

48 HOURS
BEFORE YOU DIG
CALL SUNSHINE ONE
1-800-432-4770
www.callsunshine.com

SITE DATA

PROPERTY OWNER:

DR HORTON
25366 PROFITE DRIVE
DAPHNE, ALABAMA 36526

SURVEYOR:

DEWBERRY
25353 FRIENDSHIP ROAD
DAPHNE, AL 36526
(251) 929-9803 - VGERMAIN@DEWBERRY.COM
VICTOR L. GERMAIN, PLS - FL NO. 7281

ENGINEER:

DEWBERRY
139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
DAVID TILLAR, P.E. - FL NO. 86282
(850) 760-0332 - DTILLAR@DEWBERRY.COM

GROSS PROJECT AREA:

WETLAND/BUFFER AREA:

GROSS DENSITY:

CURRENT ZONING:

FUTURE LAND USE:

TYPE OF SUBDIVISION:

NUMBER OF LOTS:

CONTOUR INTERVAL:

DATUM:

STREET LENGTH:

TYPE OF STREETS:

R/W WIDTH:

PAVEMENT WIDTH:

STREET MAINTENANCE:

STORMWATER MAINTENANCE

MIN. LOT AREA:

MIN. LOT WIDTH AT RIGHT OF WAY:

MIN. DEPTH OF FRONT YARD:

MIN. DEPTH OF REAR YARD:

MIN. WIDTH OF EACH SIDE YARD:

MAX. BUILDING AREA AS % OF GROSS

LOT AREA:

MAX. BUILDING HEIGHT (FEET):

MAX. BUILDING HEIGHT (STORIES):

17.31 ACRES

3.034 ACRES/4.909 ACRES

3.28 UNITS/ACRE (RESIDENTIAL)

HC/LI

MU-S

SINGLE FAMILY DWELLING

53

ONE-FOOT

NAD 83/NAVD 88

2,041 FEET

PUBLIC

50 FEET

24 FEET

ESCAMBIA COUNTY, FLORIDA

ESCAMBIA COUNTY, FLORIDA

6,000 SQ. FT.

60 FEET

15 FEET

15 FEET

10 FEET OR 10% OF THE LOT WIDTH AT THE STREET

RIGHT OF WAY, WHICHEVER IS LESS, BUT AT LEAST 5

FEET.

N/A

N/A

N/A

PLANS PREPARED BY:



25353 FRIENDSHIP ROAD,
DAPHNE, AL 36526
(251) 929 9793

DEWBERRY PROJECT NO.: 50128595

ENGINEER'S STATEMENT

I, DAVID TILLAR, ENGINEER OF RECORD FOR SANCTUARY SUBDIVISION, PHASE 1, CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS ARE DESIGNED TO COMPLY WILL ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS.

NOTE: THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0240G, MAP REVISION DATED SEPTEMBER 29, 2006.

CONSTRUCTION PLANS FOR: THE SANCTUARY SUBDIVISION PHASE THREE

A 53 LOT SUBDIVISION IN SECTION 35,
TOWNSHIP 2 NORTH, RANGE 31 WEST,
ESCAMBIA COUNTY, FLORIDA

DEVELOPER:

DR HORTON

Approved: *[Signature]* 1-12-2022
Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

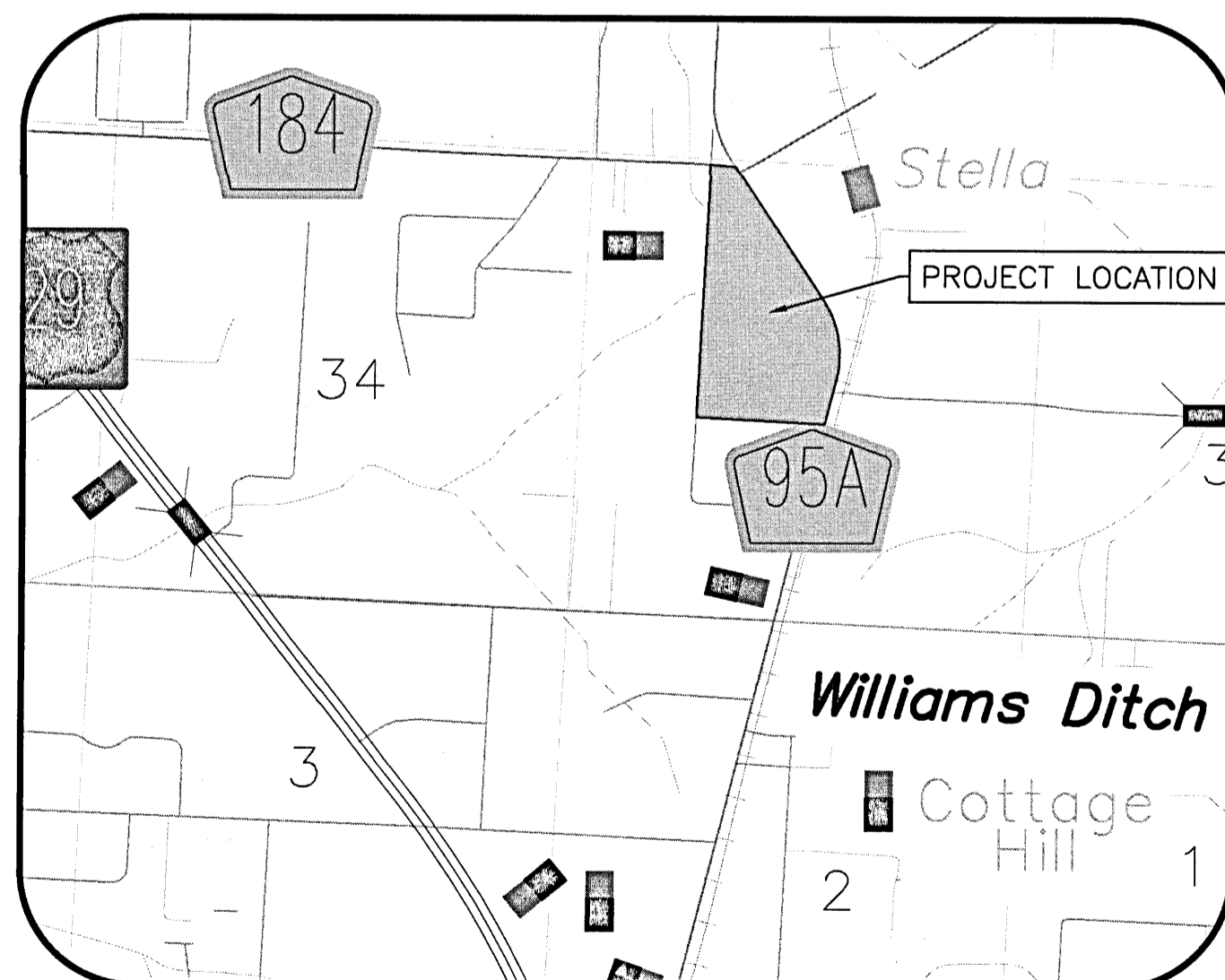
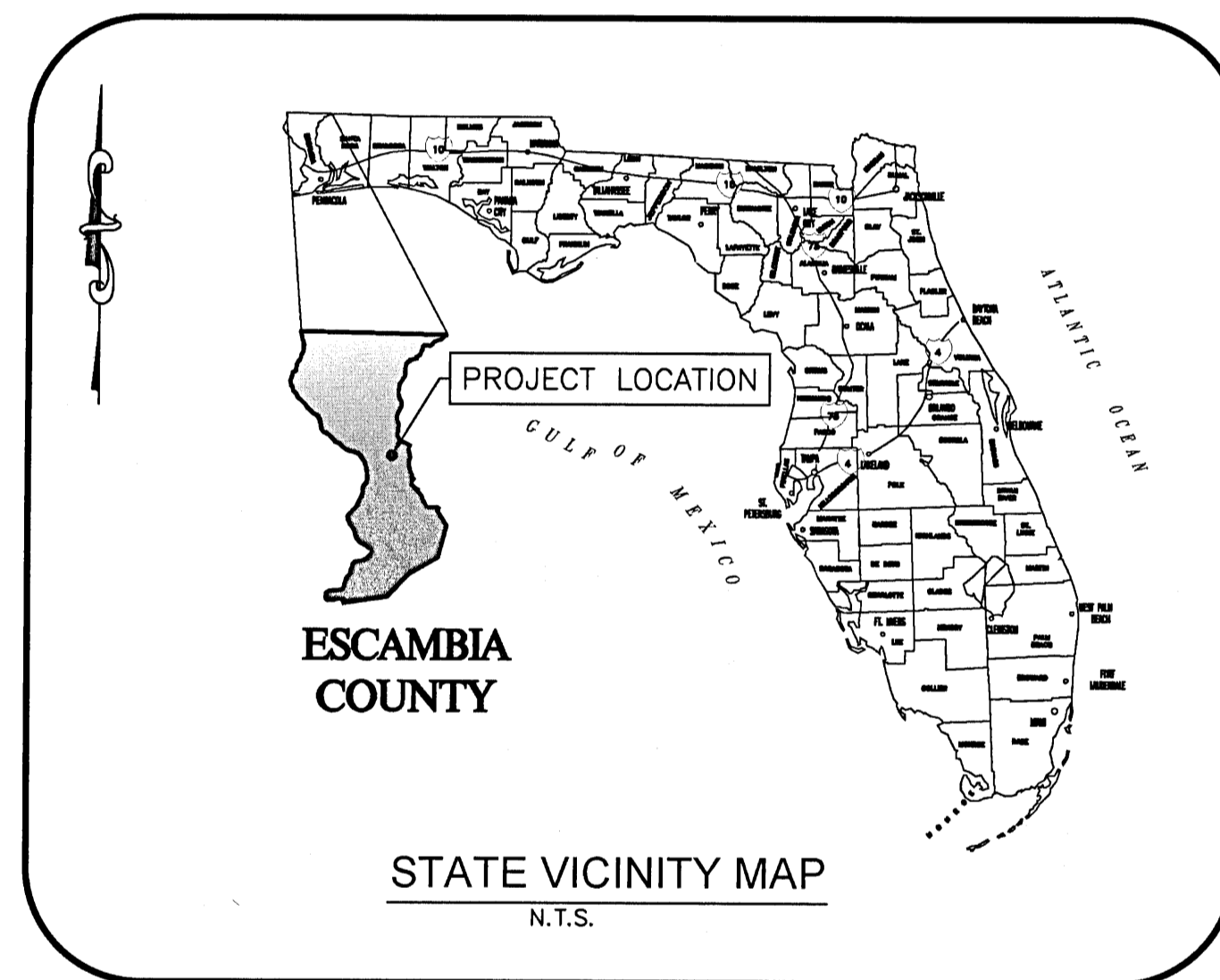
DRAINAGE FEE

Imperv. Surf. 89741.1 Sq ft

Stormwater Ret. 0.81 % (F)

Total Drainage Fee \$ 3,634.51

Pond Maint. Fee: MSBU



LOCATION MAP

1"=2000'

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION
SEPTEMBER 2020

ECUA Required Plan Notes

(notes shall be inserted in the upper right corner of title sheet)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with any listed updates (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supersede the Manual listed above? ☒ YES ☐ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. REG. NO. 86282

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

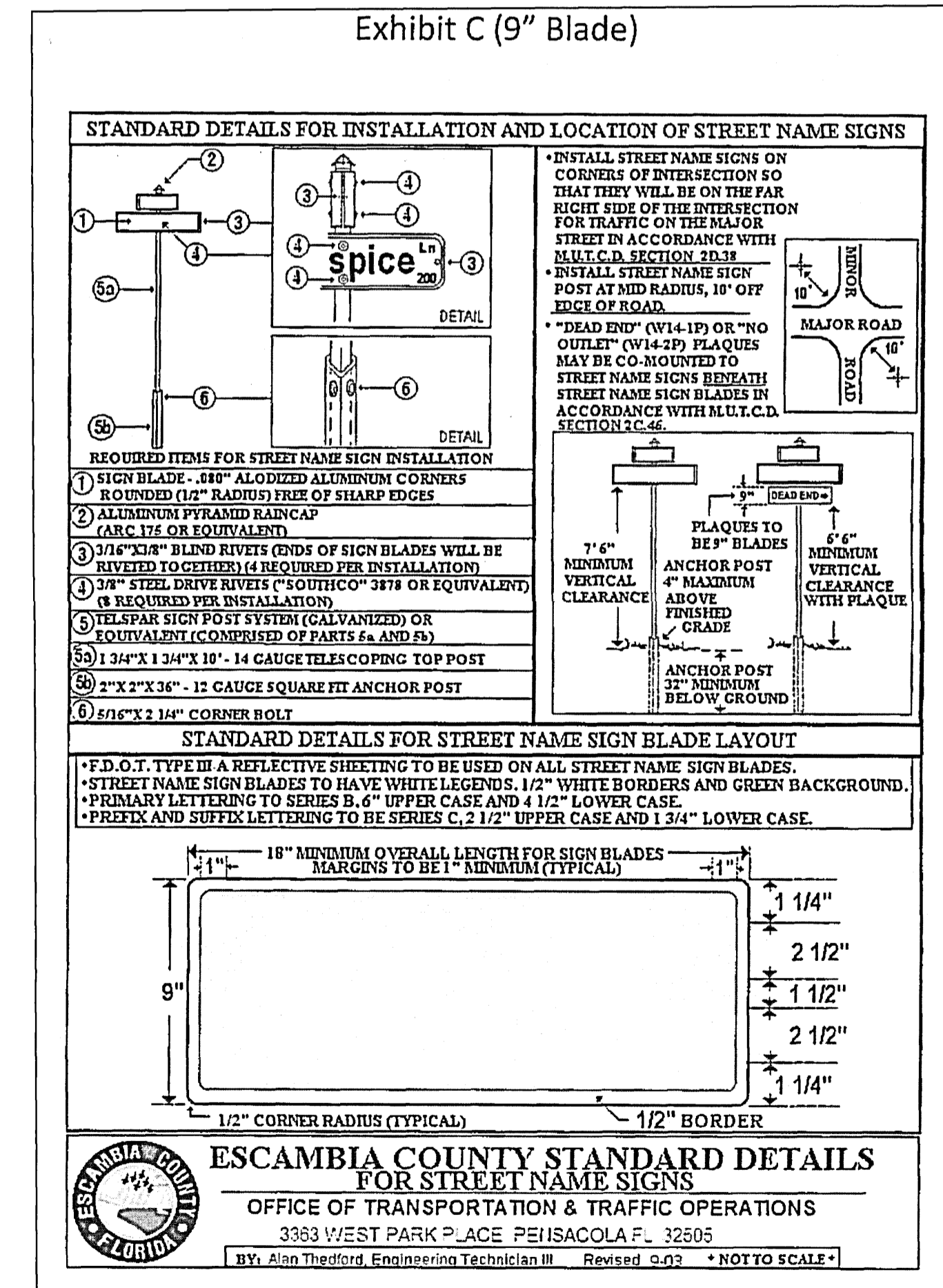
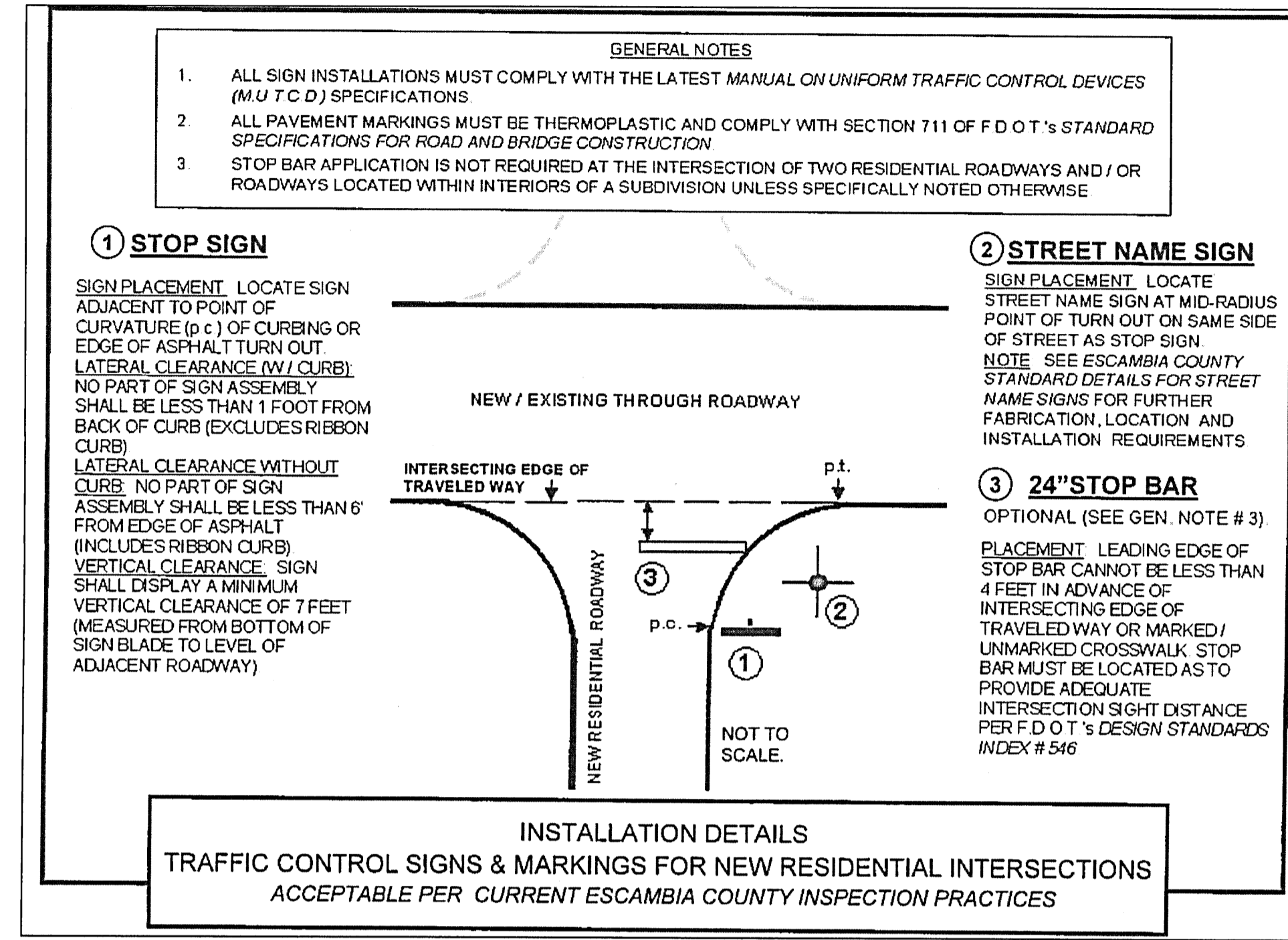
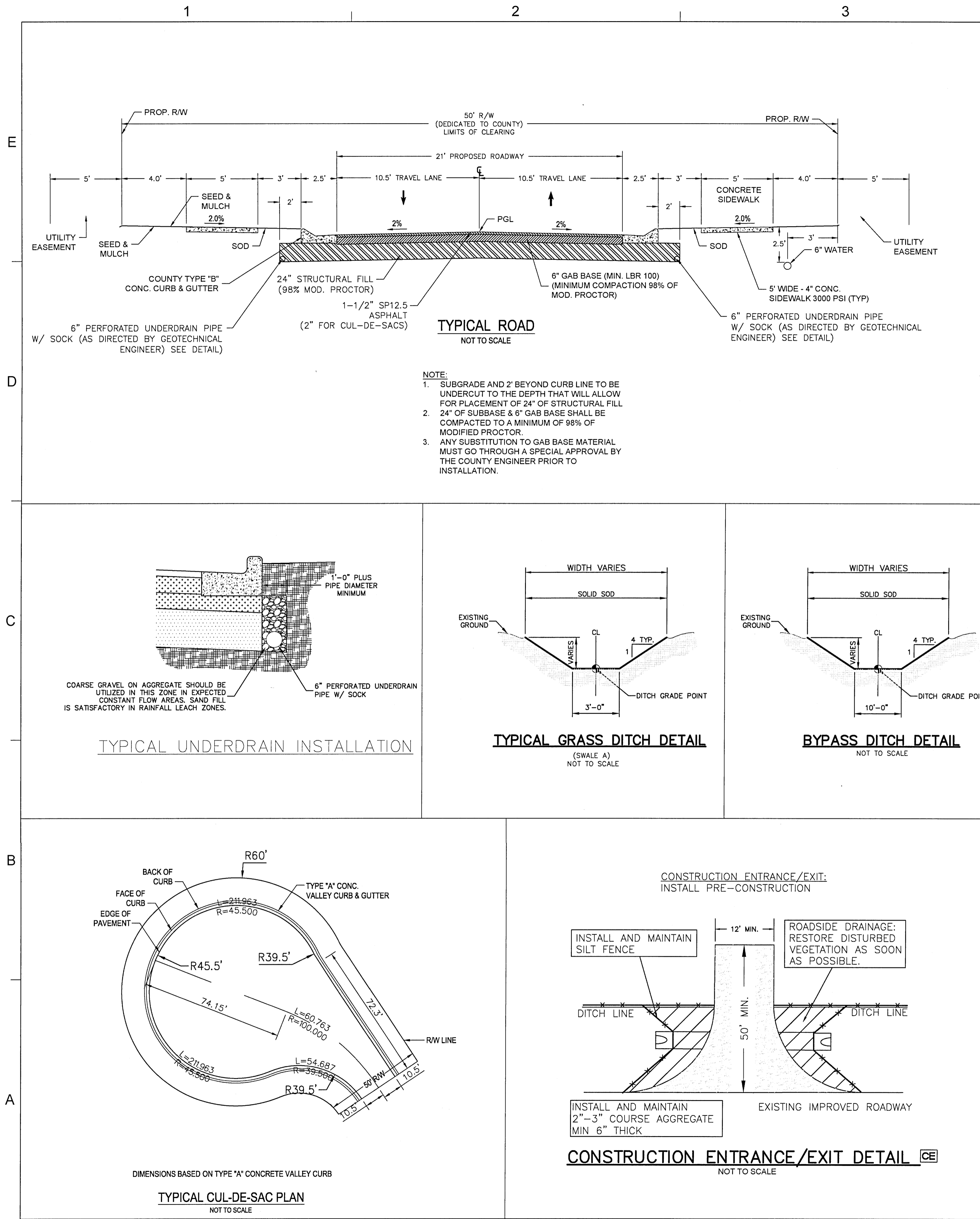
TITLE

TITLE SHEET

PROJECT NO. 50128595

G100

SHEET NO.



Dewberry®

Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY SUBDIVISION
PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE
DAVID B. TILLAR, P.E.
FL. P.E. NO. 86282
CO#AP 8794

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE

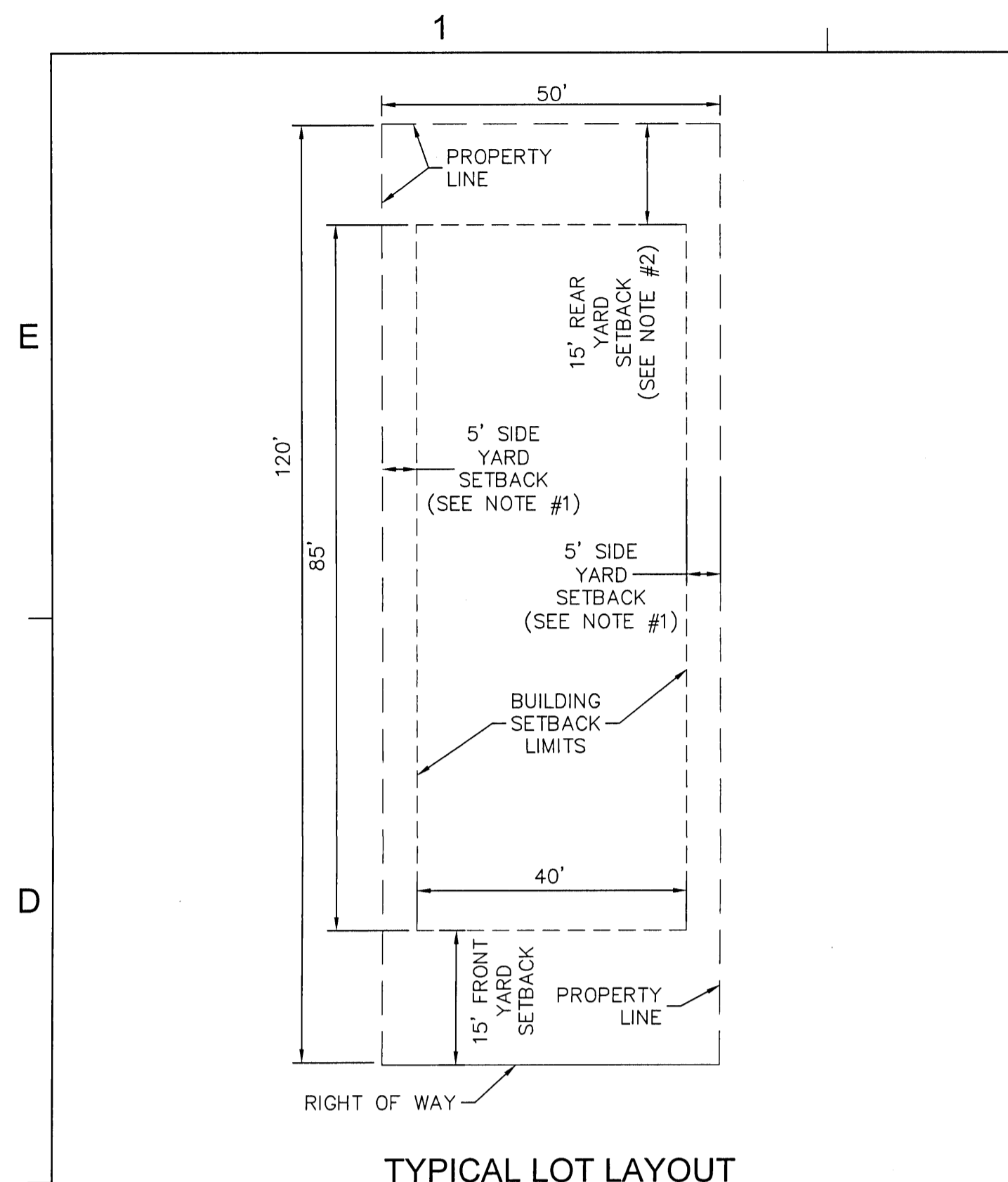
DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020
TITLE

TYPICAL SECTION & DETAILS

PROJECT NO. 50128595

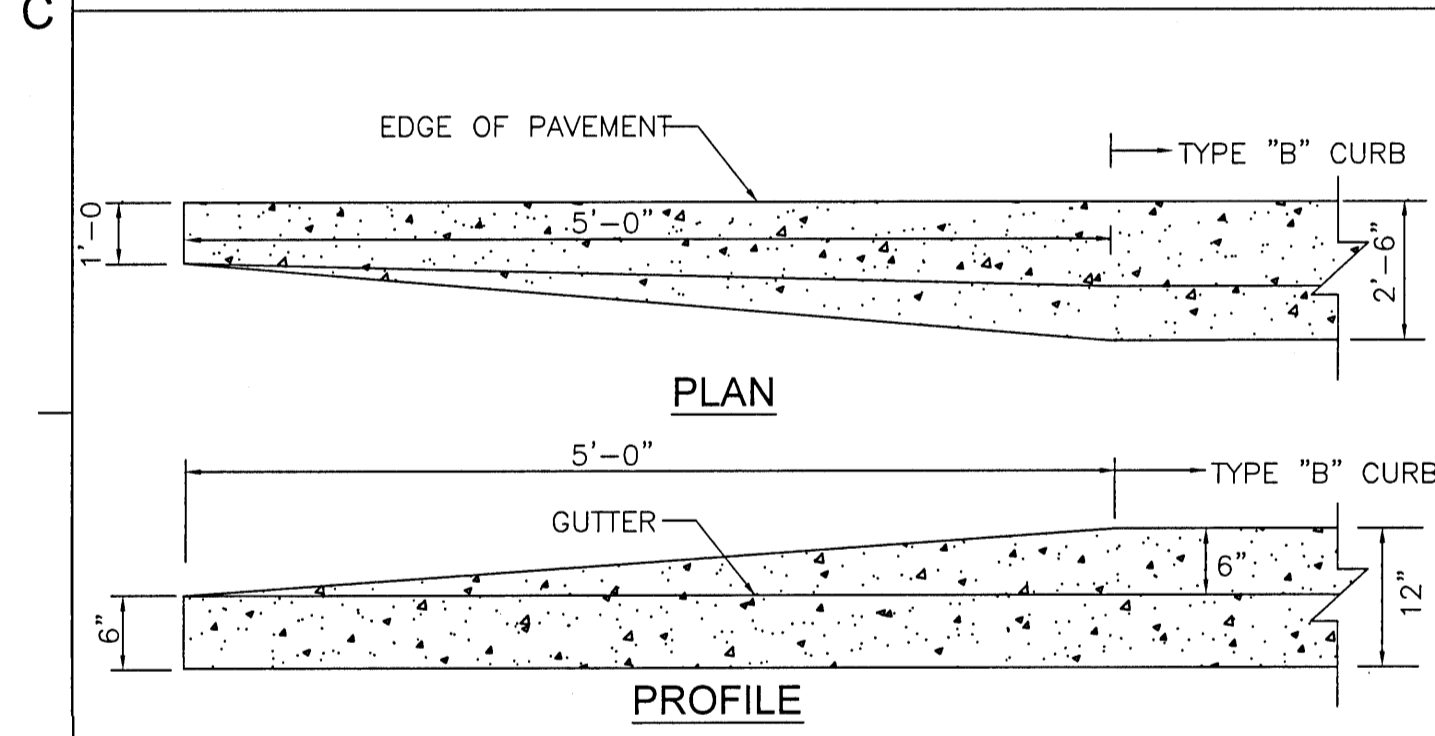
G102

SHEET NO.

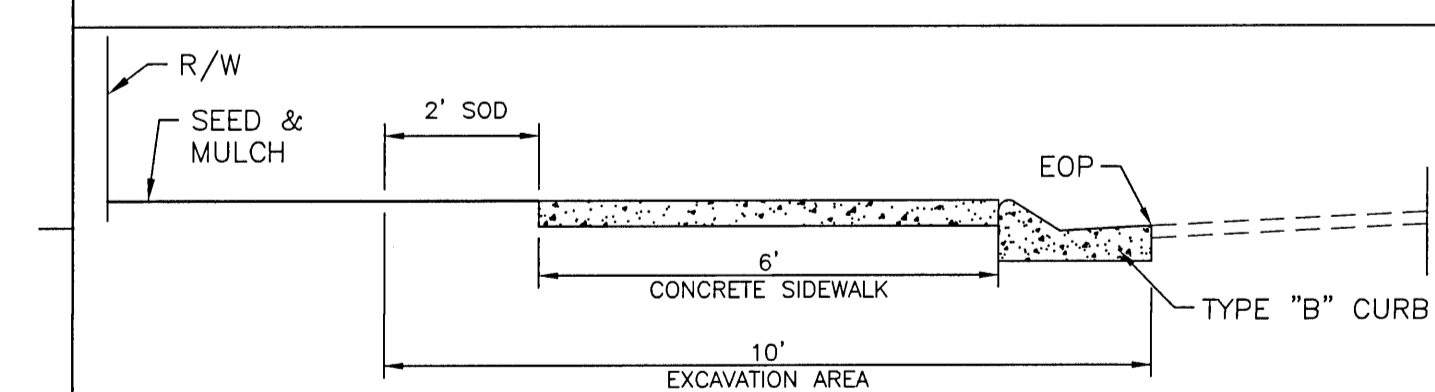


TYPICAL LOT LAYOUT
No Scale

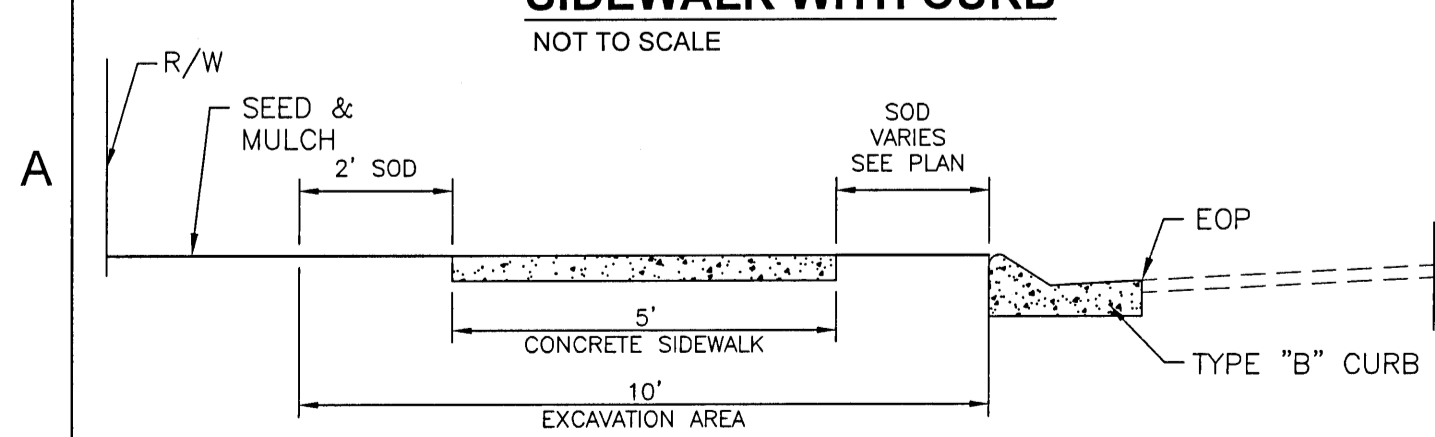
- NOTES:
- ON PROPERTY ABUTTING ESTUARINE, RIVERINE OR CREEK SYSTEMS, THE SETBACK SHALL BE IN ACCORDANCE WITH THE MARINE / ESTUARINE / RIVERINE SETBACK (MERS) PROVISION OF THIS CODE (ARTICLE 7) OR 30 FEET, WHICH EVER IS GREATER (SECTION 6.05.28.E.9).
 - THE MINIMUM REAR YARD SHALL NOT BE LESS THAN 15 FEET IN DEPTH. ON PROPERTY ABUTTING ESTUARINE, RIVERINE OR CREEK SYSTEMS, THE SETBACK SHALL BE IN ACCORDANCE WITH THE MARINE / ESTUARINE / RIVERINE SETBACK (MERS) PROVISION OF THIS CODE (ARTICLE 7) OR 30 FEET, WHICH EVER IS GREATER (SECTION 6.05.28.E.5).



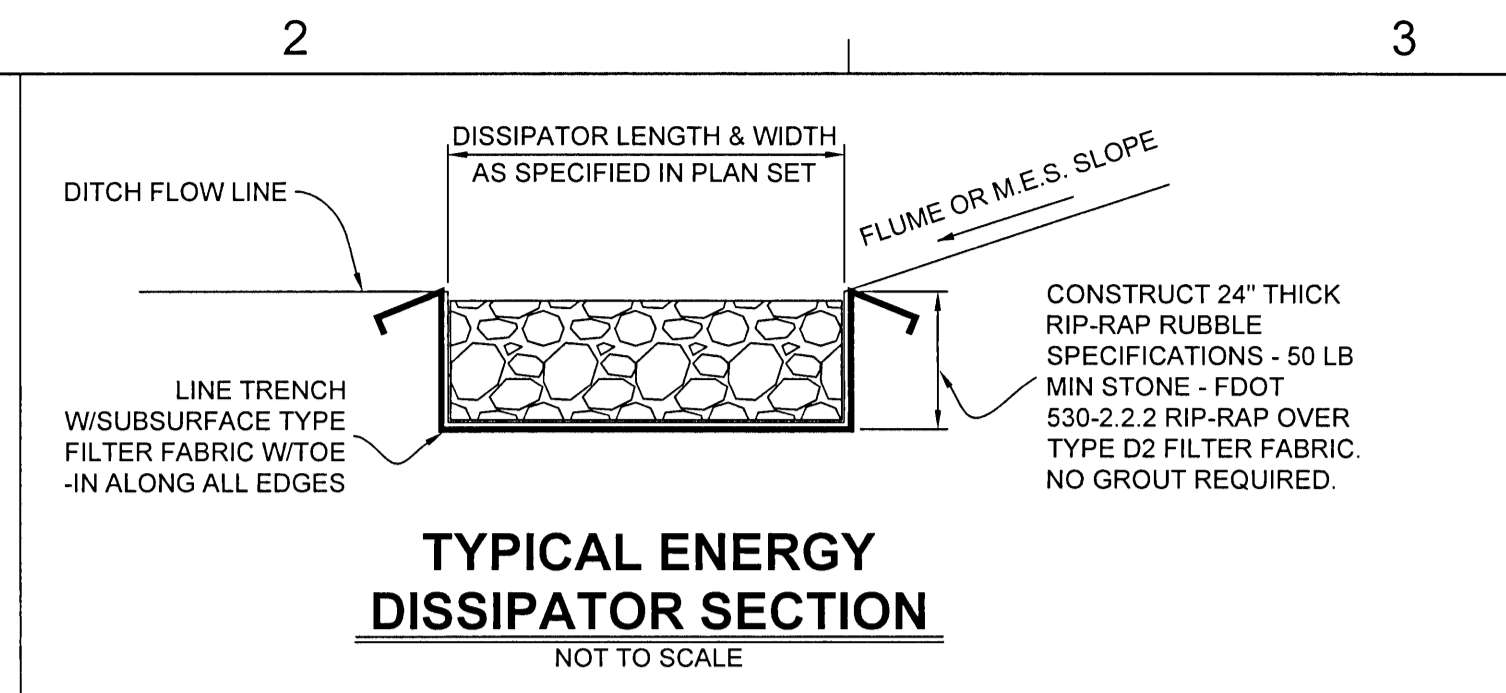
TYPICAL 5' CURB TRANSITION
NOT TO SCALE



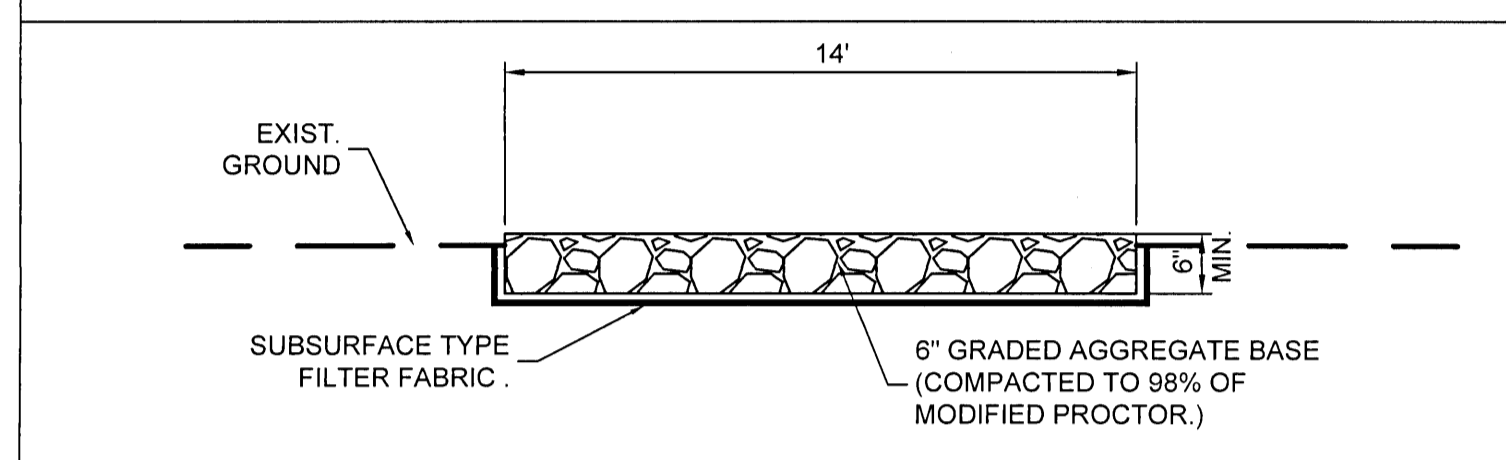
SIDEWALK WITH CURB
NOT TO SCALE



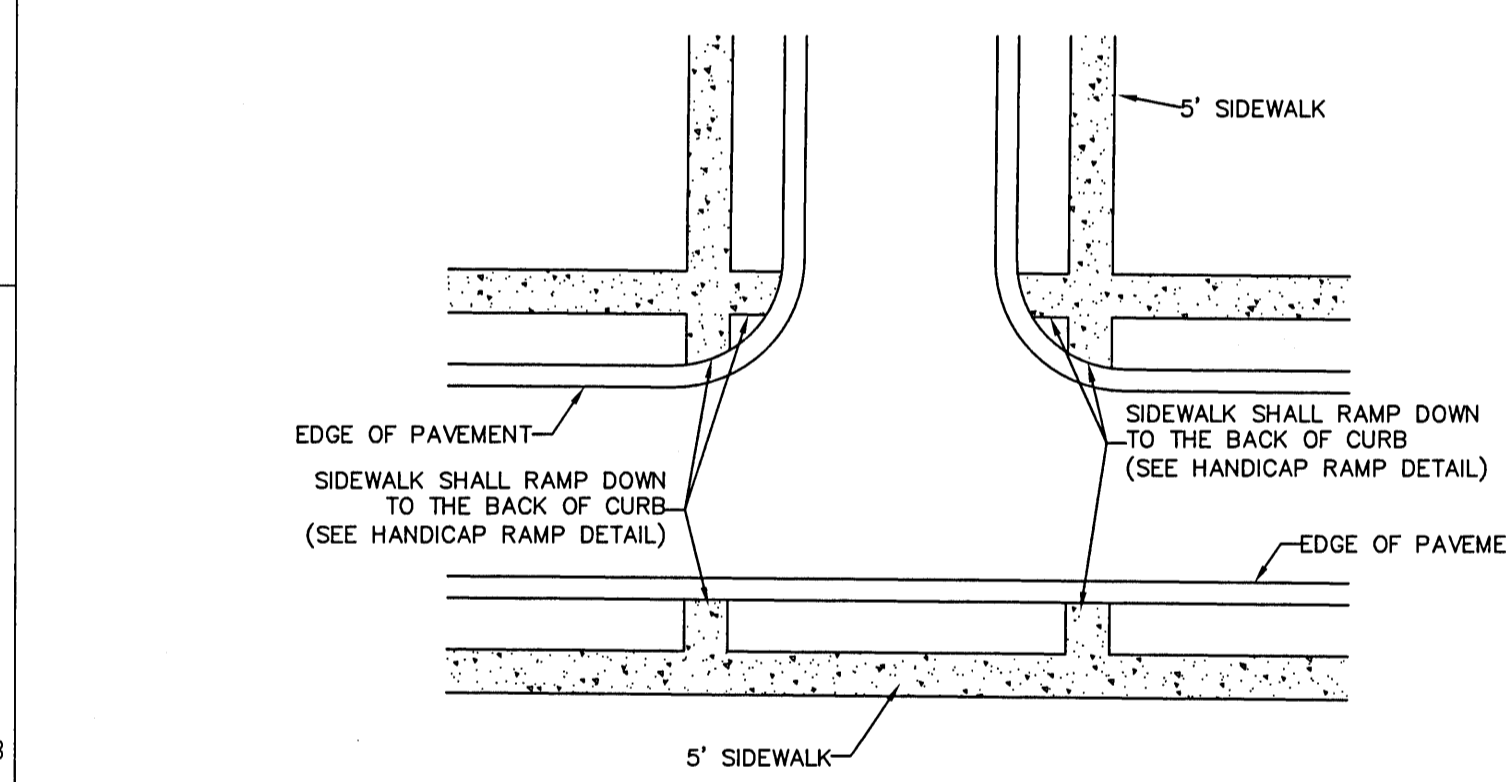
SIDEWALK AWAY FROM CURB
NOT TO SCALE



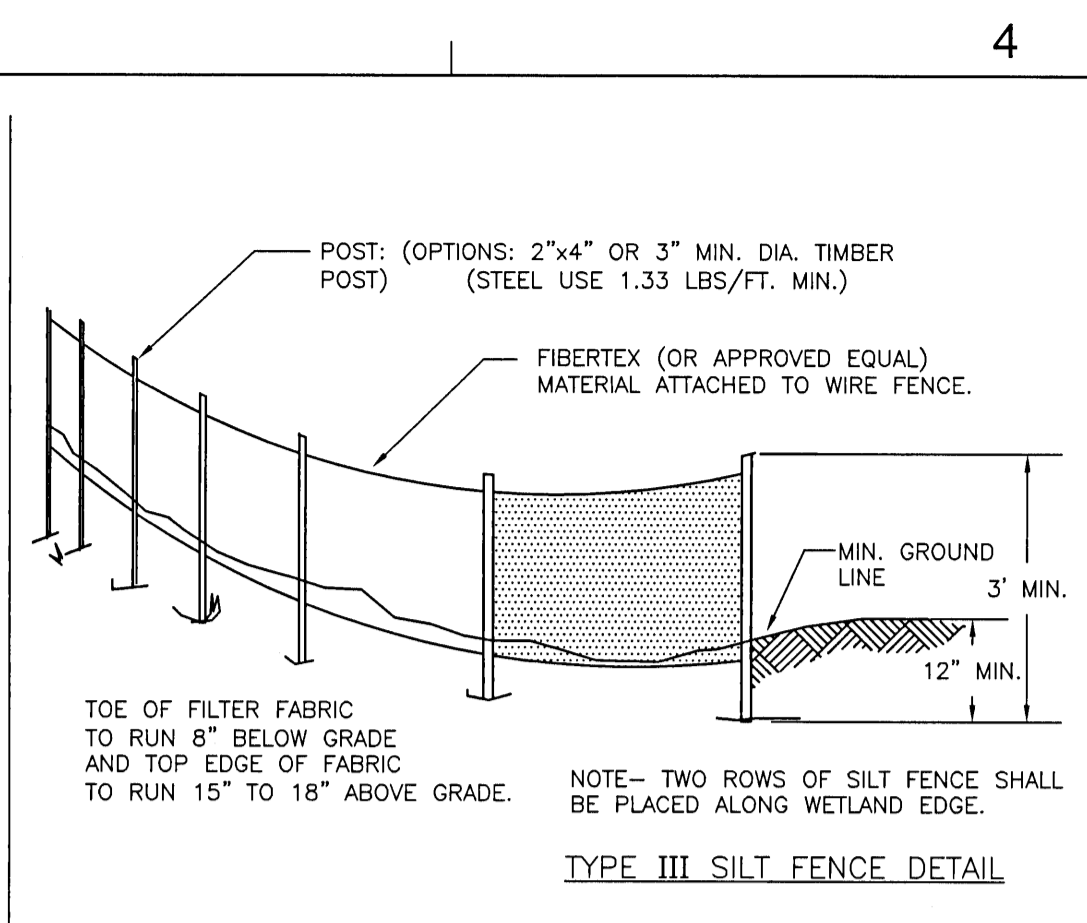
TYPICAL ENERGY DISSIPATOR SECTION
NOT TO SCALE



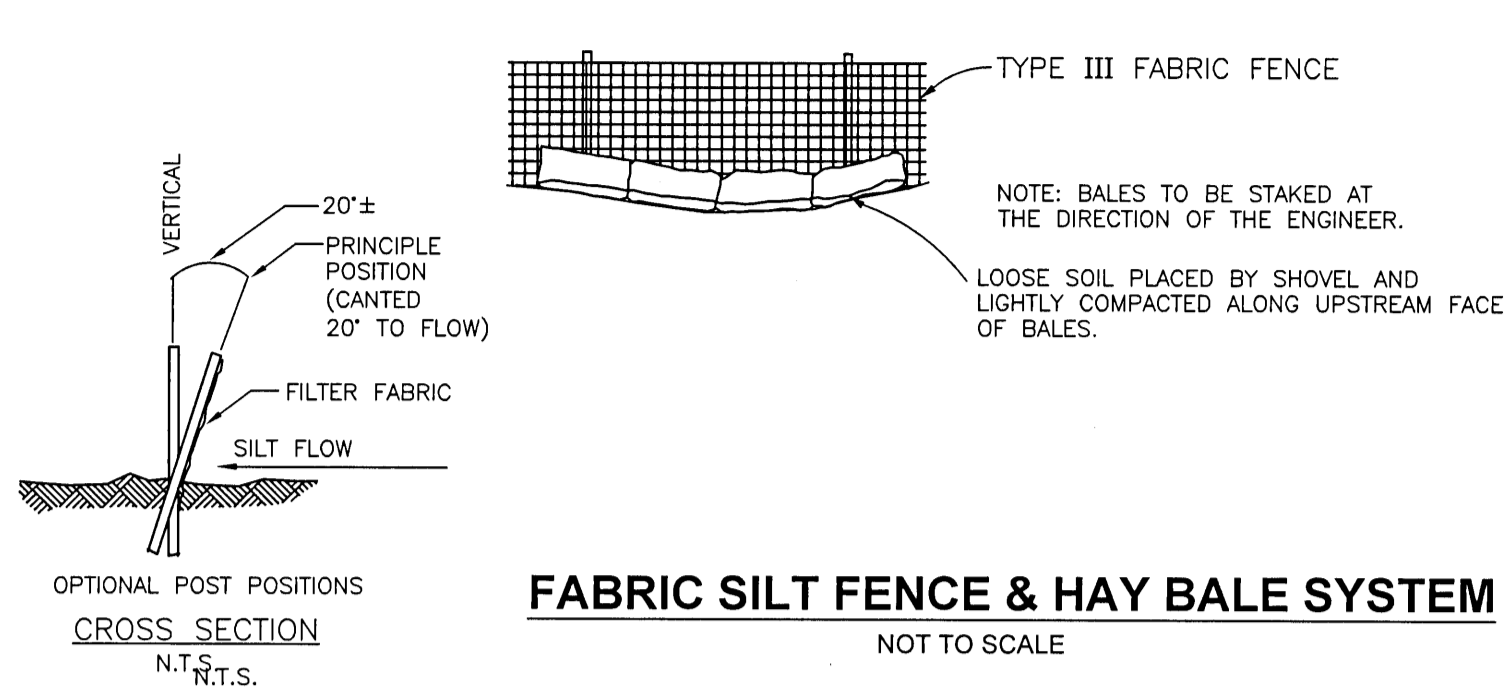
POND ACCESS ROAD
TYPICAL SECTION
NOT TO SCALE



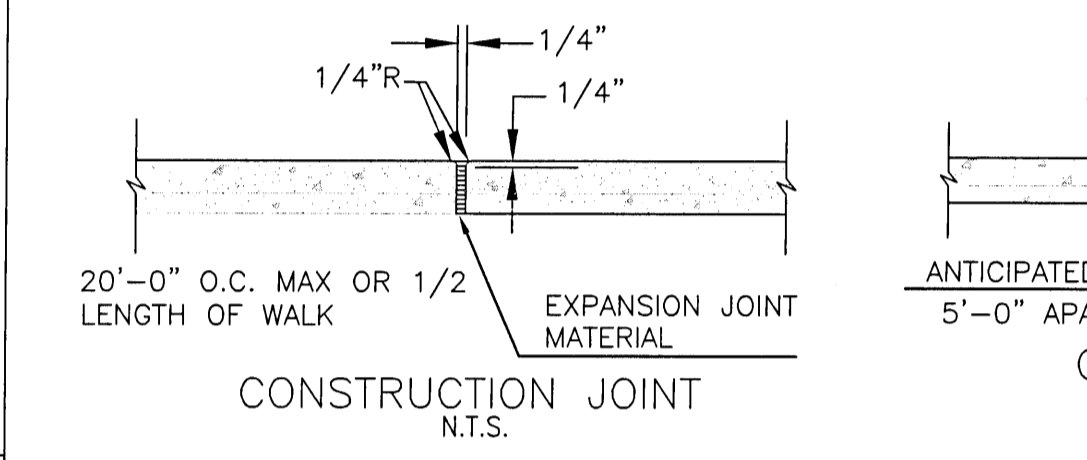
CROSSWALK DETAILS



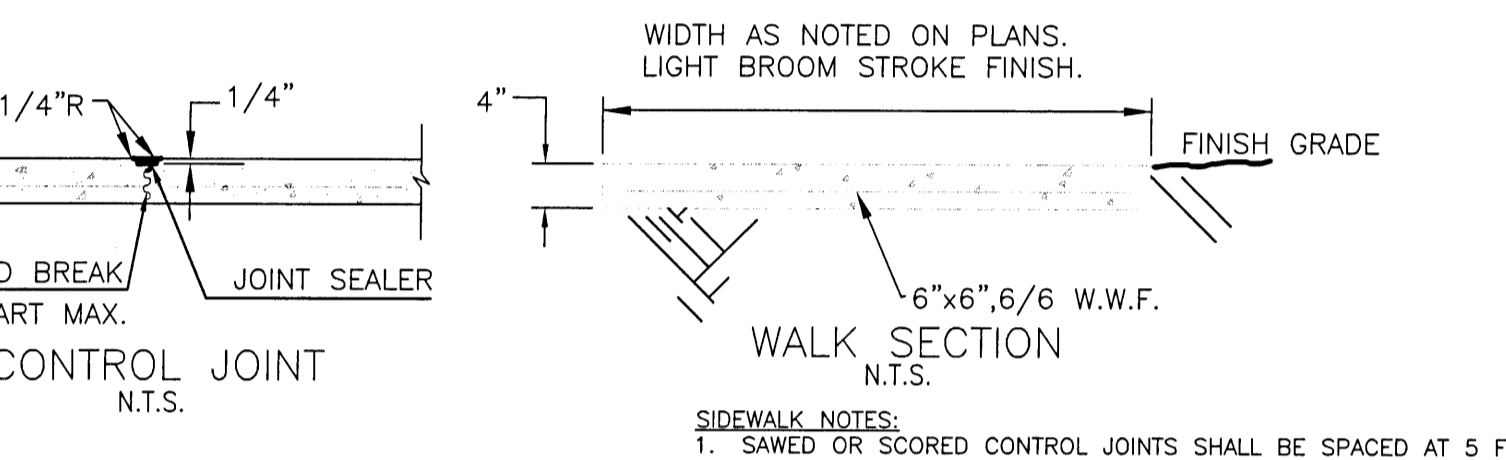
TYPE III SILT FENCE DETAIL



FABRIC SILT FENCE & HAY BALE SYSTEM
NOT TO SCALE



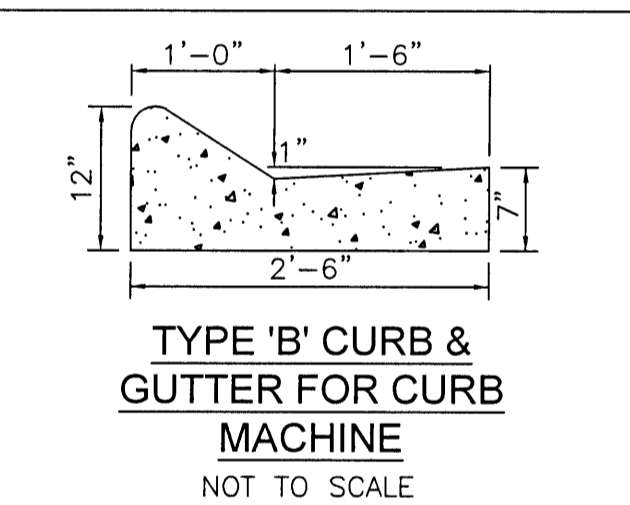
CONSTRUCTION JOINT
N.T.S.



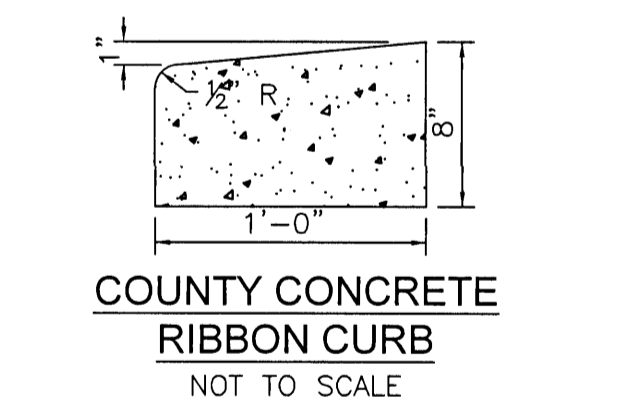
CONTROL JOINT
N.T.S.

- ALL SIDEWALKS LOCATED IN AND ADJACENT TO COMMON AREAS SHALL BE INSTALLED DURING SUBDIVISION CONSTRUCTION. SIDEWALKS IN FRONT OF AND ADJACENT TO LOTS SHALL BE INSTALLED BY THE HOMEOWNER.

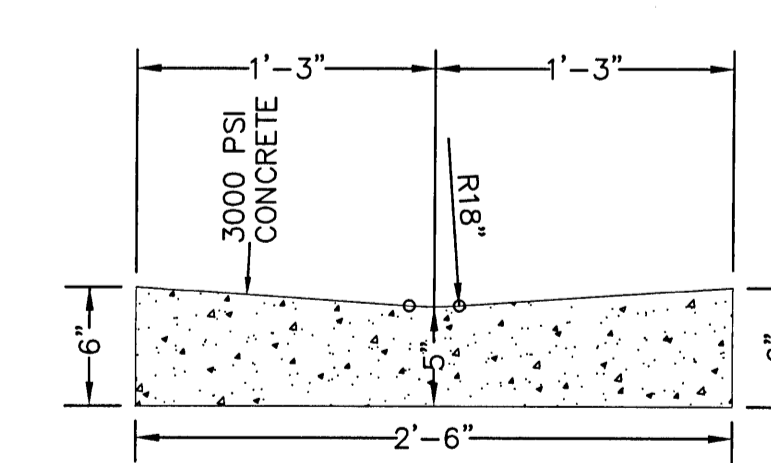
CONCRETE SIDEWALK DETAILS
NOT TO SCALE



TYPE 'B' CURB & GUTTER FOR CURB MACHINE
NOT TO SCALE

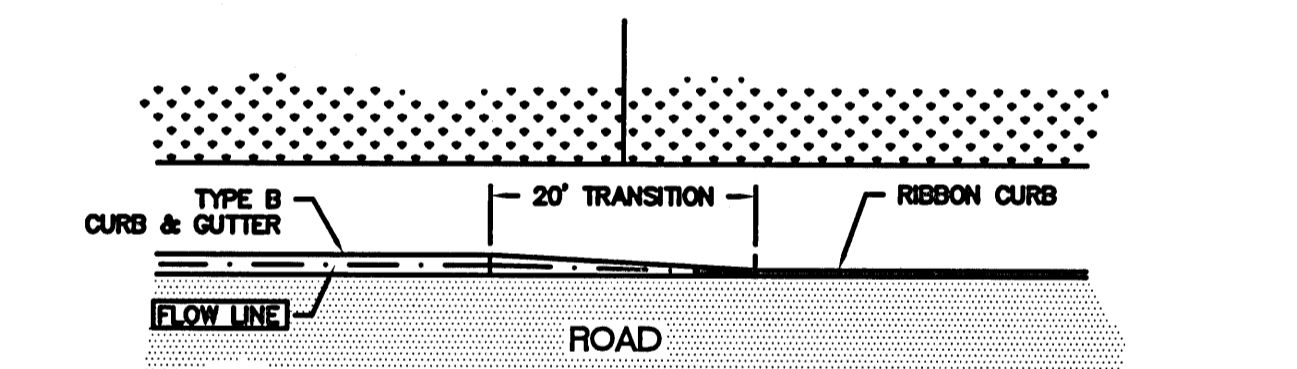


COUNTY CONCRETE RIBBON CURB
NOT TO SCALE

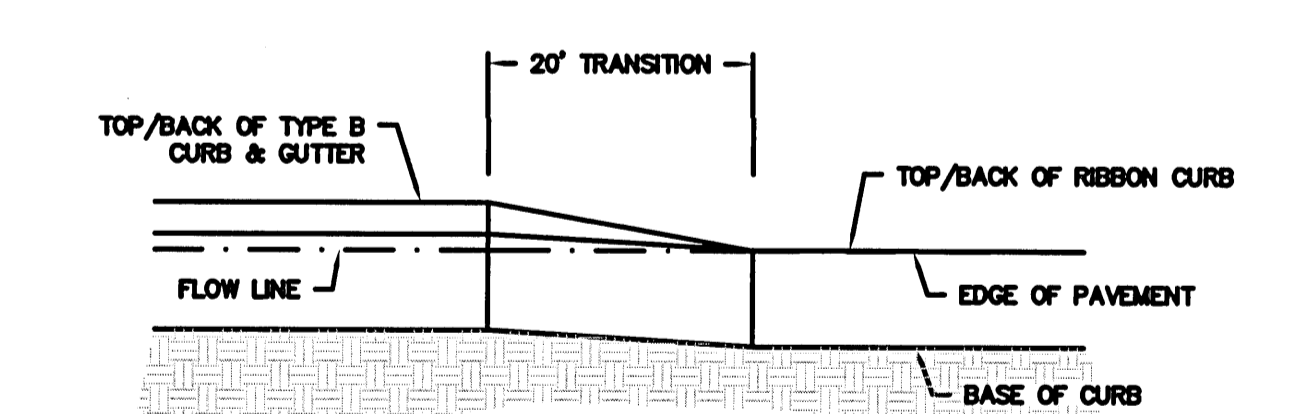


CONCRETE VALLEY GUTTER
TYPE 'A' - MODIFIED

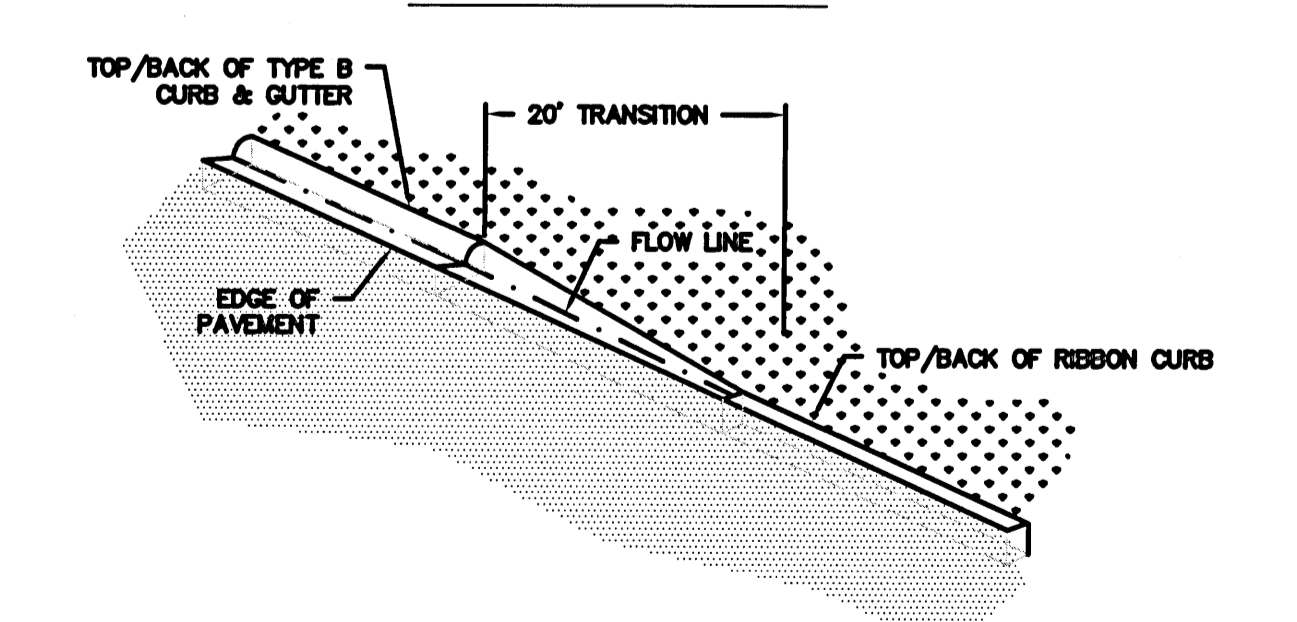
- NOTES:
- ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 - EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB. CONCRETE TO BE 3000 PSI.



PLAN VIEW



SECTION VIEW



ISOMETRIC VIEW

TYPICAL CURB TRANSITION



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION
PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. PE No. 96282
CDA# 8794

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

TITLE

TYPICAL SECTION
& DETAILS

PROJECT NO. 50128595

G103

SHEET NO.

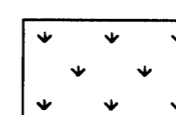


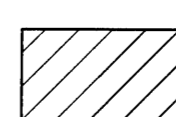
TBM #3
NORTHING: 611268.572
EASTING: 1081080.370
ELEVATION: 116.27


TBM #3
NORTHING: 610941.810
EASTING: 1081066.614
ELEVATION: 114.60


- EXISTING CONDITIONS PLAN NOTES:**
1. REFER TO SHEET C101 FOR PROJECT NOTES.
 2. THIS PLAN REFLECTS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE FIELD SURVEY. ADDITIONAL IMPROVEMENTS/FEATURES MAY BE PRESENT OR HAVE BEEN CONSTRUCTED SINCE THE FIELD WORK WAS COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 3. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
 4. WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES.


CLEARING AND SEDIMENT CONTROL LEGEND:

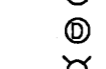
- 

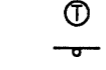
EXISTING WETLANDS
- 

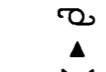
WETLAND BUFFER
- 

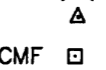
EXISTING TREE, OAK
- 


EXISTING TREE, HICKORY/SWEET GUM
- 


EXISTING TREE, MAGNOLIA
- 

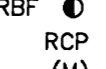
= CABLE TELEVISION PEDESTAL
- 


= DRAINAGE MANHOLE
- 


= FIRE HYDRANT
- 

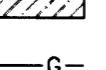
= INGROUND TELEPHONE BOX
- 

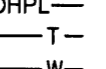
= SIGN
- 


= TELEPHONE PEDESTAL
- 


= UTILITY POLE
- 


= UTILITY MARKER
- 


= WATER VALVE
- 

= WETLAND MARKER
- 

= CONCRETE MONUMENT FOUND
- 

= CAPPED REBAR FOUND
- 

= CAPPED REBAR SET (LB 8011)
- 

= IRON PIN FOUND
- 

= NAIL AND SHINER FOUND
-

= NAIL AND SHINER SET (LB #8011)
-

= OPEN END IRON PIPE FOUND
-

= REBAR FOUND
-

= REINFORCED CONCRETE PIPE
-

= MEASURED BEARING AND DISTANCE
-

= RECORD DEED BEARING AND DISTANCE
-

= LANDS IN PRESCRIPTIVE EASEMENT (COUNTY MAINTAINED)
-

= RECORD LANDS SOLD IN O.R.B. 4348 PAGE 569
-

= GAS LINE
-

= OVERHEAD POWER LINE
-

= TELEPHONE LINE
-

= WATER LINE



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

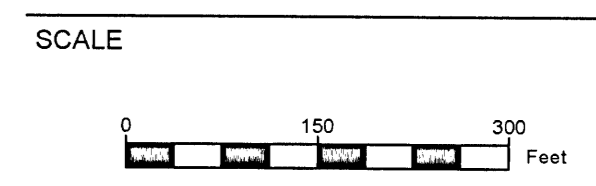
**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. REG. NO. 86282

**PRELIMINARY DESIGN
NOT FOR CONSTRUCTION**



REVISIONS		
NO.	DESCRIPTION	DATE

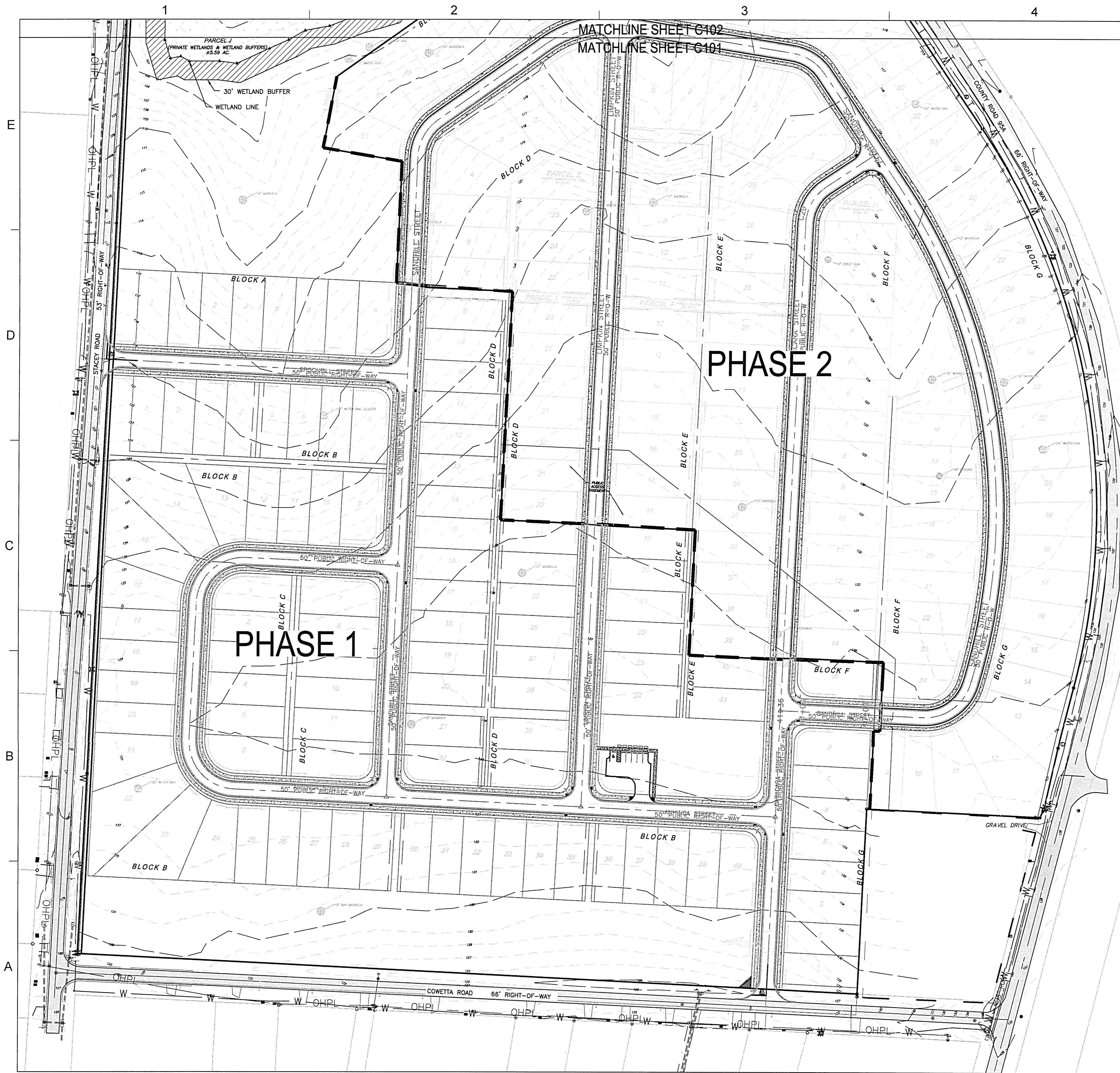
DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

TITLE

**EXISTING
CONDITIONS PLAN**

PROJECT NO. 50128595

C100
SHEET NO.



NWFWM/ACOE/ESCAMBIA COUNTY
WETLANDS DELINEATED BY WETLAND
SCIENCES IN JANUARY, 2020,
WSI REFERENCE #2020-038



- EXISTING CONDITIONS PLAN NOTES:**
1. REFER TO SHEET C101 FOR PROJECT NOTES.
 2. THIS PLAN REFLECTS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE FIELD SURVEY. ADDITIONAL IMPROVEMENTS/FEATURES MAY BE PRESENT OR HAVE BEEN CONSTRUCTED SINCE THE FIELD WORK WAS COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 3. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
 4. WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES.

CLEARING AND SEDIMENT CONTROL LEGEND:

- EXISTING WETLANDS
- WETLAND BUFFER
- EXISTING TREE, OAK
- EXISTING TREE, HICKORY/SWEET GUM
- EXISTING TREE, MAGNOLIA
- = CABLE TELEVISION PEDESTAL
- = DRAINAGE MANHOLE
- = FIRE HYDRANT
- = INGROUND TELEPHONE BOX
- = SIGN
- = TELEPHONE PEDESTAL
- = UTILITY POLE
- = UTILITY MARKER
- = WATER VALVE
- = WETLAND MARKER
- = CONCRETE MONUMENT FOUND
- = CAPPED REBAR FOUND
- = CAPPED REBAR SET (LB 8011)
- = IRON PIN FOUND
- = NAIL AND SHINER FOUND
- = NAIL AND SHINER SET (LB #8011)
- = OPEN END IRON PIPE FOUND
- = REBAR FOUND
- = REINFORCED CONCRETE PIPE
- = MEASURED BEARING AND DISTANCE
- = RECORD DEED BEARING AND DISTANCE
- = LANDS IN PRESCRIPTIVE EASEMENT (COUNTY MAINTAINED)
- = RECORD LANDS SOLD IN O.R.B. 4348 PAGE 569
- = GAS LINE
- = OVERHEAD POWER LINE
- = TELEPHONE LINE
- = WATER LINE



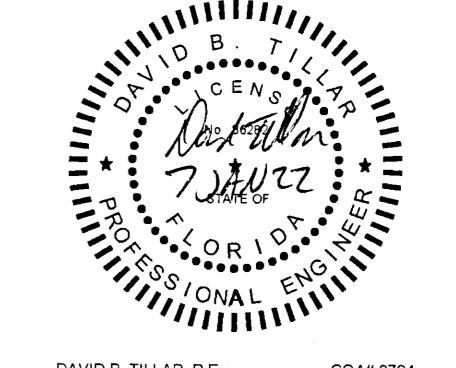
Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION
PHASE THREE**

D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. P.E. NO. 85020

**PRELIMINARY DESIGN
NOT FOR CONSTRUCTION**

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

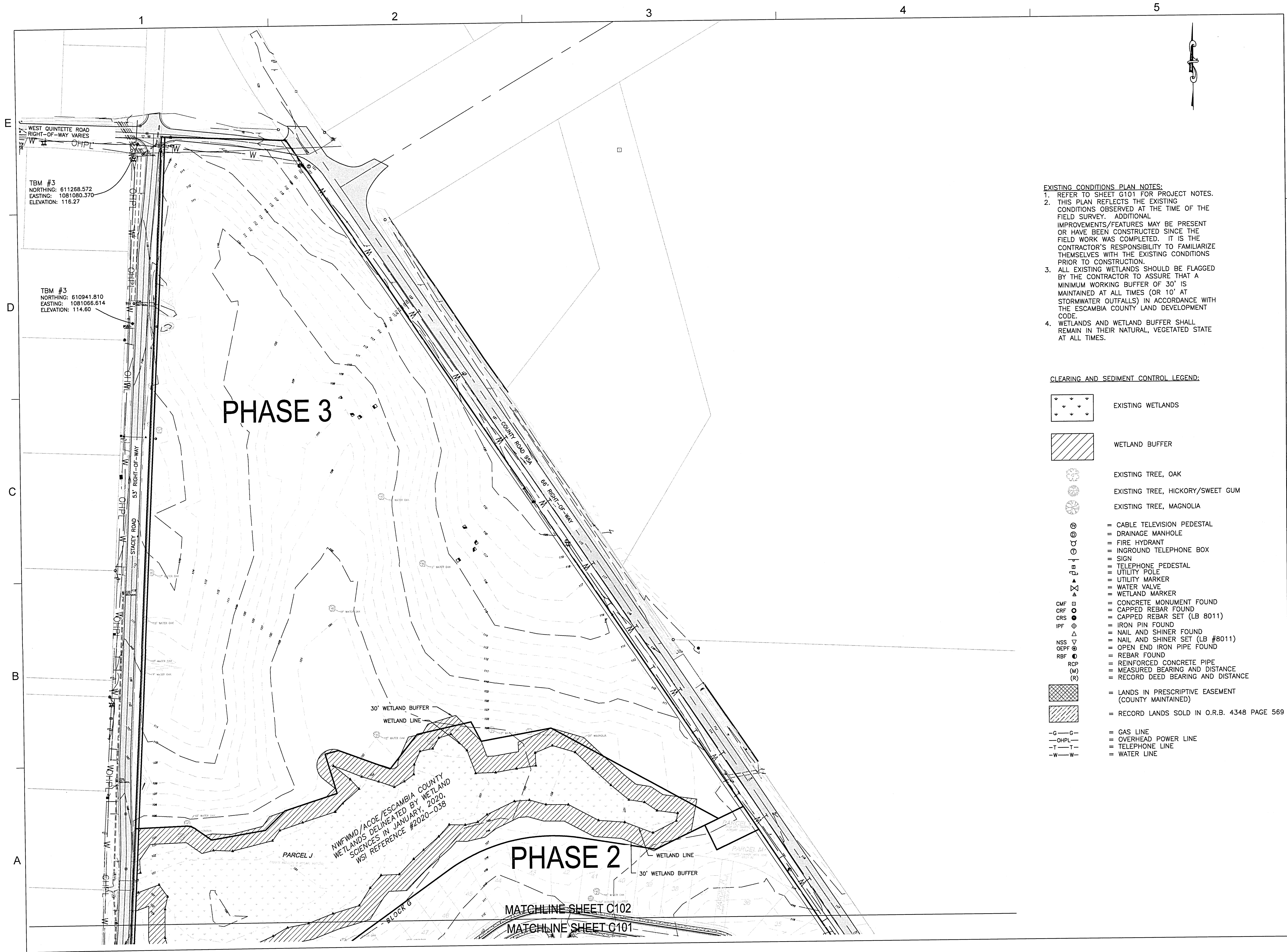
TITLE

**EXISTING
CONDITIONS PLAN**

PROJECT NO. 50128595

C101

SHEET NO.



- EXISTING CONDITIONS PLAN NOTES:**
1. REFER TO SHEET C101 FOR PROJECT NOTES.
 2. THIS PLAN REFLECTS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE FIELD SURVEY. ADDITIONAL IMPROVEMENTS/FEATURES MAY BE PRESENT OR HAVE BEEN CONSTRUCTED SINCE THE FIELD WORK WAS COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 3. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
 4. WETLANDS AND WETLAND BUFFER SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES.

CLEARING AND SEDIMENT CONTROL LEGEND:

- | | |
|--|--|
| | EXISTING WETLANDS |
| | WETLAND BUFFER |
| | EXISTING TREE, OAK |
| | EXISTING TREE, HICKORY/SWEET GUM |
| | EXISTING TREE, MAGNOLIA |
| | = CABLE TELEVISION PEDESTAL |
| | = DRAINAGE MANHOLE |
| | = FIRE HYDRANT |
| | = INGROUND TELEPHONE BOX |
| | = SIGN |
| | = TELEPHONE PEDESTAL |
| | = UTILITY POLE |
| | = UTILITY MARKER |
| | = WATER VALVE |
| | = WETLAND MARKER |
| | = CONCRETE MONUMENT FOUND |
| | = CAPPED REBAR FOUND |
| | = CAPPED REBAR SET (LB 8011) |
| | = IRON PIN FOUND |
| | = NAIL AND SHINER FOUND |
| | = NAIL AND SHINER SET (LB #8011) |
| | = OPEN END IRON PIPE FOUND |
| | = REBAR FOUND |
| | = REINFORCED CONCRETE PIPE |
| | = MEASURED BEARING AND DISTANCE |
| | = RECORD DEED BEARING AND DISTANCE |
| | = LANDS IN PRESCRIPTIVE EASEMENT (COUNTY MAINTAINED) |
| | = RECORD LANDS SOLD IN O.R.B. 4348 PAGE 569 |
| | = GAS LINE |
| | = OVERHEAD POWER LINE |
| | = TELEPHONE LINE |
| | = WATER LINE |



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

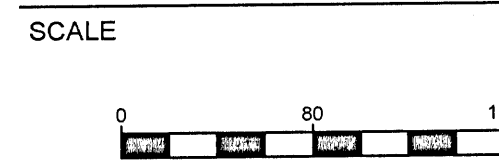
**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. PE No. 88282

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

TITLE
**EXISTING
CONDITIONS PLAN**

PROJECT NO. _____ 50128595

C102

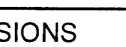
SHEET NO. _____

PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



SCALE



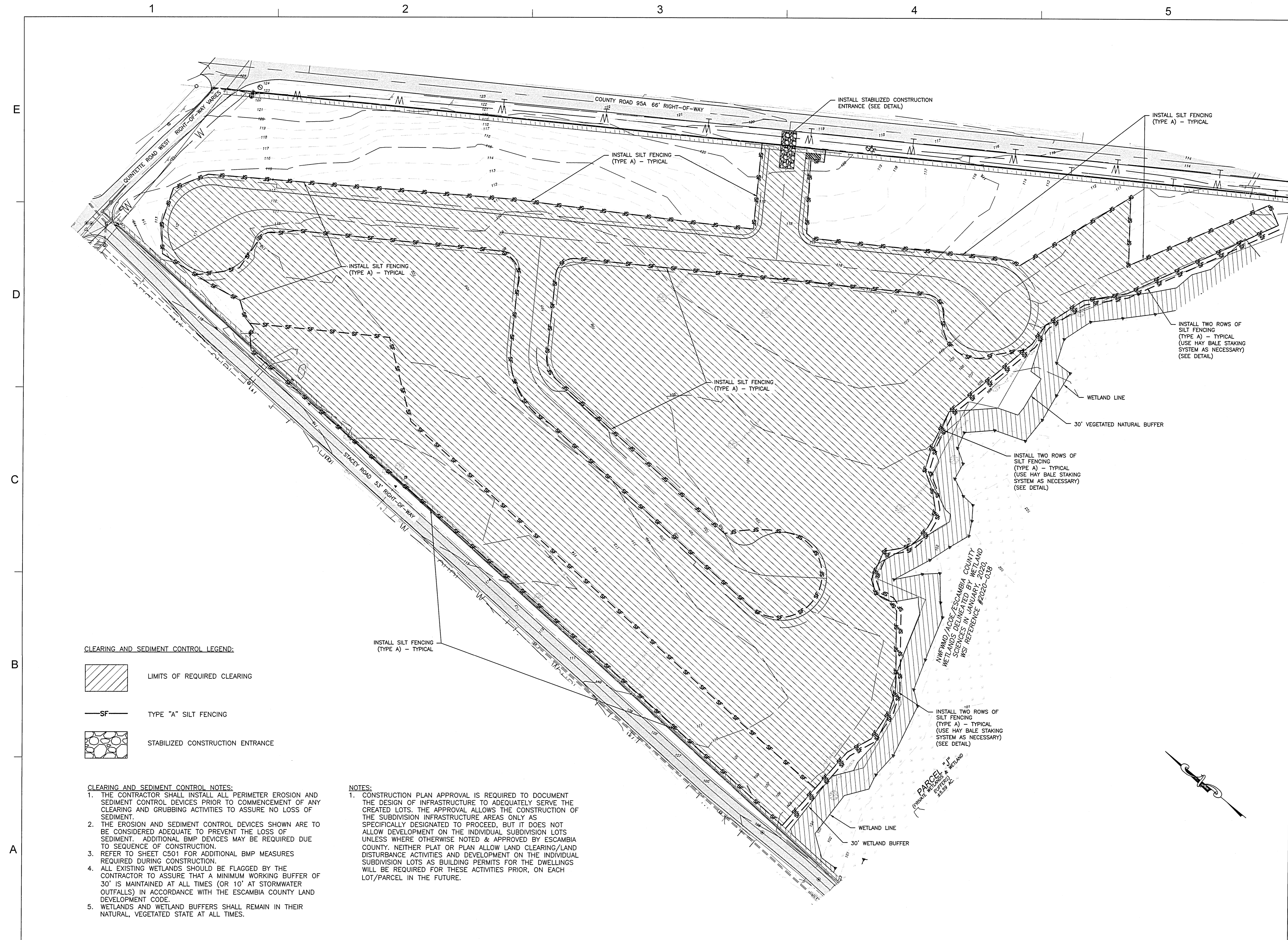
NO.	DESCRIPTION	DATE
-----	-------------	------

DATE SEPTEMBER 2020

OVERALL CLEARING AND SEDIMENT CONTROL PLAN

C103

SHEET NO.



SANCTUARY
SUBDIVISION

PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE

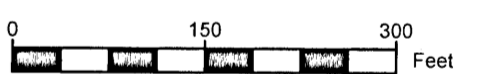


DAVID B. TILLAR, P.E.
FL PE No. 85282

AK 8794

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY CAH

APPROVED BY _____ DBT

CHECKED BY _____ JMB

DATE SEPTEMBER 2020

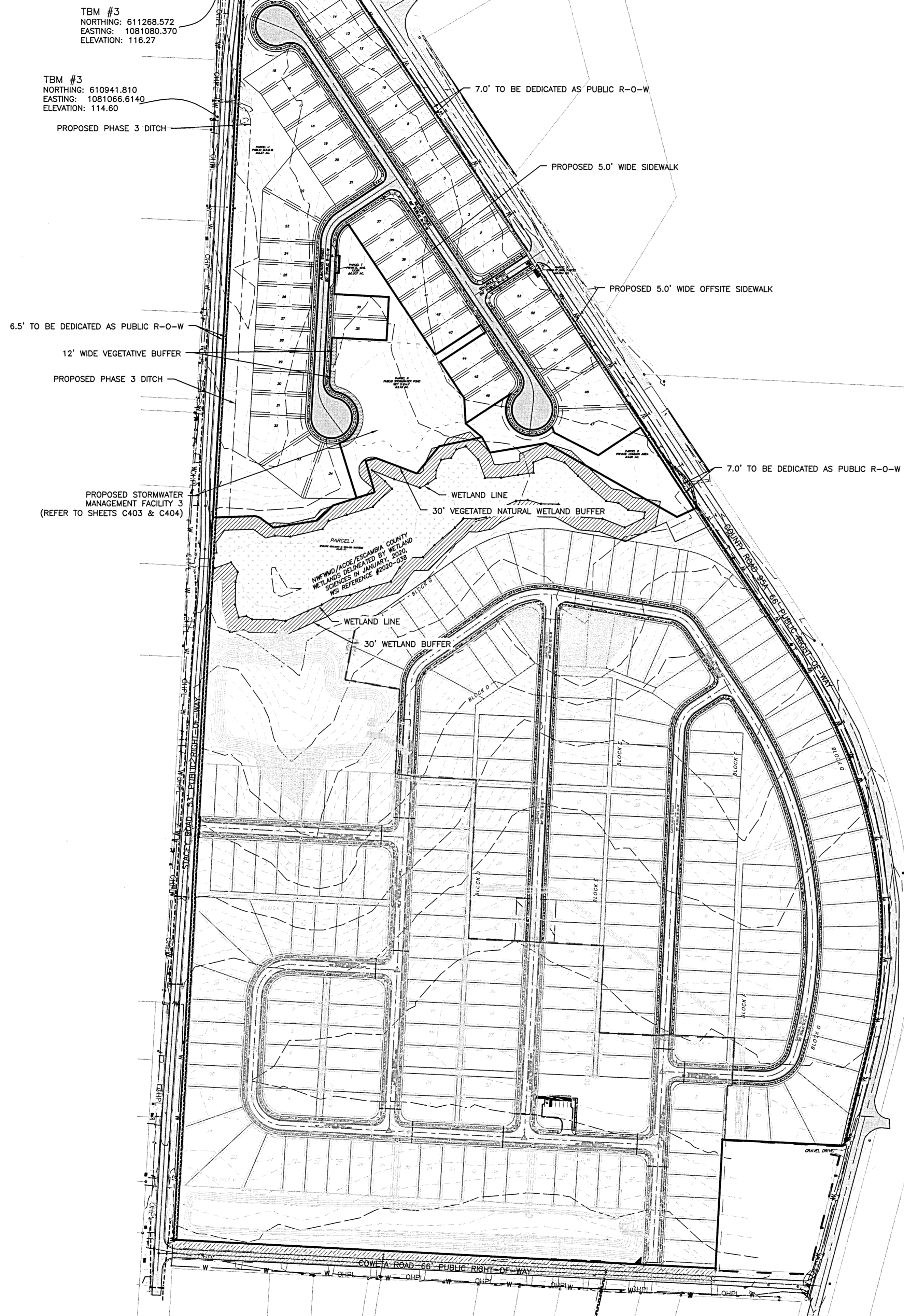
TITLE

OVERALL SITE PLAN





PROJECT NO. 50128595

C200

SHEET NO.



PHASE THREE
D. R. HORTON, INC.

	REQUIRED ASPHALT PAVING
	REQUIRED SIDEWALK
	REQUIRED STOP SIGN
	REQUIRED STREET SIGN

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27	25.00	90.00	N78° 43' 21"W	35.36
C2	3.31	25.00	7.59	N29° 55' 40"W	3.31
C3	279.51	60.00	266.91	S20° 24' 34"W	87.11
C4	34.61	25.00	79.33	S73° 23' 07"E	31.91
C5	39.27	25.00	90.00	N11° 16' 39"W	35.36
C6	45.84	100.00	26.26	S43° 08' 48"W	45.44
C7	47.37	100.00	27.14	S16° 26' 42"W	46.93
C8	38.61	60.00	36.87	S15° 33' 38"E	37.95
C9	38.61	60.00	36.87	S52° 25' 50"E	37.95
C10	38.61	60.00	36.87	S89° 18' 02"E	37.95
C11	156.27	60.00	149.23	N2° 20' 55"W	115.70
C12	34.83	25.00	79.84	N37° 02' 37"W	32.08
C13	46.60	50.00	53.40	N29° 34' 33"E	44.93
C14	39.27	25.00	90.00	S78° 43' 21"E	35.36
C15	34.83	25.00	79.84	S6° 11' 44"W	32.08
C16	8.49	60.00	8.11	S42° 03' 27"W	8.49
C17	191.99	60.00	183.34	S53° 40' 05"E	119.95
C18	38.14	60.00	36.42	N16° 27' 08"E	37.50
C19	34.62	60.98	32.53	N18° 16' 26"W	34.15
C20	39.27	25.00	89.99	N11° 16' 39"E	35.36



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

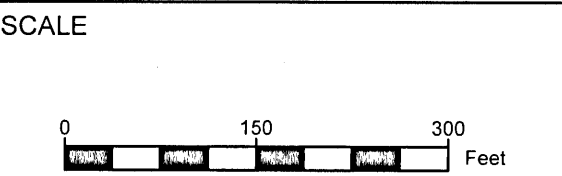
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE

DAVID B. TILLAR, P.E.
FL. PE NO. 73522
COM# 2754

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

TITLE

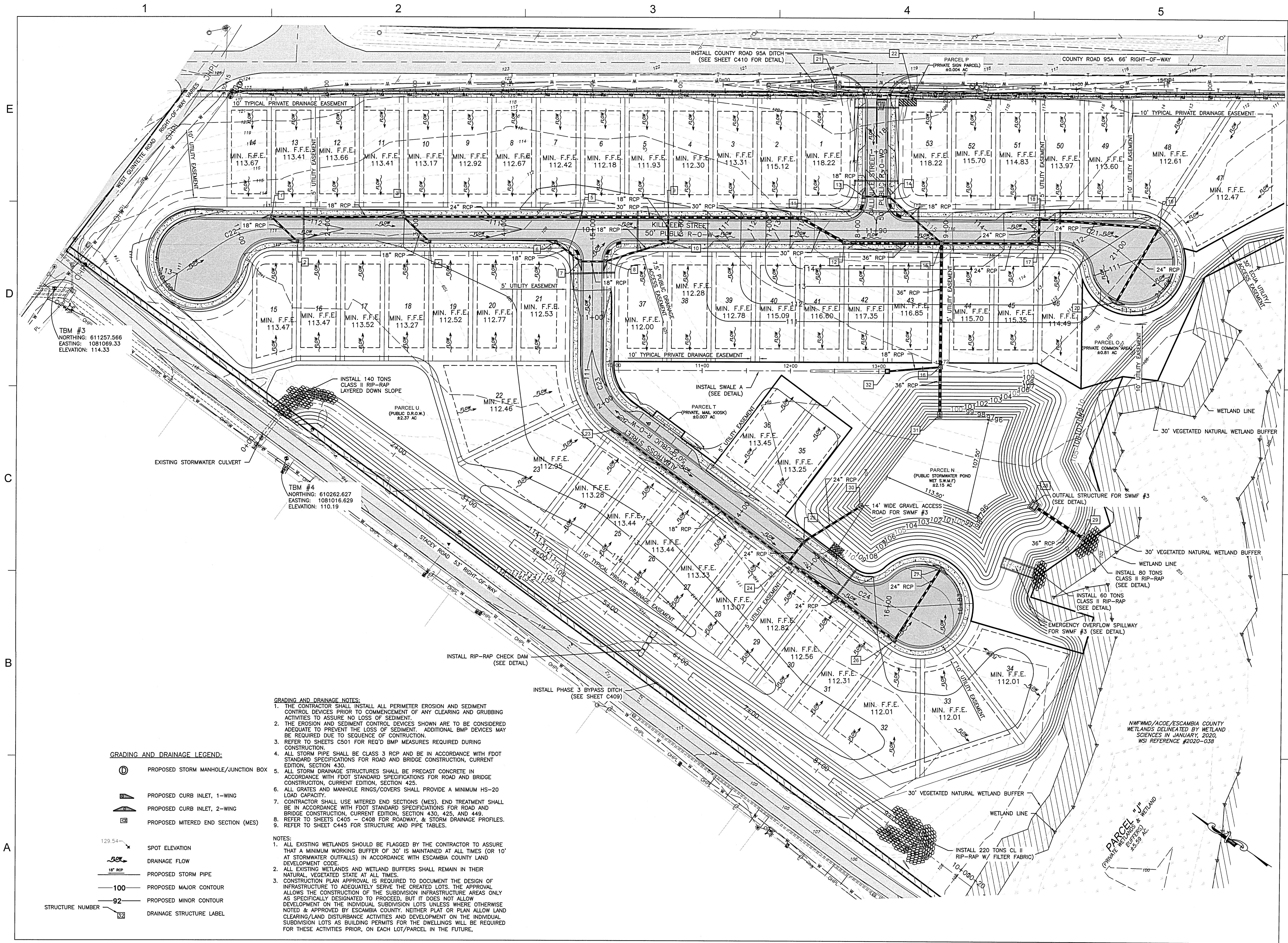
OVERALL
GRADING PLAN

PROJECT NO. 50128595

C400

SHEET NO.

- NOTES:
- ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
 - ALL WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES.
 - CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBIA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.



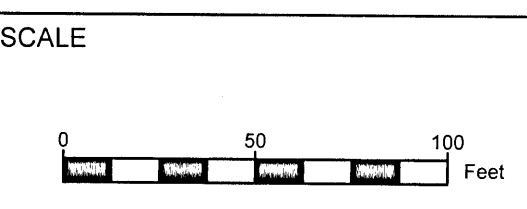
Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION**
PHASE THREE
D. R. HORTON, INC.
ESCAMBA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

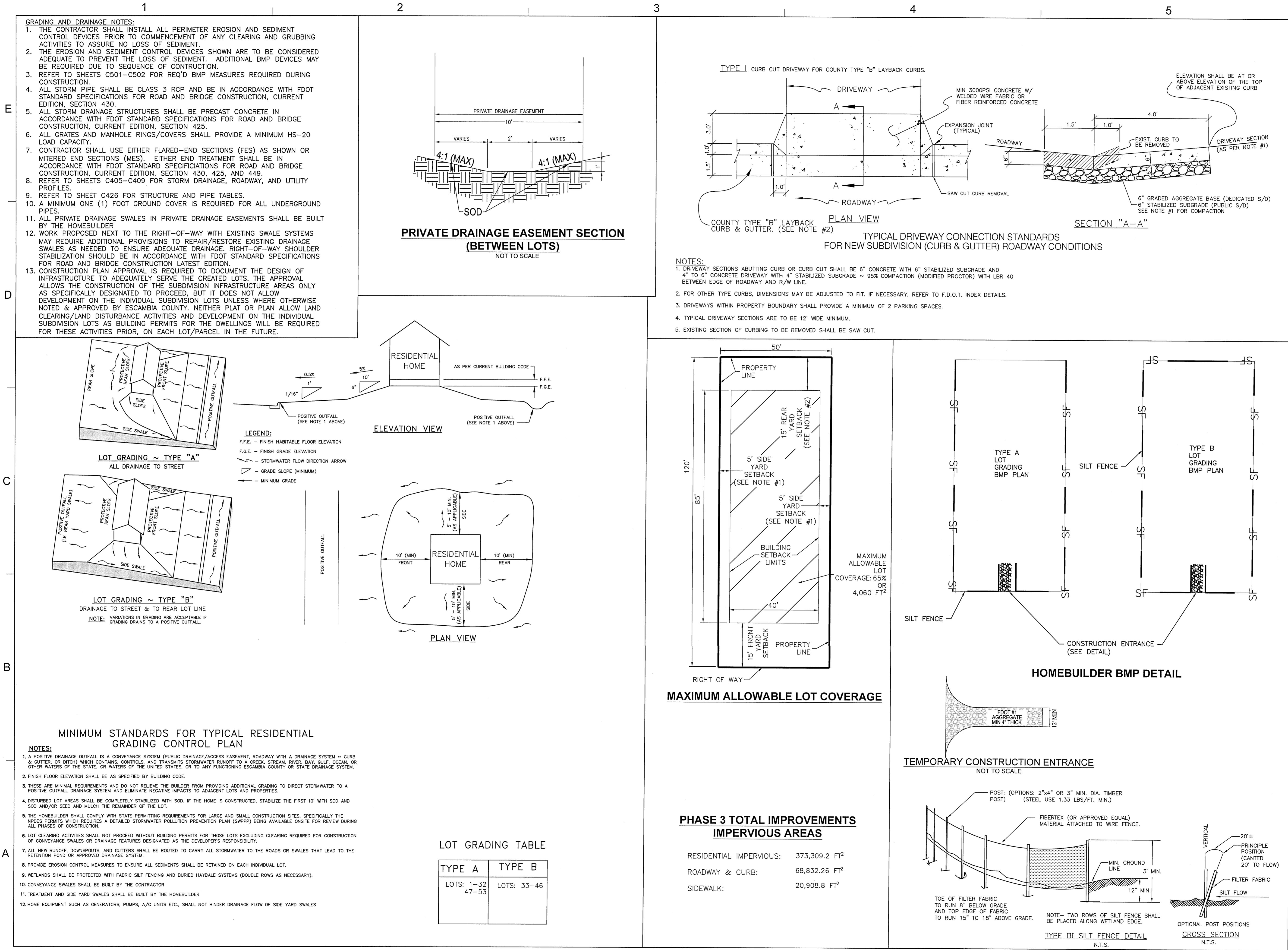
TITLE

GRADING PLAN

PROJECT NO. 50128595

C401

SHEET NO.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION**

PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. P.E. NO. 95232

CO#A 8754

**PRELIMINARY DESIGN
NOT FOR CONSTRUCTION**

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

TITLE

GRADING PLAN

PROJECT NO. 50128595

C402

SHEET NO.

PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



SCALE

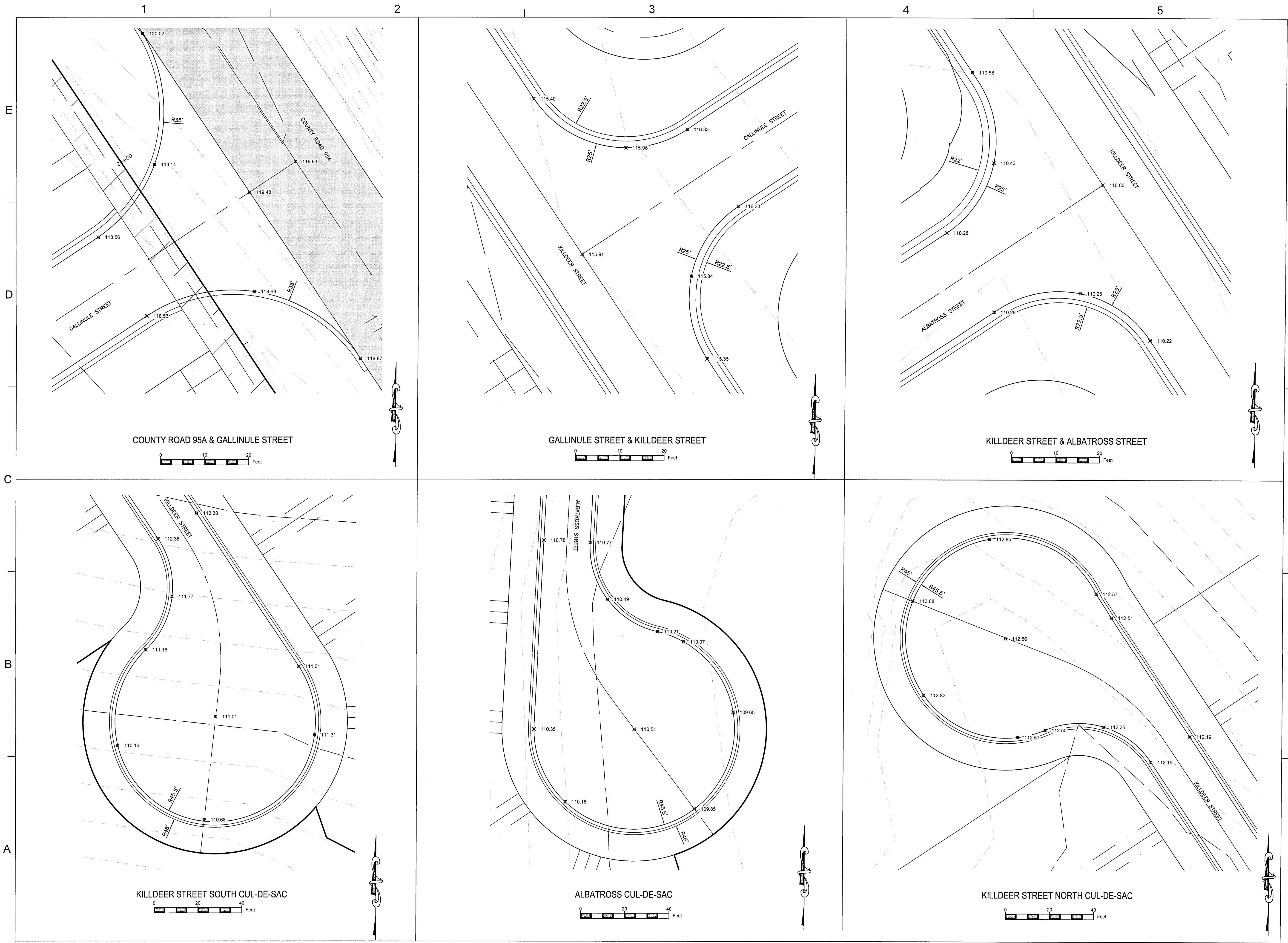
DATE SEPTEMBER 2020


GRADING PLAN

C402A

SHEET NO.





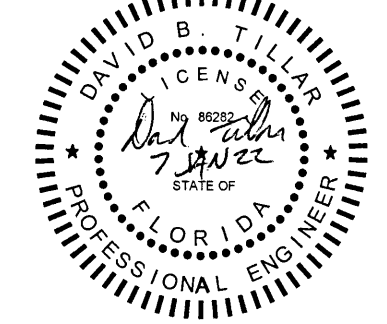


Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID S. TILLAR, P.E.
FL. P.E. No. 80232

CO# 8754

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

TITLE

**GRADING PLAN
(SPOT ELEVATIONS)**

PROJECT NO. 50128595

C402B

SHEET NO.

**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILTAR, P.E.
FL. PE No. 12522

**PRELIMINARY DESIGN
NOT FOR CONSTRUCTION**

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

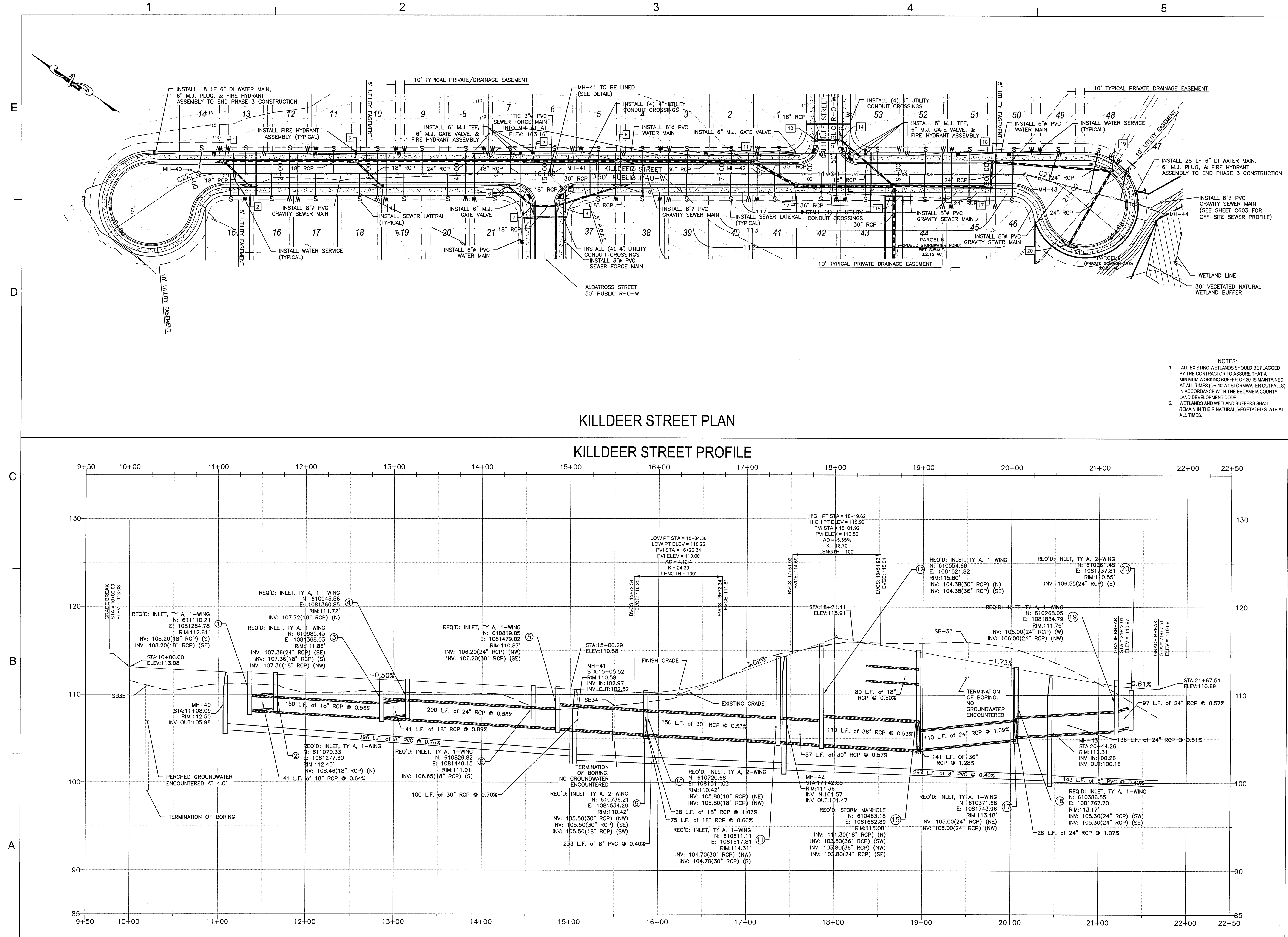
TITLE

**ROADWAY PLAN
AND PROFILE**

PROJECT NO. 50128595

C405

SHEET NO.



SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
 ESCAMBIA COUNTY, FLORIDA

SEAL

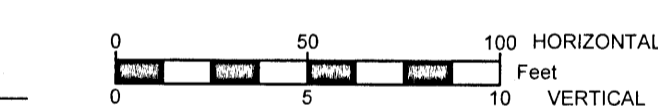
NOT APPROVED UNLESS ACCOMPANIED BY
A VALID SIGNATURE

DAVID B. TILLAR, P.
EJ. RE No. 86282

COMBUSTION

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

NO.	DESCRIPTION	DAT
-----	-------------	-----

DRAWN BY CA

APPROVED BY _____

CHECKED BY JM

DATE SEPTEMBER 2021

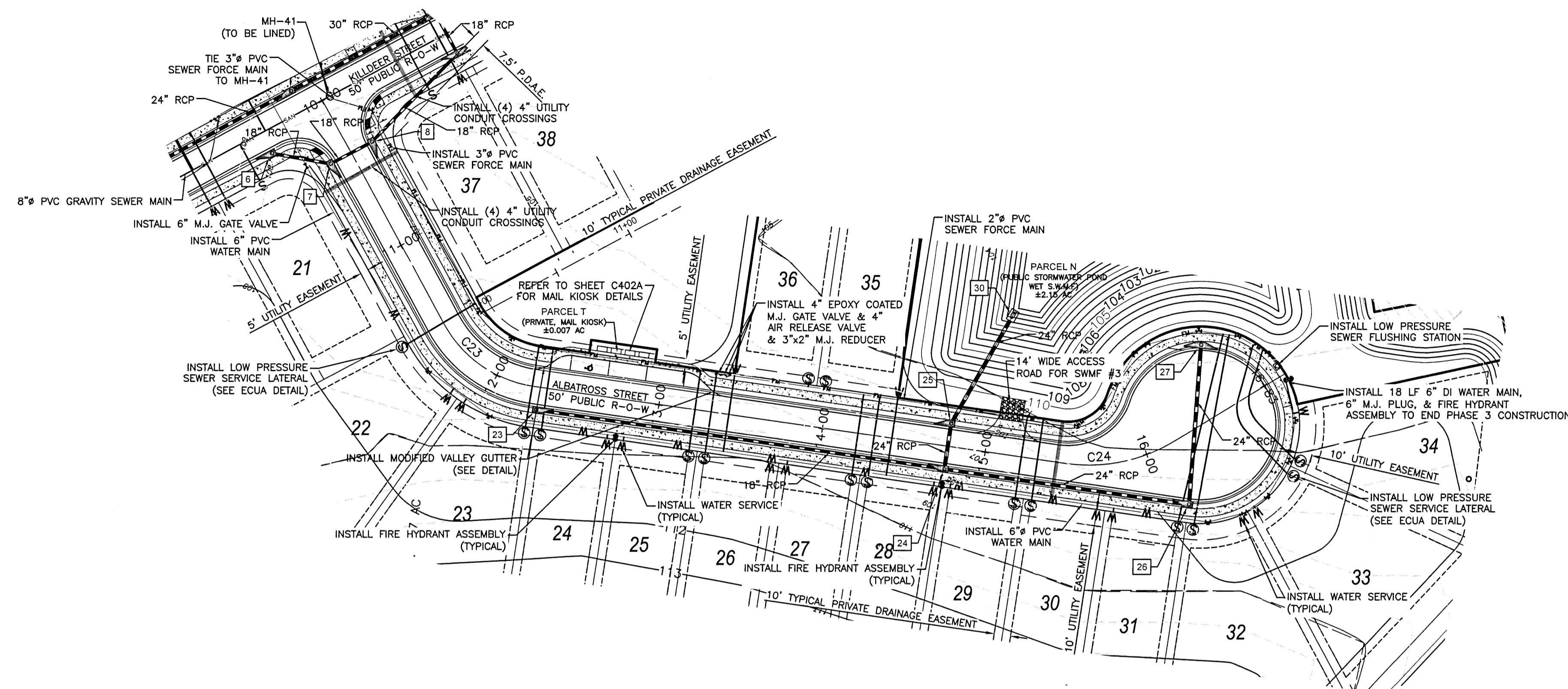
TITLE

ROADWAY PLAN AND PROFILE

PROJECT NO. 50128.

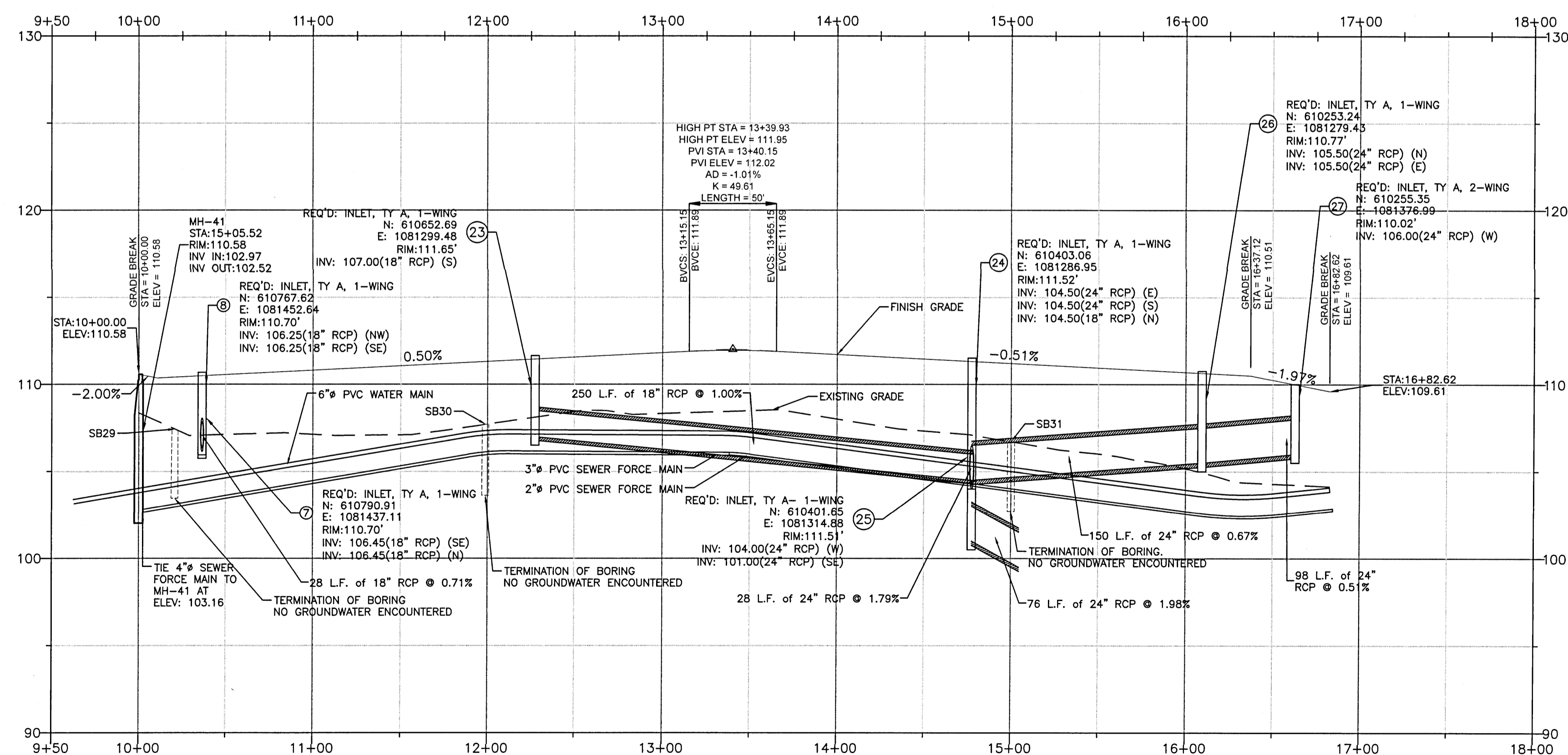
C406

SHEET NO.



ALBATROSS STREET PLAN

ALBATROSS STREET PROFILE

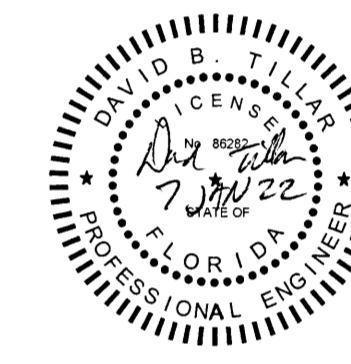


SANCTUARY
SUBDIVISION

PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

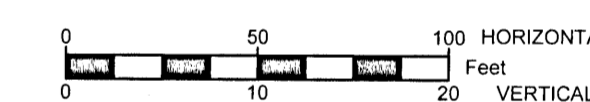
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E. COA# 879
El. PE No. 06282

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY CA

APPROVED BY _____ DE _____

CHECKED BY JM

DATE SEPTEMBER 202

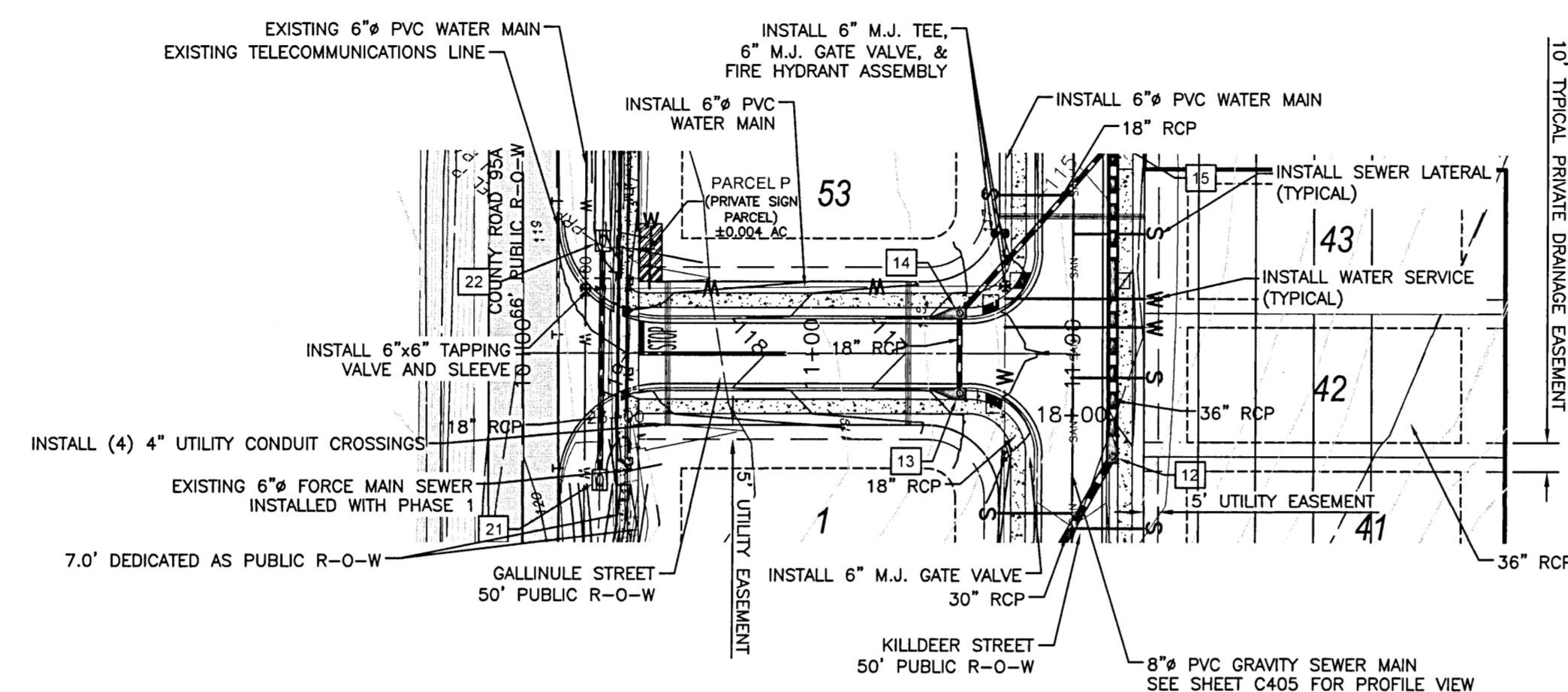
TITLE

ROADWAY PLAN AND PROFILE

PROJECT NO. 501285

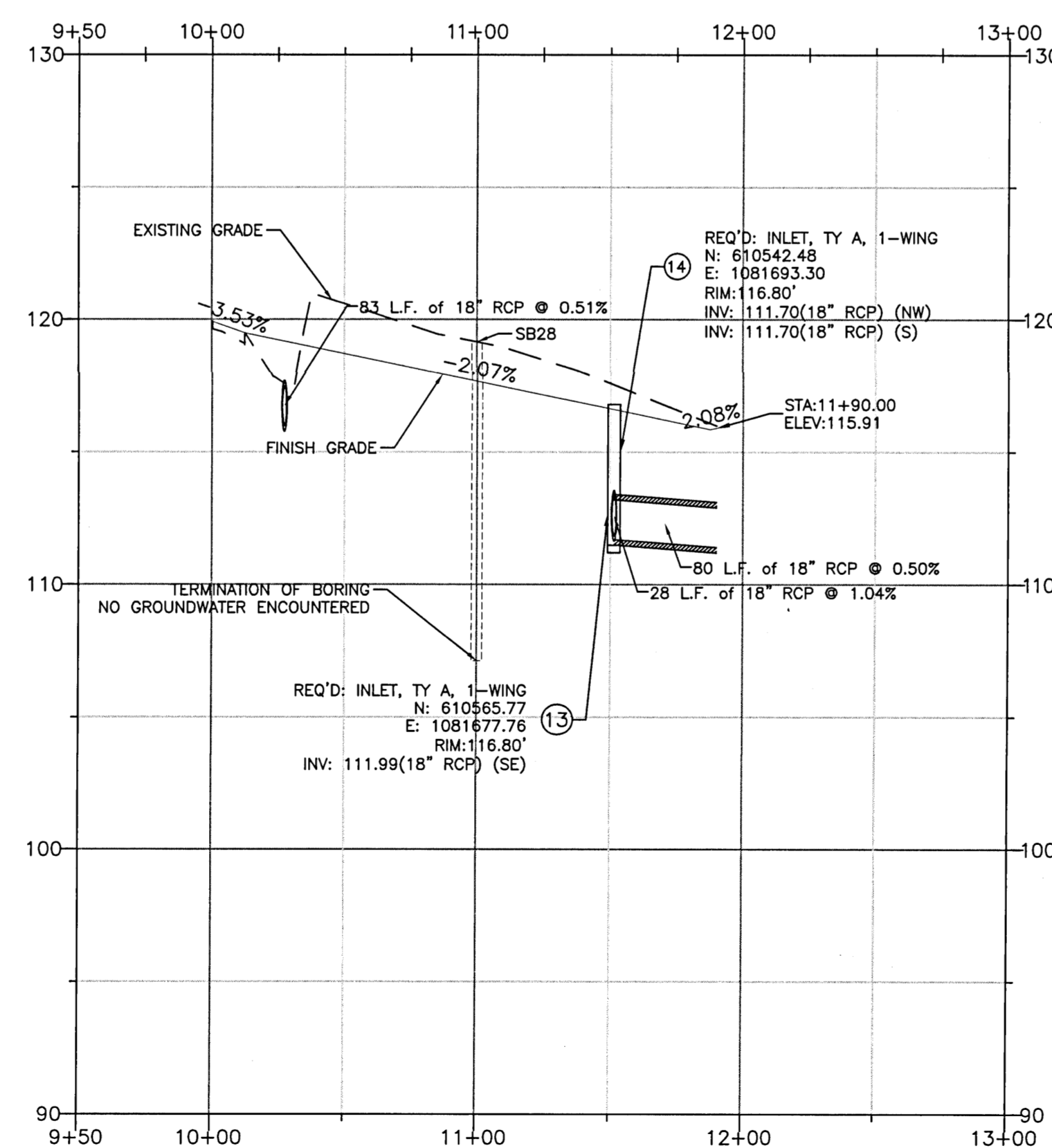
C407

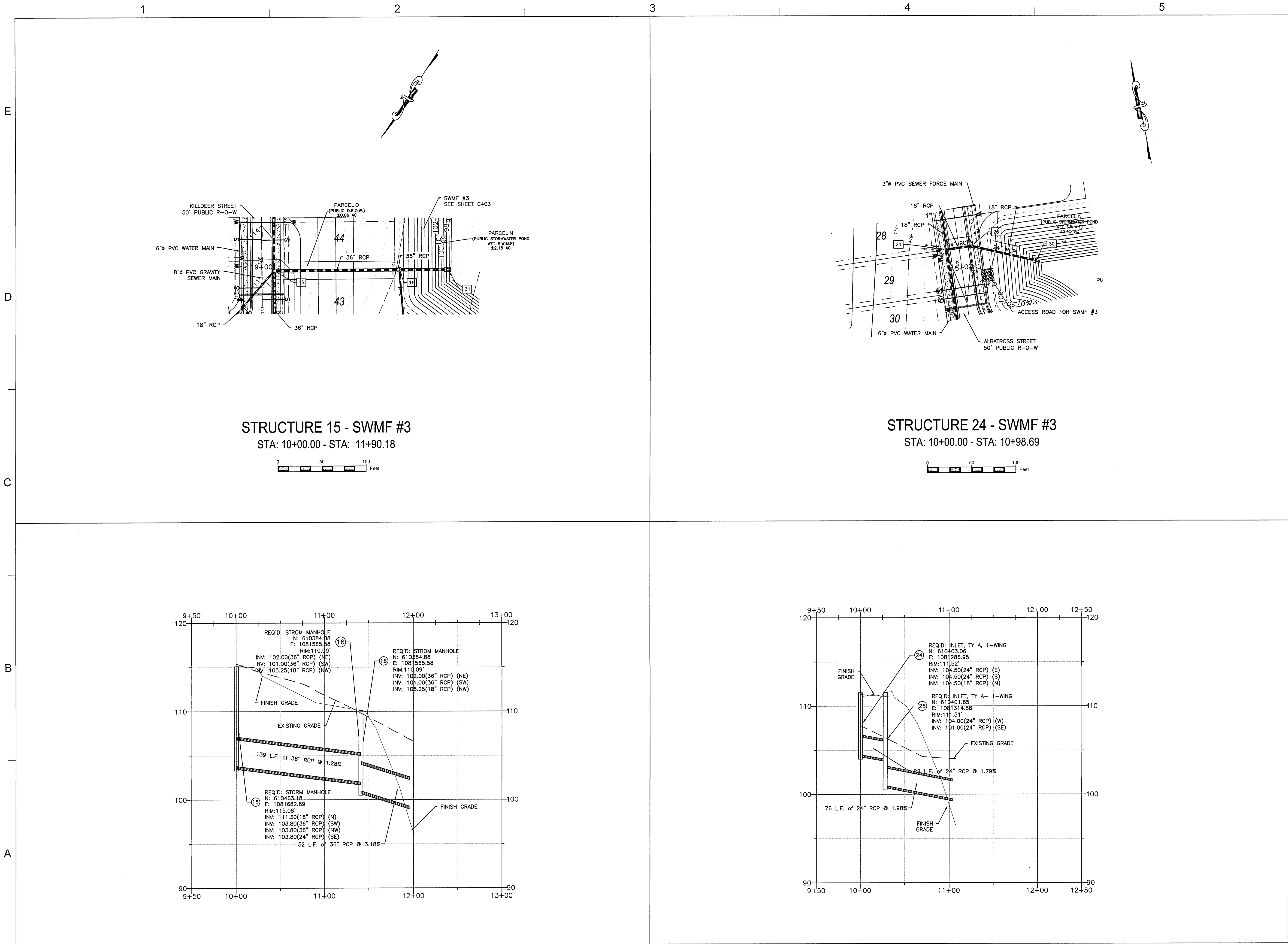
SHEET NO.




GALLINULE STREET PLAN

GALLINULE STREET PROFILE








Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE

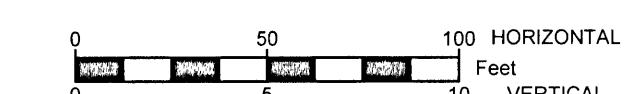


DAVID B. TILLAR, P.E.
FL PE No. 86282

COAR #794

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



0 50 100 HORIZONTAL
0 5 10 VERTICAL
Feet

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

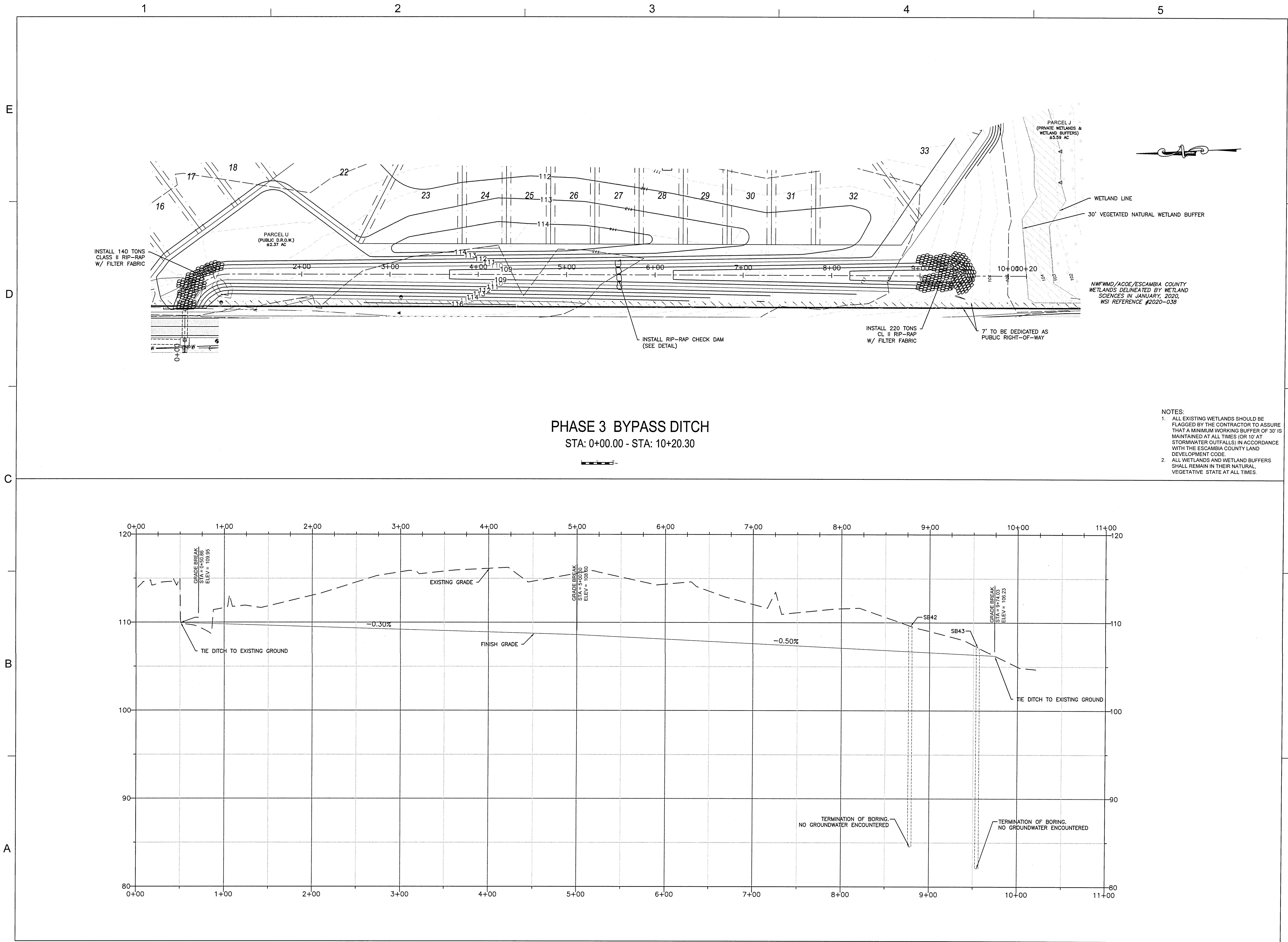
TITLE

**STORM DRAINAGE
PROFILE**

PROJECT NO. 50128595

C408

SHEET NO.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
ESCAMBA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



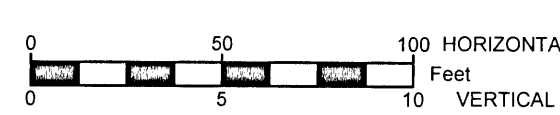
DAVID S. TILLAR, P.E.
FL PE No. 74002

CDM# 8734

- NOTES:
1. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBA COUNTY LAND DEVELOPMENT CODE.
 2. ALL WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL VEGETATIVE STATE AT ALL TIMES.

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

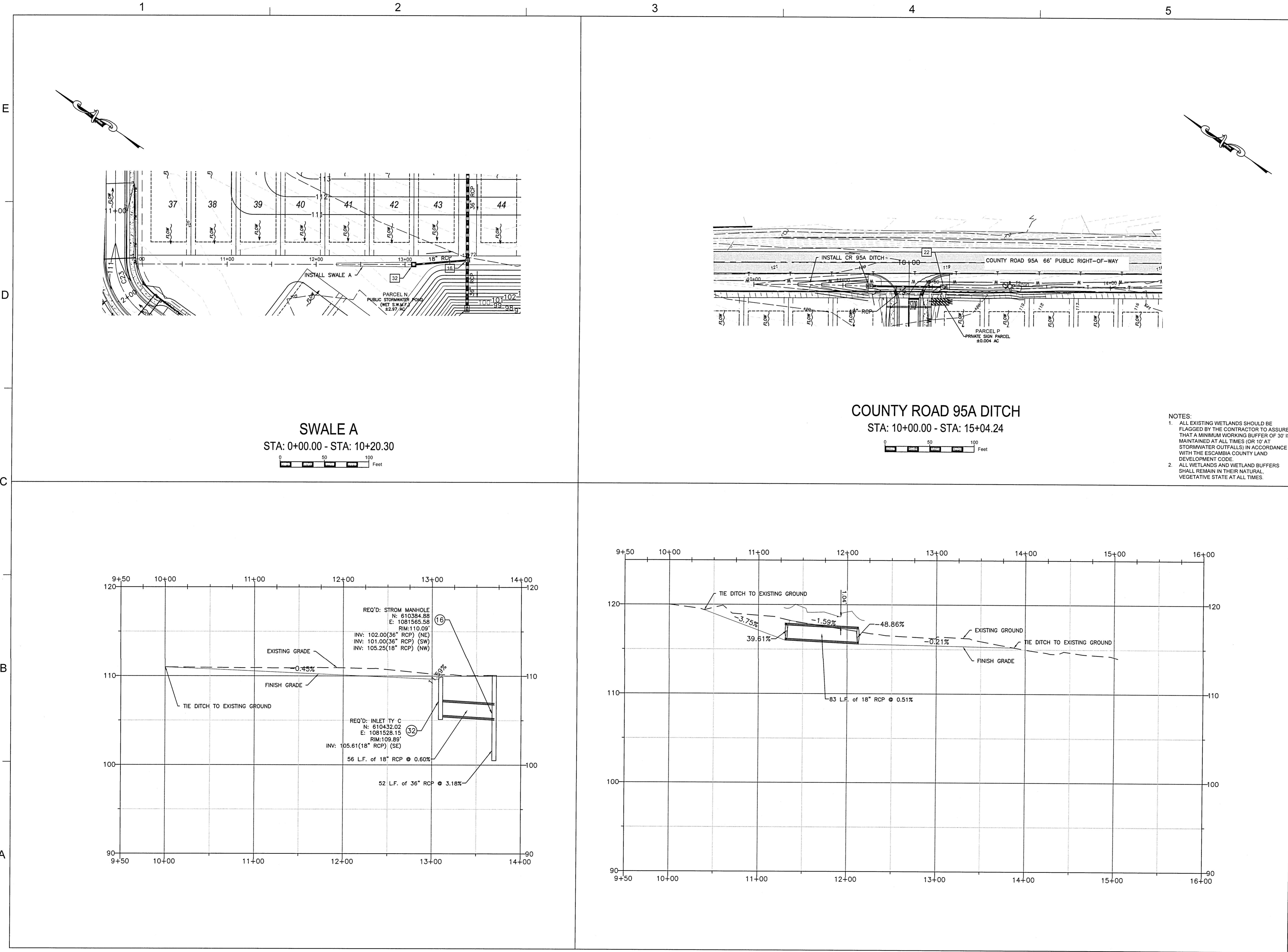
TITLE

STORM DRAINAGE
PROFILE
(DITCH)

PROJECT NO. 50128595

C409

SHEET NO.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION
PHASE THREE
D. R. HORTON, INC.
ESCAMBA COUNTY, FLORIDA

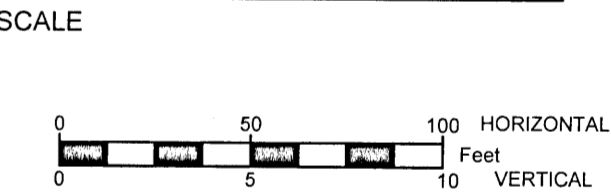
SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE

DAVID B. TILLAR, P.E.
FL. PE No. 65262

COAF 8754

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

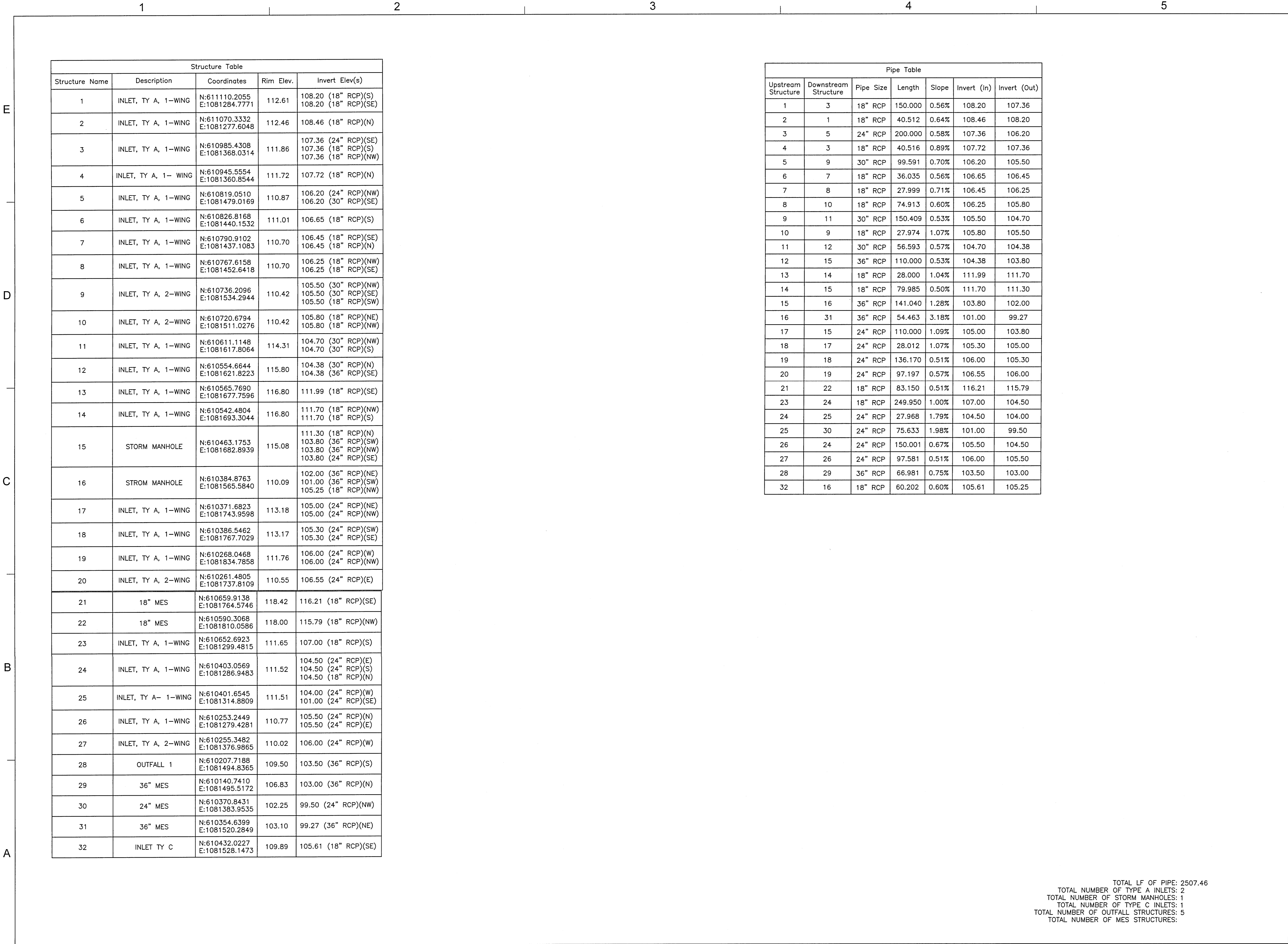
TITLE

STORM DRAINAGE
PROFILE
(DITCH)

PROJECT NO. 50128595

C410

SHEET NO.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

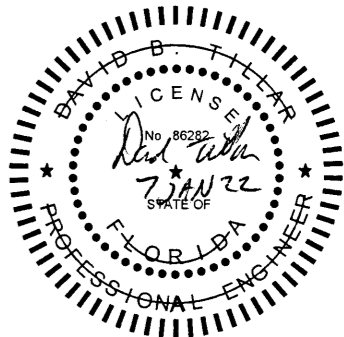
SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TELLAR, P.E.
FL. PE No. 80282

COA# 8794

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY _____ CAH

APPROVED BY _____ DBT

CHECKED BY _____ JMB

DATE _____ SEPTEMBER 2020

TITLE

STRUCTURE AND
PIPE TABLES

PROJECT NO. 50128595

C411

SHEET NO.

**SANCTUARY
SUBDIVISION**

PHASE THREE

D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. LIC. NO. 82282

COMB 8704

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

TITLE

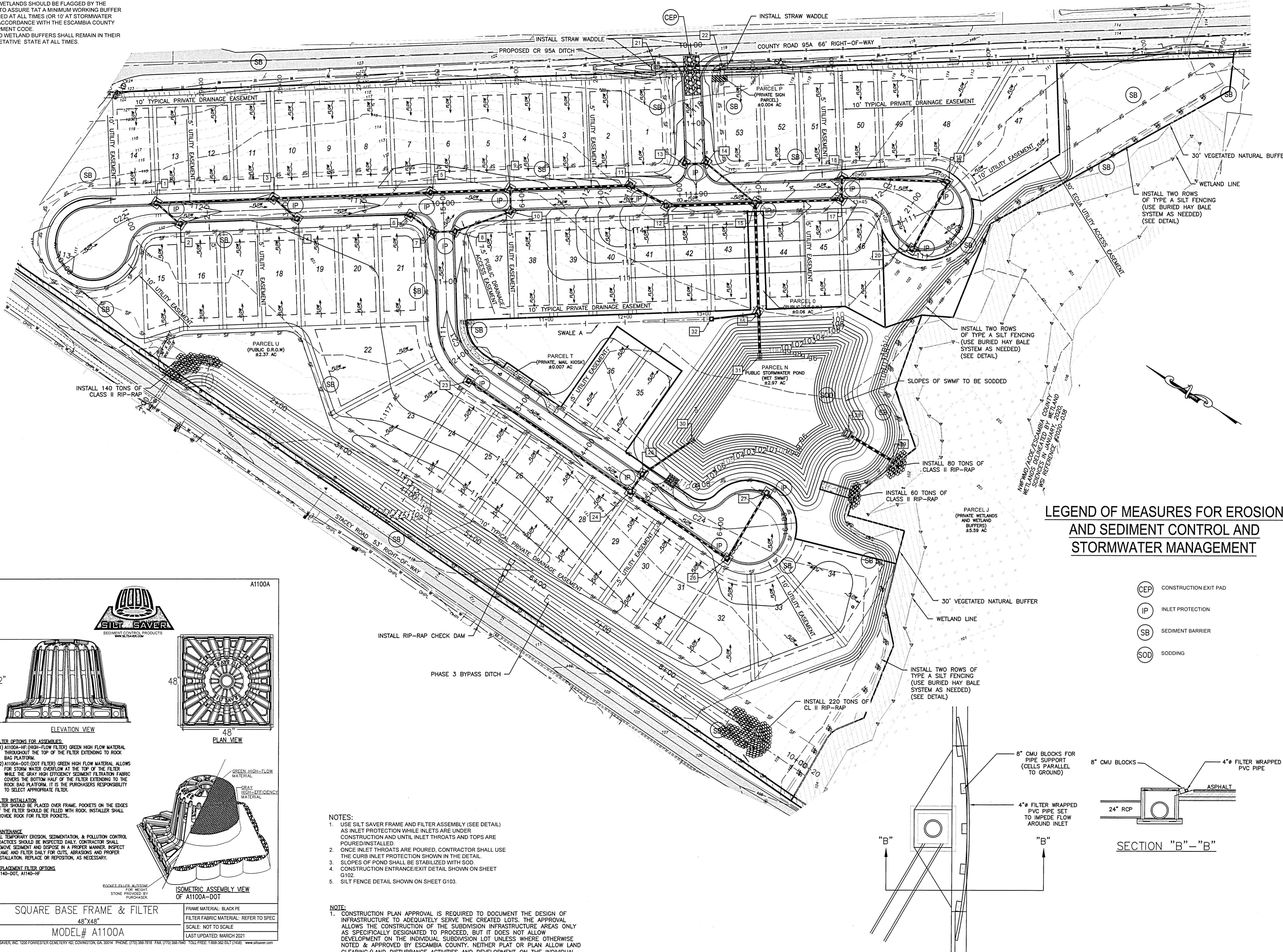
**EROSION AND
SEDIMENT
CONTROL PLAN**

PROJECT NO. 50128595

C501

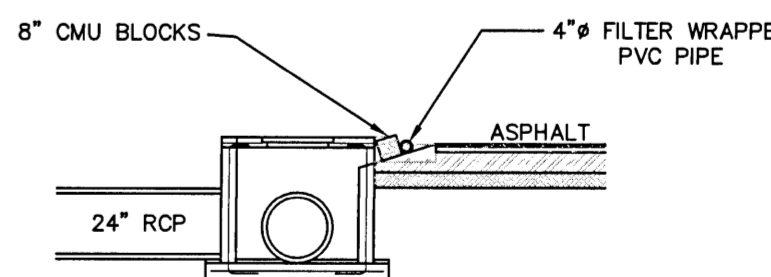
SHEET NO.

- NOTES:
- ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
 - WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATIVE STATE AT ALL TIMES.



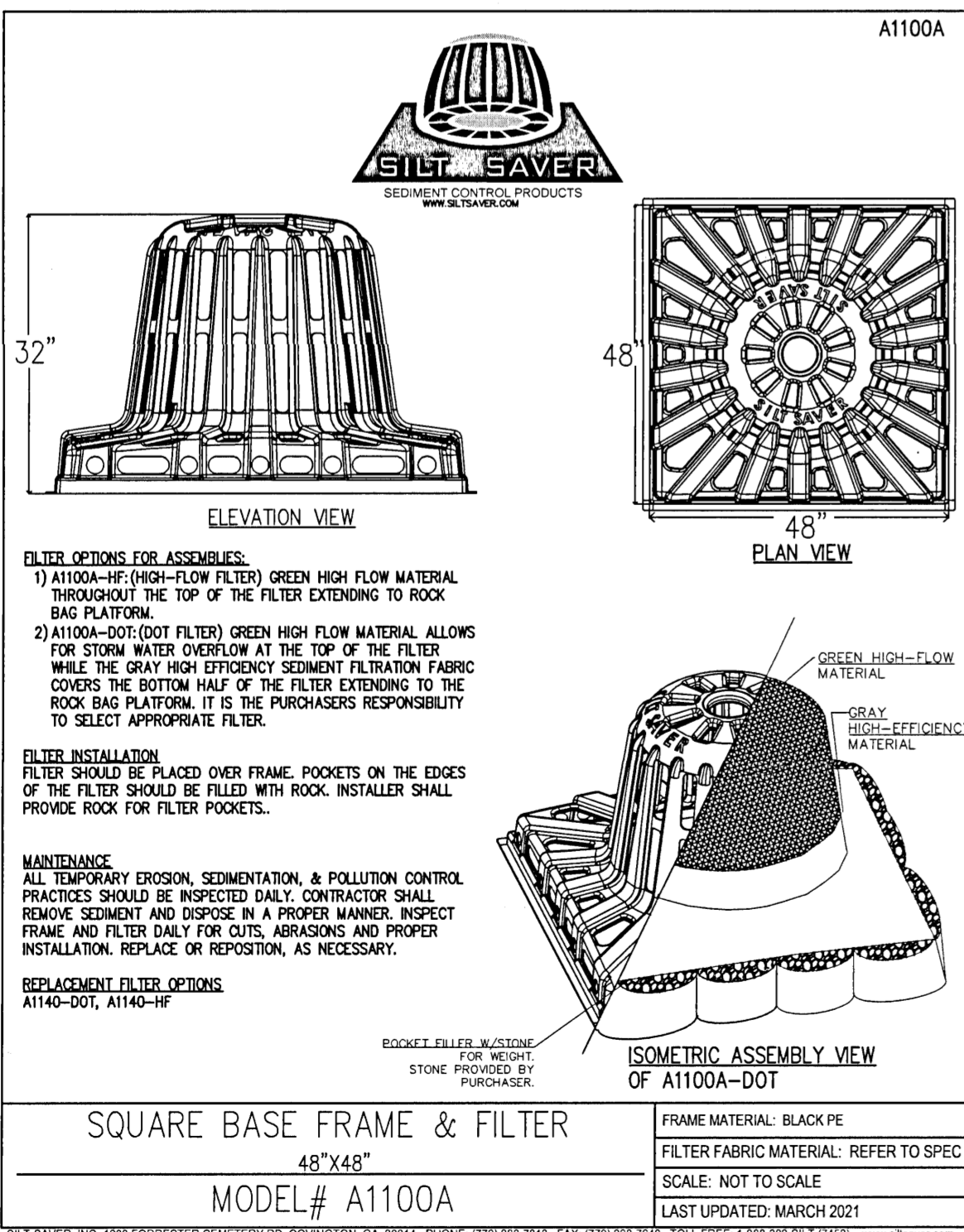
**LEGEND OF MEASURES FOR EROSION
AND SEDIMENT CONTROL AND
STORMWATER MANAGEMENT**

- CEP CONSTRUCTION EXIT PAD
- IP INLET PROTECTION
- SB SEDIMENT BARRIER
- SOD SODDING



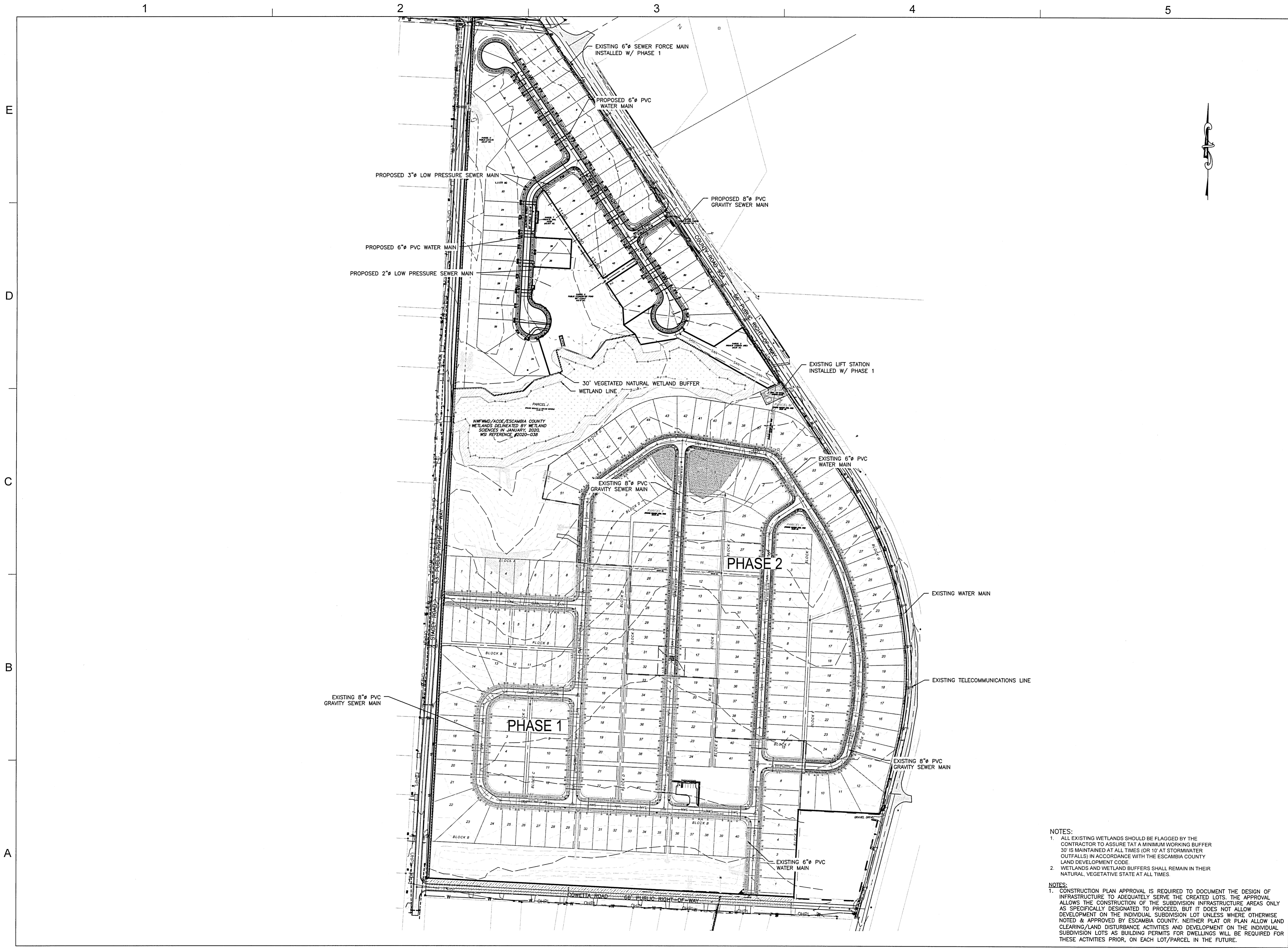
SECTION "B"-"B"

CURB INLET PROTECTION DETAIL [IP]



- NOTES:
- USE SILT SAVER FRAME AND FILTER ASSEMBLY (SEE DETAIL) AS INLET PROTECTION WHILE INLETS ARE UNDER CONSTRUCTION AND UNTIL INLET THROATS AND TOPS ARE POURED/INSTALLED.
 - ONCE INLET THROATS ARE POURED, CONTRACTOR SHALL USE THE CURB INLET PROTECTION SHOWN IN THE DETAIL.
 - SLOPES OF POND SHALL BE STABILIZED WITH SOD.
 - CONSTRUCTION ENTRANCE/EXIT DETAIL SHOWN ON SHEET G102.
 - SILT FENCE DETAIL SHOWN ON SHEET G103.

- NOTE:
- CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOT UNLESS OTHERWISE NOTED & APPROVED BY ESCAMBIA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

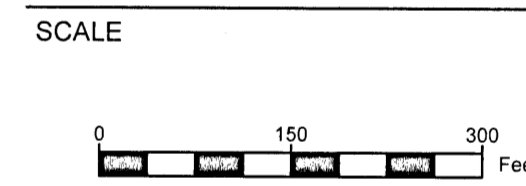
D. R. HORTON, INC.
ESCAMBA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL PE No. 96282 CDA# 8734

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

OVERALL UTILITY
PLAN

PROJECT NO. 50128595

C600

SHEET NO.

NOTES:
1. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBA COUNTY LAND DEVELOPMENT CODE.
2. WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL VEGETATIVE STATE AT ALL TIMES.

NOTES:
1. CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOT UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

**SANCTUARY
SUBDIVISION**

PHASE THREE
D. R. HORTON, INC.
ESCAMBA COUNTY, FLORIDA

SEAL

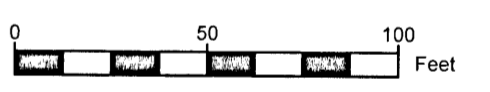
NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. P.E. NO. 12024

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH

APPROVED BY DBT

CHECKED BY JMB

DATE SEPTEMBER 2020

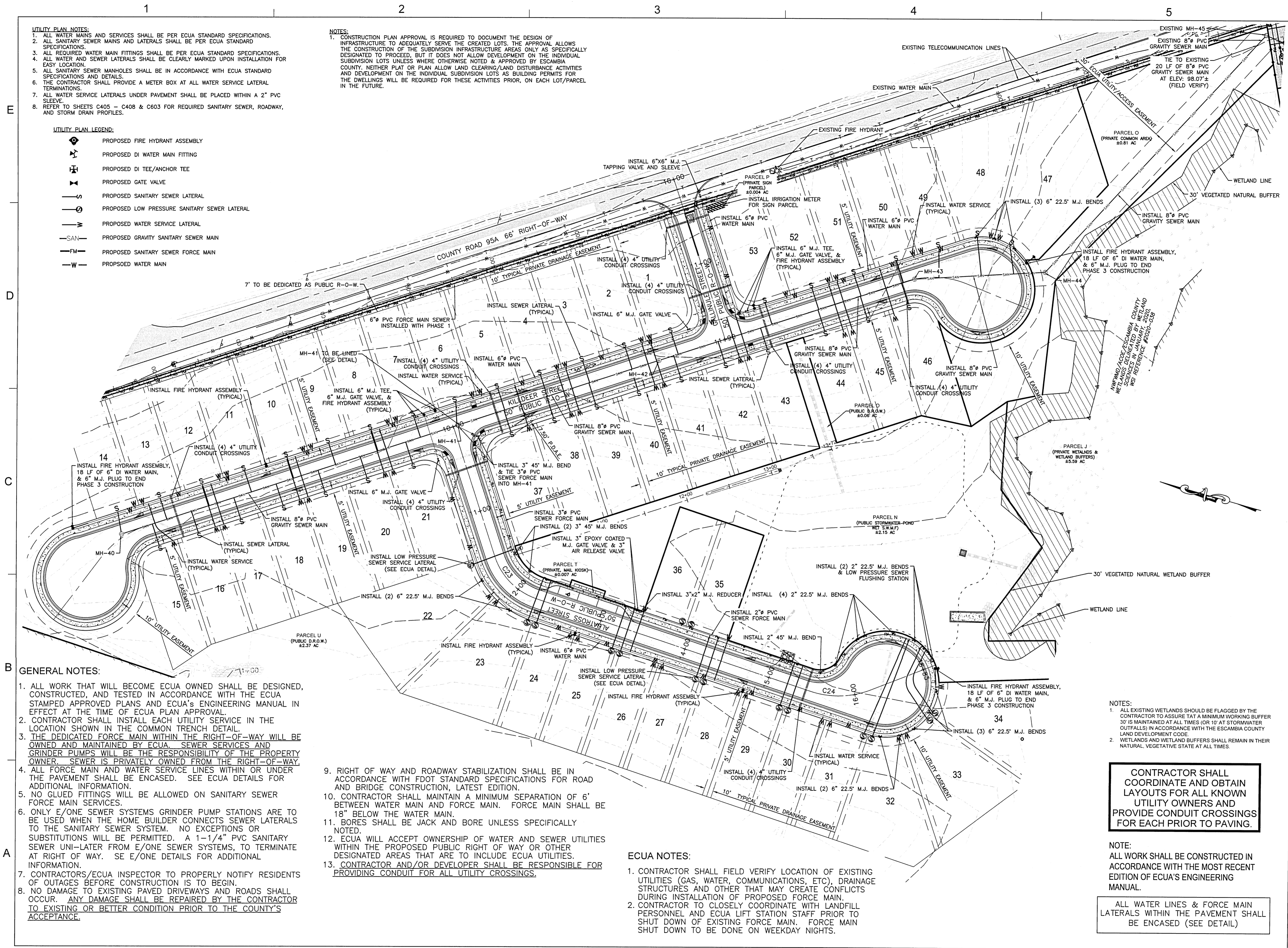
TITLE

UTILITY PLAN

PROJECT NO. 50128595

C601

SHEET NO.



- UTILITY PLAN NOTES:**
1. ALL WATER MAINS AND SERVICES SHALL BE PER ECUA STANDARD SPECIFICATIONS.
 2. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PER ECUA STANDARD SPECIFICATIONS.
 3. ALL REQUIRED WATER MAIN FITTINGS SHALL BE PER ECUA STANDARD SPECIFICATIONS.
 4. ALL WATER AND SEWER LATERALS SHALL BE CLEARLY MARKED UPON INSTALLATION FOR EASY LOCATION.
 5. ALL SANITARY SEWER MANHOLES SHALL BE IN ACCORDANCE WITH ECUA STANDARD SPECIFICATIONS AND DETAILS.
 6. THE CONTRACTOR SHALL PROVIDE A METER BOX AT ALL WATER SERVICE LATERAL TERMINATIONS.
 7. ALL WATER SERVICE LATERALS UNDER PAVEMENT SHALL BE PLACED WITHIN A 2" PVC SLEEVE.
 8. REFER TO SHEETS C405 - C408 & C603 FOR REQUIRED SANITARY SEWER, ROADWAY, AND STORM DRAIN PROFILES.

UTILITY PLAN LEGEND:

- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED DI WATER MAIN FITTING
- PROPOSED DI TEE/ANCHOR TEE
- PROPOSED GATE VALVE
- PROPOSED SANITARY SEWER LATERAL
- PROPOSED LOW PRESSURE SANITARY SEWER LATERAL
- PROPOSED WATER SERVICE LATERAL
- PROPOSED GRAVITY SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER FORCE MAIN
- PROPOSED WATER MAIN

- NOTES:**
1. CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

GENERAL NOTES:

1. ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT THE TIME OF ECUA PLAN APPROVAL.
2. CONTRACTOR SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION SHOWN IN THE COMMON TRENCH DETAIL.
3. THE DEDICATED FORCE MAIN WITHIN THE RIGHT-OF-WAY WILL BE OWNED AND MAINTAINED BY ECUA. SEWER SERVICES AND GRINDER PUMPS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. SEWER IS PRIVATELY OWNED FROM THE RIGHT-OF-WAY.
4. ALL FORCE MAIN AND WATER SERVICE LINES WITHIN OR UNDER THE PAVEMENT SHALL BE ENCASED. SEE ECUA DETAILS FOR ADDITIONAL INFORMATION.
5. NO GLUED FITTINGS WILL BE ALLOWED ON SANITARY SEWER FORCE MAIN SERVICES.
6. ONLY E/ONE SEWER SYSTEMS GRINDER PUMP STATIONS ARE TO BE USED WHEN THE HOME BUILDER CONNECTS SEWER LATERALS TO THE SANITARY SEWER SYSTEM. NO EXCEPTIONS OR SUBSTITUTIONS WILL BE PERMITTED. A 1-1/4" PVC SANITARY SEWER UNI-LATER FROM E/ONE SEWER SYSTEMS, TO TERMINATE AT RIGHT OF WAY. SEE E/ONE DETAILS FOR ADDITIONAL INFORMATION.
7. CONTRACTORS/ECUA INSPECTOR TO PROPERLY NOTIFY RESIDENTS OF OUTAGES BEFORE CONSTRUCTION IS TO BEGIN.
8. NO DAMAGE TO EXISTING PAVED DRIVEWAYS AND ROADS SHALL OCCUR. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO EXISTING OR BETTER CONDITION PRIOR TO THE COUNTY'S ACCEPTANCE.

9. RIGHT OF WAY AND ROADWAY STABILIZATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
10. CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION OF 6' BETWEEN WATER MAIN AND FORCE MAIN. FORCE MAIN SHALL BE 18" BELOW THE WATER MAIN.
11. BORES SHALL BE JACK AND BORE UNLESS SPECIFICALLY NOTED.
12. ECUA WILL ACCEPT OWNERSHIP OF WATER AND SEWER UTILITIES WITHIN THE PROPOSED PUBLIC RIGHT OF WAY OR OTHER DESIGNATED AREAS THAT ARE TO INCLUDE ECUA UTILITIES.
13. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING CONDUIT FOR ALL UTILITY CROSSINGS.

ECUA NOTES:

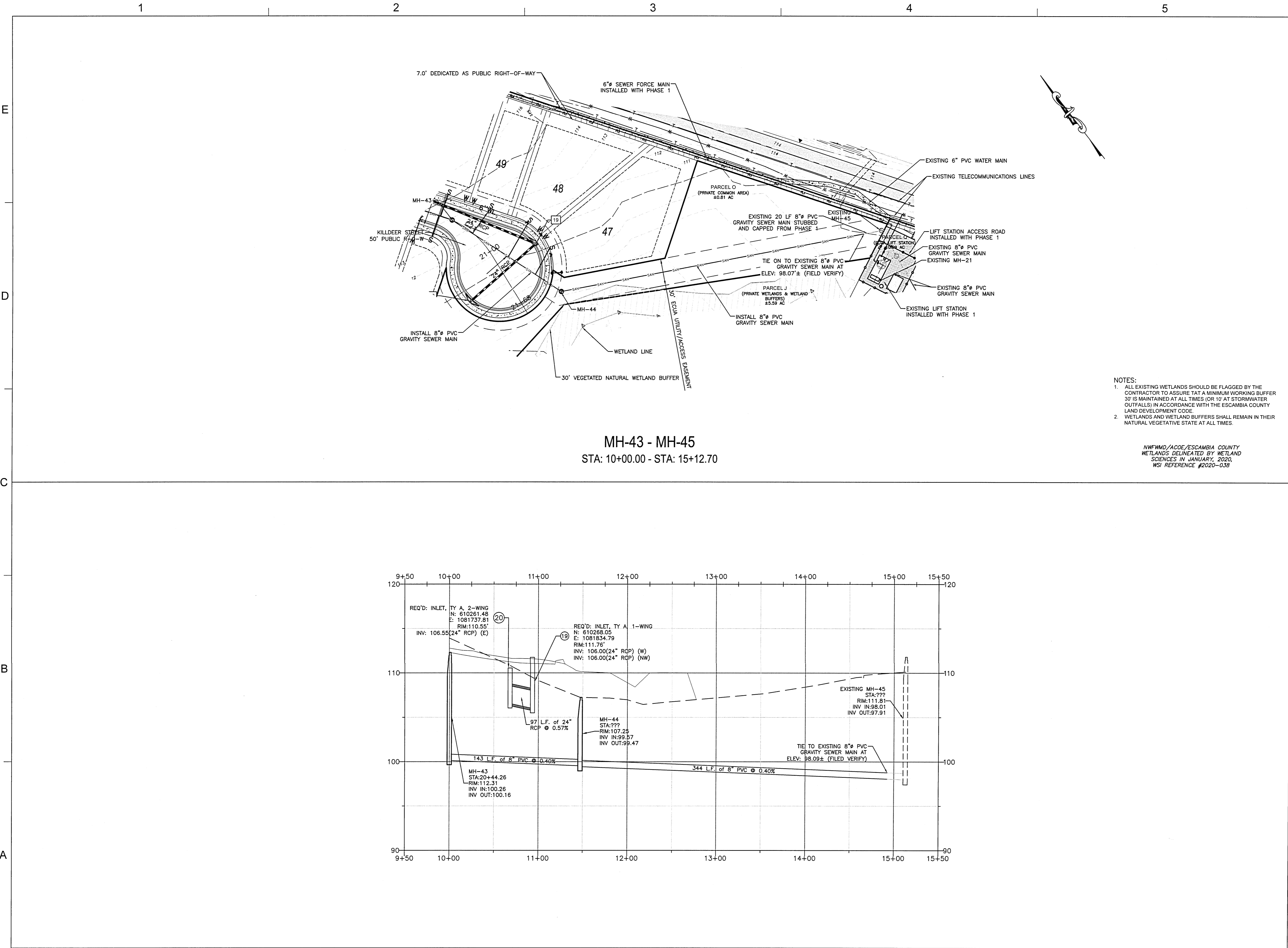
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES (GAS, WATER, COMMUNICATIONS, ETC), DRAINAGE STRUCTURES AND OTHER THAT MAY CREATE CONFLICTS DURING INSTALLATION OF PROPOSED FORCE MAIN.
2. CONTRACTOR TO CLOSELY COORDINATE WITH LANDFILL PERSONNEL AND ECUA LIFT STATION STAFF PRIOR TO SHUT DOWN OF EXISTING FORCE MAIN. FORCE MAIN SHUT DOWN TO BE DONE ON WEEKDAY NIGHTS.

- NOTES:**
1. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBA COUNTY LAND DEVELOPMENT CODE.
 2. WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL VEGETATIVE STATE AT ALL TIMES.

**CONTRACTOR SHALL
COORDINATE AND OBTAIN
LAYOUTS FOR ALL KNOWN
UTILITY OWNERS AND
PROVIDE CONDUIT CROSSINGS
FOR EACH PRIOR TO PAVING.**

NOTE:
ALL WORK SHALL BE CONSTRUCTED IN
ACCORDANCE WITH THE MOST RECENT
EDITION OF ECUA'S ENGINEERING
MANUAL.

ALL WATER LINES & FORCE MAIN
LATERALS WITHIN THE PAVEMENT SHALL
BE ENCASED (SEE DETAIL)



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TULLAR, P.E.
FL. P.E. No. 86282

CSA# 8754

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ CAH
APPROVED BY _____ DBT
CHECKED BY _____ JMB
DATE _____ SEPTEMBER 2020

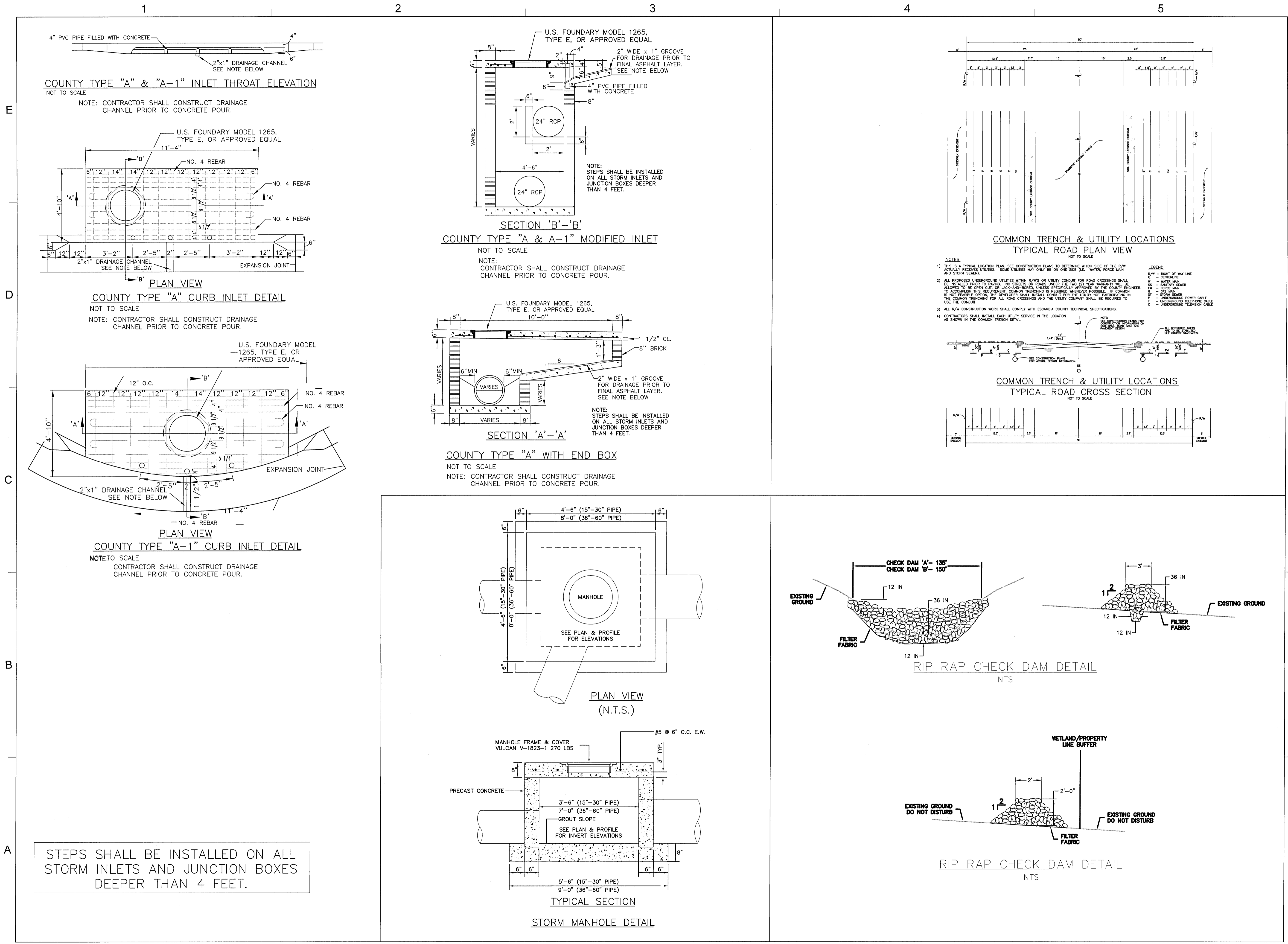
TITLE

SANITARY SEWER
PROFILES

PROJECT NO. 50128595

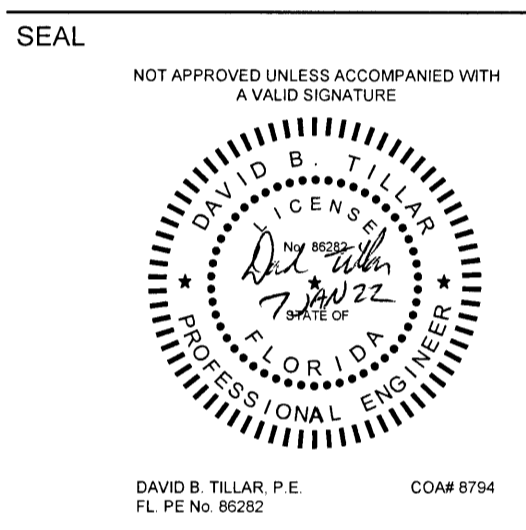
C602

SHEET NO.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA



**PRELIMINARY DESIGN
NOT FOR CONSTRUCTION**

SCALE

N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE

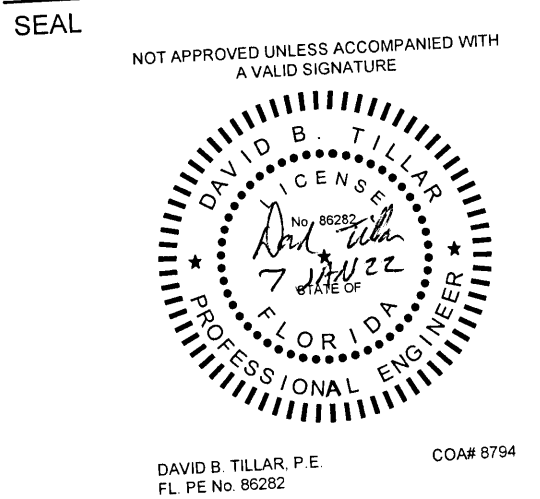
DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020
TITLE

**CONSTRUCTION
DETAILS**

PROJECT NO. 50128595

C700
SHEET NO.

**SANCTUARY
SUBDIVISION
PHASE THREE**
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA



PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH
APPROVED BY DBT
CHECKED BY JMB
DATE SEPTEMBER 2020

TITLE

**CONSTRUCTION
DETAILS**

PROJECT NO. 50128595

C701

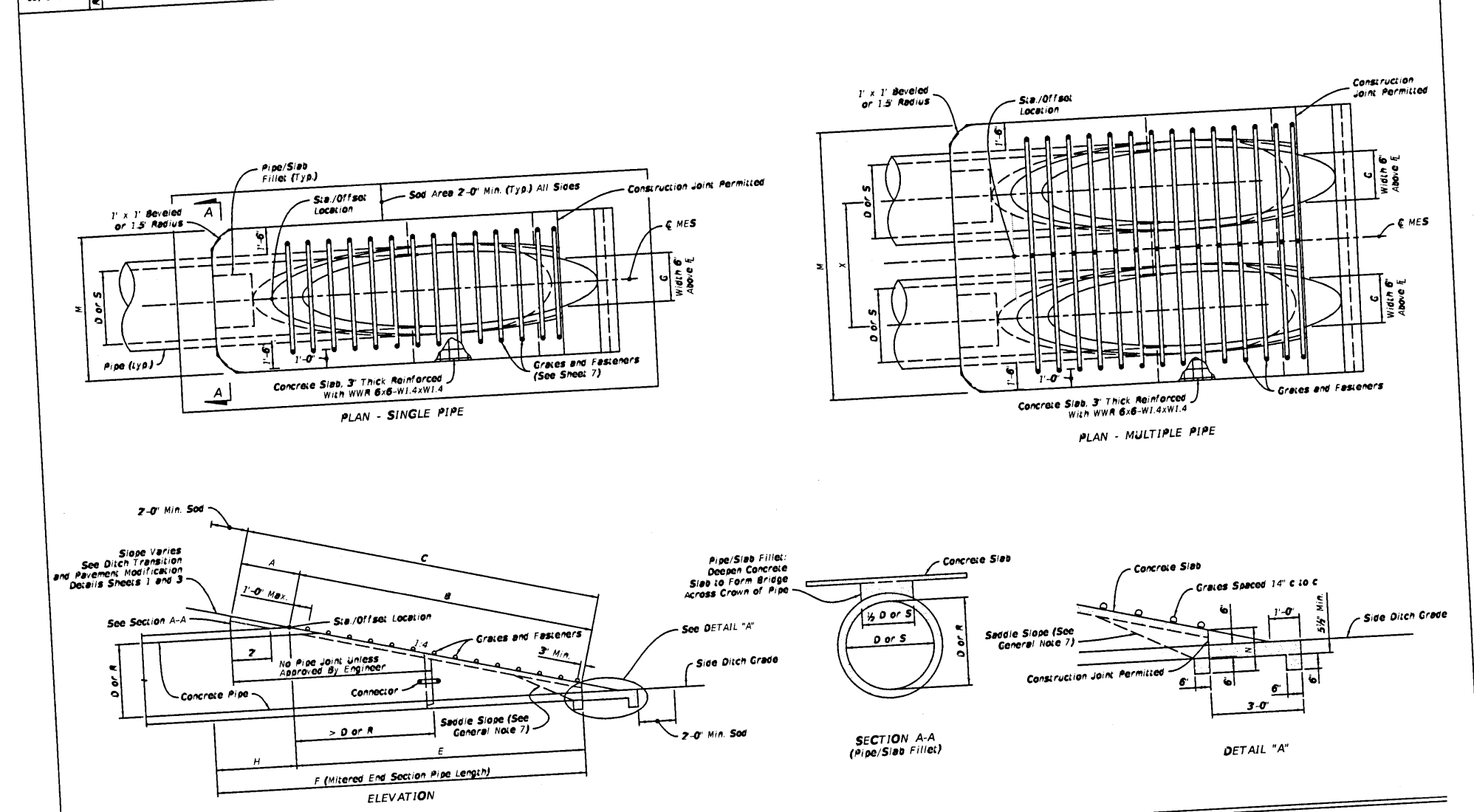
GENERAL NOTES:

1. UNLESS OTHERWISE SPECIFIED, ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
2. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
3. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
4. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
5. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
6. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
7. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
8. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
9. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.
10. ALL CONCRETE PIPE SHALL BE CAST IN PLACE AND SHALL BE CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONCRETE PIPE, MANHOLES AND STRUCTURES, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE ESCAMBIA COUNTY, FLORIDA.

TABLE OF CONTENTS:

SHEET	DESCRIPTION
1	GENERAL NOTES AND CONCRETE PIPE
2	SINGLE AND MULTIPLE CONCRETE PIPE
3	CROSS DRAIN MITERED END SECTION
4	SIDE DRAIN MITERED END SECTION
5	ROUND CONCRETE PIPE
6	CONCRETE PIPE CONNECTIONS AND QUANTITIES
7	CONCRETE PIPE CONNECTIONS AND QUANTITIES
8	CONCRETE PIPE CONNECTIONS AND QUANTITIES
9	CONCRETE PIPE CONNECTIONS AND QUANTITIES
10	CONCRETE PIPE CONNECTIONS AND QUANTITIES

LAST REVISION: 11/01/19
DESCRIPTION: STANDARD PLANS
INDEX: 430-022
SHEET: 1 of 7



LAST REVISION: 11/01/19
DESCRIPTION: STANDARD PLANS
INDEX: 430-022
SHEET: 2 of 7

SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES

PIPE SIZE (IN)	WALL THICKNESS (IN)	OUTER DIAMETER (IN)	INNER DIAMETER (IN)	WEIGHT (LBS/FT)	QUANTITY (SQ FT)	QUANTITY (CY)
12	4	16	12	120	1.13	0.04
15	4	19	15	150	1.77	0.06
18	4	22	18	180	2.41	0.08
21	4	25	21	210	3.05	0.11
24	4	28	24	240	3.69	0.13
27	4	31	27	270	4.33	0.15
30	4	34	30	300	4.97	0.18
36	4	40	36	360	5.97	0.21
42	4	46	42	420	6.97	0.25
48	4	52	48	480	7.97	0.28
54	4	58	54	540	8.97	0.32
60	4	64	60	600	9.97	0.35
66	4	70	66	660	10.97	0.39
72	4	76	72	720	11.97	0.42
78	4	82	78	780	12.97	0.46
84	4	88	84	840	13.97	0.49
90	4	94	90	900	14.97	0.53
96	4	100	96	960	15.97	0.56
102	4	106	102	1020	16.97	0.60
108	4	112	108	1080	17.97	0.63
114	4	118	114	1140	18.97	0.67
120	4	124	120	1200	19.97	0.70
126	4	130	126	1260	20.97	0.74
132	4	136	132	1320	21.97	0.77
138	4	142	138	1380	22.97	0.81
144	4	148	144	1440	23.97	0.84
150	4	154	150	1500	24.97	0.88
156	4	160	156	1560	25.97	0.91
162	4	166	162	1620	26.97	0.95
168	4	172	168	1680	27.97	0.98
174	4	178	174	1740	28.97	1.02
180	4	184	180	1800	29.97	1.05
186	4	190	186	1860	30.97	1.09
192	4	196	192	1920	31.97	1.12
198	4	202	198	1980	32.97	1.16
204	4	208	204	2040	33.97	1.19
210	4	214	210	2100	34.97	1.23
216	4	220	216	2160	35.97	1.26
222	4	226	222	2220	36.97	1.30
228	4	232	228	2280	37.97	1.33
234	4	238	234	2340	38.97	1.37
240	4	244	240	2400	39.97	1.40
246	4	250	246	2460	40.97	1.44
252	4	256	252	2520	41.97	1.47
258	4	262	258	2580	42.97	1.51
264	4	268	264	2640	43.97	1.54
270	4	274	270	2700	44.97	1.58
276	4	280	276	2760	45.97	1.61
282	4	286	282	2820	46.97	1.65
288	4	292	288	2880	47.97	1.68
294	4	298	294	2940	48.97	1.72
300	4	304	300	3000	49.97	1.75
306	4	310	306	3060	50.97	1.79
312	4	316	312	3120	51.97	1.82
318	4	322	318	3180	52.97	1.86
324	4	328	324	3240	53.97	1.89
330	4	334	330	3300	54.97	1.93
336	4	340	336	3360	55.97	1.96
342	4	346	342	3420	56.97	2.00
348	4	352	348	3480	57.97	2.03
354	4	358	354	3540	58.97	2.07
360	4	364	360	3600	59.97	2.10
366	4	370	366	3660	60.97	2.14
372	4	376	372	3720	61.97	2.17
378	4	382	378	3780	62.97	2.21
384	4	388	384	3840	63.97	2.24
390	4	394	390	3900	64.97	2.28
396	4	400	396	3960	65.97	2.31
402	4	406	402	4020	66.97	2.35
408	4	412	408	4080	67.97	2.38
414	4	418	414	4140	68.97	2.42
420	4	424	420	4200	69.97	2.45
426	4	430	426	4260	70.97	2.49
432	4	436	432	4320	71.97	2.52
438	4	442	438	4380	72.97	2.56
444	4	448	444	4440	73.97	2.59
450	4	454	450	4500	74.97	2.63
456	4	460	456	4560	75.97	2.66
462	4	466	462	4620	76.97	2.70
468	4	472	468	4680	77.97	2.73
474	4	478	474	4740	78.97	2.77
480	4	484	480	4800	79.97	2.80
486	4	490	486	4860	80.97	2.84
492	4	496	492	4920	81.97	2.87
498	4	502	498	4980	82.97	2.91
504	4	508	504	5040	83.97	2.94
510	4	514	510	5100	84.97	2.98
516	4	520	516	5160	85.97	3.01
522	4	526	522	5220	86.97	3.05
528	4	532	528	5280	87.97	3.08
534	4	538	534	5340	88.97	3.12
540	4	544	540	5400	89.97	3.15
546	4	550	546	5460	90.97	3.19
552	4	556	552	5520	91.97	3.22
558	4	562	558	5580	92.97	3.26
564	4	568	564	5640	93.97	3.29
570	4	574	570	5700	94.97	3.33
576	4	580	576	5760	95.97	3.36
582	4	586	582	5820	96.97	3.40
588	4	592	588	5880	97.97	3.43
594	4	598	594	5940	98.97	3.47
600	4	604	600	6000	99.97	3.50
606	4	610	606	6060	100.97	3.54
612	4	616	612	6120	101.97	3.57
618	4	622	618	6180	102.97	3.61
624	4	628	624	6240	103.97	3.64
630	4	634	630	6300	104.97	3.68
636	4	640	636	6360	105.97	3.71
642	4	646	642	6420	106.97	3.75
648	4	652	648	6480	107.97	3.78
654	4	658	654	6540	108.97	3.82
660	4	664	660	6600	109.97	3.85
666	4	670	666	6660	110.97	3.89
672	4	676	672	6720	111.97	3.92
678	4	682	678	6780	112.97	3.96
684	4	688	684	6840	113.97	3.99
690	4	694	690	6900	114.97	4.03
696	4	700	696	6960	115.97	4.06
702	4	706	702	7020	116.97	4.10
708	4	712	708	7080	117.97	4.13
714	4	718	714	7140	118.97	4.17
720	4	724	720	7200	119.97	4.20
726	4	730	726	7260	120.97	4.24
732	4	736	732	7320	121.97	4.27
738	4	742	738	7380	122.97	4.31
744	4	748	744	7440	123.97	4.34
750	4	754	750	7500	124.97	4.38
756	4	760	756	7560	125.97	4.41
762	4	766	762	7620	126.97	4.45
768	4	772	768	7680	127.97	4.48
774	4	778	774	7740	128.97	4.52
780	4	784	780	7800	129.97	4.55
786	4	790	786	7860	130.97	4.59
792	4	796	792	7920	131.97	4.62
798	4	802	798	7980	132.97	4.66
804	4	808	804	8040	133.97	4.69
810	4	814	810	8100	134.97	4.73
816	4	820	816	8160	135.97	4.76
822	4	826	822	8220	136.97	4.80
828	4	832	828	8280	137.97	4.83
834	4	838	834	8340	138.97	4.87
840	4	844	840	8400	139.97	4.90
846	4	850	846	8460	140.97	4.94
852	4	856	852	8520	141.97	4.97
858	4	862	858	8580	142.97	5.01
864	4	868	864	8640	143.97	5.04
870	4	874	870	8700	144.97	5.08
876	4	880	876	8760	145.97	5.11
882	4	886	882	8820	146.97	5.15
888	4	892	888	8880	147.97	5.18
894	4	898	894	8940	148.97	5.22
900	4	904	900	9000	149.97	5.25
906	4	910	906	9060	150.97	5.29
912	4	916	912	9120	151.97	5.32</



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
 ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH



DAVID B. TILLAR, P.E. COAH 879

COAM 878

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY CAH

APPROVED BY DBT

CHECKED BY JMB

DATE SEPTEMBER 2020

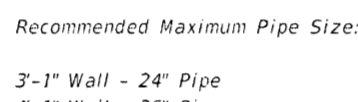
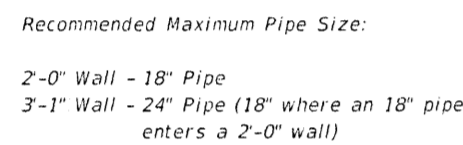
TITLE

CONSTRUCTION DETAILS

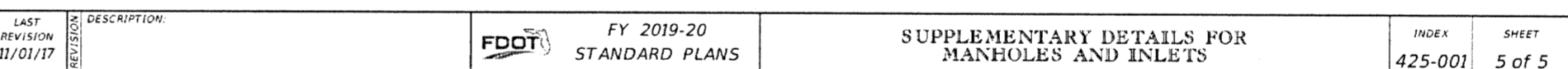
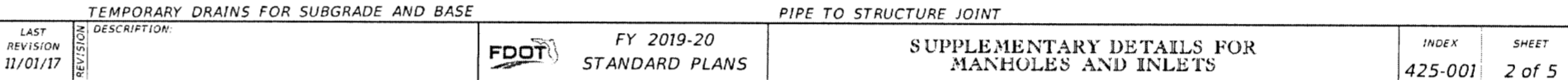
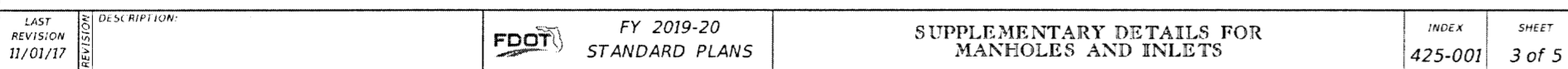
PROJECT NO. 5012859

C702

SHEET NO



STEPS SHALL BE INSTALLED ON ALL
STORM INLETS AND JUNCTION BOXES
DEEPER THAN 4 FEET.



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION

PHASE THREE

D. R. HORTON, INC.
 ESCAMBIA COUNTY, FLORIDA

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E. COAH 879
FL PE No. 86282

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY CAH

APPROVED BY DBT

CHECKED BY _____ IMP _____

CHECKED BY _____ JMB

DATE SEPTEMBER 2020

TITLE _____

CONSTRUCTION

CONSTRUCTION

DETAILS

PROJECT NO. 50128595

0700

C203

0700

SHEET NO. _____

SHEET NO. _____

NO.	DESCRIPTION	DATE

GENERAL NOTES:

1. Work this Index with Index 425-001 and Index 425-010.
2. Chamfer all exposed edges and corners $\frac{3}{8}$ " chamfer or rounded to $\frac{1}{8}$ " radius.
3. All reinforcing is Grade 60 bars with 2" minimum cover unless otherwise noted. Cut or bend bars for 15° clearance around pipe opening. Provide one additional bar above and one below each side of pipe opening.
4. Use Concrete Apron on inlets without slots and inlets with non-traversable slots only when called for in the Plans.
5. Quantities are for informational and estimating purposes only.

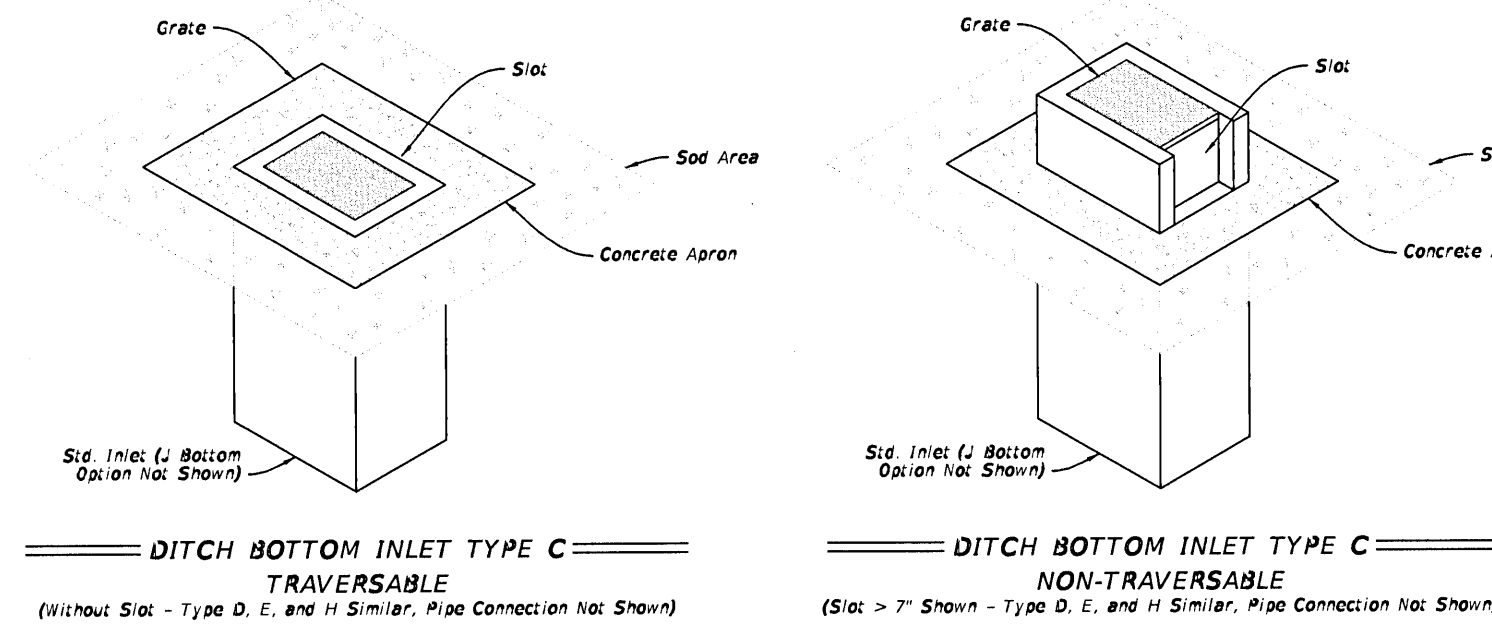
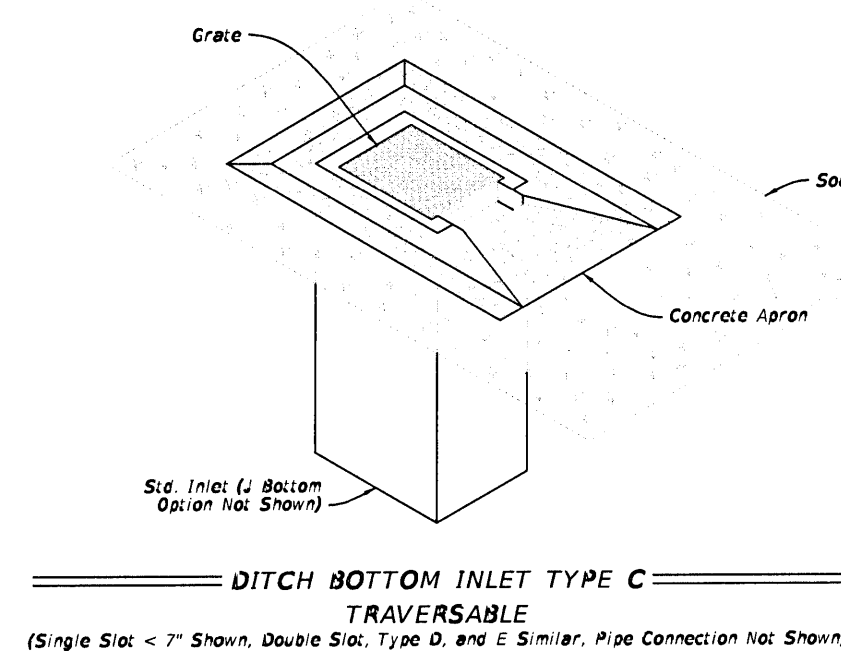


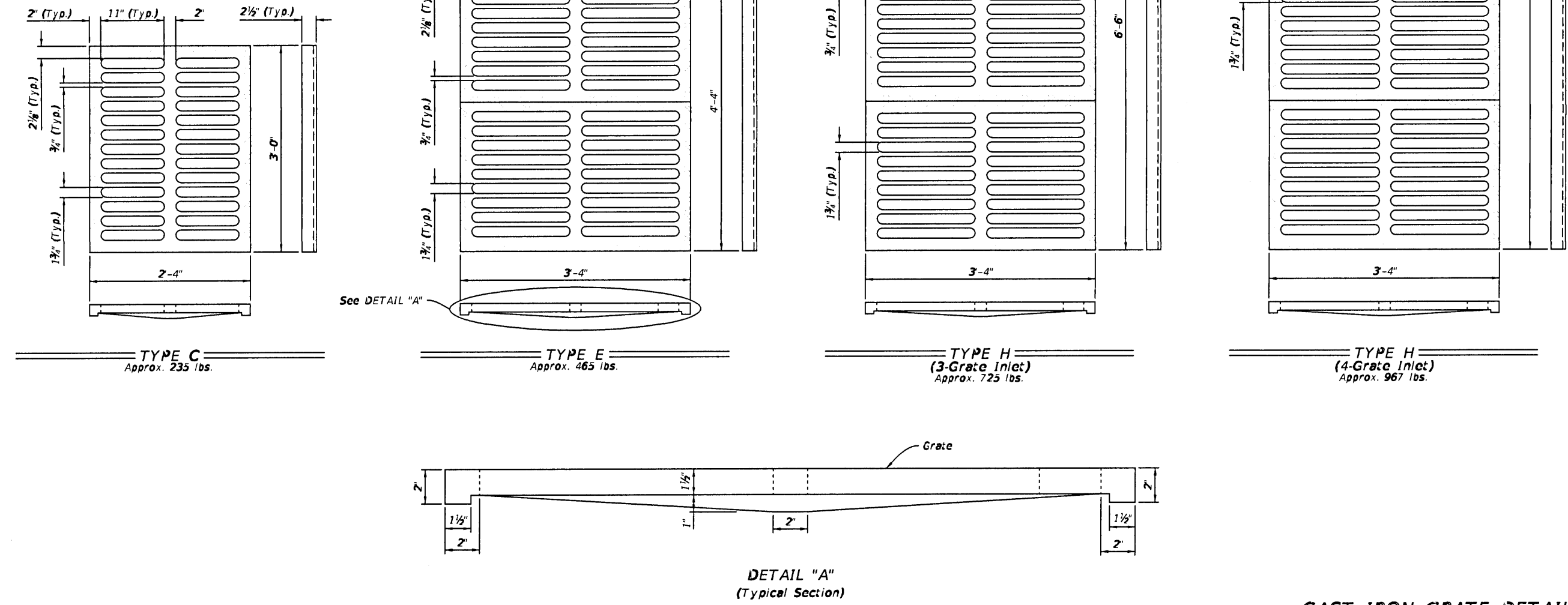
TABLE OF CONTENTS:

Sheet	Description
1	General Notes and Contents
2	Type C - Dimensional, Reinforcing, and Grate Details
3	Type D - Dimensional, Reinforcing, and Grate Details
4	Type E - Dimensional, Reinforcing, and Grate Details
5	Type H (2 & 3 Grate) - Dimensional, Reinforcing, and Steel Grate Details
6	Type H (4 Grate) - Dimensional, Reinforcing, and Steel Grate Details
7	Cast Iron Grate Details
8	Non-Traversable Inlet Details
9	Traversable Inlet Without Slot Details
10	Traversable Inlet With Slot Details
11	Case 1 - Add Traversable Slots to Existing Inlets
12	Case 2 - Add Traversable Slots (Partial) to Existing Inlets
13	Case 3 - Add Traversable Slots (Partial) to Existing Inlets and Ditch Block
14	Alternate A Structure Bottom - Top Side Details



NOTES:

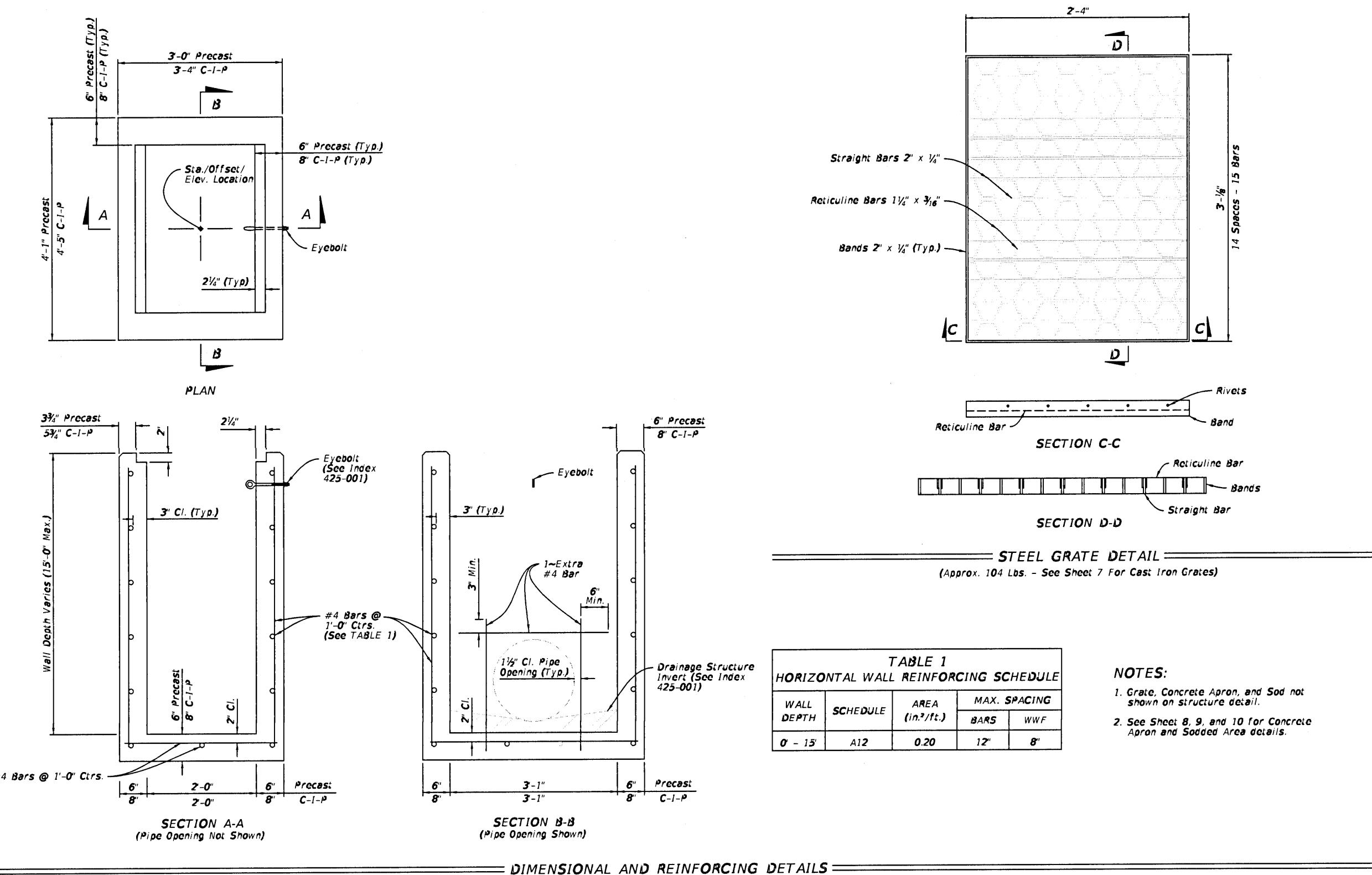
1. Steel Grates are required on inlets with traversable slots and on inlets where bicycle traffic is anticipated.
2. Cast Iron Grates are not permitted on Inlet Type D.



CAST IRON GRATE DETAILS

LAST REVISION	DESCRIPTION	FE	FY 2021-22	INDEX	SHEET	LAST REVISION	DESCRIPTION	FE	FY 2021-22	INDEX	SHEET
11/01/20			STANDARD PLANS	425-052	1 of 14	11/01/20			STANDARD PLANS	425-052	7 of 14

DITCH BOTTOM INLET TYPE C, D, E, AND H



**TABLE 1
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (IN ² /FT)	MAX. SPACING
0 - 15	A12	0.20	12"
15 - 30	A12	0.20	12"

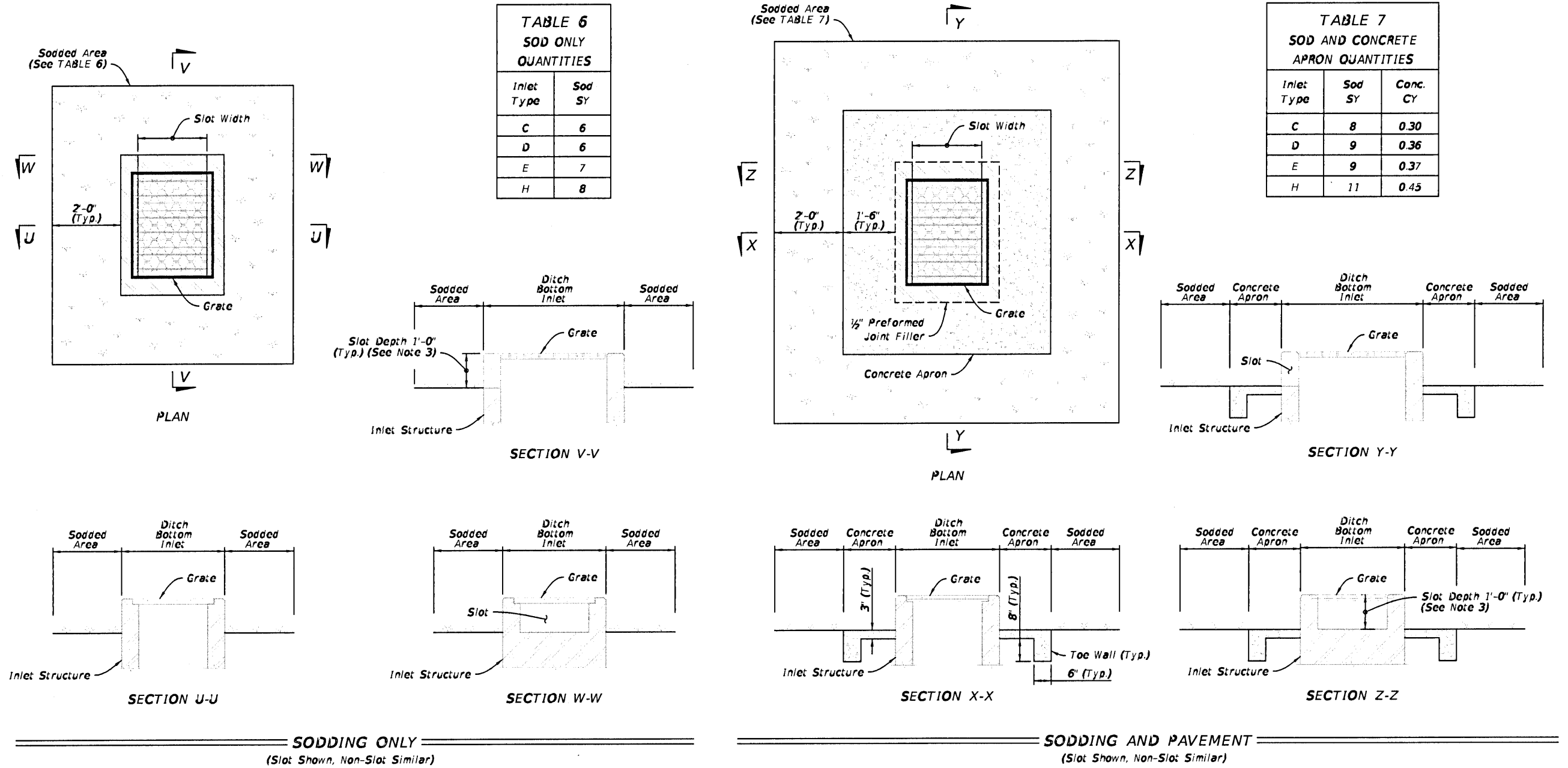
- NOTES:**
1. Grate, Concrete Apron, and Sod not shown on structure detail.
 2. See Sheet 8, 9, and 10 for Concrete Apron and Sodding Area details.

**TABLE 6
SOD ONLY QUANTITIES**

Inlet Type	Sod Sq. Yd.
C	6
D	6
E	7
H	8

**TABLE 7
SOD AND CONCRETE APRON QUANTITIES**

Inlet Type	Sod Sq. Yd.	Conc. Cy.
C	8	0.30
D	9	0.36
E	9	0.37
H	11	0.45



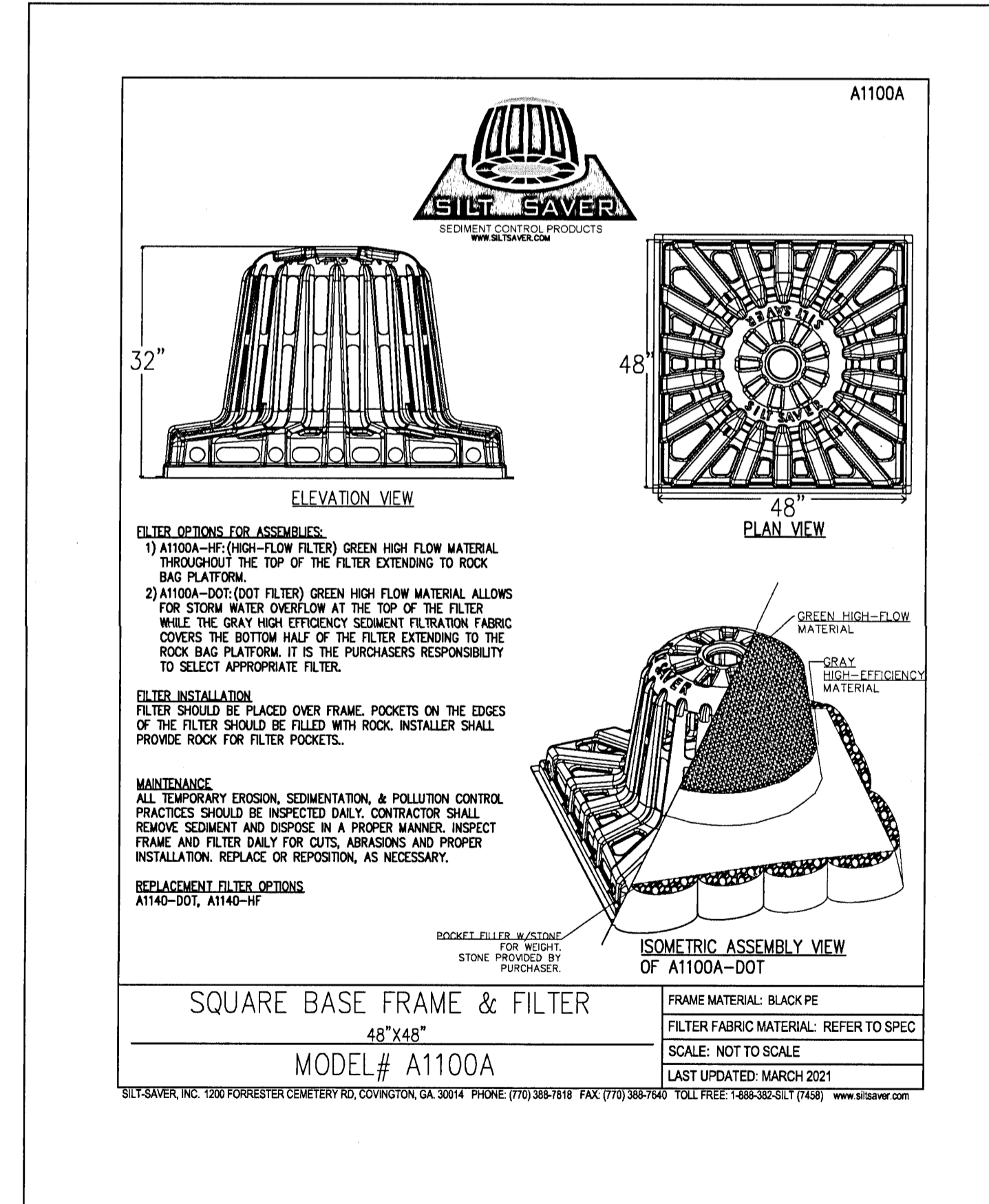
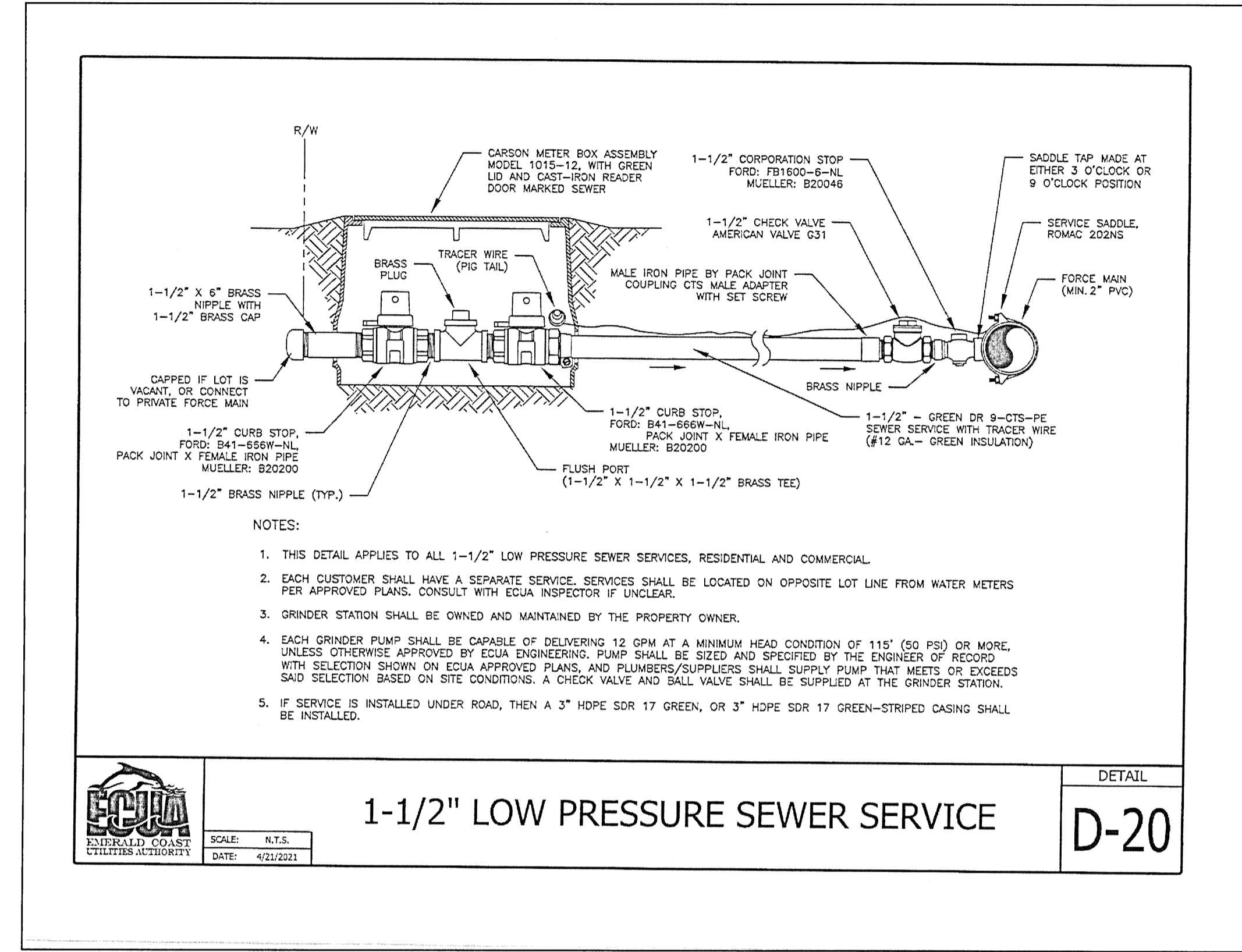
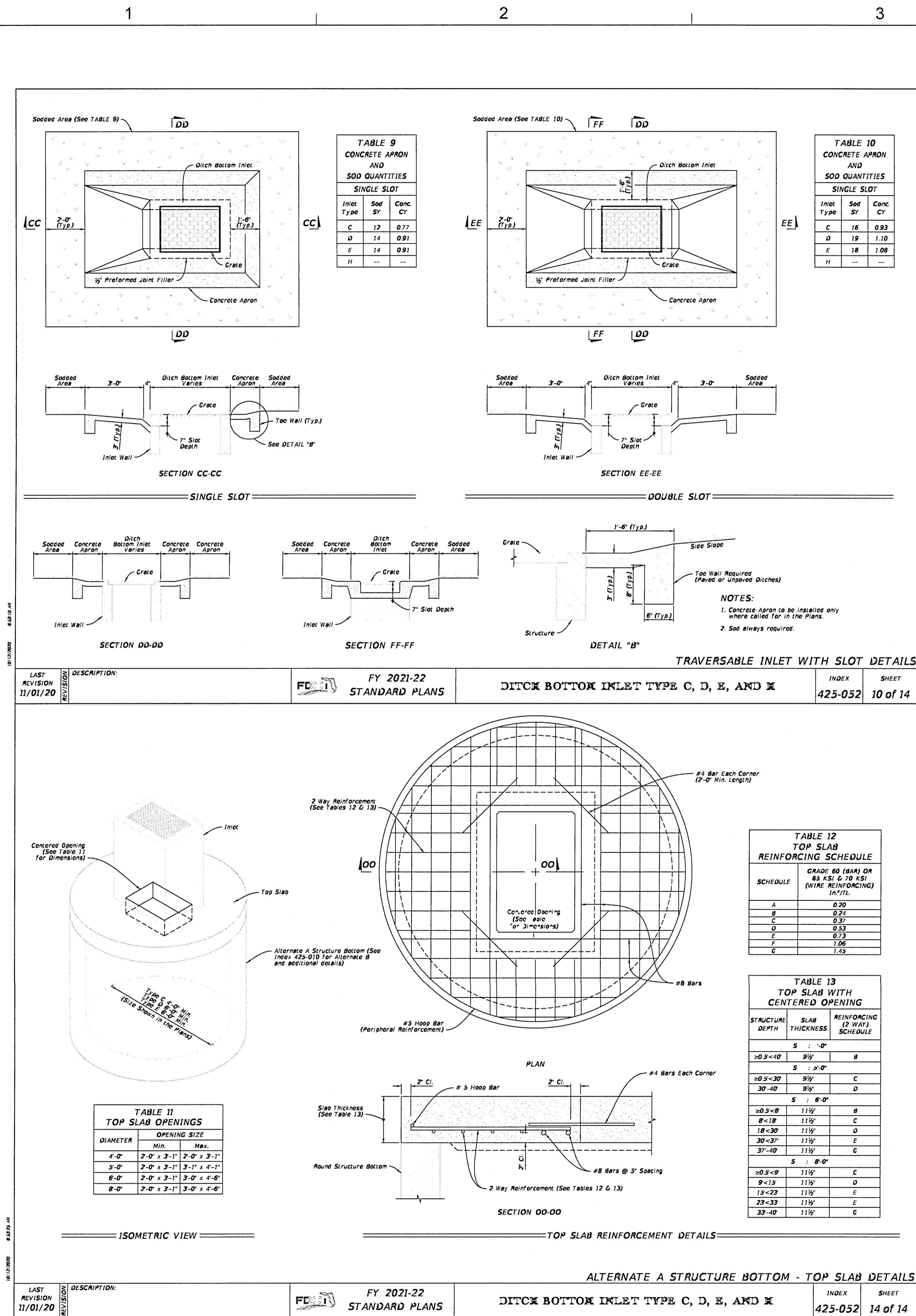
- NOTES:**
1. Concrete Apron installed only where called for in the Plans.
 2. Sod always required.
 3. Slots are not permitted on sides with grate seals.

NON-TRAVERSABLE INLET DETAILS

LAST REVISION	DESCRIPTION	FE	FY 2021-22	INDEX	SHEET	LAST REVISION	DESCRIPTION	FE	FY 2021-22	INDEX	SHEET
11/01/20			STANDARD PLANS	425-052	2 of 14	11/01/20			STANDARD PLANS	425-052	8 of 14

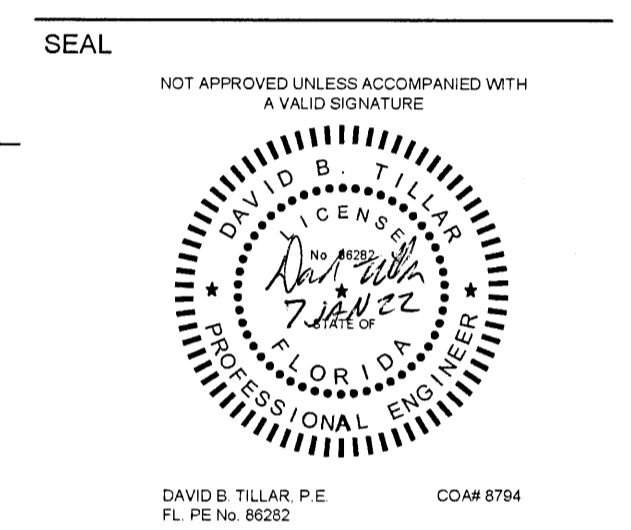
DITCH BOTTOM INLET TYPE C, D, E, AND H

DITCH BOTTOM INLET TYPE C, D, E, AND H



Dewberry Engineers Inc.
25353 Friendship Road
Daphne, AL 36526

SANCTUARY
SUBDIVISION
PHASE THREE
D. R. HORTON, INC.
ESCAMBIA COUNTY, FLORIDA



PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY CAH

APPROVED BY DBT

CHECKED BY JMB

DATE SEPTEMBER 2020

TITLE

CONSTRUCTION
DETAILS

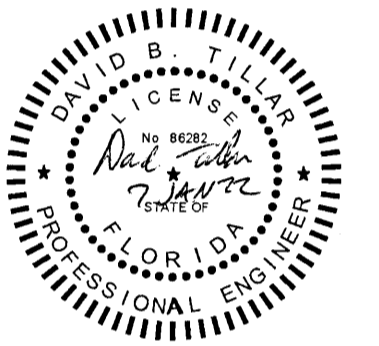
PROJECT NO. 50128595

C705

SHEET NO.

SEAL

NOT APPROVED UNLESS ACCOMPANIED WITH
A VALID SIGNATURE



DAVID B. TILLAR, P.E.
FL. PE No. 88282

DA# 8724

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

SCALE

N.T.S.

REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
-----	-------------	------

DRAWN BY CAH

APPROVED BY _____ DBT

CHECKED BY _____ JMB

DATE SEPTEMBER 2020

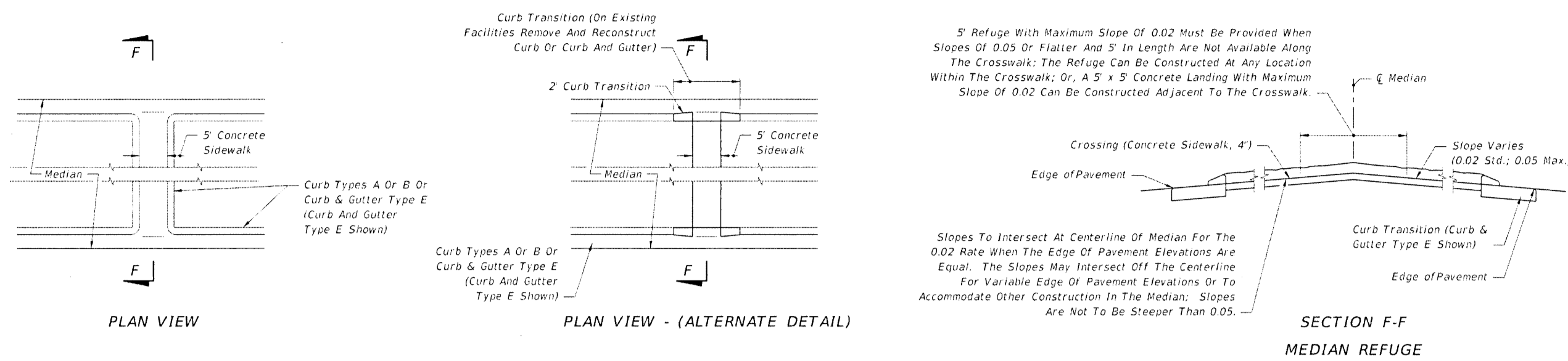
TITLE

CONSTRUCTION DETAILS

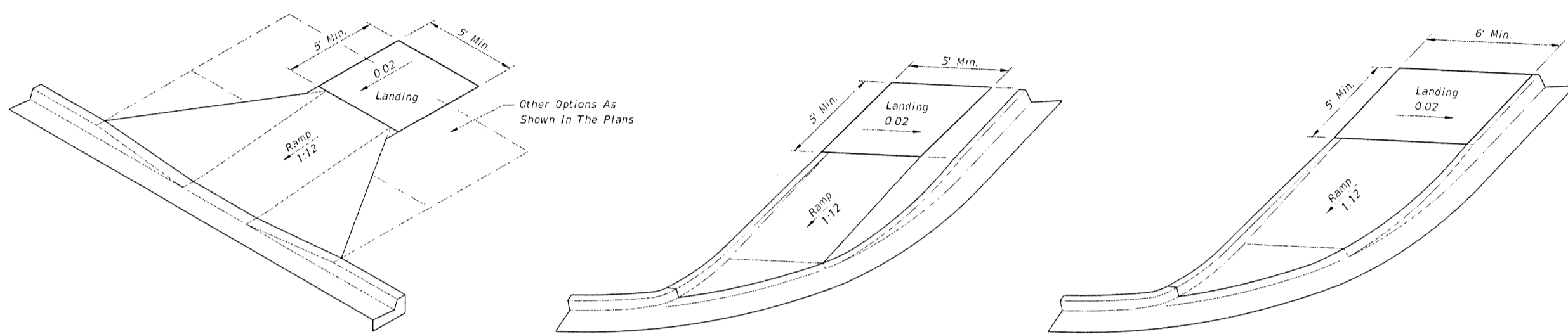
PROJECT NO. 50128595

C707


SHEET NO.

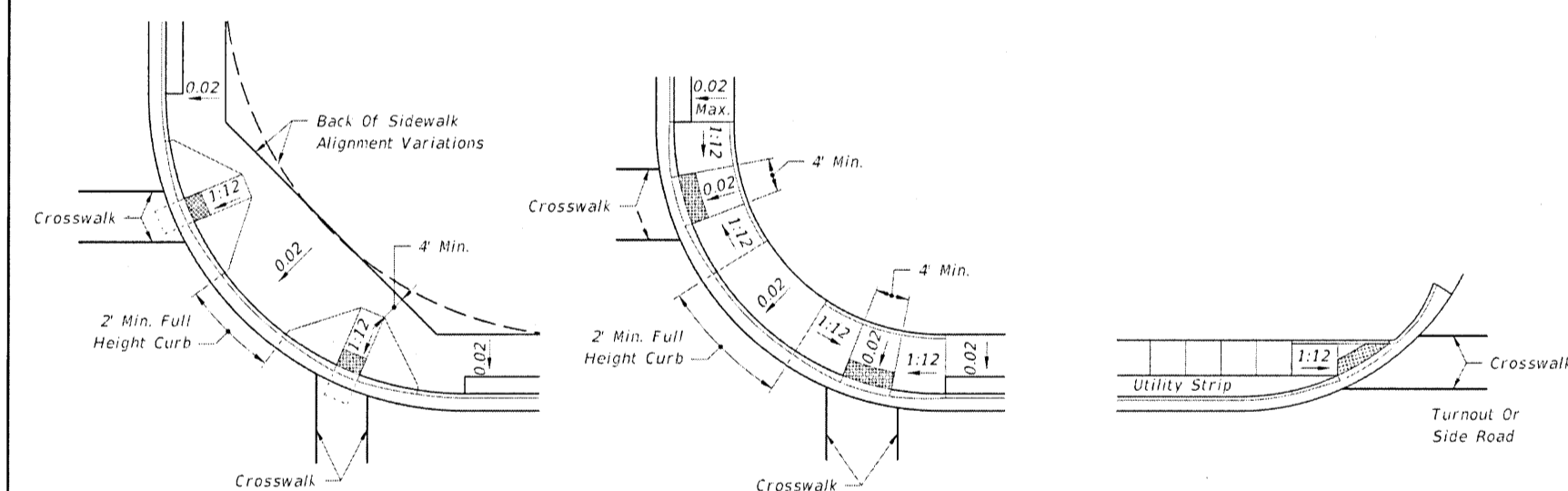


MEDIAN CROSSING



LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS

LAST REVISION 07/01/13	DESCRIPTION:	 FY 2016-17 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 5 of 7
------------------------------	--------------	--	---	---------------------	------------------------



RADIAL SIDEWALK RAMPS

LINEAR SIDEWALK RAMPS

NOTES:

1. Where crosswalk markings are used, ramps shall fall within the crosswalk limits. A clear space of 48" minimum is required at the bottom of the ramp within a marked crosswalk. If crosswalk markings are not present, a clear space of 48" minimum is required at the bottom of the ramp outside of active travel lanes.
2. Crosswalk widths and configurations vary; must conform to Index No. 17344 and 17346.


TYPICAL PLACEMENT OF SIDEWALK CURB RAMPS AT CURBED RETURNS

TABLE OF DETECTABLE WARNINGS		
CURB RAMP TYPE	CURB RADIUS (FT)	TOTAL AREA (SF)
CR-A	N/A	8
CR-B	N/A	8
CR-C	N/A	8
CR-D	25	11
CR-E	N/A	8
CR-F	10	9
	20	11
	25	13
	30	14
CR-G	10	10
	20	11
	25	12
	30	14
CR-H	20	8
	25	8
	30	8
CR-K	N/A	8
CR-L	10	18
	15	13
FLUSH SHOULDER		
OPTION A	10	11
	20	14
	25	15
	30	17
	40	19
	50	21
OPTION B	10	10
	20	10
	25	10

Note:
Due to construction applications, CR-L is the only curb ramp for which a detectable warning quantity was calculated using a curb radius of 15.

For flush shoulder options with 5' sidewalks, the back of sidewalk is measured at 10' from the edge of traveled way.

AREAS OF DETECTABLE WARNINGS FOR SIDEWALK
CURB RAMP AND FLUSH SHOULDER APPLICATIONS

LAST REVISION 07/01/13	DESCRIPTION:	 FY 2016-17 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 7 of 7
------------------------------	--------------	--	---	---------------------	------------------------

ALL SIDEWALKS, ASSOCIATED RAMPS AND OTHER INFRASTRUCTURE AND DRIVEWAY CONSTRUCTION SHALL MEET THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).