TELEPHONE LINE

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 21.66' (NAVD88)

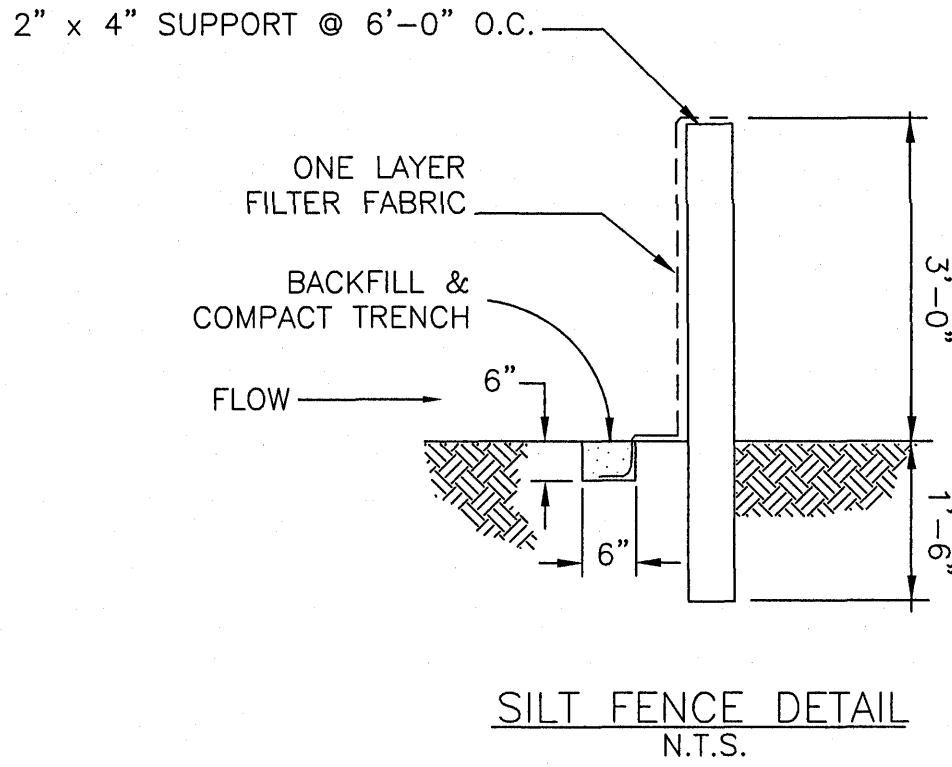
BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 21.51' (NAVD88)

CONSTRUCTION ENTRANCE NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL PRIOR TO PLACEMENT OF GRAVEL.
2. THE AGGREGATE SIZE OF THE GRAVEL UTILIZED FOR CONSTRUCTION ENTRANCE SHALL BE 2" TO 3" COARSE GRAVEL AND SHALL BE 6-INCHES THICK.
3. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING ONTO RIGHT-OF-WAY. SLOPE OF CONSTRUCTION ENTRANCE SHALL BE AWAY FROM THE ROADWAY OR TOWARD THE NORTH. CONTRACTOR SHALL DRESS WITH 2-INCH THICK LAYER OF GRAVEL AS CONDITIONS DEMAND.
4. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, TRACKED OR WASHED FROM VEHICLES ONTO ROADWAY.

LEGEND (CON'T)

- 32— EXISTING CONTOUR ELEVATION
- - - - - PROPOSED SILT FENCE
- - - - - EXISTING WOOD FENCE
- ⊗ PROPOSED DEMOLITION
⊗ EXISTING GRAVEL
⊗ EXISTING CONCRETE
- SWL SOLID WHITE LINE
SYL SOLID YELLOW LINE
SWSL SOLID WHITE SKIP LINE
- ⊕ EXISTING TREE
- - - - - PROPERTY BOUNDARY



SILT FENCE NOTES

1. SILT FENCE SHALL BE ERECTED AND MAINTAINED AROUND ALL DRAINAGE STRUCTURES UNTIL DRAINAGE AREAS ARE PAVED OR STABILIZED TO PREVENT EROSION. SILT FENCE SHALL BE IN ACCORDANCE WITH DETAILS, AS SHOWN ON THIS SHEET.
2. FABRIC MAY BE ATTACHED TO POSTS BY STAPLES, NAILS, WIRE, CORD OR POCKETS. MINIMUM NUMBER OF FASTENERS SHALL BE 5, EQUALLY SPACED. NAILS SHALL BE 14 GAUGE, 1" LONG, 3/4" BUTTON HEADS. STAPLES SHALL BE 17 GAUGE, 3/4" WIDE, 1/2" LONG LEGS.
3. EROSION CONTROL IS TO BE CONSTRUCTED FIRST, STORMWATER POND IS SECOND, AND BOTH ARE TO BE IN-PLACE BEFORE ANY OTHER CONSTRUCTION IS BEGUN.

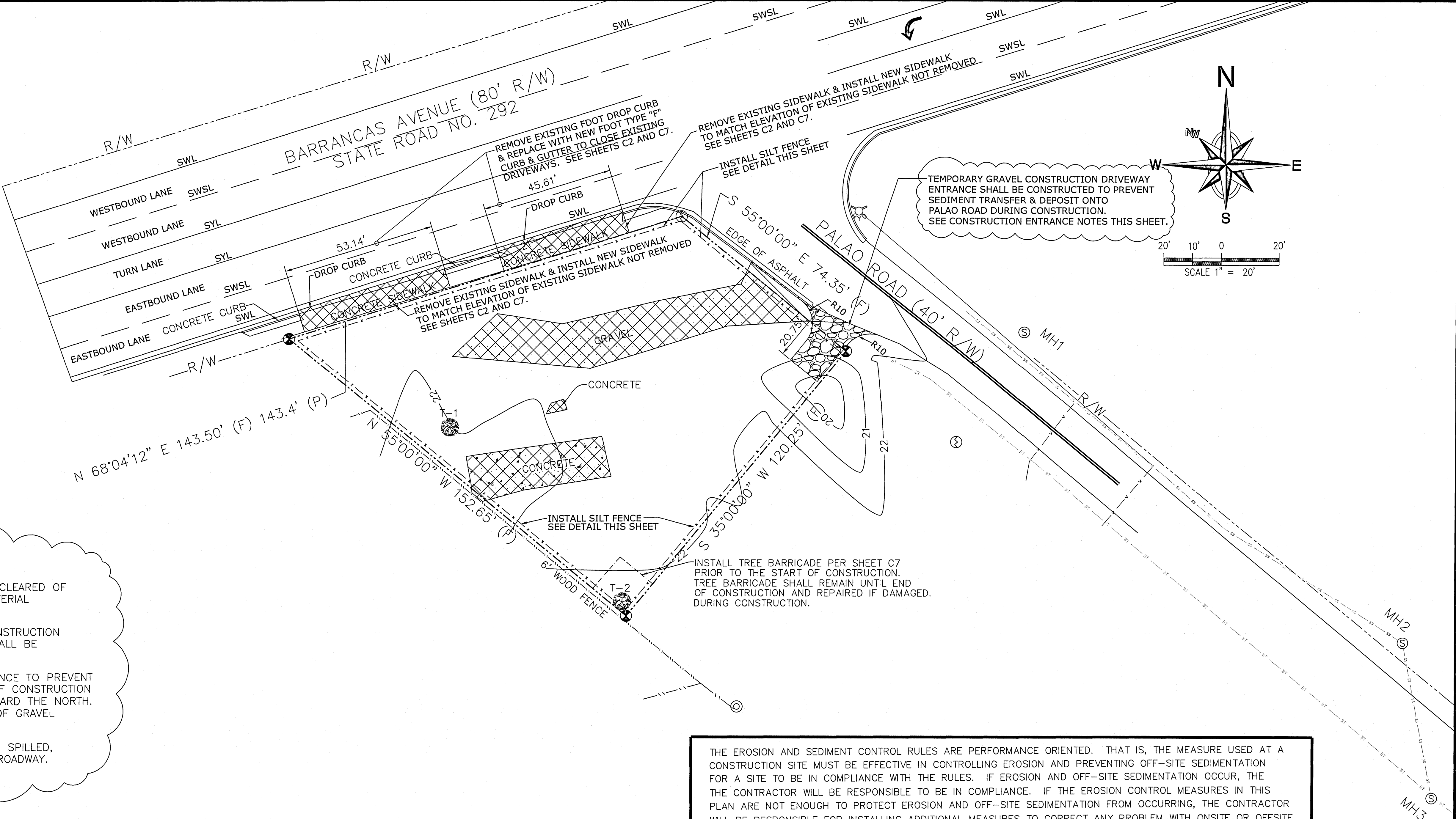
THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURE USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE TO BE IN COMPLIANCE. IF THE EROSION CONTROL MEASURES IN THIS PLAN ARE NOT ENOUGH TO PROTECT EROSION AND OFF-SITE SEDIMENTATION FROM OCCURRING, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM WITH ONSITE OR OFFSITE EROSION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.

NOTE: EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.

NOTE: A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FUTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

EXISTING TREE SCHEDULE & MITIGATION CHART

PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL
T1	LIVE OAK	36"	REMOVE	BUILDING/POND
T2	LIVE OAK	16"	REMAIN	
TOTAL TREE DIAMETER IN INCHES TO BE REMOVED				36"
TOTAL INCHES IN CREDIT RECEIVED				0"
TOTAL CALIPER INCHES OF MITIGATION/REPLACEMENT TREE REQUIRED IS 50% X TOTAL INCHES REMOVED OR 36" X 0.50 = 18 INCHES OR 18/2.5=7.2 OR 7 NATIVE CANOPY TREES OR 7 NATIVE CANOPY TREES.				
THERE IS NOT ADEQUATE ONSITE SPACE TO PLANT ADDITIONAL TREES AND THEREFORE THE DEVELOPER WILL WILL BE PAYING INTO THE ESCAMBIA COUNTY TREE FUND.				
TREE FUND PAYMENT REQUIRED=7 TREES X \$350/TREE = \$2,450.				



05-08-21

GAC

1 ESCAMBIA CO COMMENTS

NO.

ENVIRONMENTAL ENGINEERING SERVICES

FIRM REGISTRATION #: RY6515

2120 MARIA CIRCLE

PENSACOLA, FLORIDA 32514

850-982-8606 (OFC)

850-477-1176 (FAX)

GREGORY ALLEN CAMPBELL, P.E.

FL PE LICENSE #: 38572

PROJECT TITLE:

SUPER FOODS OFFICE AND EQUIPMENT REPAIR WORKSHOP

3405 BARRANCAS AVENUE

PENSACOLA, FLORIDA

ESCAMBIA COUNTY

SHEET TITLE:

DEMOLITION & EROSION CONTROL PLAN

DATE:

04-02-21

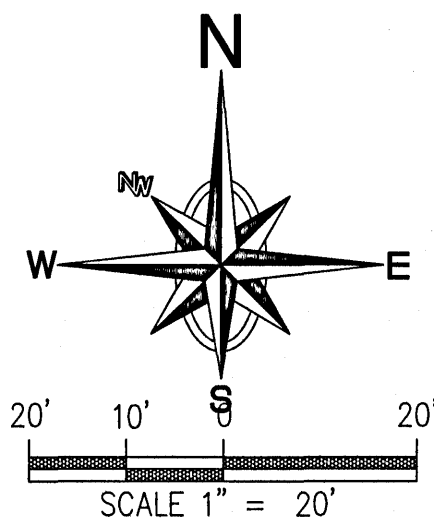
SCALE:

1"=20'

SHEET NUMBER:

C2

SHEET 3 OF 8



OWNER/PROJECT INFORMATION

OWNER: HANK CARLSTROM
10104 BITTERN DRIVE
PENSACOLA, FLORIDA 32507
PROJECT NAME: SUPER FOODS OFFICE & EQUIPMENT REPAIR WORKSHOP
PROJECT ADDRESS: 3405 BARRANCAS AVENUE
PENSACOLA, FLORIDA 32507
ZONING DISTRICT: COM
FLU: MU-U
TYPE OF BUSINESS: OFFICE & EQUIPMENT REPAIR WORKSHOP
PARCEL #: 59-2S-30-2350-000-001

PARKING REQUIREMENTS

(A) OFFICE AND EQUIPMENT REPAIR WORKSHOP

OFFICE=400 S.F.
EQUIPMENT REPAIR WORKSHOP=2,325 S.F. (NOTE: ONLY 1 EMPLOYEE)

OFFICE PARKING SPACES PER LDC = 3.5 SPACES/1,000 S.F.
EQUIPMENT REPAIR WORKSHOP PER LDC = 1 PER EMPLOYEE

REQUIRED PARKING SPACES=(3.5/1000 S.F. X 400 S.F.) + (1/EMPLOYEE X 1 EMPLOYEE)
REQUIRED PARKING SPACES=2.4 OR 3 SPACES
PARKING SPACES PROVIDED=3 SPACES (2 REGULAR & 1 HANDICAP) O.K.

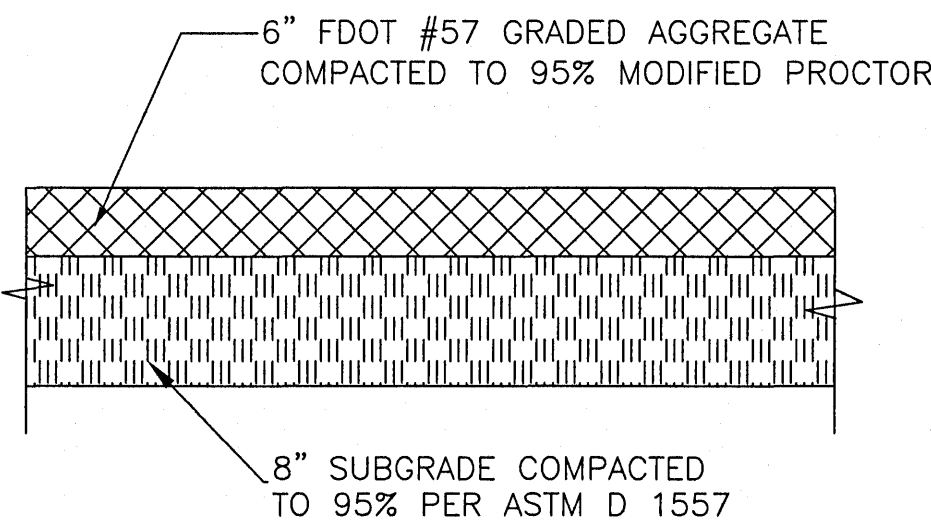
LOCATION CRITERIA

A COMPATIBILITY ANALYSIS FOR PROJECT WAS PREVIOUSLY SUBMITTED AND APPROVED BY THE COUNTY. A COPY OF THE PREVIOUSLY APPROVED COMPATIBILITY ANALYSIS WAS SUBMITTED WITH THE PROJECT DRC SUBMITTAL APPLICATION.

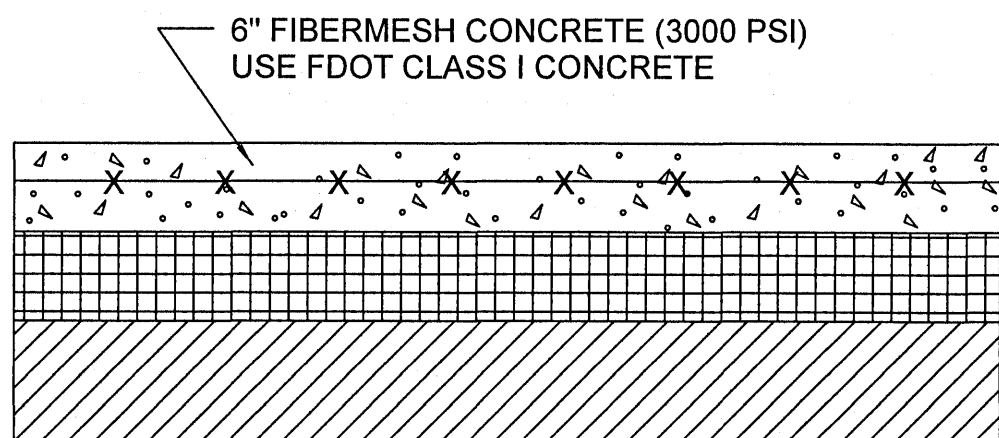
SITE PLAN NOTES:

- NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550.
- FRONT & REAR BUILDING SETBACK LINE=15'
SIDE BUILDING SETBACK LINE=10'
SETBACK LINES ARE SHOWN ON PLAN.
- ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC. NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.
- DEVELOPER/CONTRACTOR SHALL OBTAIN A SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS. NO SIGNS ARE PROPOSED FOR THIS PROJECT AT THIS TIME.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY.
- NO EXTERIOR LIGHTING IS PROPOSED FOR THIS PROJECT.
- NO DUMPSTER IS PROPOSED FOR THIS PROJECT. SOLID WASTE SHALL BE COLLECTED IN RESIDENTIAL CONTAINERS ISSUED BY SOLID WASTE COLLECTION AND DISPOSAL COMPANY.

SITE PLAN DATA	EXISTING	PROPOSED
BUILDING AREA (S.F.)	0	2,725
IMPERVIOUS PAVED AREA (S.F.)	737	517
GRAVEL AREA (S.F.)	1,723	3,042
POND AREA (S.F.)	0	2,693.7
PERVIOUS AREA (S.F.)	11,189	4,671.3
TOTAL LOT AREA (S.F.)	13,649	13,649



TYPICAL GRAVEL DETAIL
N.T.S.



TYPICAL DRIVEWAY PAVEMENT SECTION
N.T.S.

LEGEND:

- | | |
|------|--------------------------------------|
| | PROPOSED GRAVEL |
| | PROPOSED CONCRETE |
| BSL | BUILDING SETBACK LINE |
| SWL | SOLID WHITE LINE |
| SYL | SOLID WHITE LINE |
| SYL | SOLID YELLOW LINE |
| DYL | DOUBLE YELLOW LINE |
| SWSL | SOLID WHITE SKIP LINE |
| R35 | RADIUS IN FEET |
| | EXISTING FENCE |
| | PROPOSED 6" WOOD OR CHANN LINK FENCE |
| | PROPERTY BOUNDARY |

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE 32514
PENSACOLA, FLORIDA
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
SUPER FOODS OFFICE AND EQUIPMENT
REPAIR WORKSHOP
3405 BARRANCAS AVENUE
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
SITE PLAN

DATE: 04-02-21

SCALE: 1"=20'

SHEET NUMBER:

C3

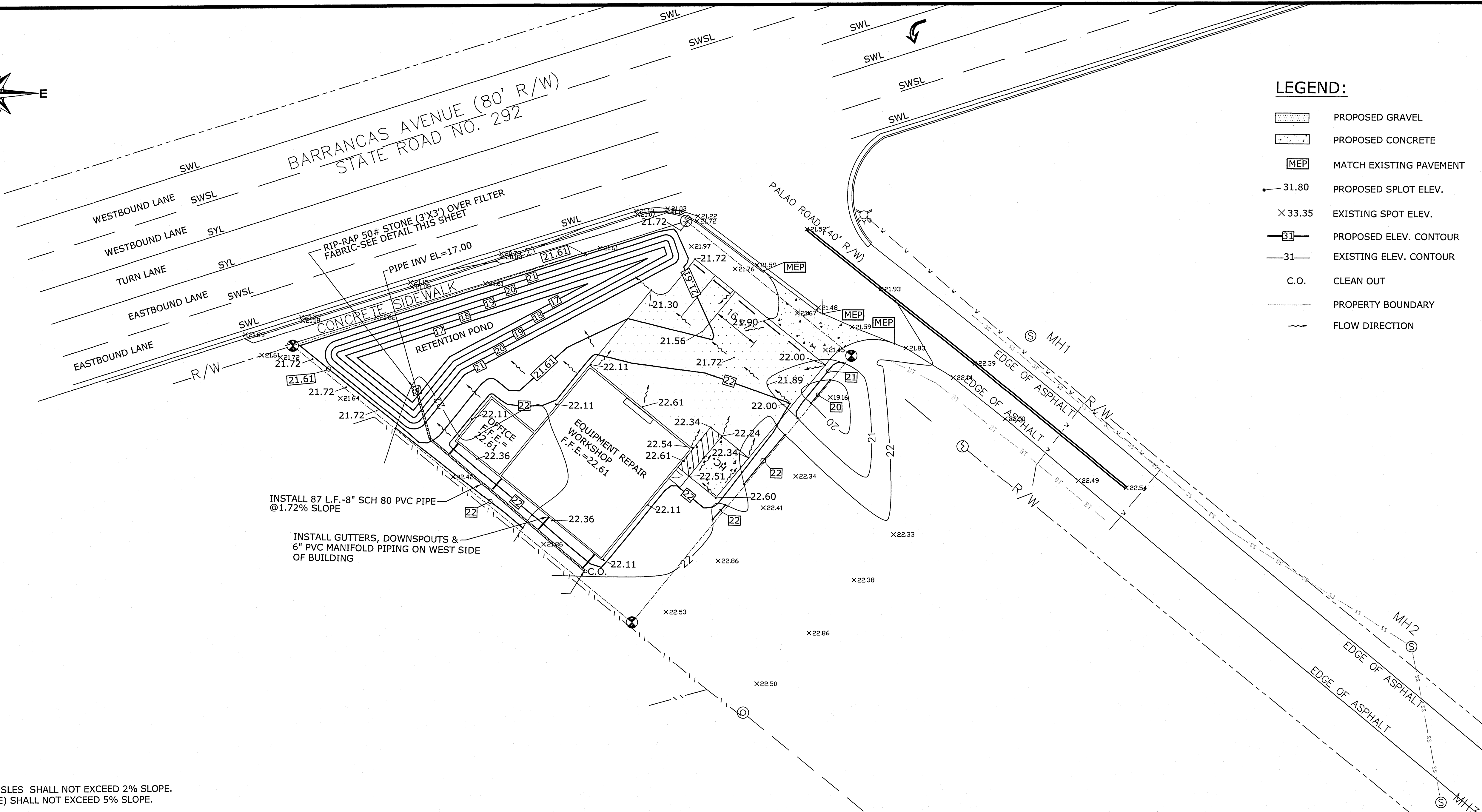
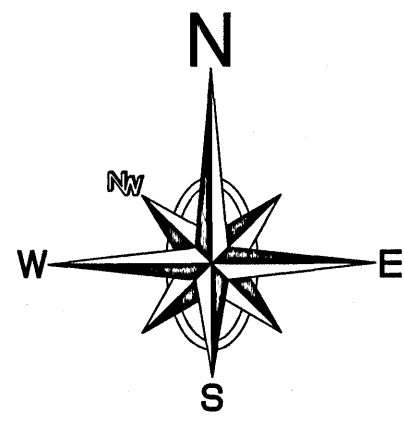
SHEET 4 OF 8



REVISIONS

BY

DATE



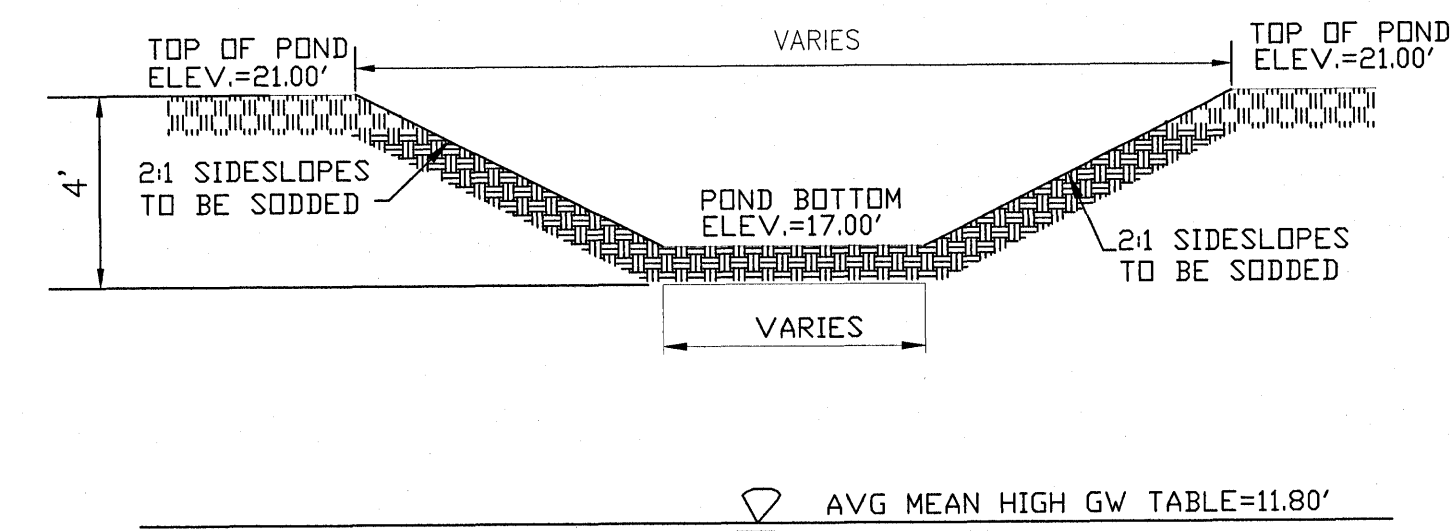
LEGEND:

- PROPOSED GRAVEL
- PROPOSED CONCRETE
- MATCH EXISTING PAVEMENT
- PROPOSED SPOT ELEV.
- EXISTING SPOT ELEV.
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR
- C.O. CLEAN OUT
- PROPERTY BOUNDARY
- FLOW DIRECTION

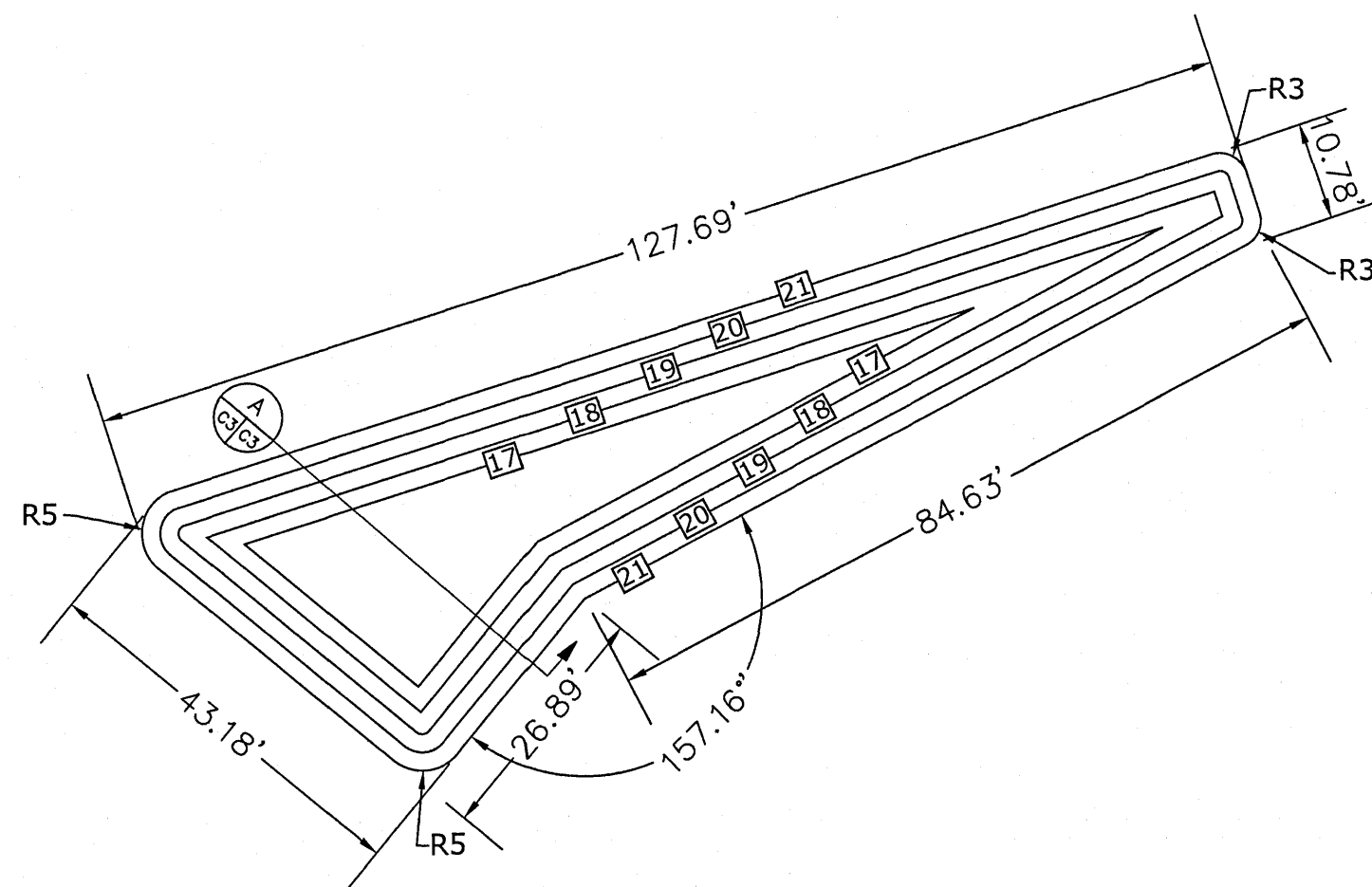
HANDICAP (HC) SIDEWALK, PARKING AND RAMP NOTES

- HC RAMPS SHALL NOT EXCEED 1:12 (0.083%) SLOPE.
- SIDEWALK CROSS SLOPE, HC LANDINGS, PARKING SPACES/AISLES SHALL NOT EXCEED 2% SLOPE.
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 5% SLOPE.

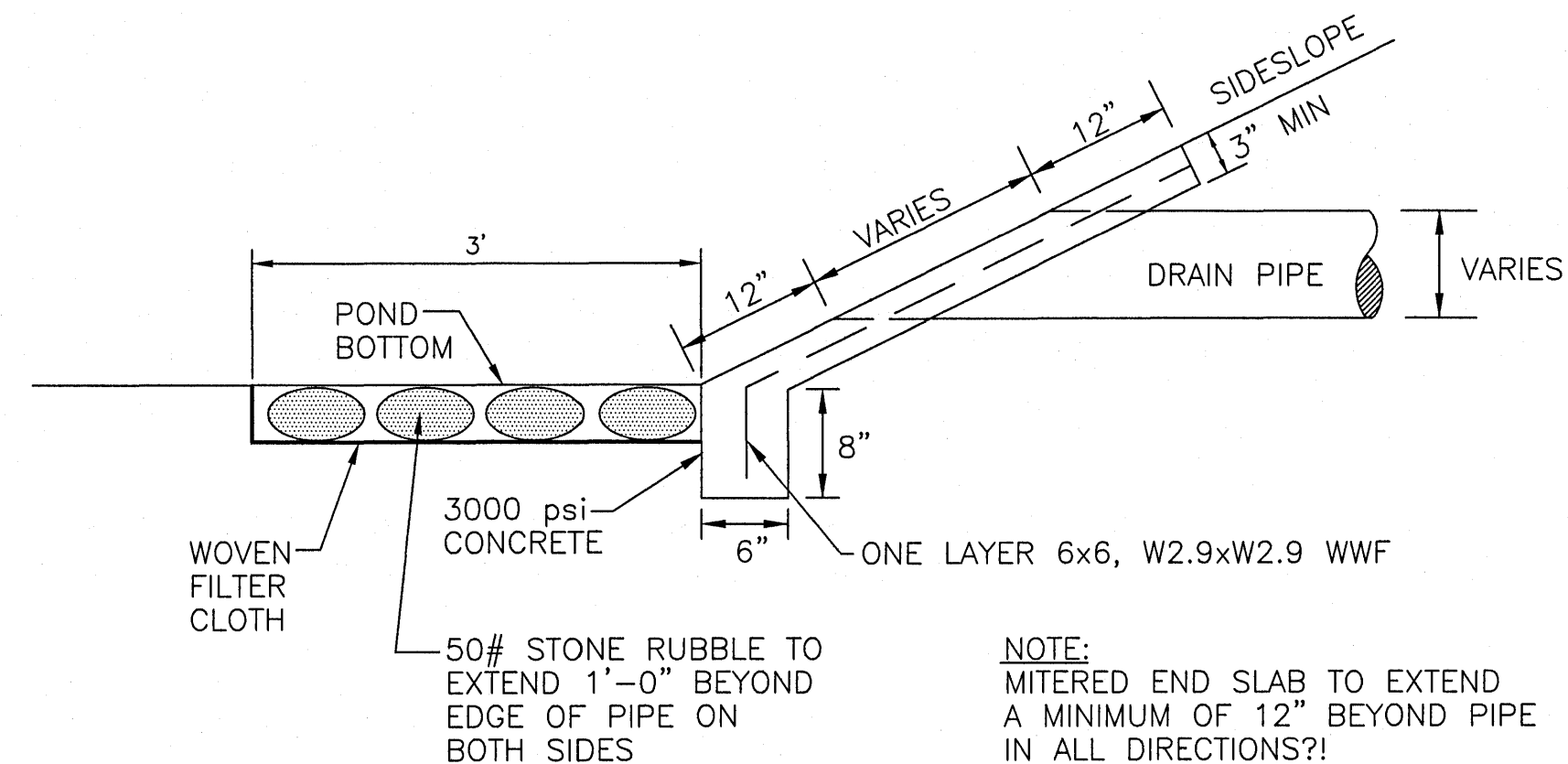
SITE PLAN DATA	EXISTING	PROPOSED
BUILDING AREA (S.F.)	0	2,725
IMPERVIOUS PAVED AREA (S.F.)	737	517
GRAVEL AREA (S.F.)	1,723	3,042
PERVIOUS AREA (S.F.)	11,189	7,365
TOTAL LOT AREA (S.F.)	13,649	13,649



RETENTION POND-CROSS SECTION
N.T.S.



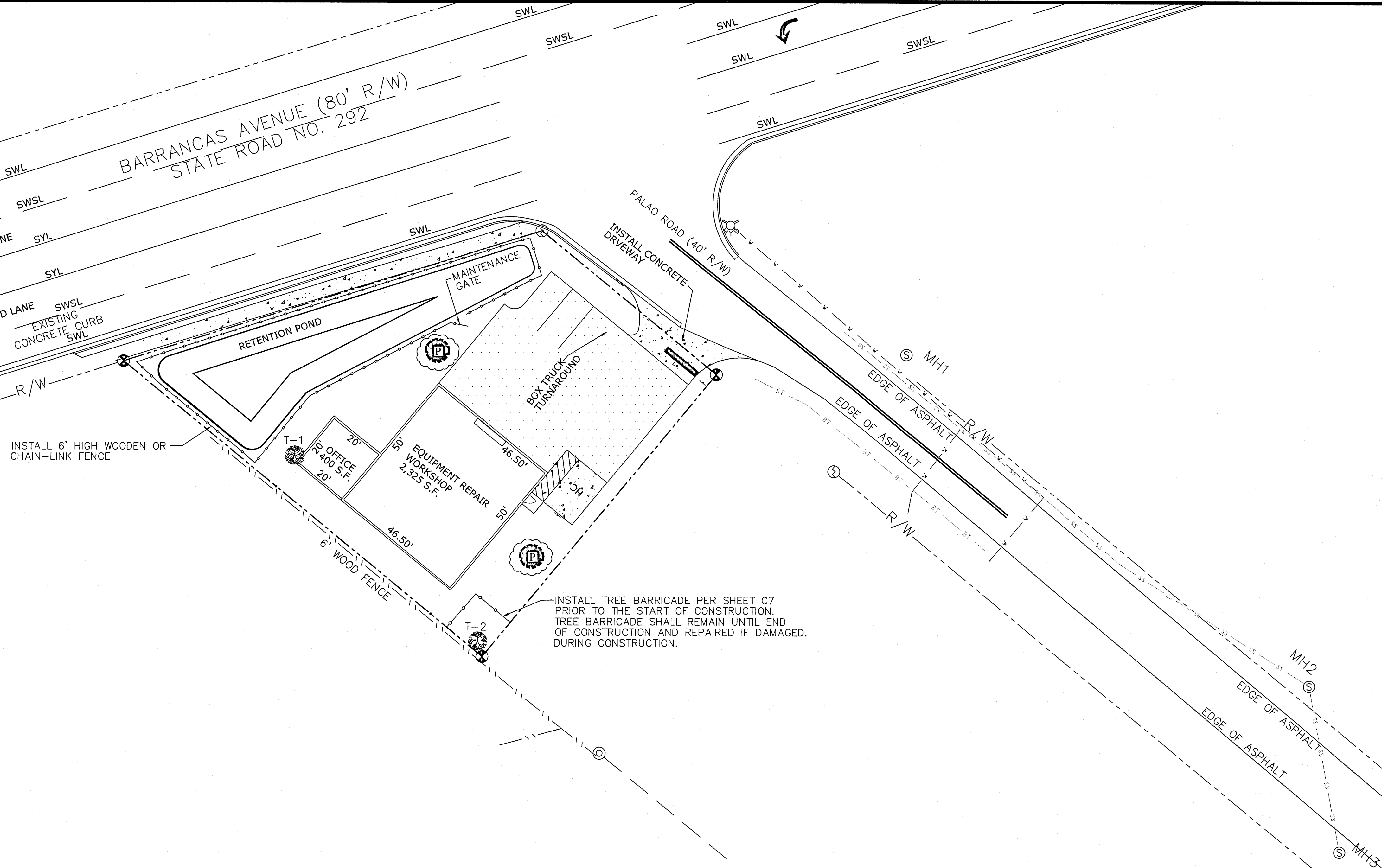
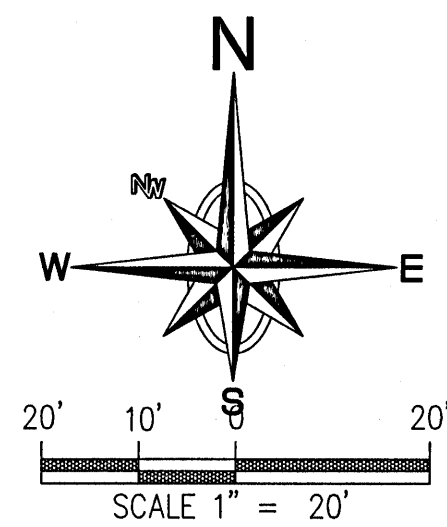
PLAN VIEW-RETENTION POND
SCALE: 1"=20'



MITERED END SECTION
N.T.S.

ENVIRONMENTAL ENGINEERING SERVICES FIRM REGISTRATION #: RY6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (ORC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FL PE LICENSE #: 38572	REVISIONS	BY	DATE
PROJECT TITLE: SUPER FOODS OFFICE AND EQUIPMENT REPAIR WORKSHOP 3405 BARRANCAS AVENUE PENSACOLA, FLORIDA ESCAMBIA COUNTY	SHEET TITLE: GRADING PLAN		
DATE: 04-02-21			
SCALE: 1"=20'			
SHEET NUMBER: C4			
SHEET 5 OF 8			





LAND DISTURBANCE ACTIVITIES

- All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
- All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

LANDSCAPE NOTES:

- All landscape material shall be installed in a sound workmanlike Manner and in accordance with the tree and shrub planting detail of this landscape plan.
- Newly planted canopy trees shall have a minimum caliper of 2.5 inches measured at 4 inches above root ball planting and shall be of species that have a mature height greater than 30. All plant material shall have a warranty of 2 years. All shrubs shall have a minimum height of 1 foot.
- Owner shall maintain all landscape areas at all times. Maintenance shall include the prompt replacement of all dead or damaged landscaped material.
- Landscaper shall refer to the Escambia County list of recommended native and non-invasive plant materials for selection of appropriate shrubs, understory and canopy trees. Developer may select any tree and shrub listed on Escambia County list of recommended native and non-invasive plant material in lieu of those designated this sheet as long as no more than 67% of proposed landscaping material is the same species.
- All non-paved areas and exposed soil/dirt shall be regraded and sodded with grass species normally grown as permanent lawns in Escambia County. All sodd shall be clean and reasonably free of weeds, noxious pests, and diseases. Grass areas may be seeded and mulched but must grass must be fully grown at time of final inspection.
- The contractor is to be aware of underground utilities throughout landscaped areas that may not be illustrated on this plan. Contractor shall verify location and protect all utilities during excavation and/or finish grading activities.
- All plants shall conform to the standards for Florida Grade No. 1, or better, per latest edition of "Grades and Standards for Nursery Plants, Division of Plant Industry, Florida Department of Agriculture and Consumer Services".

PARKING LOT LANDSCAPE REQUIREMENTS

Escambia LDC: 1 tree required per each end of parking row.
End of Row Parking Trees Required = 2 end of rows x 1 tree/end of parking row = 2 trees required
2 canopy trees are proposed in parking lot as shown on drawing and denoted in legend.
No more than 50% of canopy trees to be same plant material and shall be on Escambia County canopy tree list.

% LANDSCAPE AREA = 4671.3 S.F./13,649 S.F. X 100 = 34.22% > 15% REQUIRED O.K.

LEGEND:

- PROPOSED GRAVEL
- PROPOSED CONCRETE
- PROPERTY LINE
- PROPOSED PARKING ROW TERMINUS TREE SOUTHERN MAGOLIA TREES REQUIRED = 2 TREES
- EXISTING TREE
- PROPOSED TREE BARRICADE
- PROPOSED 6' HIGH WOODEN OR CHAIN LINK FENCE

NO.	REVISIONS	BY	DATE
1	ESCAMBIA CO COMMENTS	GAC	05-08-21

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
SUPER FOODS OFFICE AND EQUIPMENT
REPAIR WORKSHOP
3405 BARRANCAS AVENUE
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
LANDSCAPE PLAN

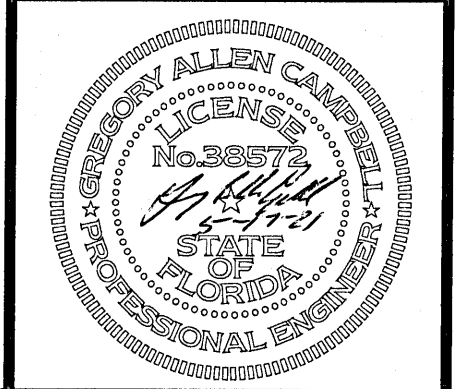
DATE: 04-02-21

SCALE: 1"=20'

SHEET NUMBER:

C5

SHEET 6 OF 7



SANITARY SEWER DATA				
MANHOLE NO.	NORTHING	EASTING	TOP ELEV.	INVERT
MH1	517505.05	1100423.17	21.82	16.48
MH2	517396.33	1100555.75	22.23	15.63
MH3	517341.87	1100565.99	21.43	13.47
MH4	517156.43	1100790.60	18.10	10.86

STATE PLANE COORDINATES DATUM: NAD83; MAPPING PLANE ZONE: FLORIDA NORTH 0903; LAMBERT PROJECTION

UTILITY NOTES:

1. The contractor shall obtain a permit from the Road & Bridge Department prior to commencing any work in the County R/W and obtain a FDOT Utility permit prior to commencing any work in FDOT STATE ROAD 95 R/W..
2. Contractor is responsible and liable for locating all utilities in right-of-way and shall contact Sunshine utilities within 96 hours in advance prior to digging within right-of-way at 1-800-432-4770. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
3. All onsite water and sewer facilities shall be privately owned, operated and maintained by developer/owner.
4. The contractor shall notify the superintendents of the water, gas, sewer, cable, fiber optics, telephone and power companies 2 days in advance, that he intends to start work in a specific area.
5. Contractor shall follow ECUA permitted drawings for installation of gravity sewer laterals.
6. Contractor shall cut and patch asphalt per detail this sheet when installing sewer lines across Palao Road. Contractor shall either use jack and bore or directional bore when installing water service lines across Palao Road per Escambia County Construction Management Department. Contractor shall ensure one lane is open to traffic when installing the sewer lines across Palao Road by cutting, excavating, backfilling and patching one lane at a time.

ECUA Engineering Manual Reference Note*

*note shall be inserted in the upper right corner of title sheet

* applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

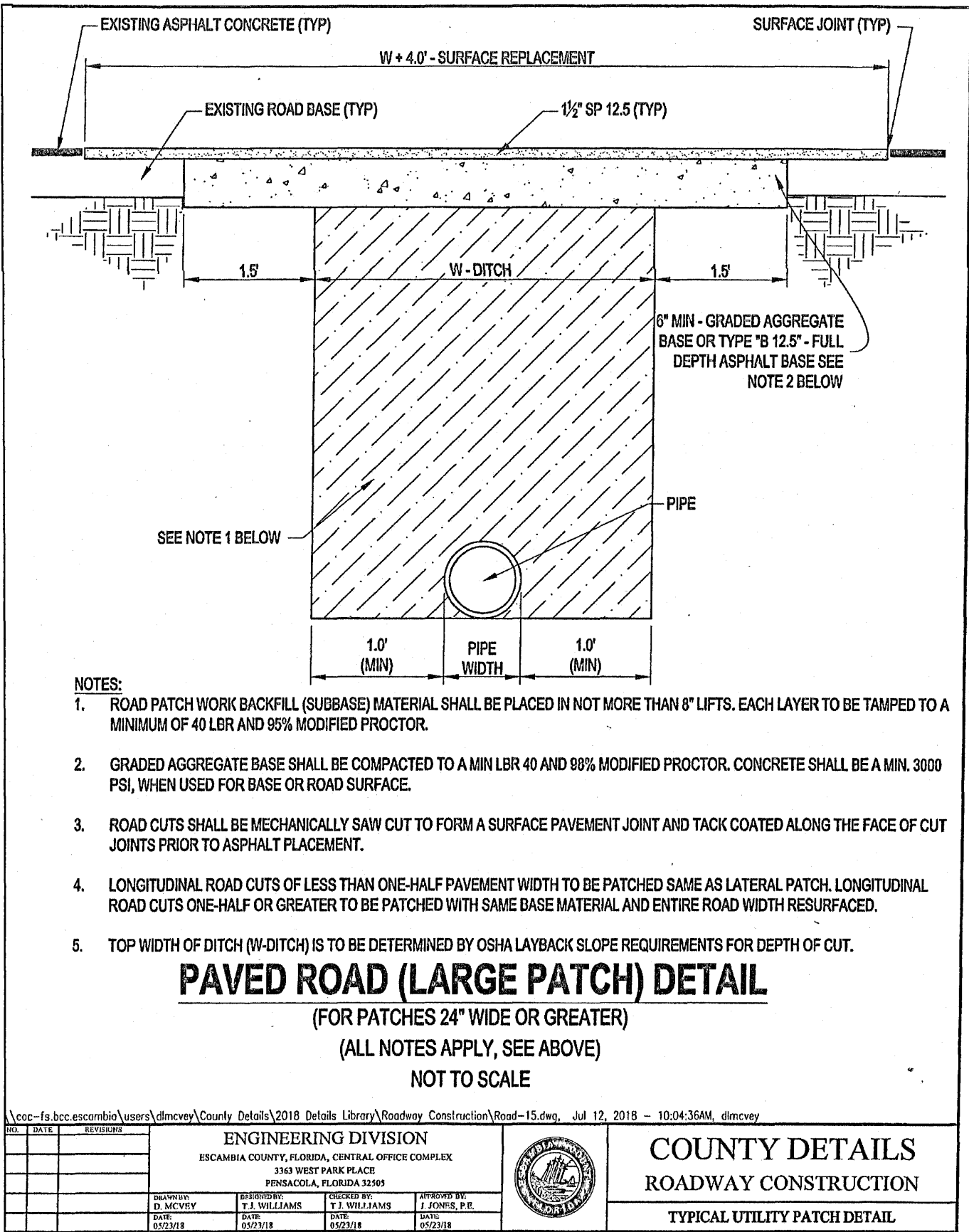
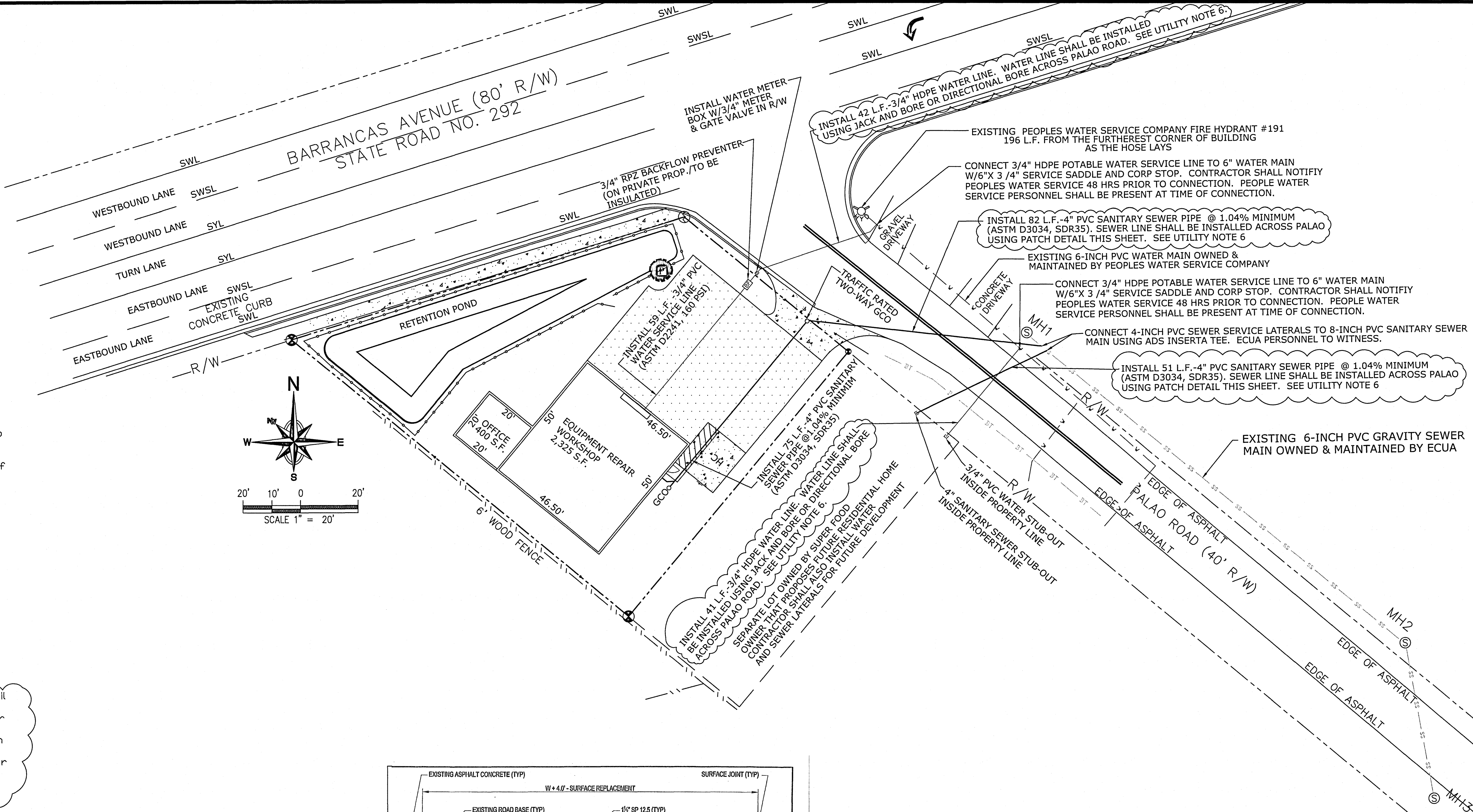
Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☐ YES ☐ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



LEGEND:

- R/W RIGHT OF WAY
- BENCHMARK
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- DENOTES PROPERTY LINE
- EXISTING WATER SERVICE LINE
- EXISTING BURIED FIBER OPTIC CABLE LINE
- EXISTING NATURAL GAS SERVICE LINE
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM WATER INLET
- EXISTING BURIED FIBER OPTIC CABLE MARKER
- EXISTING BURIED FIBER OPTIC CABLE BOX
- EXISTING BACK FLOW PREVENTION DEVICE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER METER

PROJECT TITLE:
SUPER FOODS OFFICE AND EQUIPMENT
REPAIR WORKSHOP

UTILITY PLAN

SHEET TITLE:
UTILITY PLAN

DATE: 04-02-21

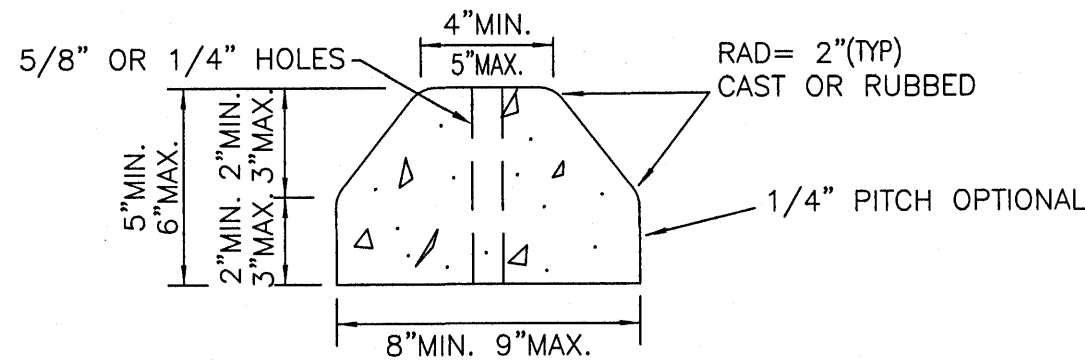
SCALE: 1"=20'

SHEET NUMBER:
C6

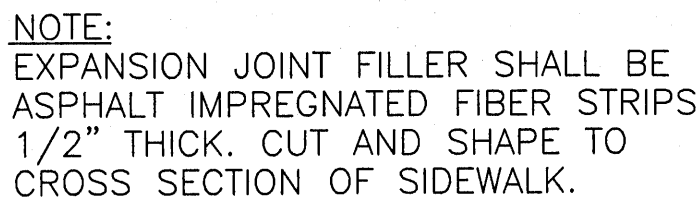
SHEET 7 OF 8

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

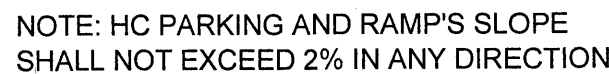
REVISIONS
NO. BY DATE



NOTE: 6" CONCRETE MAY BE 3,000 PSI FIBERMESH CONCRETE
IN LIEU OF USING W.W.F..



SIDEWALK DETAIL
NTS

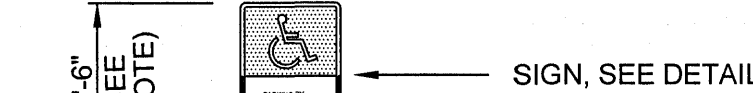


HANDICAPPED STRIPING AND RAMP DETAIL
N.T.S.

Diagram illustrating a 3D printed part with a 60-degree fillet. The part features 4" wide blue striping and 12" wide blue striping. The fillet angle is labeled as 60°.

HANDICAPPED PARKING SYMBOL
N.T.S.

SYMBOL SHALL COMPLY WITH LOCAL CODES!



GALVANIZED STEEL POS (PAINTED) EMBEDDED IN CONCRETE

CONCRETE

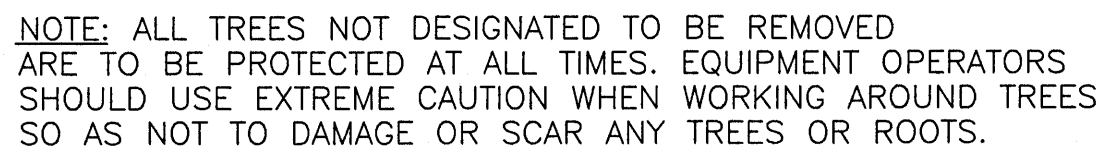
CONCRETE FOOTING

BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH A BLACK OPAQUE LEGEND AND BORDER.

HANDICAPPED PARKING SIGN DETAIL
N.T.S.

NOTE: SIGN MUST CONFORM WITH F.D.O.T. FTP-25 AS SHOWN IN TRAFFIC DESIGN STANDARDS INDEX NO. 17355,
SHEET 3 OF 8.

NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES CONCERNING HEIGHT OF SIGN ABOVE GRADE.



TREE PROTECTION DETAIL
N.T.S.

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: R76575
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:

PINELANDS NURSERY

8365 HIGHWAY 90
MILITON, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:	
CONSTRUCTION DETAILS	
DATE:	04-26-21
SCALE:	1"=20'
SHEET NUMBER:	C7
SHEET 8 OF 8	

