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SITE DATA

DAPHNE, ALABAMA 36526

PROPERTY OWNER: DR HORTON 25366 PROFITE DRIVE

SURVEYOR: DEWBERRY 25353 FRIENDSHIP ROAD DAPHNE, AL 36526 (251) 929-9803 - VGERMAIN@DEWBERRY.COM VICTOR L. GERMAIN, PLS - FL NO. 7281

ENGINEER: DEWBERRY 139 E. GOVERNMENT STREET PENSACOLA, FL 32502 DAVID TILLAR, P.E. - FL NO. 86282 (850) 760-0332 - DTILLAR@DEWBERRY.COM

GROSS PROJECT AREA: WETLAND/BUFFER AREA: **GROSS DENSITY**: **CURRENT ZONING:** FUTURE LAND USE: TYPE OF SUBDIVISION: NUMBER OF LOTS: CONTOUR INTERVAL DATUM: STREET LENGTH: TYPE OF STREETS R/W WIDTH: PAVEMENT WIDTH: STREET MAINTENANCE STORMWATER MAINTENANCE MIN. LOT AREA: MIN. LOT WIDTH AT RIGHT OF WAY: MIN. DEPTH OF FRONT YARD: MIN. DEPTH OF REAR YARD: MIN. WIDTH OF EACH SIDE YARD:

MAX. BUILDING AREA AS % OF GROSS LOT AREA: MAX. BUILDING HEIGHT (FEET): MAX. BUILDING HEIGHT (STORIES):

PROJECT DESCRIPTION:

THIS PROJECT CONSIST OF THE **CONSTRUCTION OF A 53 LOT SINGLE** FAMILY RESIDENTIAL SUBDIVISION IN ESCAMBIA COUNTY, FLORIDA. CONSTRUCTION ACTIVITIES SHALL INCLUDE SITE, GRADING, DRAINAGE AND UTILITY IMPROVEMENTS IN SUPPORT OF THE PROPOSED PROJECT.

17.31 ACRES 3.034 ACRES/4.909 ACRES 3.28 UNITS/ACRE (RESIDENTIAL) HC/LI MU-S SINGLE FAMILY DWELLING 53 **ONE-FOOT** NAD 83/NAVD 88 2.041 FEET PUBLIC 50 FEET 24 FEET ESCAMBIA COUNTY, FLORIDA ESCAMBIA COUNTY, FLORIDA 6,000 SQ. FT. 60 FEET 15 FEET 15 FEET 10 FEET OR 10% OF THE LOT WIDTH AT THE STREET RIGHT OF WAY, WHICHEVER IS LESS, BUT AT LEAST 5 FEET. N/A

N/A N/A PLANS PREPARED BY:

Dewberry

25353 FRIENDSHIP ROAD, DAPHNE, AL 36526 (251) 929 9793

DEWBERRY PROJECT NO.: 50128595

ENGINEER'S STATEMENT

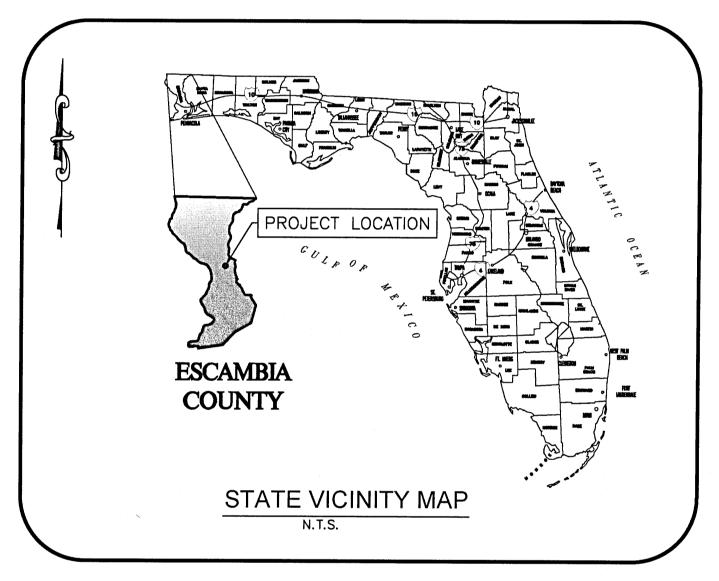
I, DAVID TILLAR, ENGINEER OF RECORD FOR SANCTUARY SUBDIVISION, PHASE 1, CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS ARE DESIGNED TO COMPLY WILL ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS.

NOTE: THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0240G, MAP REVISION DATED SEPTEMBER 29, 2006.

CONSTRUCTION PLANS FOR: THE SANCTUARY SUBDIVISION PHASE THREE

A 53 LOT SUBDIVISION IN SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA

> DEVELOPER: DR HORTON



Approvéd

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

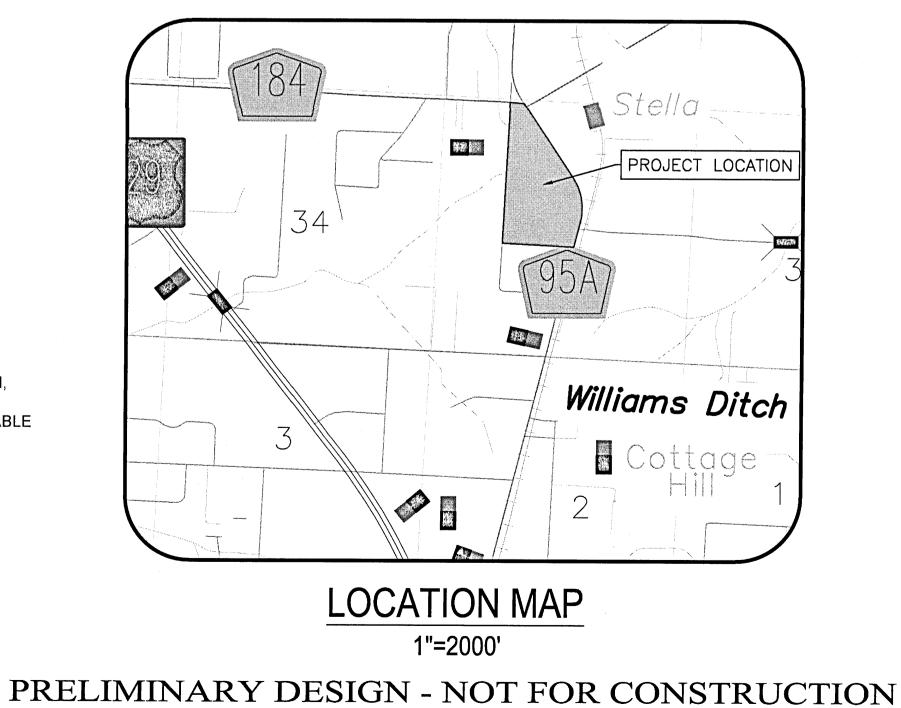
DRAINAGE FEE

Imperv. Surf. 89741.1 Sq ft Stormwater Ret. 0.81 % (F) Total Drainage Fee \$ 3.634.51 Pond Maint. Fee: MSBU

DESCRIPTION:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTH HALF OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND RUN THENCE NORTH 87'22'02" WEST. ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION 35, A DISTANCE OF 2422.59 FEET TO THE WEST RIGHT-OF-WAY OF COUNTY ROAD 95A; THENCE RUN ALONG SAID WEST RIGHT-OF-WAY OF COUNTY ROAD 95A THE FOLLOWING FIVE (5) COURSES: (1) NORTH 25'55'40" EAST, A DISTANCE OF 14.90 FEET; (2) NORTH 12"34'33" EAST, A DISTANCE OF 100.04 FEET; (3) NORTH 14"17'39" EAST. A DISTANCE OF 99.50 FEET; (4) ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 1,111.68 FEET, AN ARC LENGTH OF 931.64 FEET (CHORD BEARS NORTH 09'42'51" WEST, A DISTANCE OF 904.62 FEET); (5) NORTH 33'43'21" WEST, A DISTANCE OF 438.05 FEET TO THE POINT OF BEGINNING: CONTINUE THENCE NORTH 33'43'21" WEST, ALONG SAID WEST RIGHT-OF-WAY OF COUNTY ROAD 95A, A DISTANCE OF 1472.35 FEET TO A POINT ON THE NORTH LINE OF SECTION 35; THENCE RUN NORTH 87'32'18" WEST, ALONG THE NORTH LINE OF SECTION 35, A DISTANCE OF 225.89 FEET TO THE EAST RIGHT-OF-WAY OF STACEY ROAD; THENCE RUN SOUTH 02'52'27" WEST, ALONG THE EAST RIGHT-OF-WAY, A DISTANCE OF 1260.87 FEET; THENCE RUN NORTH 88'00'46" EAST, DEPARTING THE EAST RIGHT-OF-WAY OF SAID STACEY ROAD, A DISTANCE OF 91.35 FEET; THENCE RUN ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 19.78 FEET (CHORD BEARS SOUTH 73'05'49" EAST, A DISTANCE OF 19.43 FEET); THENCE RUN SOUTH 54'12'25" EAST, A DISTANCE OF 35.00 FEET; THENCE RUN NORTH 80'42'17" EAST, A DISTANCE OF 100.00 FEET; THENCE RUN NORTH 45'51'22" EAST, A DISTANCE OF 50.00 FEET; THENCE RUN NORTH 72'12'11" EAST, A DISTANCE OF 100.00 FEET; THENCE RUN NORTH 16'19'46" WEST, A DISTANCE OF 75.00 FEET; THENCE RUN NORTH 75'41'45" EAST, A DISTANCE OF 25.00 FEET; THENCE RUN SOUTH 69'33'34" EAST, A DISTANCE OF 100.00 FEET; THENCE RUN NORTH 38'41'40" EAST, A DISTANCE OF 80.00 FEET; THENCE RUN NORTH 77'45'54" EAST, A DISTANCE OF 100.00 FEET; THENCE RUN SOUTH 27'15'59" EAST, A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 80'03'19" EAST, A DISTANCE OF 129.17 FEET; THENCE RUN SOUTH 60'52'57" EAST, A DISTANCE OF 346.66 FEET; THENCE RUN NORTH 64'38'44" EAST, A DISTANCE OF 50.10 FEET TO THE TO THE POINT OF BEGINNING.

TRACT CONTAINS 17.31 ACRES, MORE OR LESS, AND LIES IN SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA.



SEPTEMBER 2020



Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526

(notes shall be inserted in the upper right corner of title sheet)

A. ECUA Engineering Manual Incorporated by Reference The ECUA Engineering Manual, dated December 18, 2014, along with any listed updates (hereinafter "Manual"), located at <u>www.ecua.fl.gov</u>, is hereby incorporated y reference into this Project's official contract documents as if fully set forth herein. It is the Contractor's responsibility to be knowledgeable of the Manual's ntents and to construct the Project in accordance with the Manual. The ontractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the ppropriate resolution

ECUA Required Plan Notes

B. Additional Documents (to be completed by the Engineer of Record) Does this Project have additional technical specifications or construction details that supersede the Manual listed above? onstruct Proiect in accordance with said documents as listed and located below:

	Docume	ent Type	Loca	ation
Document Name	Specifi-	Detail	Plans	Project Manual*
	cation	Detail	Plans	Manual*
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*Project Manuals used on	ly with ECL	JA CIP Proj	iects	

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

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C700 - C707	CONSTRUCTION DETAILS

	SANCTUARY	SUBDIVISION	PHASE THREE	D. R. HORTON, INC. ESCAMBIA COUNTY, FLORIDA	
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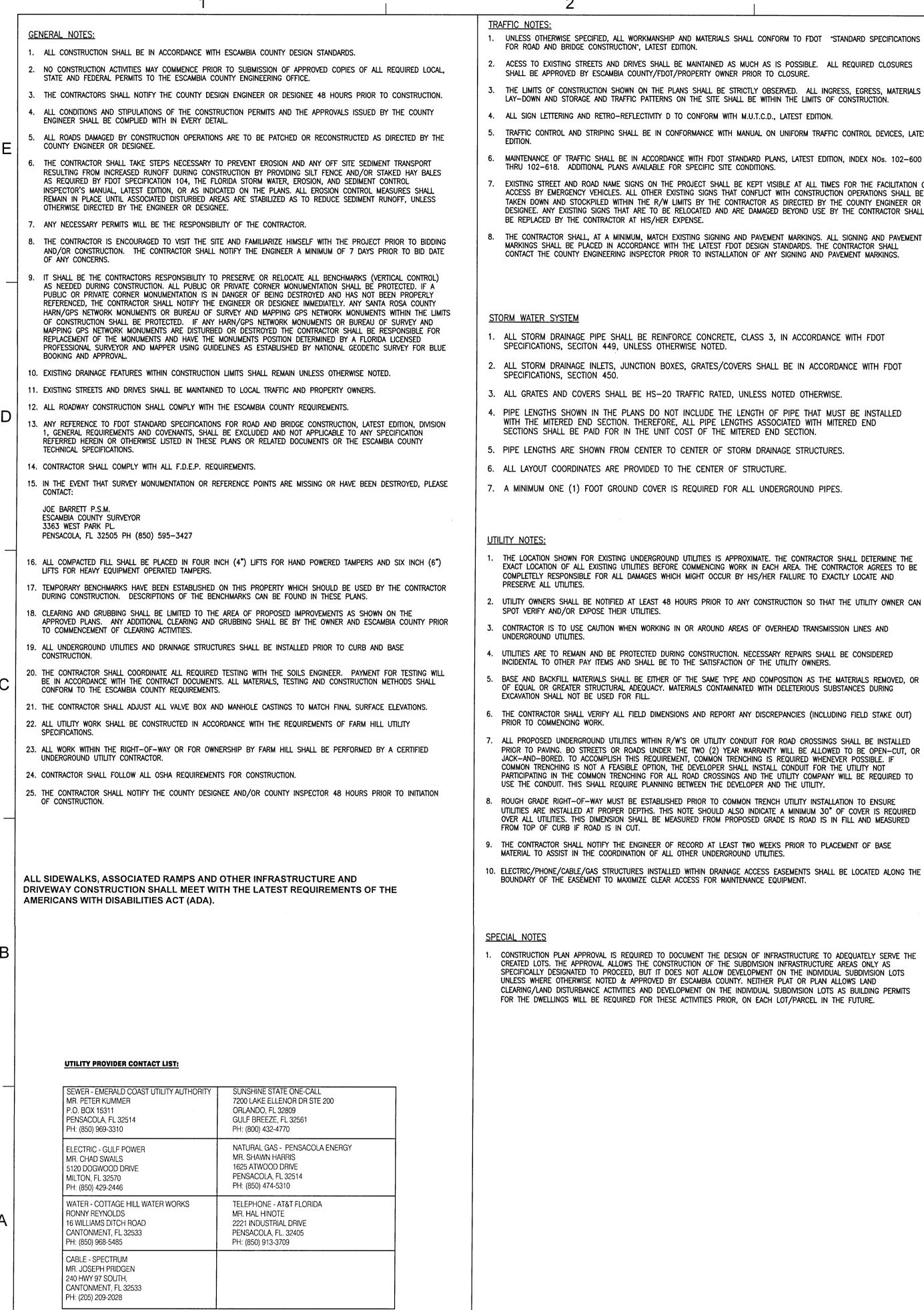
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APPROVED BY	DBT
CHECKED BY	JMB
DATE	SEPTEMBER 2020

TITLE

TITLE SHEET

G100

PROJECT NO.



UNLESS OTHERWISE SPECIFIED, ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO FDOT "STANDARD SPECIFICATIONS ACESS TO EXISTING STREETS AND DRIVES SHALL BE MAINTAINED AS MUCH AS IS POSSIBLE. ALL REQUIRED CLOSURES SHALL BE APPROVED BY ESCAMBIA COUNTY/FDOT/PROPERTY OWNER PRIOR TO CLOSURE.

THE LIMITS OF CONSTRUCTION SHOWN ON THE PLANS SHALL BE STRICTLY OBSERVED. ALL INGRESS, EGRESS, MATERIALS LAY-DOWN AND STORAGE AND TRAFFIC PATTERNS ON THE SITE SHALL BE WITHIN THE LIMITS OF CONSTRUCTION.

TRAFFIC CONTROL AND STRIPING SHALL BE IN CONFORMANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST

MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS, LATEST EDITION, INDEX NOS. 102-600

EXISTING STREET AND ROAD NAME SIGNS ON THE PROJECT SHALL BE KEPT VISIBLE AT ALL TIMES FOR THE FACILITATION OF ACCESS BY EMERGENCY VEHICLES. ALL OTHER EXISTING SIGNS THAT CONFLICT WITH CONSTRUCTION OPERATIONS SHALL BE TAKEN DOWN AND STOCKPILED WITHIN THE R/W LIMITS BY THE CONTRACTOR AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE. ANY EXISTING SIGNS THAT ARE TO BE RELOCATED AND ARE DAMAGED BEYOND USE BY THE CONTRACTOR SHALL

THE CONTRACTOR SHALL, AT A MINIMUM, MATCH EXISTING SIGNING AND PAVEMENT MARKINGS. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST FDOT DESIGN STANDARDS. THE CONTRACTOR SHALL CONTACT THE COUNTY ENGINEERING INSPECTOR PRIOR TO INSTALLATION OF ANY SIGNING AND PAVEMENT MARKINGS.

ALL STORM DRAINAGE PIPE SHALL BE REINFORCE CONCRETE, CLASS 3, IN ACCORDANCE WITH FDOT

2. ALL STORM DRAINAGE INLETS, JUNCTION BOXES, GRATES/COVERS SHALL BE IN ACCORDANCE WITH FDOT

3. ALL GRATES AND COVERS SHALL BE HS-20 TRAFFIC RATED, UNLESS NOTED OTHERWISE.

4. PIPE LENGTHS SHOWN IN THE PLANS DO NOT INCLUDE THE LENGTH OF PIPE THAT MUST BE INSTALLED WITH THE MITERED END SECTION. THEREFORE, ALL PIPE LENGTHS ASSOCIATED WITH MITERED END SECTIONS SHALL BE PAID FOR IN THE UNIT COST OF THE MITERED END SECTION.

5. PIPE LENGTHS ARE SHOWN FROM CENTER TO CENTER OF STORM DRAINAGE STRUCTURES.

7. A MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.

THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS/HER FAILURE TO EXACTLY LOCATE AND

2. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION SO THAT THE UTILITY OWNER CAN

CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND

4. UTILITIES ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. NECESSARY REPAIRS SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS AND SHALL BE TO THE SATISFACTION OF THE UTILITY OWNERS.

OF EQUAL OR GREATER STRUCTURAL ADEQUACY. MATERIALS CONTAMINATED WITH DELETERIOUS SUBSTANCES DURING

THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND REPORT ANY DISCREPANCIES (INCLUDING FIELD STAKE OUT)

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRICR TO PAVING. BO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

8. ROUGH GRADE RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. THIS NOTE SHOULD ALSO INDICATE A MINIMUM 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IS ROAD IS IN FILL AND MEASURED

9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE

10. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE

CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBIA COUNTY. NEITHER PLAT OR PLAN ALLOWS LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

WATER SYSTEM NOTES

- MAINS SHALL HAVE A MINIMUM OF 30" COVER WITH 36" MAXIMUM COVER UNLESS APPROVED BY ENGINEER.
- ALL VALVES AND MATERIALS SHALL COMPLY WITH AWWA (AMERICAN WATER WORKS ASSOCIATION) STANDARDS, LATEST EDITION. VALVES SHALL BE RESILIENT SEATED GATE VALVES AS SPECIFIED ON PLANS.
- CONTRACTOR IS TO FURNISH "AS BUILT PLANS" INDICATING LOCATIONS OF ALL FITTINGS, VALVES, AND DEAD END RUNS WITH
- THREE (3) PHYSICAL FEATURES (LOT CORNERS, TREES, ETC.). THIS IS MANDATORY, NO EXCEPTIONS. ALL MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. PRESSURE TESTING SHALL BE IN ACCORDANCE WITH
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ENGINEER 48 HOURS PRIOR TO PRESSURE TESTING, DISAFFECTION AND BACTERIOLOGICAL TESTING. PRESSURE TESTING SHALL BE VALVE TO VALVE. CONTRACTOR SHALL TAP THE WATER MAIN WITH A 1" TAPPING SADDLE AT LOCATIONS DETERMINED BY THE ENGINEER.
- BACTERIOLOGICAL TEST SHALL BE PERFORMED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION FROM LOCATIONS WITHIN THE DISTRIBUTION SYSTEM IN ACCORDANCE WITH RULES 62-555.540 (2)(L), 62-555.345 AND 62-555.330, F.A.C AND AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C 651-92 AS FOLLOWS:
- CONNECTION POINT TO AN EXISTING SYSTEM AND THE ENDPOINT OF THE PROPOSED ADDITION;
- ANY WATER LINES BRANCHING OFF A MAIN EXTENSION;
- EVERY 1,200 FEET ON STRAIGHT RUN OF PIPE;
- · EACH LOCATION SHALL BE SAMPLED ON TWO CONSECUTIVE DAYS WITH SAMPLE POINTS AND CHLORINE RESIDUAL READING CLEARLY INDICATED ON THE REPORT.
- 10. CONTRACTOR WILL BE RESPONSIBLE FOR ALL FITTINGS, TAPS, EQUIPMENT AS REQUIRED FOR FLUSHING SYSTEM, PRESSURE TESTING, DISINFECTION AND BACTERIOLOGICAL TESTING.
- 11. ALL VALVE BOXES SHALL BE INSTALLED PER DETAIL SHOWN. PRE-CAST VALVE PADS SHALL NOT BE USED.
- WHERE AN 18" MIN. CLEARANCE BETWEEN PVC/DI PIPE AND OTHER PIPE CANNOT BE ACHIEVED, THE PIPE SHALL BE CONCRETE ENCASED WITH 6" THICKNESS AROUND THE PIPE AND 6 FT. CLEARANCE EACH WAY. FOR DUCTILE IRON, THE PIPE SHALL BE WRAPPED WITH PLASTIC SHEETING AND SEALED BEFORE CONCRETE PLACEMENT.
- ALL CONSTRUCTION AREAS NEAR WETLANDS ARE TO BE MONITORED CLOSELY FOR EROSION, AND TAKE ALL NECESSARY STEPS TO PREVENT THE TRANSPORT OF SEDIMENT DUE TO CONSTRUCTION ACITIVITIES. SILT FENCE AND HAY BALES SHALL BE USED IN THESE AREAS. CONTRACTOR SHALL FOLLOW ALL THE PERMIT REQUIREMENTS WHICH ARE INCLUDED IN THE SPECIFICATIONS.
- 14. THE CONTRACTOR SHALL USE RESTRAINED JOINT FITTINGS AND PIPE AT ALL BENDS, TEES, VALVES, AND TRANSITIONS.
- 15. THE CONTRACTOR SHALL INSTALL WARNING TAPE 1' BELOW GROUND SURFACE OVER THE TOP OF ALL PIPE. THE WARNING TAPE SHALL BE INSTALLED AT THE SAME TIME THE PIPE IS INSTALLED.
- 16. INSULATED 12 GA. LOCATING WIRE SHALL BE INSTALLED ON TOP OF ALL NON-METALLIC PIPE. 17. ALL PIPE SHALL BE INSTALLED IN DRY CONDITIONS. WELL POINTING MAY BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- 18. THE FLUSHING VELOCITY SHALL BE A MINIMUM OF 2.5 FEET PER SECOND FOR 1.5 TIMES THE PIPE VOLUME. THE OWNER WILL PAY FOR THE FIRST FLUSH AND PRESSURE TEST WATER. THE CONTRACTOR WILL PAY FOR ANY WATER FOR ADDITIONAL REPAIRS, FLUSHING AND TESTING. THE ENTIRE ROUTE SHALL BE LAID OUT BY A PROFESSIONAL SURVEYOR AND MAPPER (PSM). THE AS-BUILTS FOR THIS PROJECT SHALL ALSO BE VERIFIED BY A PSM WHICH SHALL INCLUDE ALL TIE-IN LOCATIONS. VALVES, FIRE HYDRANTS AND OTHER APPURTENANCES. CONTRACTOR SHALL PROVIDE THE AS-BUILTS IN STATE PLANE COORDINATES BY HARD COPY (SIGNED AND SEALED) AND DIGITAL COPY.
- 19. A ONE FOOT STRIP OF SOD SHALL BE INSTALLED ON THE EDGE OF ALL ASPHALT OVERLAY AREAS, BLOW OFF ASSEMBLIES, VALVE PADS, AIR RELEASE BOXES AND FIRE HYDRANTS.
- 20. CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL DIRECTIONAL BORES AND SHALL INCLUDE DEPTHS EVERY 10' HORIZONTALLY. 21. CONTRACTOR SHALL PROVIDE ALL TEMPORARY PIPING, VALVES AND APPURTENANCES AS NECESSARY FOR FLUSHING WATER MAINS TO ABOVE GRADE AT A VELOCITY OF 2.5 FT/SEC.
- 22. CONTRACTOR SHALL COORDINATE WITH GULF POWER WHEN NEEDED TO SUPPORT EXISTING POWER POLES AT NO COST TO THE OWNER.
- 23. CONTRACTOR SHALL PROVIDE VALVE BOXES FOR ALL VALVES WITH THE EXCEPTION OF THE VALVES TO BE PERMANENTLY CLOSED. HOWEVER, CONTRACTOR SHALL PROVIDE TEMPORARY PVC RISERS UNTIL ALL TIE-INS HAVE BEEN MADE AND THE NEW LINES HAVE BEEN PLACED INTO SERVICE.
- 24. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL TIE-INS AND MANAGEMENT OF EXCESS WATER. CONTRACTOR MAY USE LINE STOPS AT TIE-IN LOCATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY ABOVE GRADE FLUSHING ASSEMBLIES IF NEEDED ALL TEMPORARY FLUSHING ASSEMBLIES MAY NOT BE SHOWN ON THE PLANS. ALL COSTS ASSOCIATED WITH FLUSHING SHALL BE BORNE BY THE CONTRACTOR.
- 26. THE CONTRACTOR SHALL HAVE A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA CERTIFY THE ELEVATIONS OF ALL PIPE AT SPECIFIED LOCATIONS ON THE PLANS TO CONFIRM THE PROPER ELEVATIONS.
- 7. AT LOCATIONS WHERE ASPHALT IS TO BE REMOVED BUT NOT REPLACED, THE CONTRACTOR SHALL INSTALL 6" OF LIMEROCK FOR TEMPORARY STABILIZATION
- 28. FLUSHING TIME SHALL BE AT LEAST THAT AMOUNT OF TIME NEEDED TO FLUSH 2X PIPE VOLUME AFTER 3 FPS VELOCITY IS REACHED OR UNTIL CLEAR, WHICHEVER IS LONGER MAXIMUM LENGTH OF PIPE BETWEEN FLUSHING ASSEMBLIES SHALL BE 5.000'.
- 29. ALL PIPES SHALL BE C-900 OR C-905 P.V.C. UNLESS OTHERWISE NOTED OR REQUIRED. FITTINGS SHALL BE DUCTILE
- 30. THRUST BLOCKS SHALL BE SIZED TO RESIST HYDRAULIC TEST PRESSURES AGAINST UNDISTURBED SOILS (150 P.S.I.).
- 31. FIRE HYDRANTS SHALL BE INSTALLED ON OR NEAR PROPERTY CORNERS.

- ROSION NOTES

- PROJECT SITE.

- FDEP/NWFWMD.

<u>ESCAMBIA COUNTY NOTES:</u> THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATE BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATON COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.

NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPORVEMENTS

THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH.

AND/OR HYDROSEED. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS, SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO

RETENTION/DETENTION AREAS. DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED

SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TOTHE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.

10. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

PRIOR TO CONSTRUCTION, A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL(S) HIGHER THAN 2 FEET.

12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770. 13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT"

SIGN OFF FROM THE COUNTY. 14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY

15. CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT NOR PLAN WILL ALLOW ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON INDIVIDUAL LOTS IN THE FUTURE

CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN ON INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOT UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBIA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

CONTRACTOR SHALL PHASE CONSTRUCTION AS TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.

THE CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES, SILT FENCE, TURBIDITY BARRIER, OR AS SPECIFIED IN THE CONSTRUCTION DRAWINGS) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND WETLAND OR JURISDICTIONAL AREAS. IF, IN THE OPINION OF THE ENGINEER, AND/OR REGULATORY AUTHORITIES, EXCESSIVE QUANTITIES OF MATERIAL ARE TRANSPORTED OFF-SITE BY EROSION OR STORM WATER RUNOFF, THE CONTRACTOR SHALL IMPROVE CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER. IN NO CASE SHALL CONSTRUCTION COMMENCE PRIOR TO INSTALLATION OF EROSION CONTROL/SEDIMENTATION BARRIER.

CONTRACTOR SHALL CONSTRUCT A CONSTRUCTION ENTRANCE AT ALL LOCATIONS TO BE USED FOR CONSTRUCTION RELATED TRAFFIC TO ENTER AND EXIT THE SITE.

IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AREA USING SPRINKLING IRRIGATION OR OTHER ACCEPTABLE METHODS AS APPROVED BY THE ENGINEER.

THE CONTRACTOR SHALL USE THE BEST POSSIBLE APPROPRIATE METHOD TO PROVIDE EROSION CONTROL FOR EACH LOT DURING CONSTRUCTION OF THE HOMES.

SILT FENCE BARRIER SHALL BE INSTALLED AT ALL TOE OF SLOPES WHICH WILL RESULT IN STORMWATER FLOWING OFF OF THE

SOD ALL SLOPES 3:1 OR STEEPER.

EROSION CONTROL MATTING SHALL BE NORTH AMERICAN GREEN SC-150 OR EQUAL APPROVED BY THE ENGINEER. INLET FILTER SYSTEMS SHALL BE SILT-SAVER, INC. OR EQUAL APPROVED BY THE ENGINEER.

ALL DISTURBED AREAS NOT SPECIFICALLY SHOWN TO BE SODDED SHALL BE SEEDED AND MULCHED. THE GRASS SEED SHALL BE 20 PARTS BERMUDA AND 80 PARTS PENSACOLA BAHIA. APPLICATION RATES SHALL BE 100 POUNDS PER ACRE. IF CONSTRUCTION OCCURS DURING THE MONTHS OF OCTOBER THROUGH JANUARY, SEEDING SHALL BE 50 PARTS WINTER RYE AND 50 PARTS PENSACOLA BAHIA AT 100 POUNDS PER ACRE. SEEDED AREAS SHALL BE FERTILIZED WITH 8-8-8 NPK DRY FERTILIZER AT THE RATE OF 800 POUNDS PER ACRE.

10. ALL AREAS TO BE SEEDED AND MULCHED SHALL BE PLATED WITH A MINIMUM OF TWO INCHES OF TOPSOIL PRIOR TO SEEDING. 1. ALL EROSION CONTROL STRUCTURES SHALL BE IN PLACE BEFORE DEMOLITION BEGINS.

12. ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

3. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS: INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO

4. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS. A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.

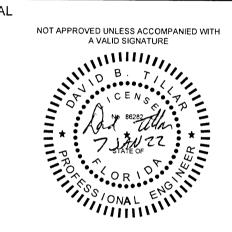
15. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

6. WETLAND & WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES.

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Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526

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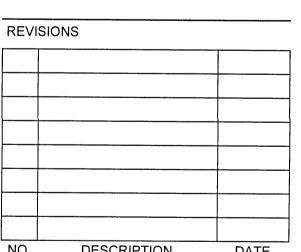


DAVID B. TILLAR, P.E. COA# 8794 FL. PE No. 86282

PRELIMINARY DESIGN NOT FOR CONSTRUCTION

N.T.S.





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CHECKED BY		JMB
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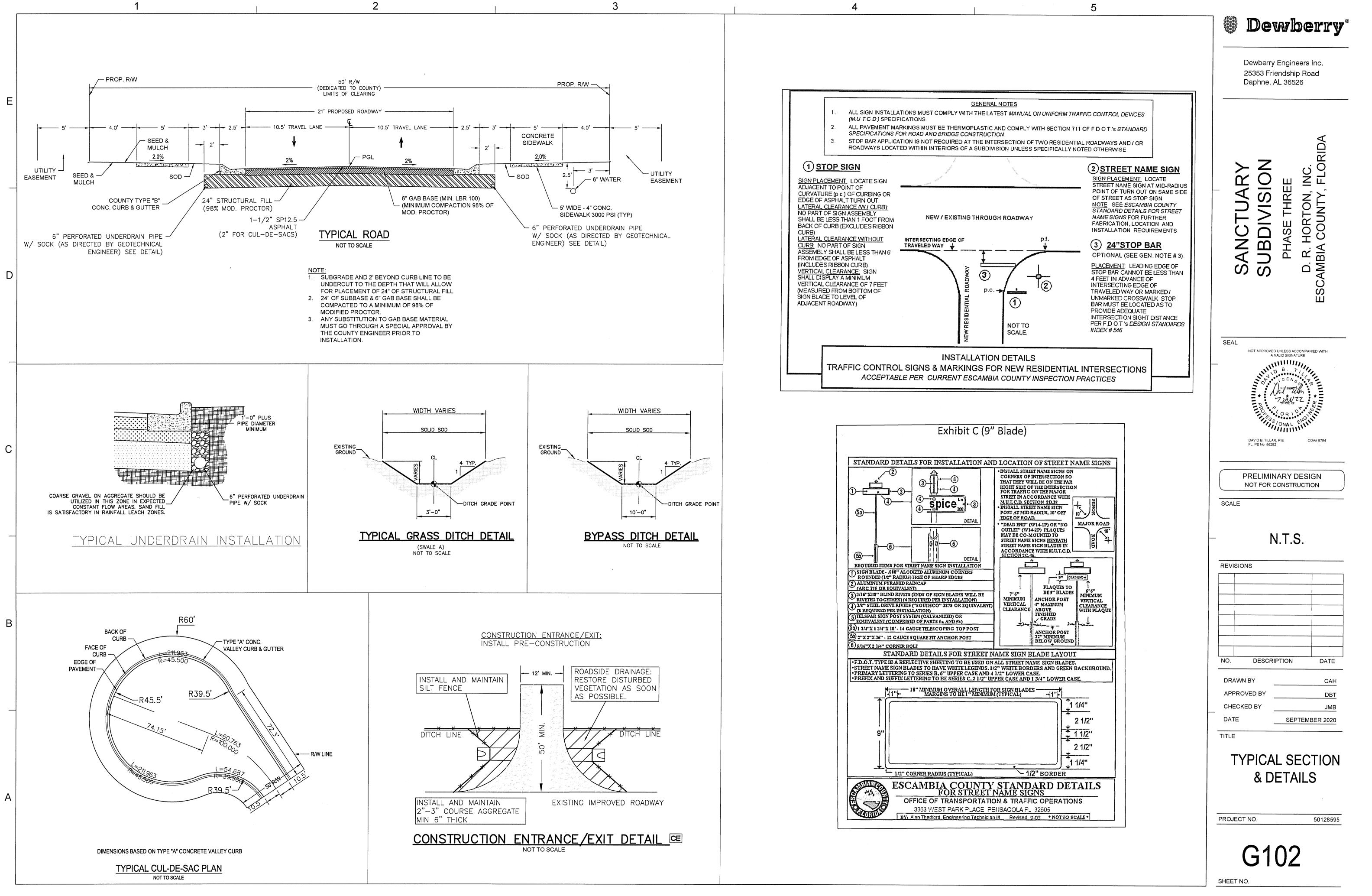
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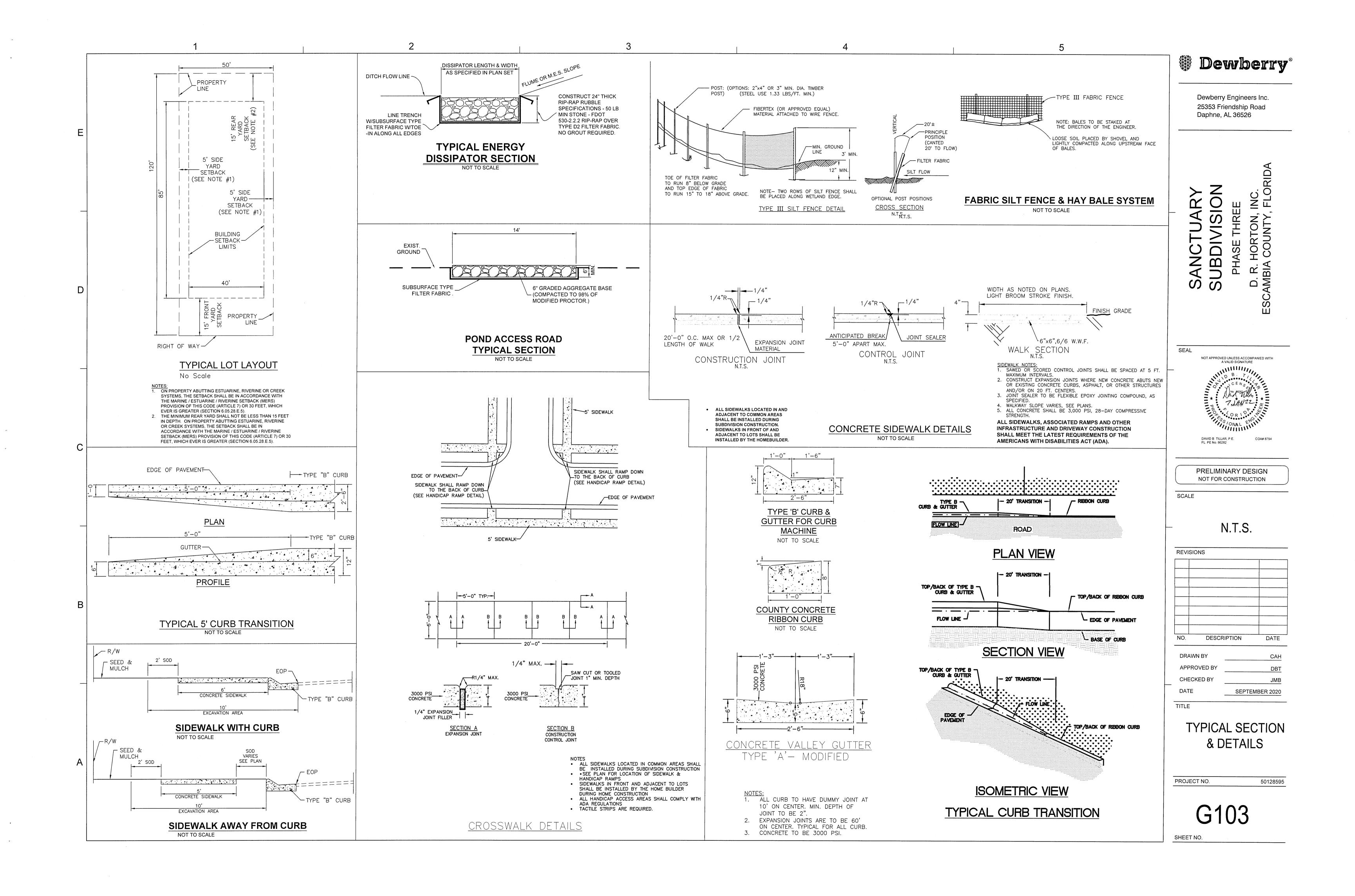
PROJECT NOTES

50128595

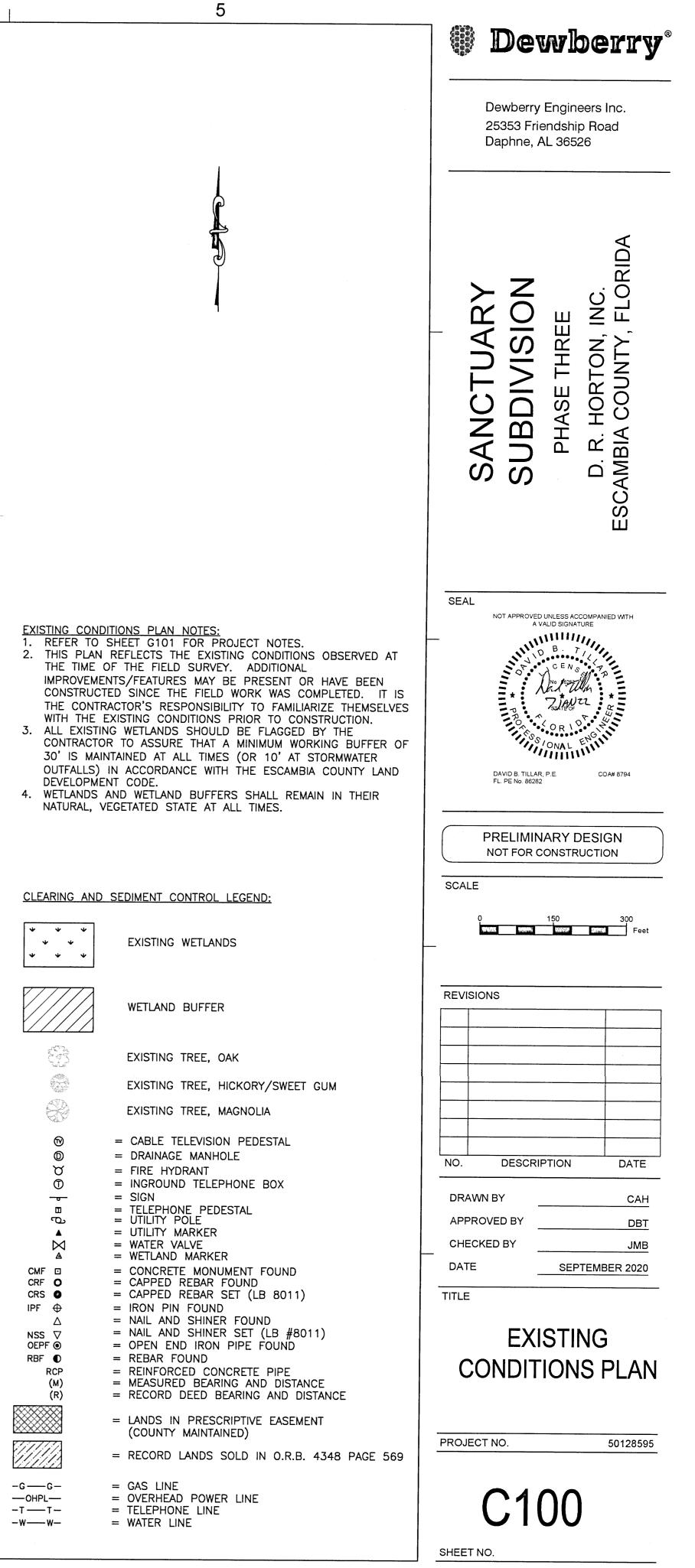
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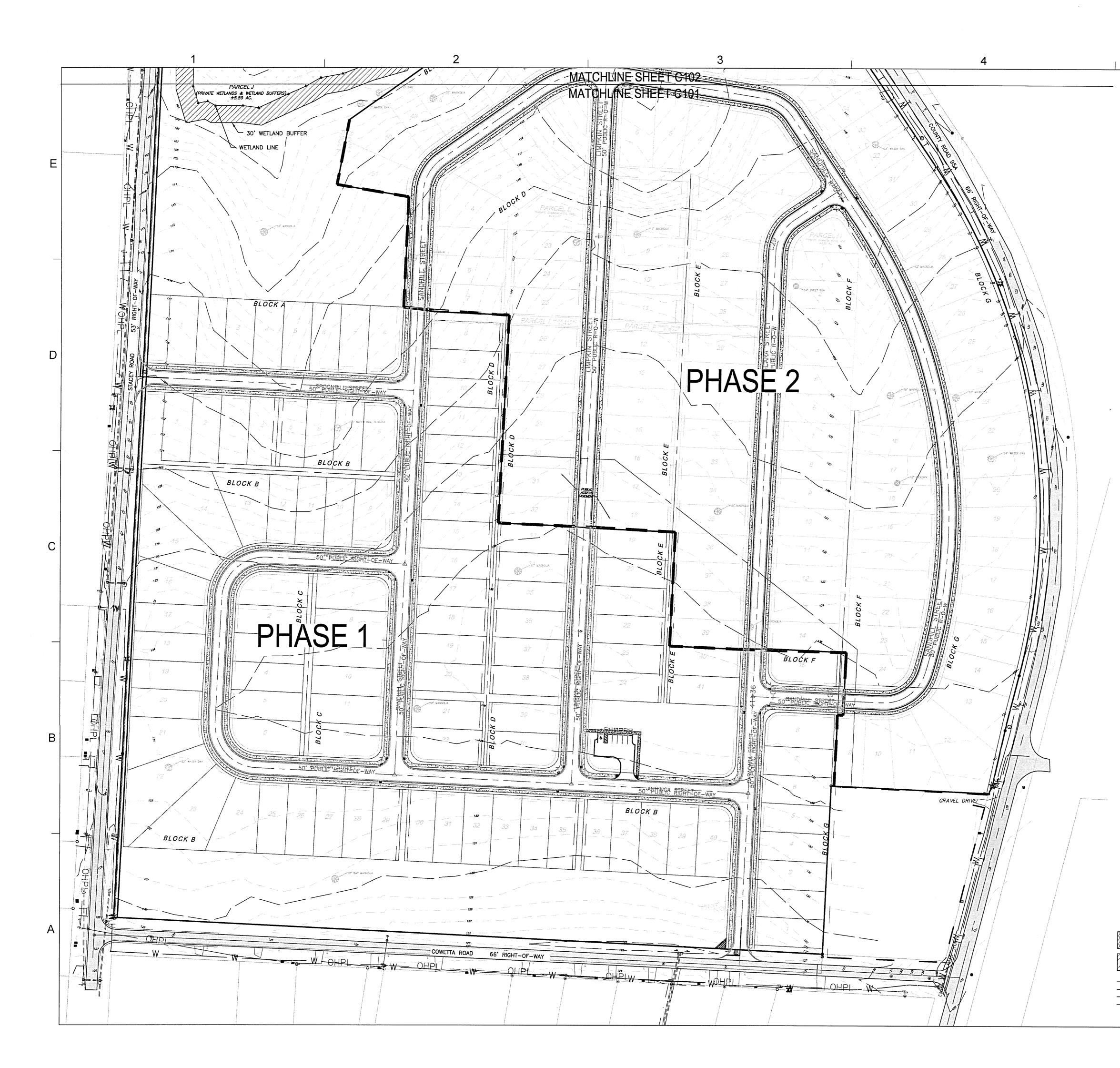


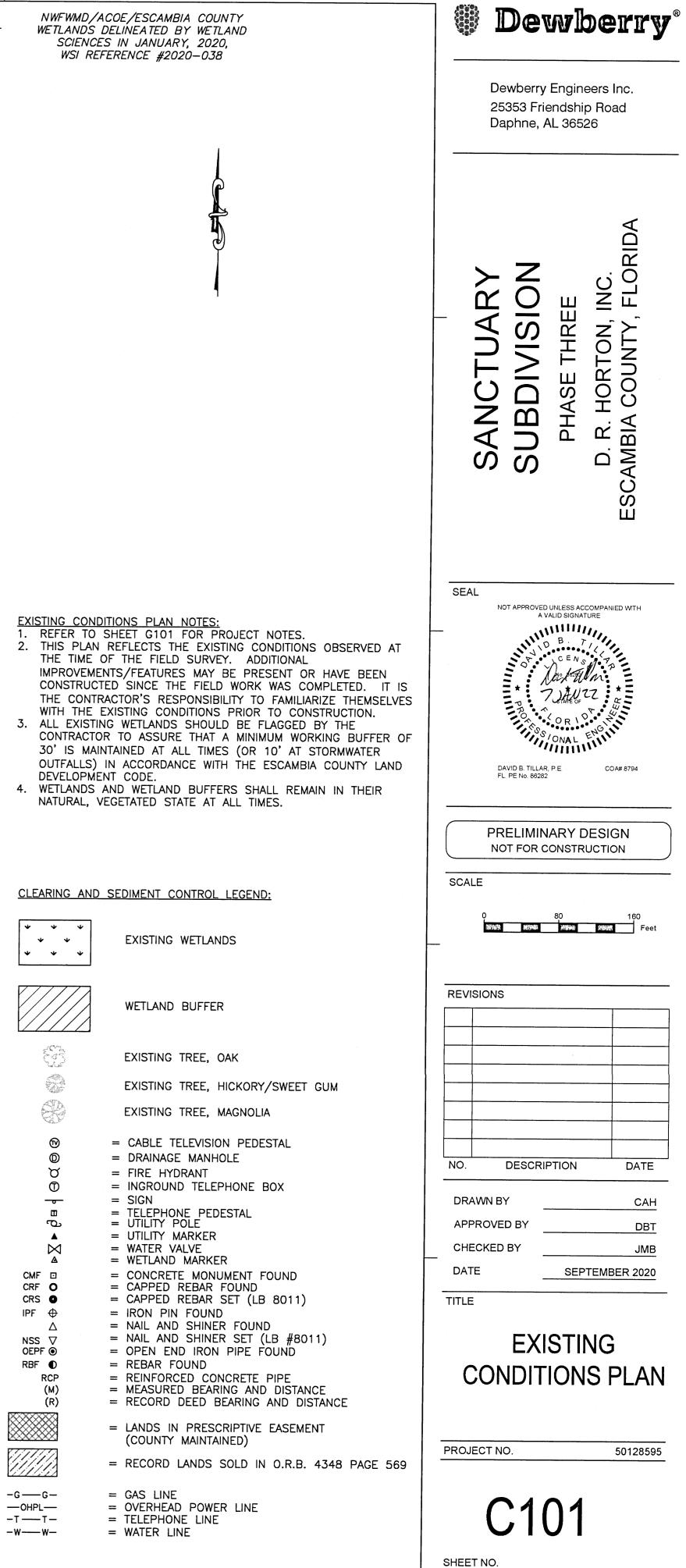


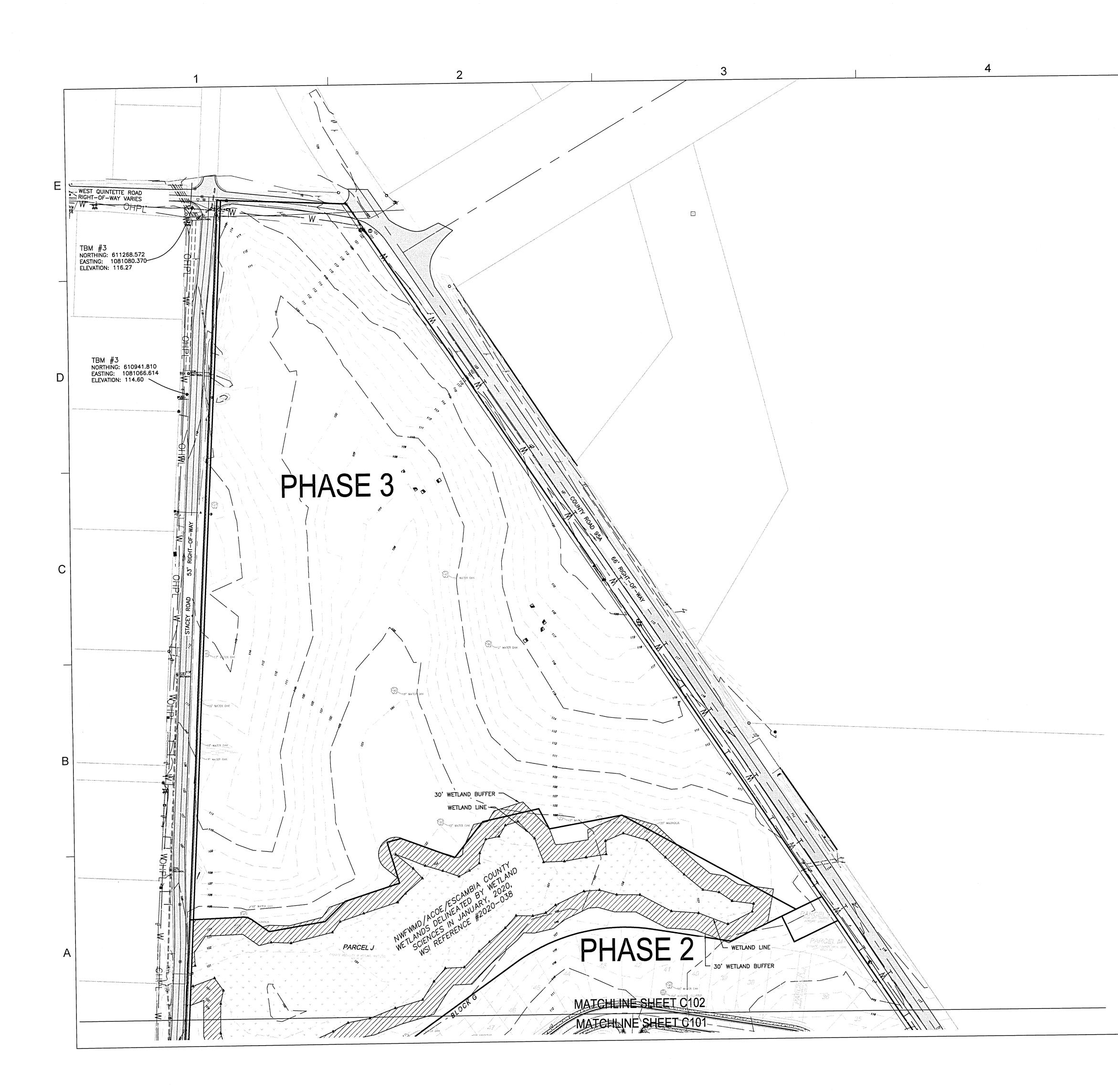






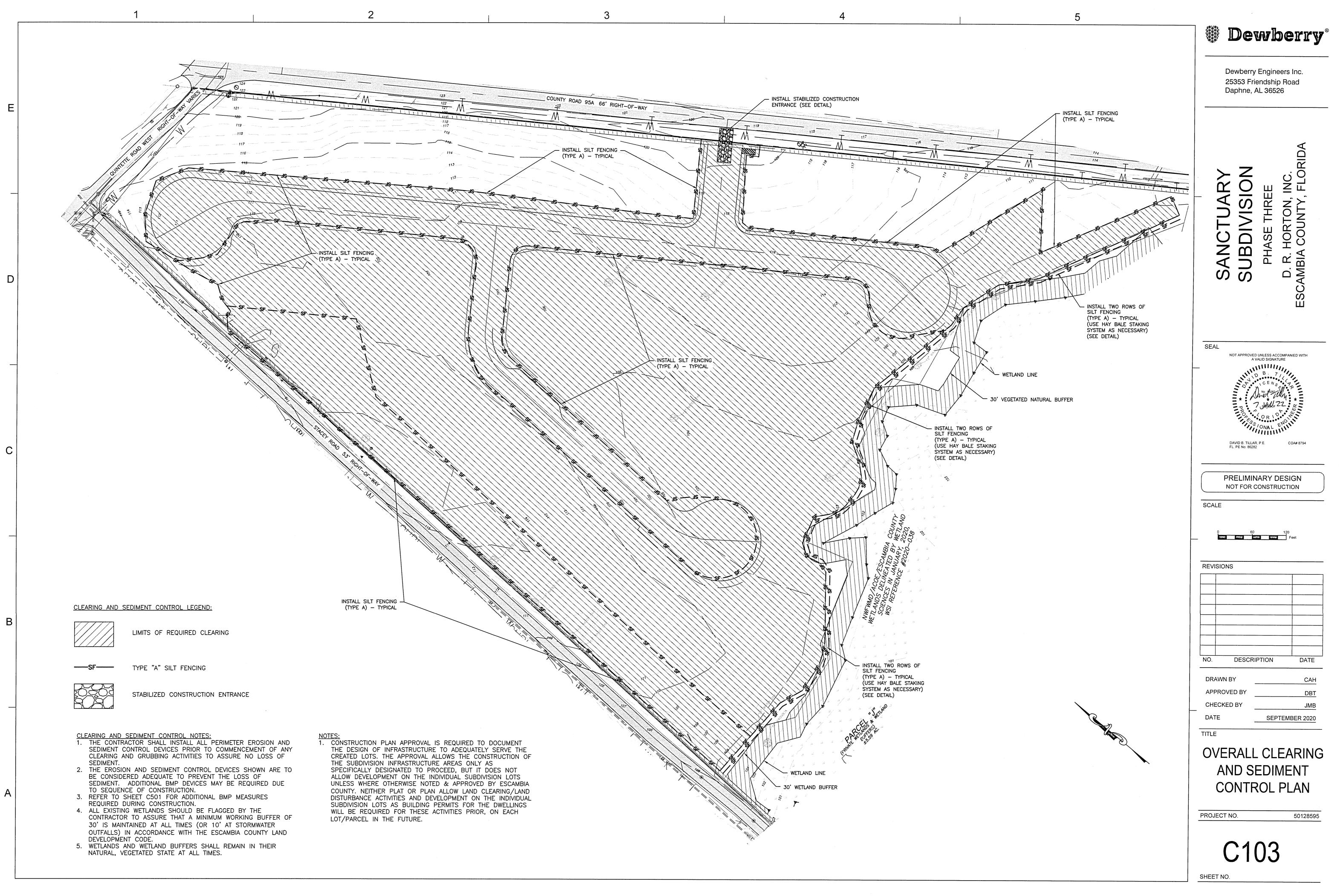






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5 Dewberry* Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526 HORTON, INC. COUNTY, FLORIDA 'UARY VISION EXISTING CONDITIONS PLAN NOTES:
1. REFER TO SHEET G101 FOR PROJECT NOTES.
2. THIS PLAN REFLECTS THE EXISTING CONDITIONS OBSERVED AT THE TIME OF THE FIELD SURVEY. ADDITIONAL THREE IMPROVEMENTS/FEATURES MAY BE PRESENT OR HAVE BEEN CONSTRUCTED SINCE THE ┣— PHASE SANCT OR HAVE BEEN CONSTRUCTED SINCE THE
FIELD WORK WAS COMPLETED. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE
THEMSELVES WITH THE EXISTING CONDITIONS
PRIOR TO CONSTRUCTION.
3. ALL EXISTING WETLANDS SHOULD BE FLAGGED
BY THE CONTRACTOR TO ASSURE THAT A D. R. H AMBIA MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT ESC CODE. 4. WETLANDS AND WETLAND BUFFER SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES. SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE CLEARING AND SEDIMENT CONTROL LEGEND: ALLIN * * * EXISTING WETLANDS * * * * * WETLAND BUFFER ////inv DAVID B. TILLAR, P.E. COA# 8794 FL. PE No. 86282 EXISTING TREE, OAK EXISTING TREE, HICKORY/SWEET GUM PRELIMINARY DESIGN SS EXISTING TREE, MAGNOLIA NOT FOR CONSTRUCTION = CABLE TELEVISION PEDESTAL 1 SCALE = DRAINAGE MANHOLE O = FIRE HYDRANT = INGROUND TELEPHONE BOX d ന Rectified and the second = SIGN = TELEPHONE PEDESTAL = UTILITY POLE = UTILITY MARKER = WATER VALVE = WETLAND MARKER Ъ \bowtie REVISIONS Ŀ = CONCRETE MONUMENT FOUND = CAPPED REBAR FOUND = CAPPED REBAR SET (LB 8011) CMF 🖸 CRF O CRS O = CAPPED REBAR SET (LB 8011) = IRON PIN FOUND = NAIL AND SHINER FOUND = NAIL AND SHINER SET (LB #8011) = OPEN END IRON PIPE FOUND = REBAR FOUND = REINFORCED CONCRETE PIPE = MEASURED BEARING AND DISTANCE = RECORD DEED BEARING AND DISTANCE IPF 🕀 NSS ∇ OEPF ⊙ RBF 🕕 RCP (M) (R) LANDS IN PRESCRIPTIVE EASEMENT (COUNTY MAINTAINED) NO. DESCRIPTION DATE = RECORD LANDS SOLD IN O.R.B. 4348 PAGE 569 DRAWN BY CAH = GAS LINE = OVERHEAD POWER LINE = TELEPHONE LINE = WATER LINE APPROVED DB' -G ---- G -----OHPL----JMB CHECKED BY -T-T--w---w--SEPTEMBER 2020 DATE TITLE EXISTING CONDITIONS PLAN 50128595 PROJECT NO. C102 SHEET NO.





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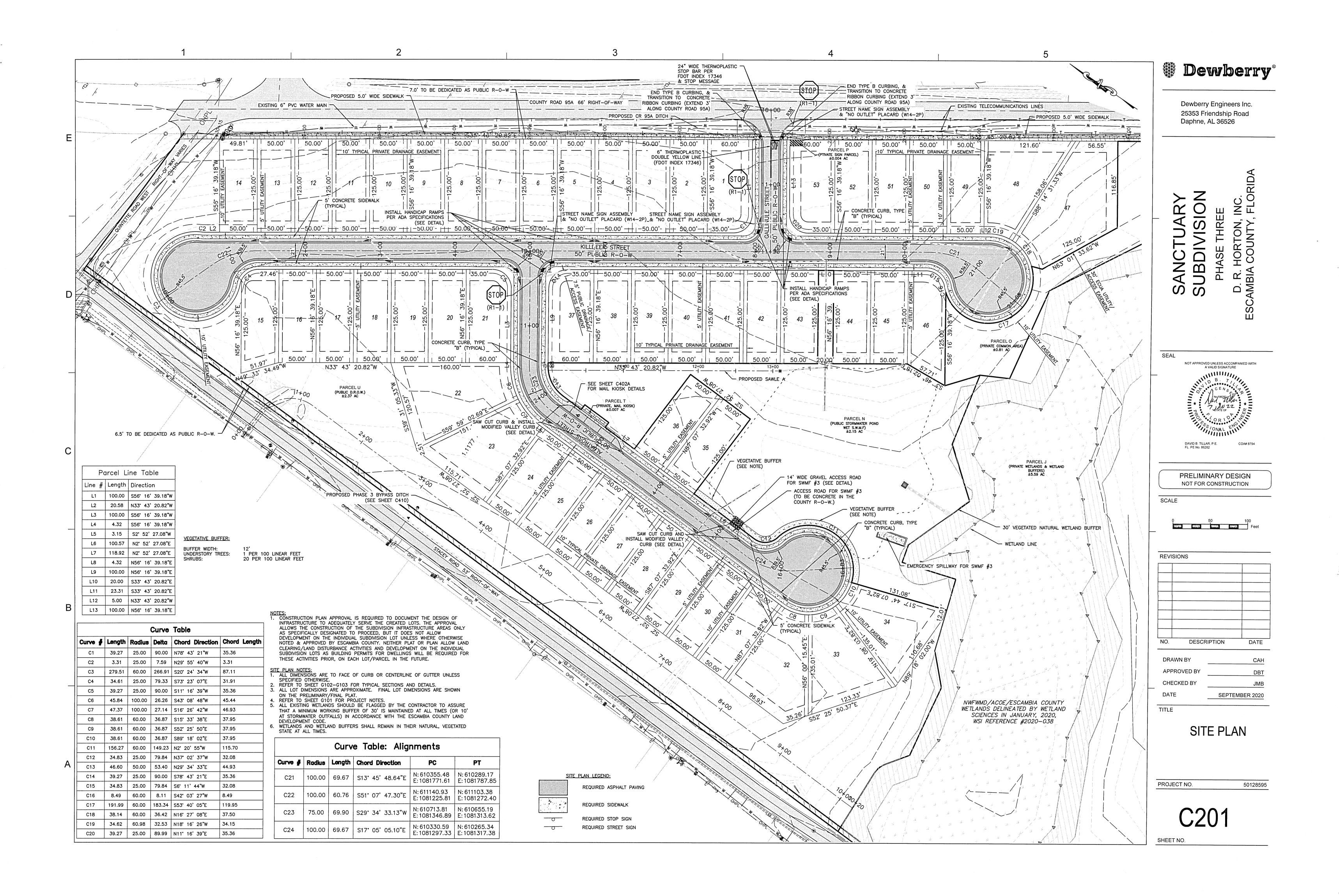
VEGETATIVE BUFFER:

BUFFER WIDTH: 12' UNDERSTORY TREES: 1 PER 100 LINEAR FEET SHRUBS: 20 PER 100 LINEAR FEET

SITE PLAN NOTES:
 ALL DIMENSIONS ARE TO FACE OF CURB OR CENTERLINE OF GUTTER UNLESS SPECIFIED OTHERWISE.
 REFER TO SHEET G102-G103 FOR TYPICAL SECTIONS AND DETAILS.
 ALL LOT DIMENSIONS ARE APPROXIMATE. FINAL LOT DIMENSIONS ARE SHOWN ON THE PRELIMINARY/FINAL PLAT.
 REFER TO SHEET G101 FOR PROJECT NOTES.
 ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
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Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526

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INC. , FLORID/

HORTON, A COUNTY,

D. R. H AMBIA

ESC/

COA# 8794

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	ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE THAT A
	MINIMUM WORKING BUFFER OF 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER
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	DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE

FUTURE.

OVERALL GRADING PLAN

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TITLE

PROJECT NO.

SHEET NO.

DATE

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СН	ECKED BY	-	JMB

SEPTEMBER 2020

50128595

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REVISIONS

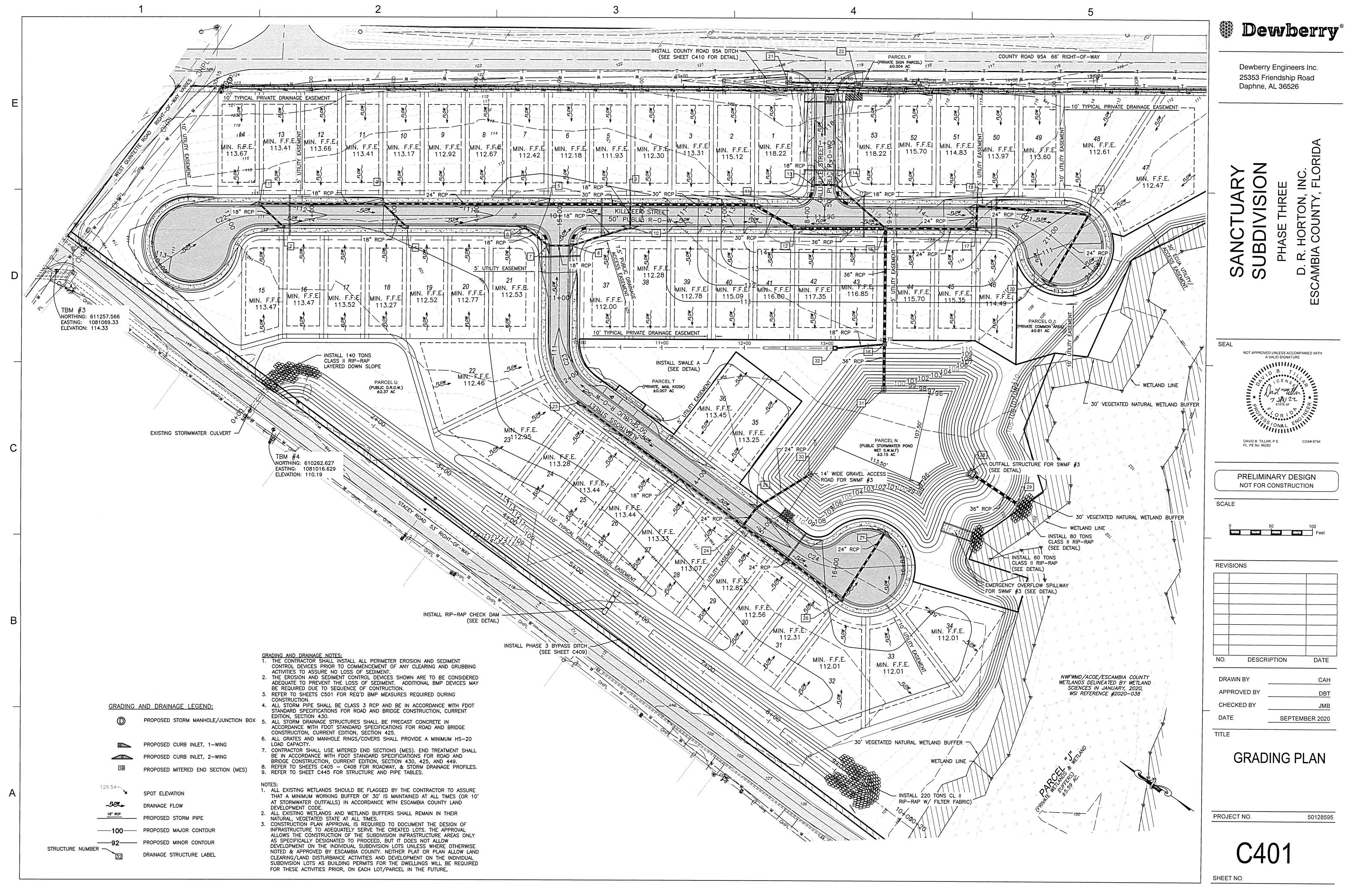
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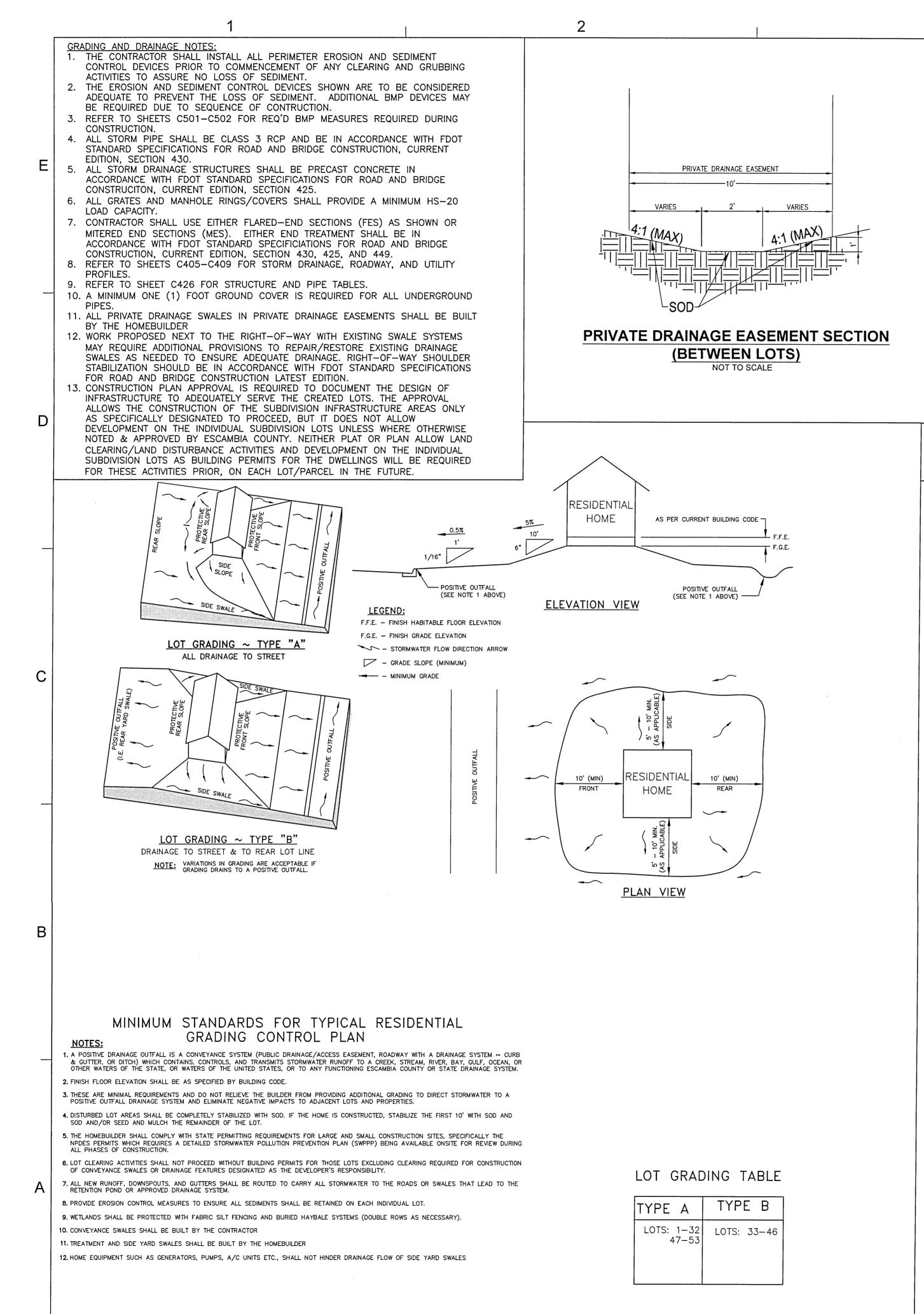
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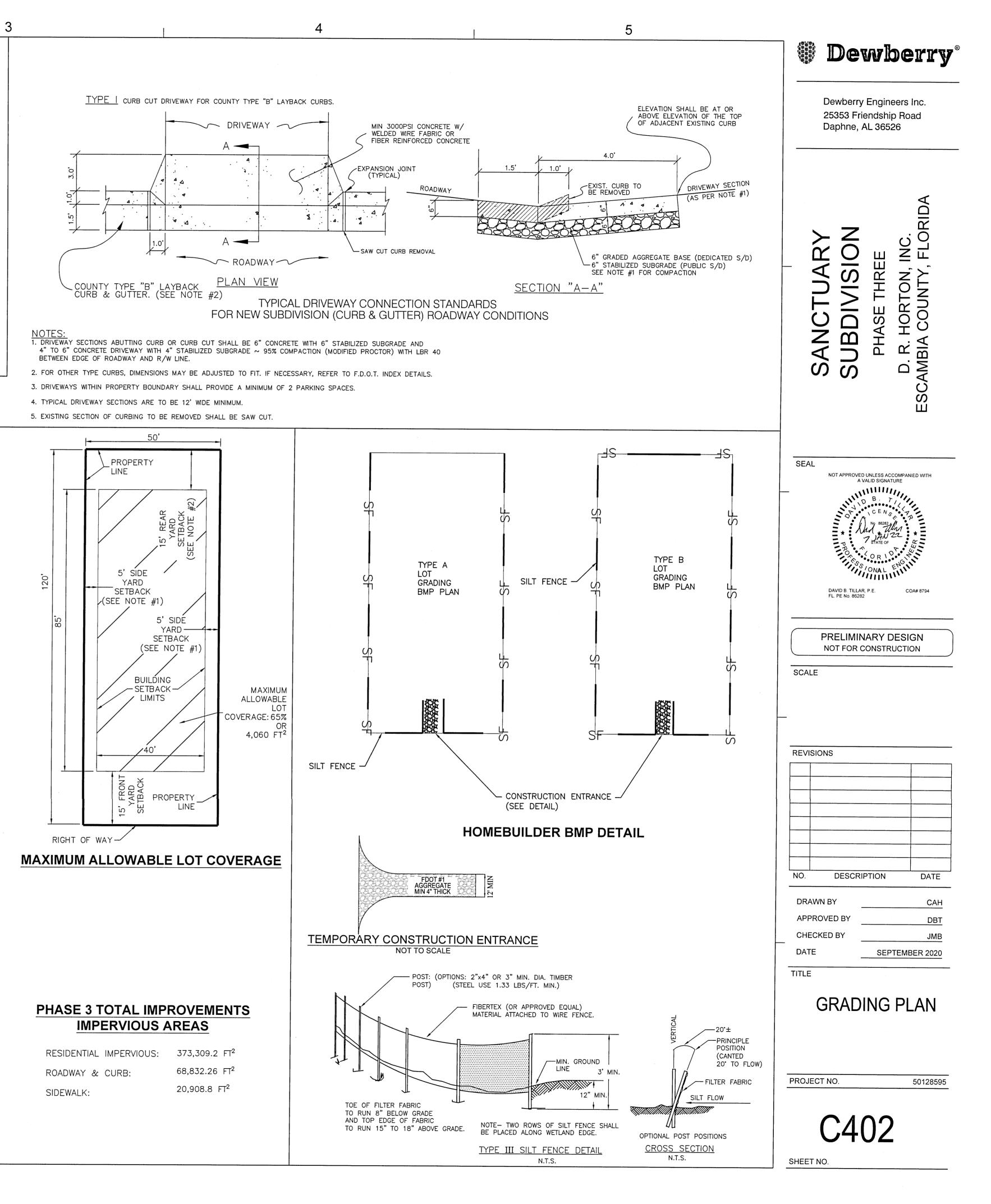
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DAVID B. TILLAR, P E. FL. PE No. 86282

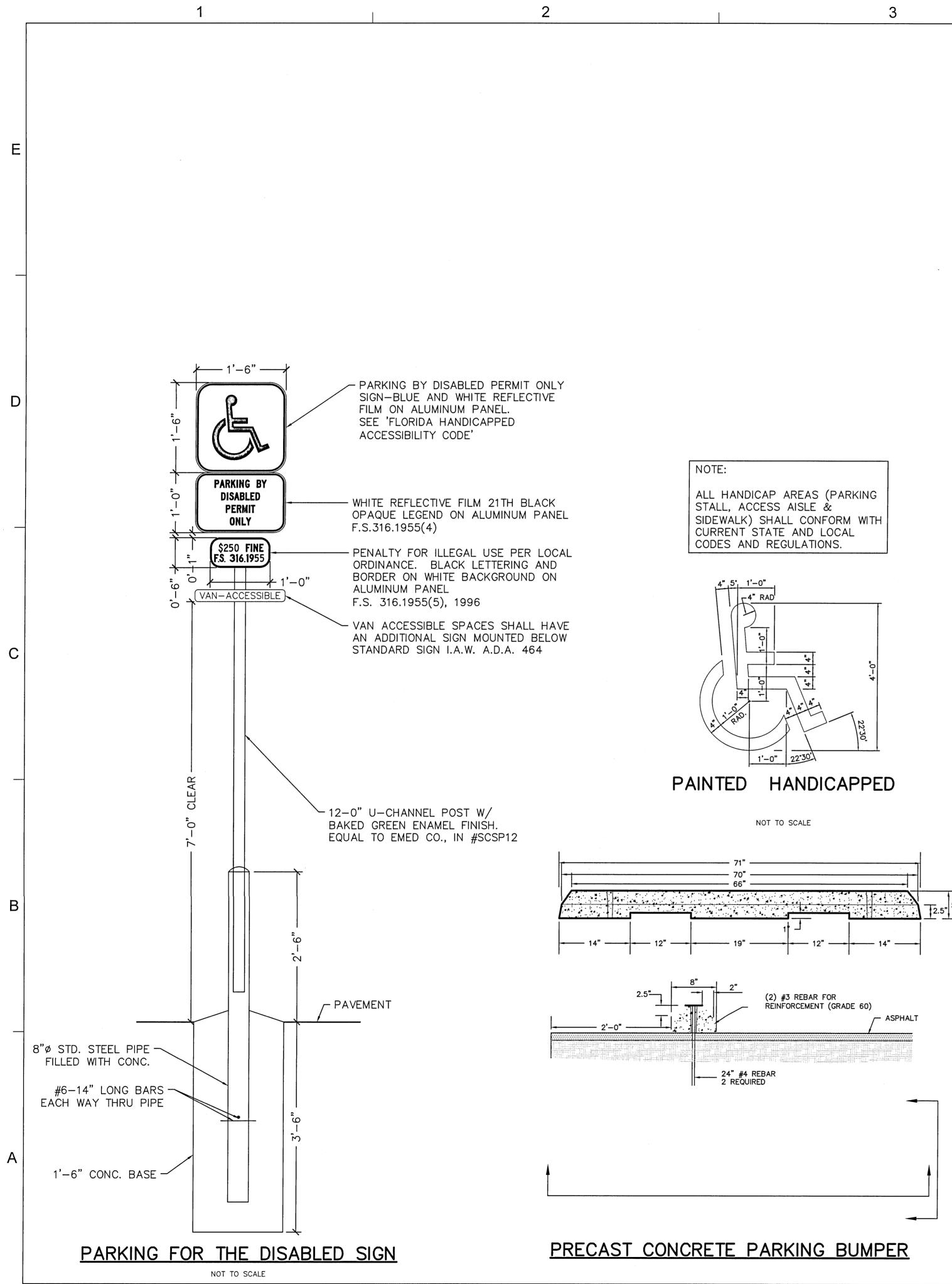
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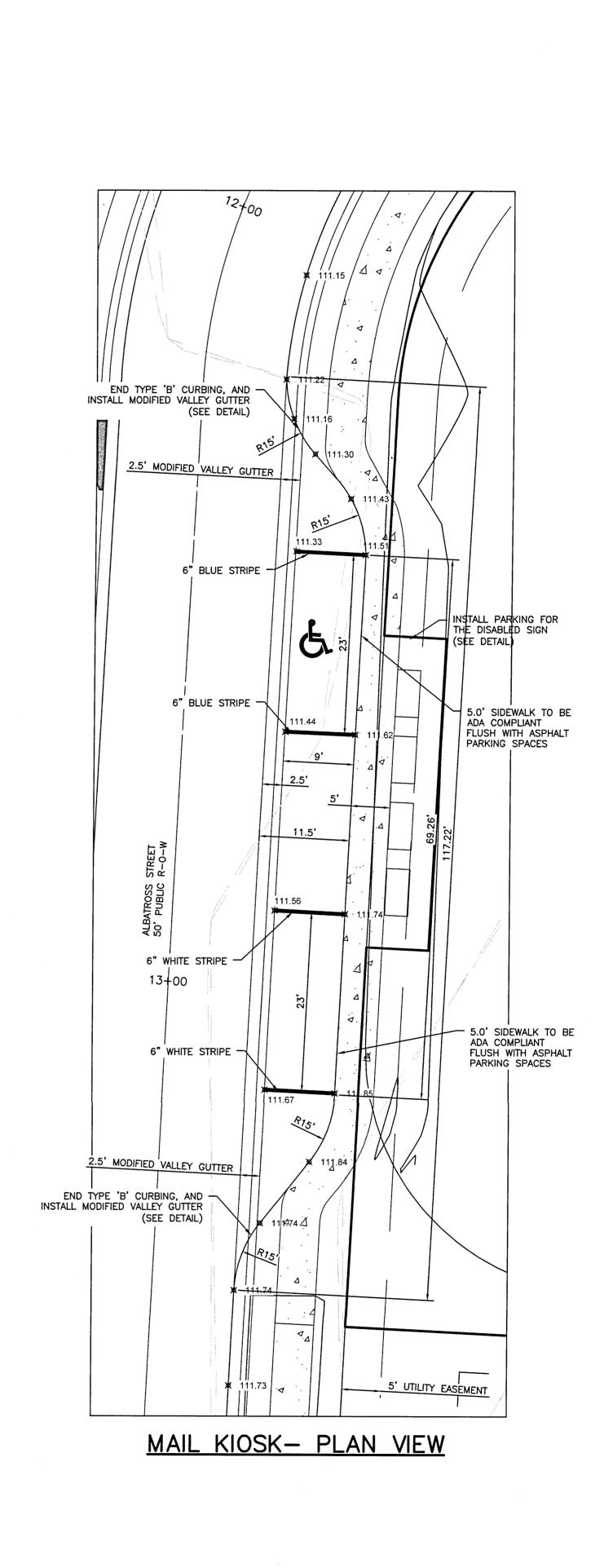


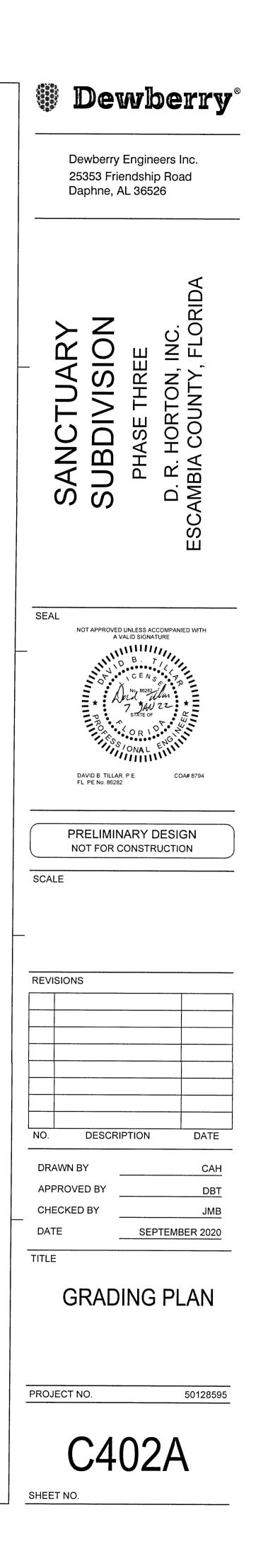
YPE A	TYPE B
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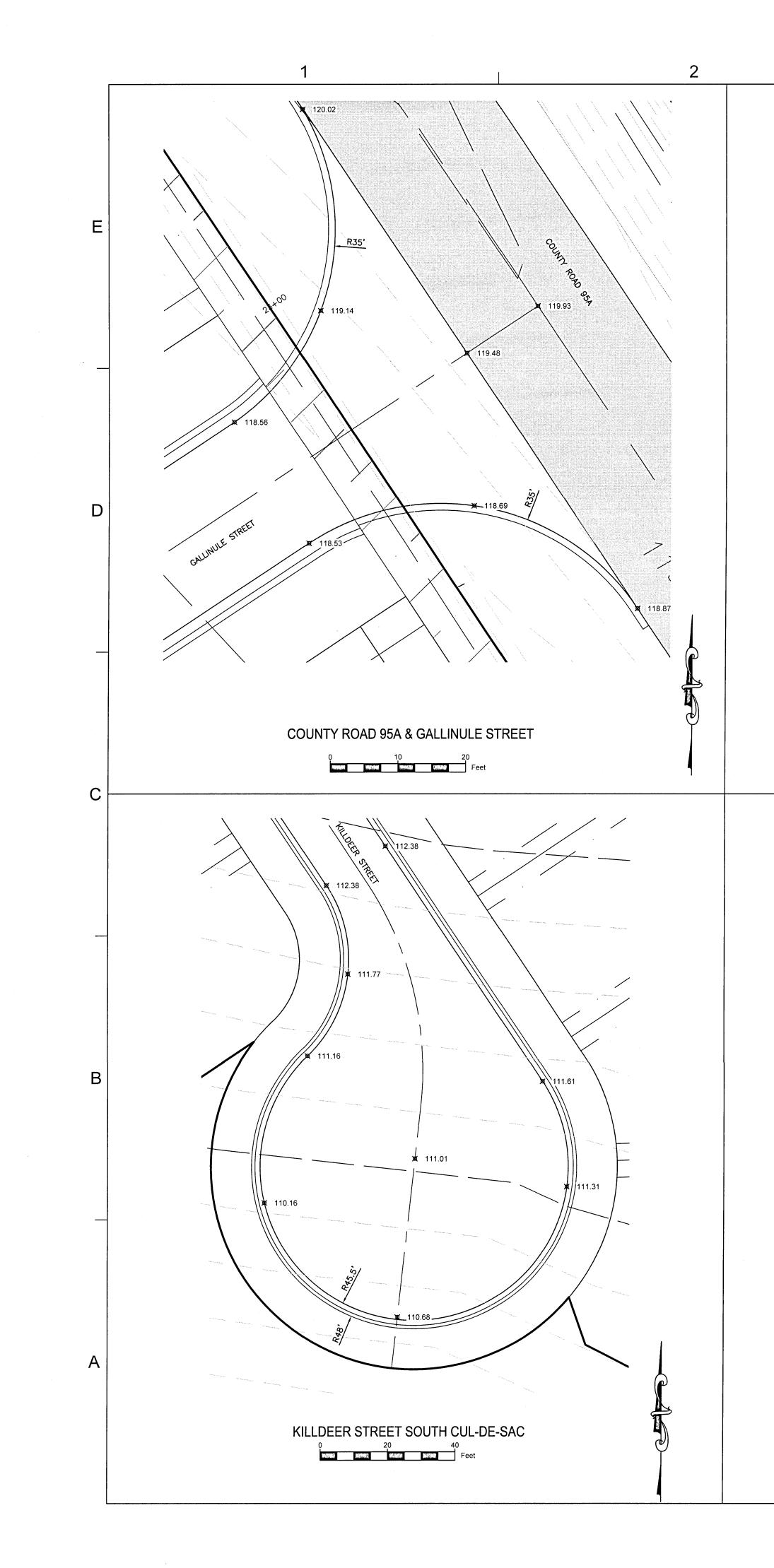


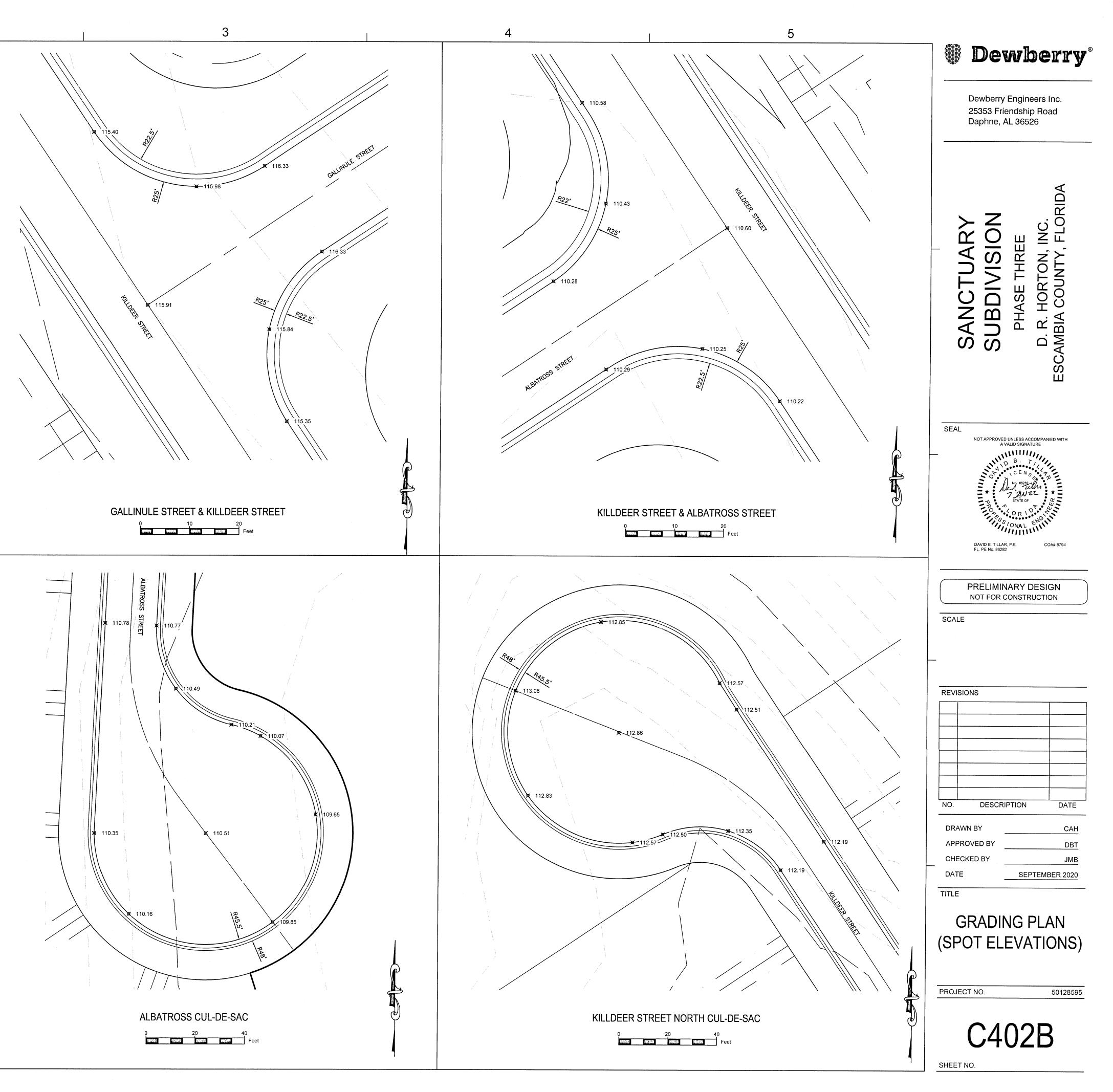
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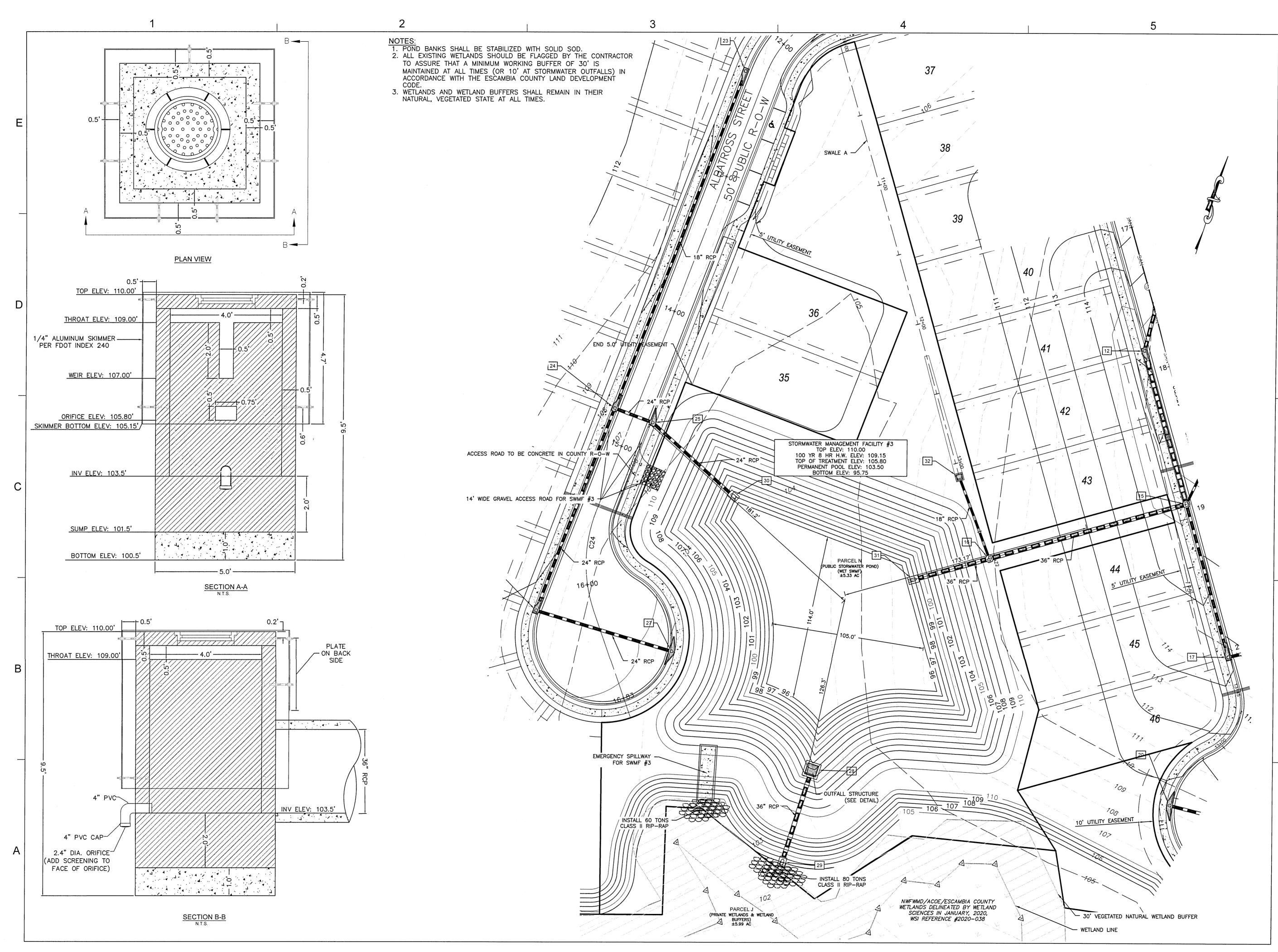








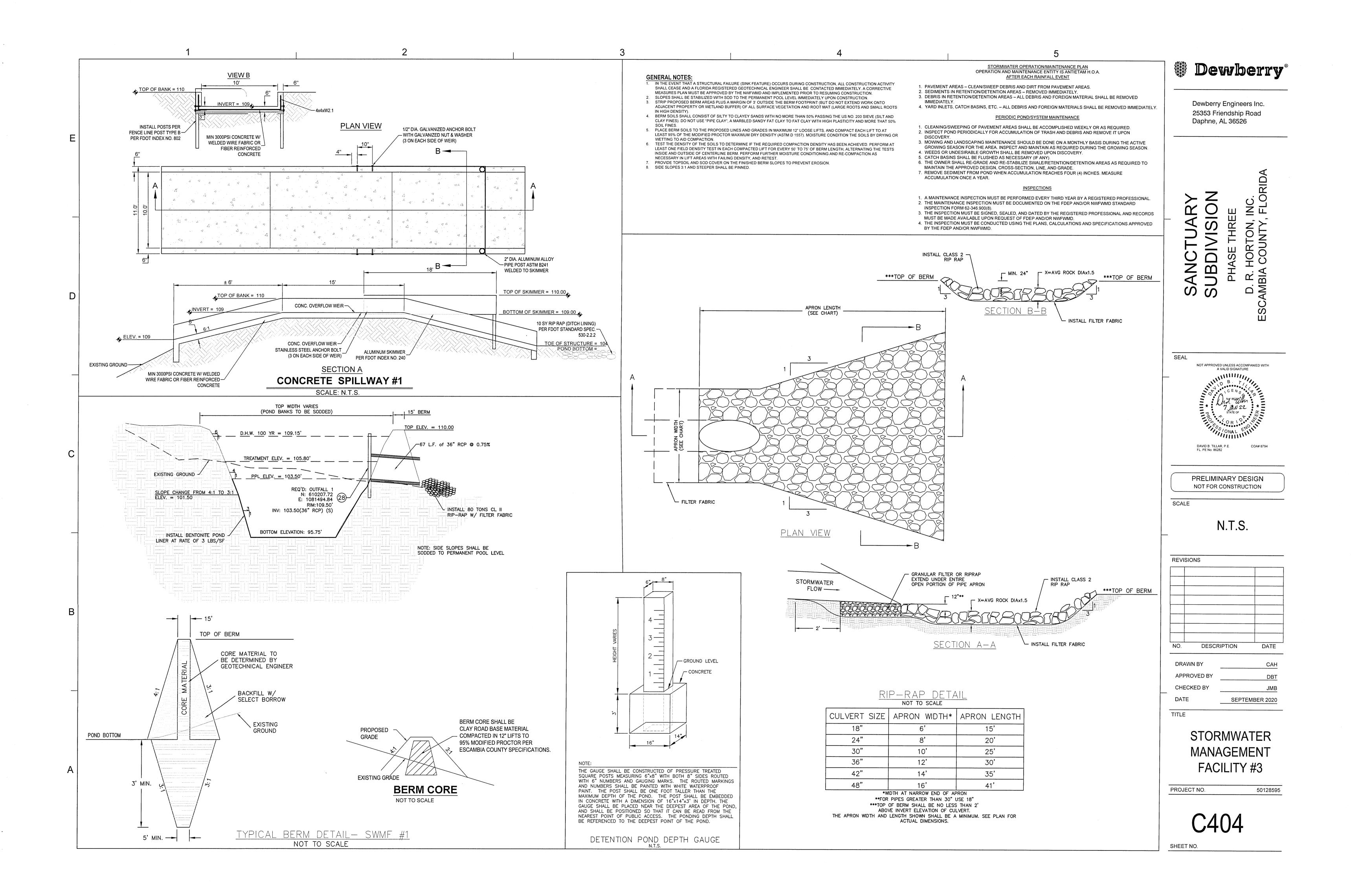


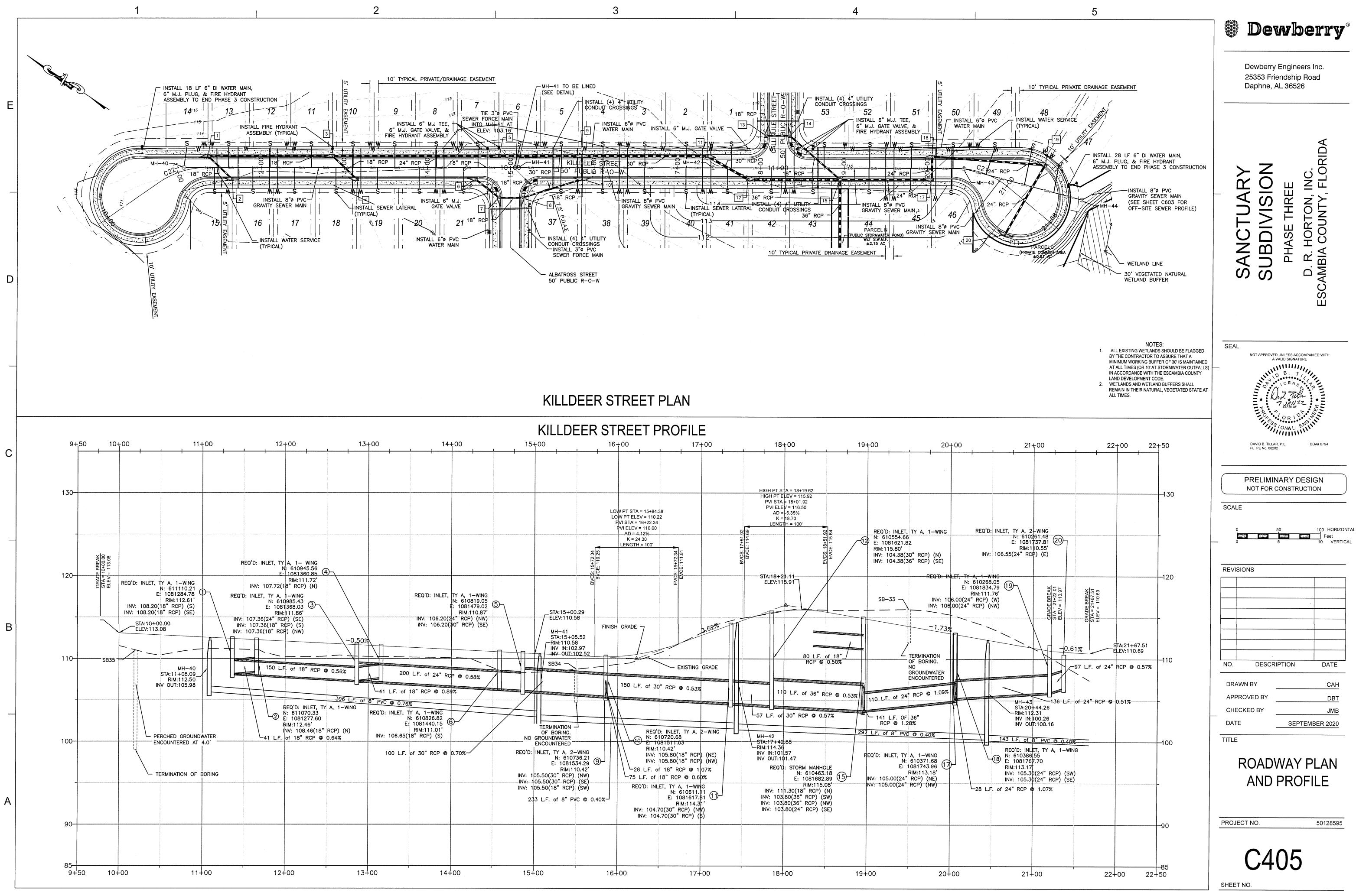


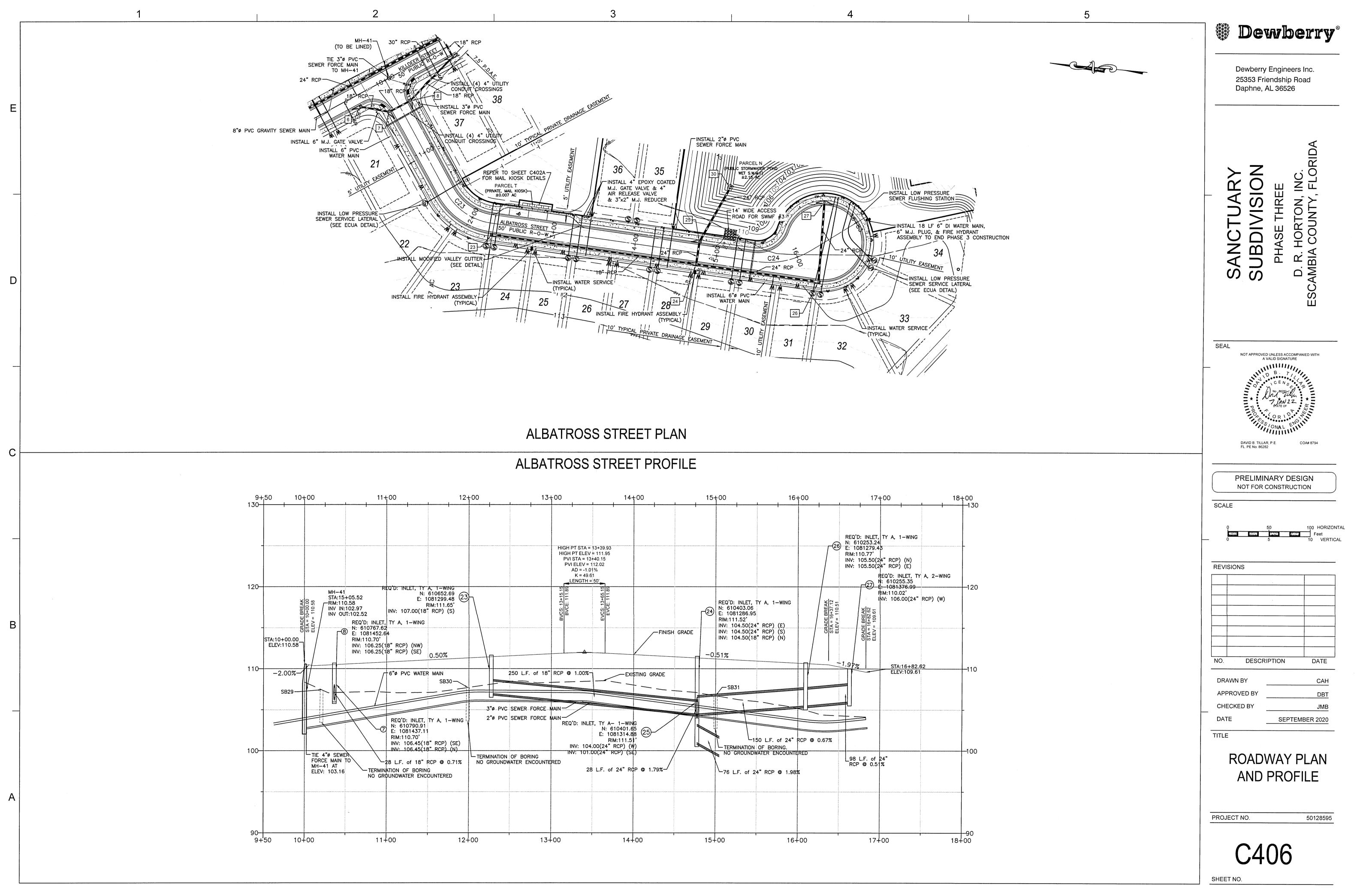
Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526 RID SIO Ц THRE HORTON, COUNTY SANC Ш S PHA D. R. H AMBIA ESC SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE 411111 DAVID B. TILLAR, P.E. FL. PE No. 86282 COA# 8794 PRELIMINARY DESIGN NOT FOR CONSTRUCTION SCALE REVISIONS NO. DESCRIPTION DATE DRAWN BY CAH APPROVED B DBT CHECKED BY JMB DATE SEPTEMBER 2020 TITLE STORMWATER MANAGEMENT FACILITY #3 PROJECT NO. 50128595 C403

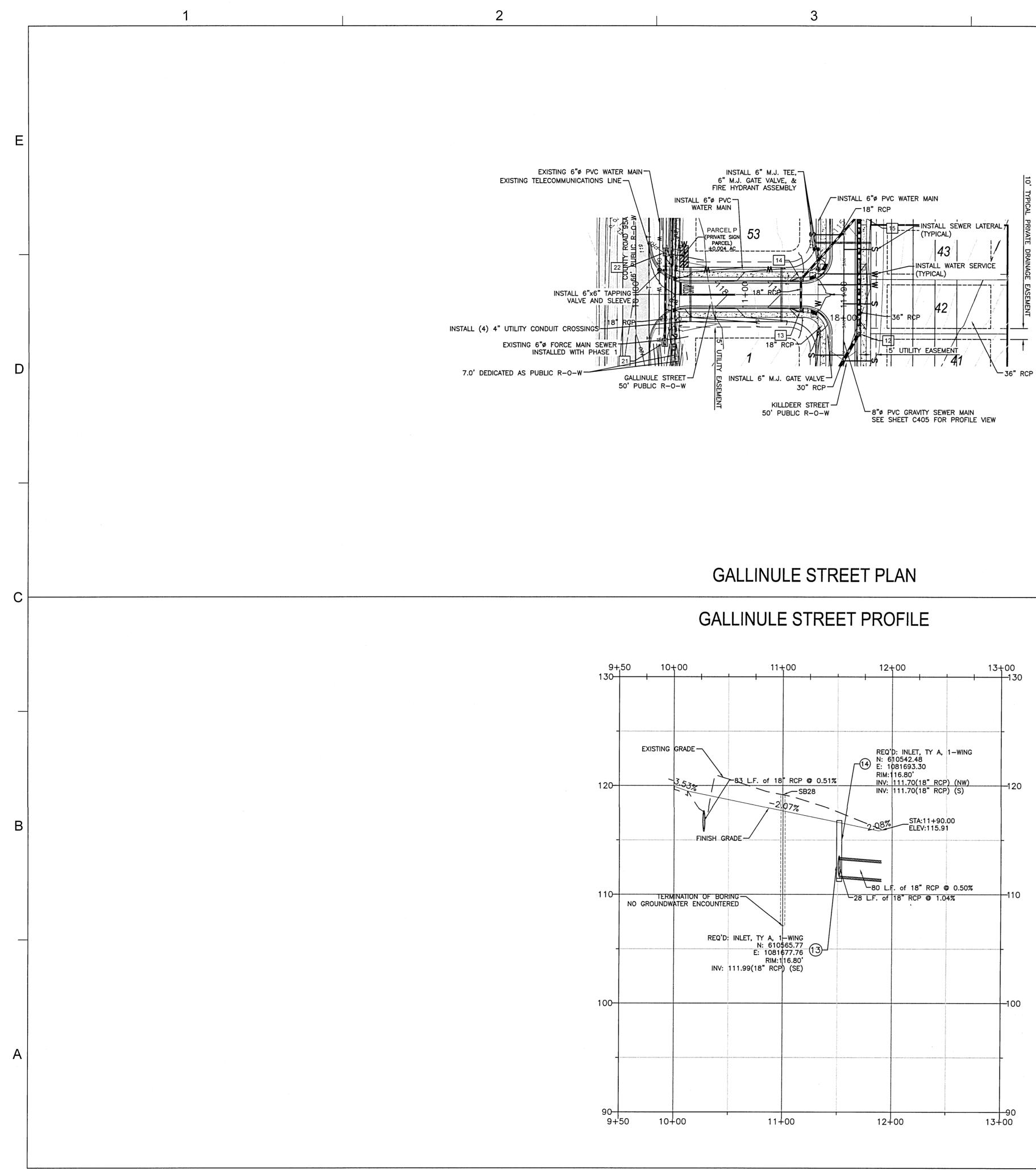
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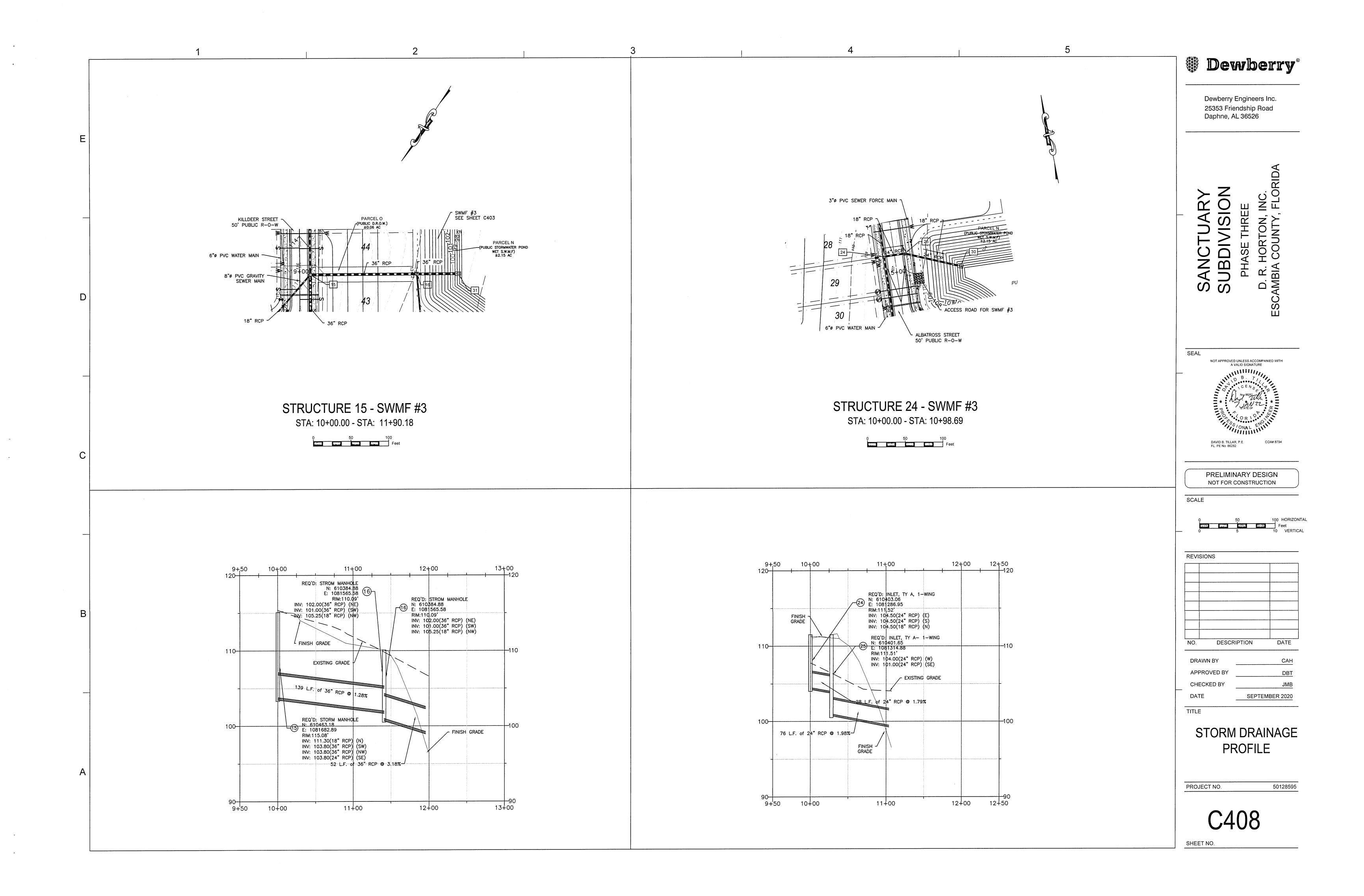
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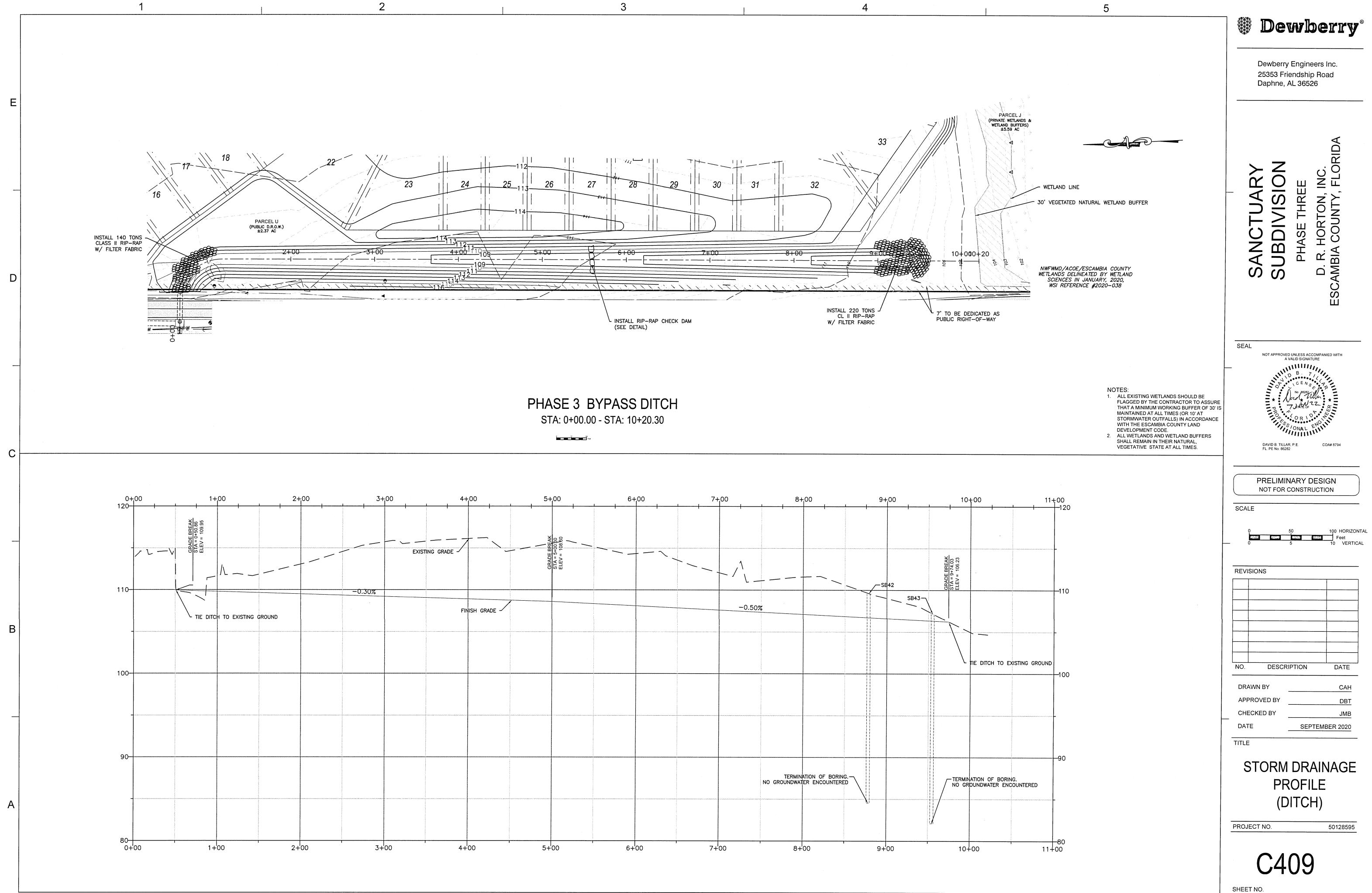
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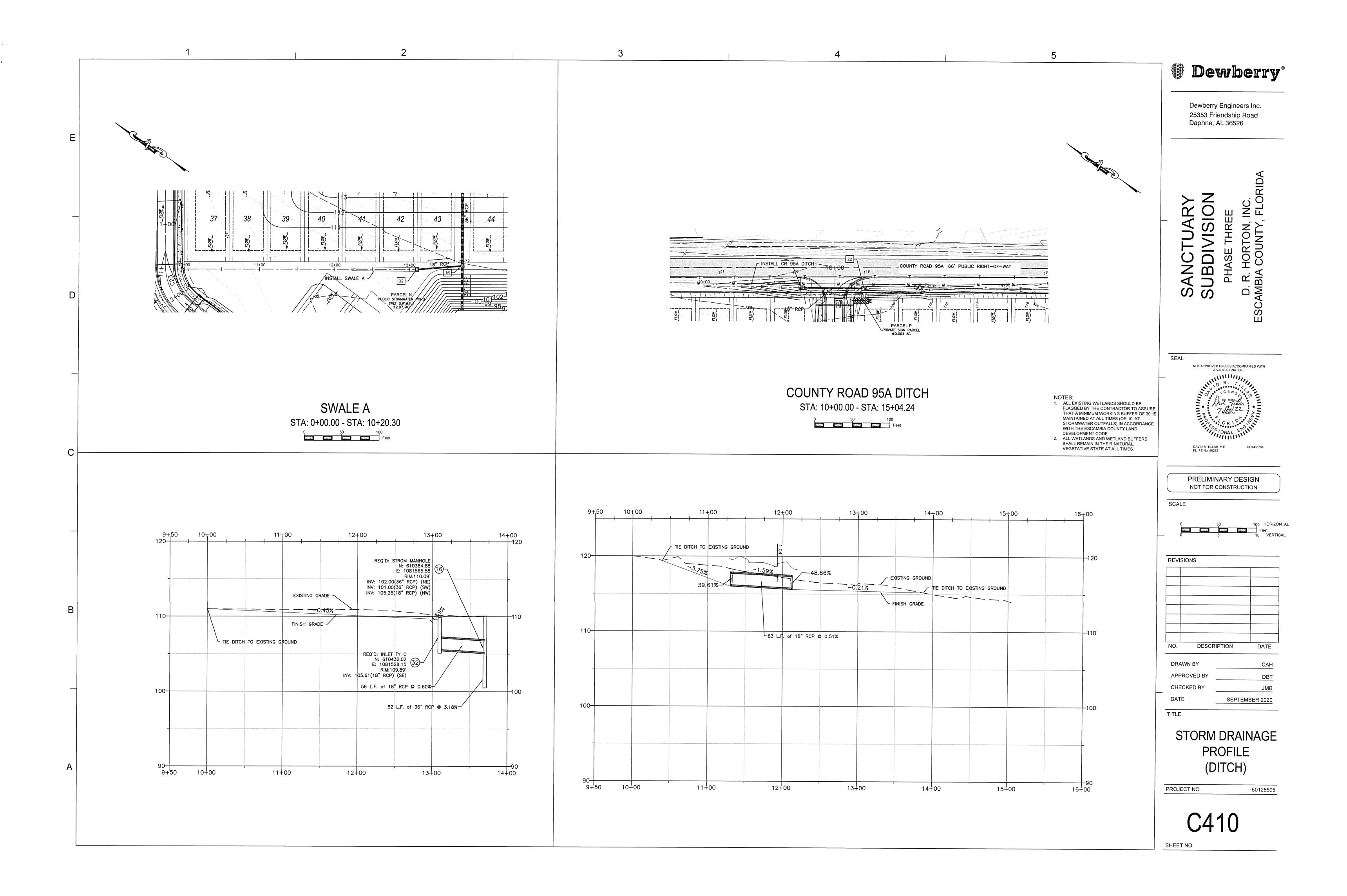
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 Dewberry [®]
Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526
RANCTUARY SANCTUARY SUBDIVISION PHASE THREE D. R. HORTON, INC. ESCAMBIA COUNTY, FLORIDA
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PROJECT NO. 50128595







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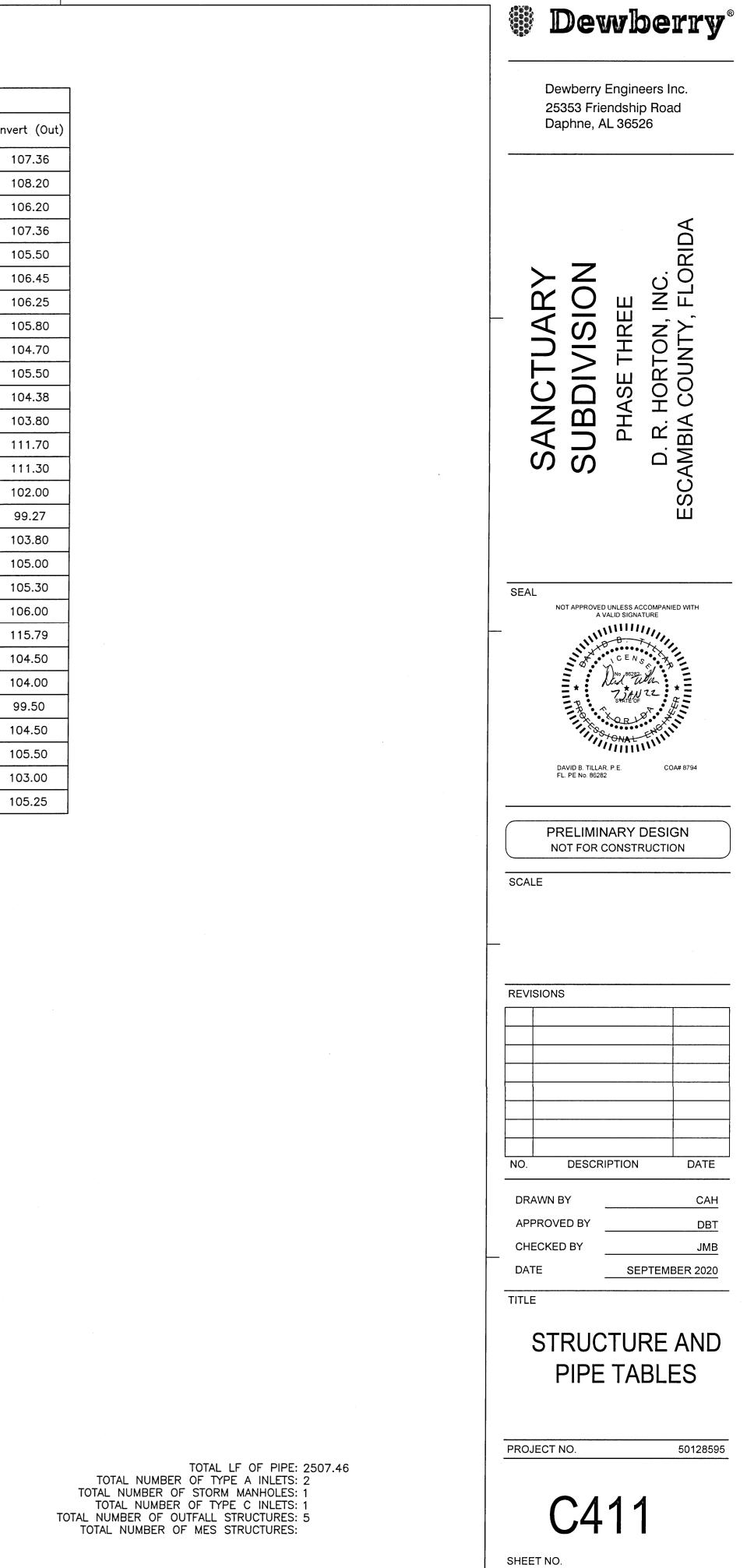
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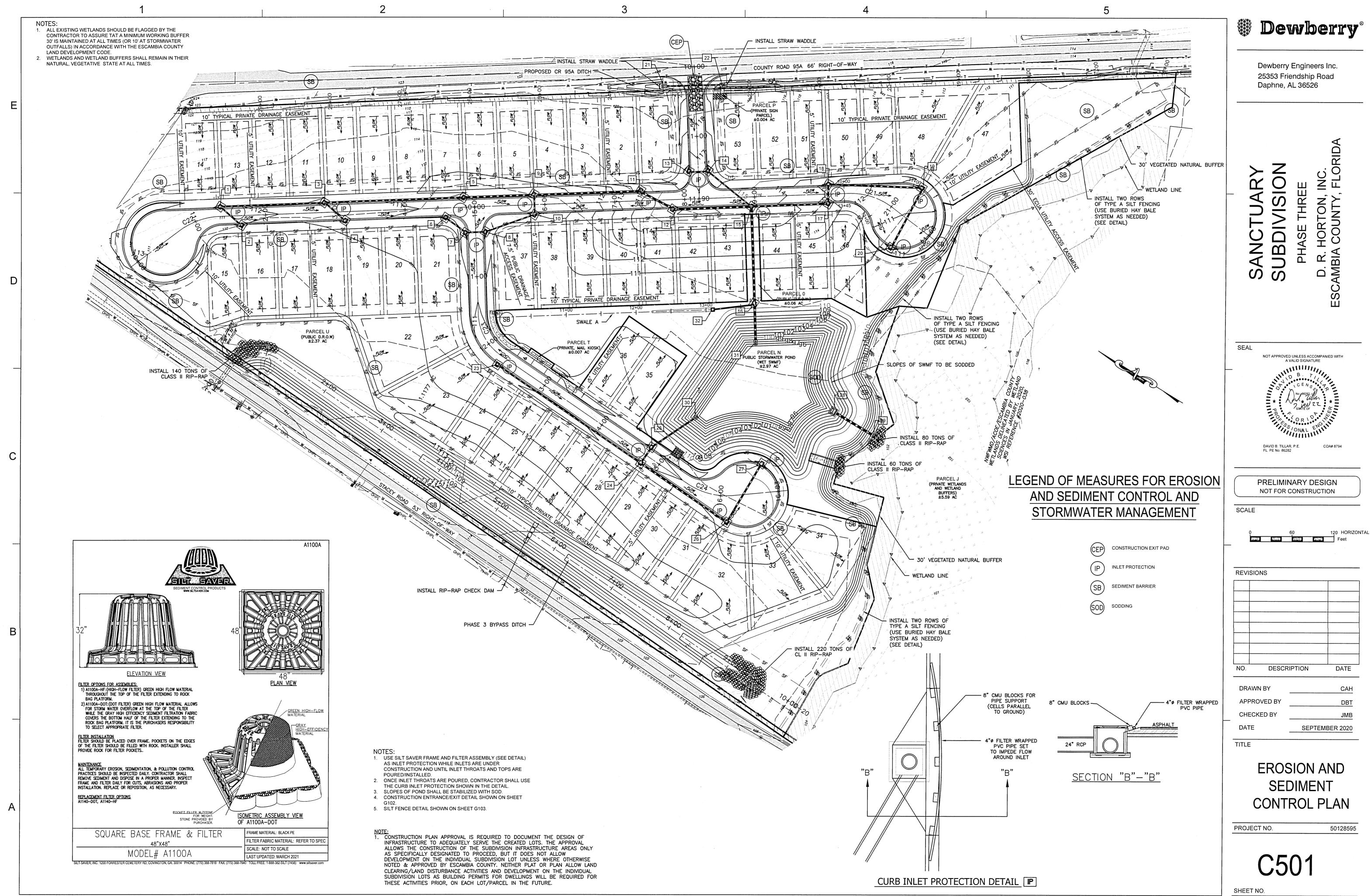
Structure Name	Description	tructure Table Coordinates	Rim Elev.	Invert Elev(s)
1	INLET, TY A, 1-WING	N:611110.2055 E:1081284.7771	112.61	108.20 (18" RCP)(S) 108.20 (18" RCP)(SE)
2	INLET, TY A, 1-WING	N:611070.3332	112.46	108.46 (18" RCP)(SE
3	INLET, TY A, 1-WING	E:1081277.6048 N:610985.4308 E:1081368.0314	111.86	107.36 (24" RCP)(SE) 107.36 (18" RCP)(S)
4	INLET, TY A, 1- WING	N:610945.5554	111.72	107.36 (18" RCP)(NW
5	INLET, TY A, 1-WING	E:1081360.8544 N:610819.0510	110.87	106.20 (24" RCP)(NW
6	INLET, TY A, 1-WING	E:1081479.0169 N:610826.8168	111.01	106.20 (30" RCP)(SE 106.65 (18" RCP)(S)
7	INLET, TY A, 1-WING	E:1081440.1532 N:610790.9102	110.70	106.45 (18" RCP)(SE
		E:1081437.1083 N:610767.6158		106.45 (18" RCP)(N) 106.25 (18" RCP)(NW
8	INLET, TY A, 1-WING	E:1081452.6418	110.70	106.25 (18" RCP)(SE 105.50 (30" RCP)(NW
9	INLET, TY A, 2-WING	N:610736.2096 E:1081534.2944	110.42	105.50 (30" RCP)(SE 105.50 (18" RCP)(SW
10	INLET, TY A, 2-WING	N:610720.6794 E:1081511.0276	110.42	105.80 (18" RCP)(NE 105.80 (18" RCP)(NW
11	INLET, TY A, 1-WING	N:610611.1148 E:1081617.8064	114.31	104.70 (30" RCP)(NW 104.70 (30" RCP)(S)
12	INLET, TY A, 1-WING	N:610554.6644 E:1081621.8223	115.80	104.38 (30" RCP)(N) 104.38 (36" RCP)(SE
13	INLET, TY A, 1-WING	N:610565.7690 E:1081677.7596	116.80	111.99 (18" RCP)(SE
14	INLET, TY A, 1-WING	N:610542.4804 E:1081693.3044	116.80	111.70 (18" RCP)(NW 111.70 (18" RCP)(S)
15	STORM MANHOLE	N:610463.1753 E:1081682.8939	115.08	111.30 (18" RCP)(N) 103.80 (36" RCP)(SW 103.80 (36" RCP)(NW 103.80 (24" RCP)(SE
16	STROM MANHOLE	N:610384.8763 E:1081565.5840	110.09	102.00 (36" RCP)(NE 101.00 (36" RCP)(SW 105.25 (18" RCP)(NW
17	INLET, TY A, 1-WING	N:610371.6823 E:1081743.9598	113.18	105.00 (24" RCP)(NE 105.00 (24" RCP)(NW
18	INLET, TY A, 1-WING	N:610386.5462 E:1081767.7029	113.17	105.30 (24" RCP)(SW 105.30 (24" RCP)(SE
19	INLET, TY A, 1-WING	N:610268.0468 E:1081834.7858	111.76	106.00 (24" RCP)(W) 106.00 (24" RCP)(NW
20	INLET, TY A, 2-WING	N:610261.4805 E:1081737.8109	110.55	106.55 (24" RCP)(E)
21	18" MES	N:610659.9138 E:1081764.5746	118.42	116.21 (18" RCP)(SE)
22	18" MES	N:610590.3068 E:1081810.0586	118.00	115.79 (18" RCP)(NW
23	INLET, TY A, 1-WING	N:610652.6923 E:1081299.4815	111.65	107.00 (18" RCP)(S)
24	INLET, TY A, 1-WING	N:610403.0569 E:1081286.9483	111.52	104.50 (24" RCP)(E) 104.50 (24" RCP)(S) 104.50 (18" RCP)(N)
25	INLET, TY A- 1-WING	N:610401.6545 E:1081314.8809	111.51	104.00 (24" RCP)(W) 101.00 (24" RCP)(SE
26	INLET, TY A, 1-WING	N:610253.2449 E:1081279.4281	110.77	105.50 (24" RCP)(N) 105.50 (24" RCP)(E)
27	INLET, TY A, 2-WING	N:610255.3482 E:1081376.9865	110.02	106.00 (24" RCP)(W)
28	OUTFALL 1	N:610207.7188 E:1081494.8365	109.50	103.50 (36" RCP)(S)
29	36" MES	N:610140.7410 E:1081495.5172	106.83	103.00 (36" RCP)(N)
30	24" MES	N:610370.8431 E:1081383.9535	102.25	99.50 (24" RCP)(NW)
31	36" MES	N:610354.6399 E:1081520.2849	103.10	99.27 (36" RCP)(NE)
32	INLET TY C	N:610432.0227 E:1081528.1473	109.89	105.61 (18" RCP)(SE)

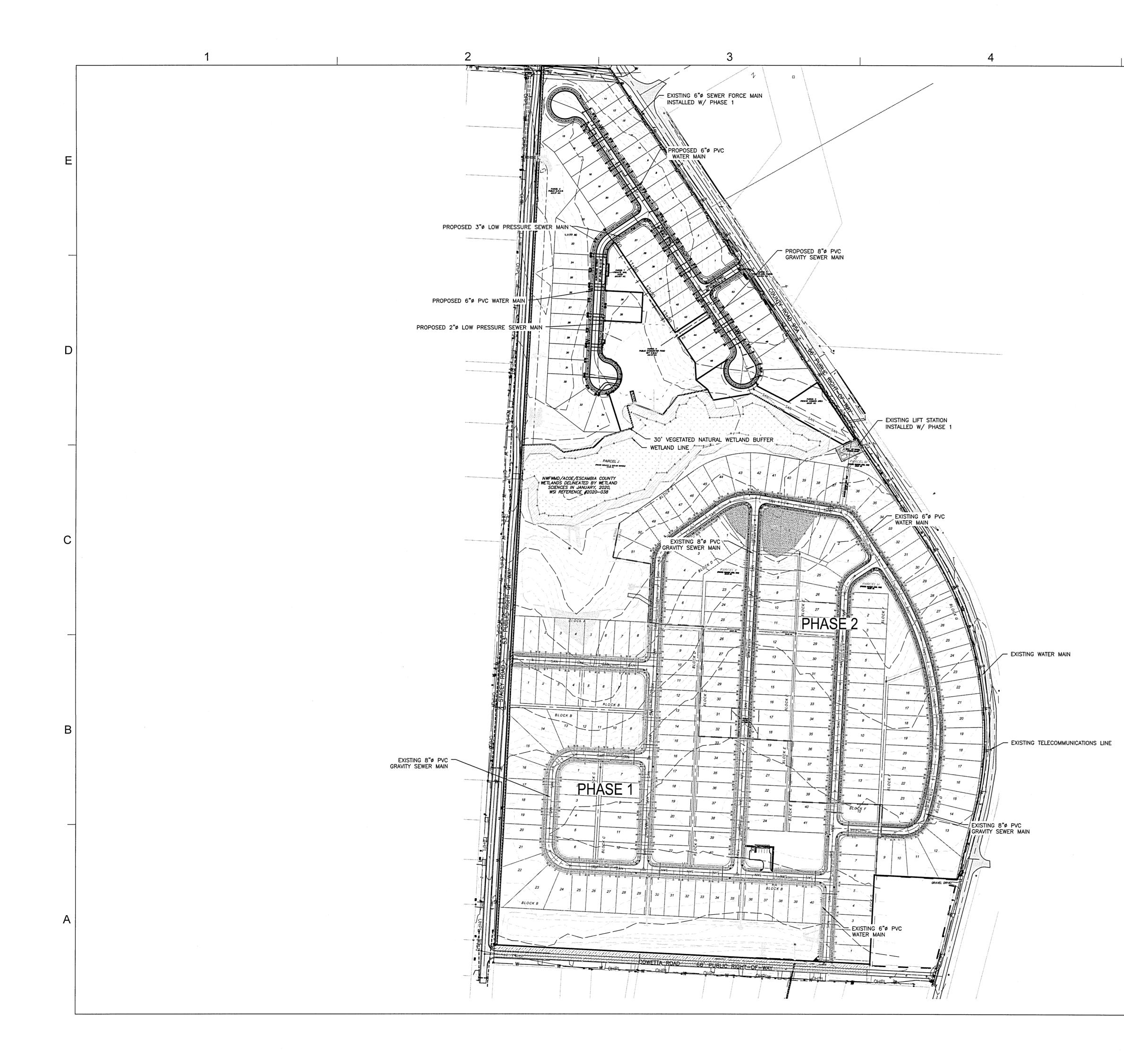
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		P	ipe Table			
Upstream Structure	Downstream Structure	Pipe Size	Length	Slope	Invert (In)	In
1	3	18" RCP	150.000	0.56%	108.20	
2	1	18" RCP	40.512	0.64%	108.46	
3	5	24" RCP	200.000	0.58%	107.36	
4	3	18" RCP	40.516	0.89%	107.72	
5	9	30" RCP	99.591	0.70%	106.20	
6	7	18" RCP	36.035	0.56%	106.65	
7	8	18" RCP	27.999	0.71%	106.45	
8	10	18" RCP	74.913	0.60%	106.25	
9	11	30" RCP	150.409	0.53%	105.50	
10	9	18" RCP	27.974	1.07%	105.80	
11	12	30" RCP	56.593	0.57%	104.70	
12	15	36" RCP	110.000	0.53%	104.38	
13	14	18" RCP	28.000	1.04%	111.99	
14	15	18" RCP	79.985	0.50%	111.70	
15	16	36" RCP	141.040	1.28%	103.80	
16	31	36" RCP	54.463	3.18%	101.00	
17	15	24" RCP	110.000	1.09%	105.00	
18	17	24" RCP	28.012	1.07%	105.30	
19	18	24" RCP	136.170	0.51%	106.00	
20	19	24" RCP	97.197	0.57%	106.55	
21	22	18" RCP	83.150	0.51%	116.21	
23	24	18" RCP	249.950	1.00%	107.00	
24	25	24" RCP	27.968	1.79%	104.50	
25	30	24" RCP	75.633	1.98%	101.00	
26	24	24" RCP	150.001	0.67%	105.50	
27	26	24" RCP	97.581	0.51%	106.00	
28	29	36" RCP	66.981	0.75%	103.50	
32	16	18" RCP	60.202	0.60%	105.61	

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NOTES: 1. CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOT UNLESS WHERE OTHERWISE DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOT UNLESS WHERE OTHERWISE NOTED & APPROVED BY ESCAMBIA COUNTY. NEITHER PLAT OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

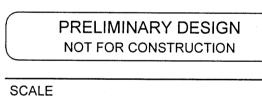
- 2. WETLANDS AND WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATIVE STATE AT ALL TIMES.
- NOTES: 1. ALL EXISTING WETLANDS SHOULD BE FLAGGED BY THE CONTRACTOR TO ASSURE TAT A MINIMUM WORKING BUFFER 30' IS MAINTAINED AT ALL TIMES (OR 10' AT STORMWATER
- OUTFALLS) IN ACCORDANCE WITH THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.

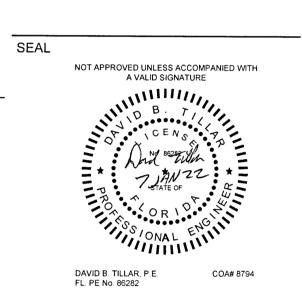
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ŀ	PLAN		
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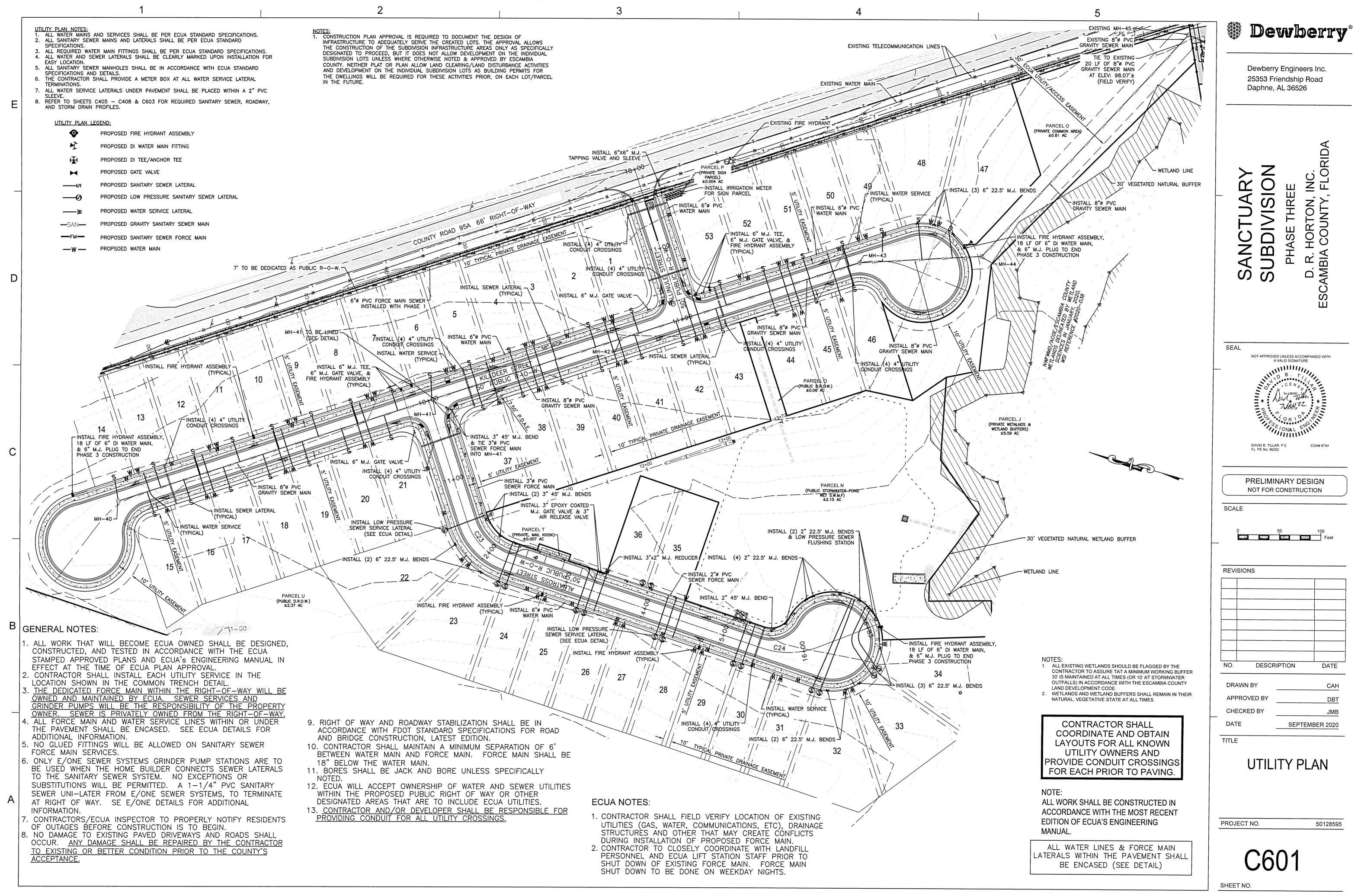
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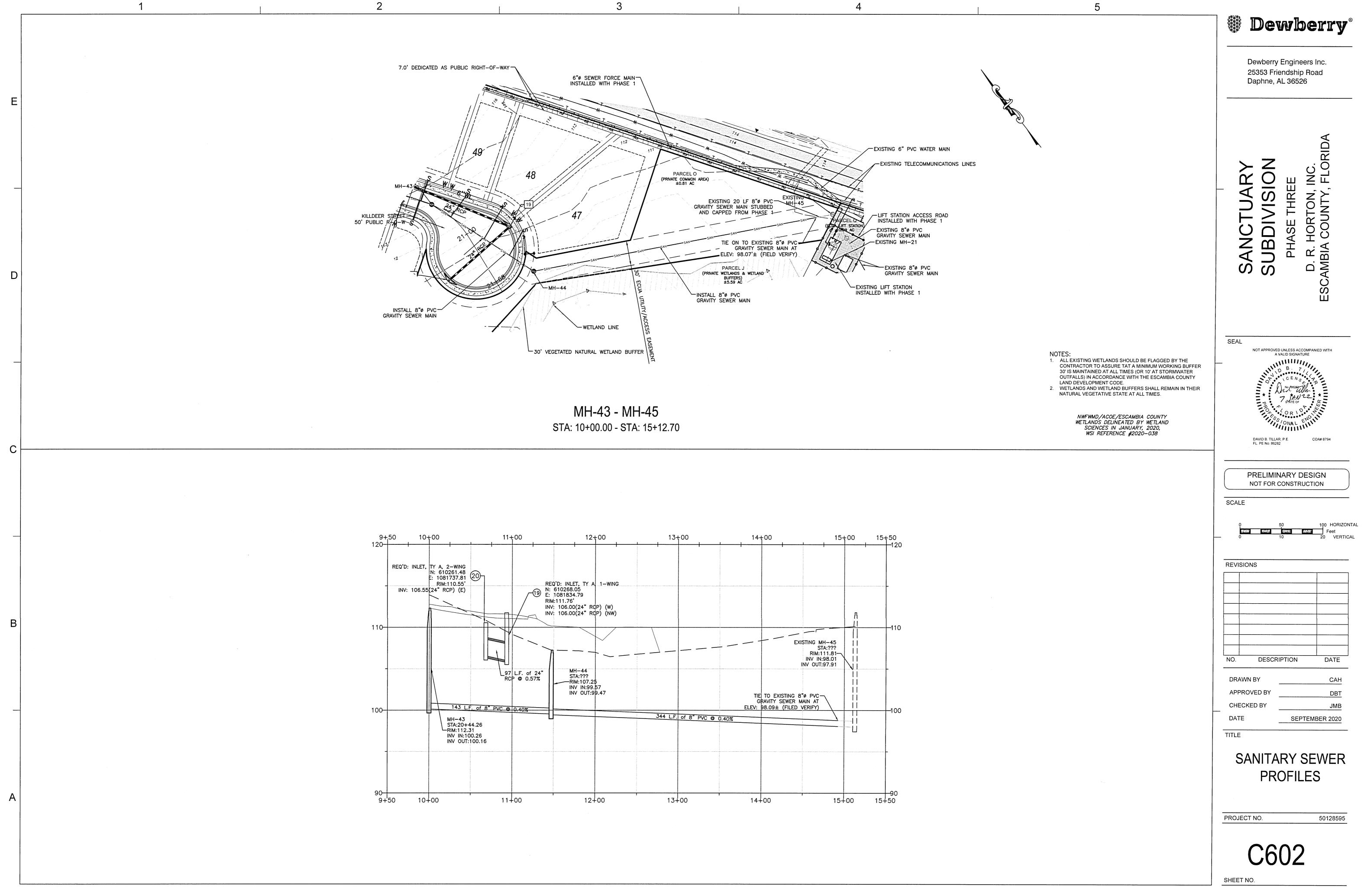
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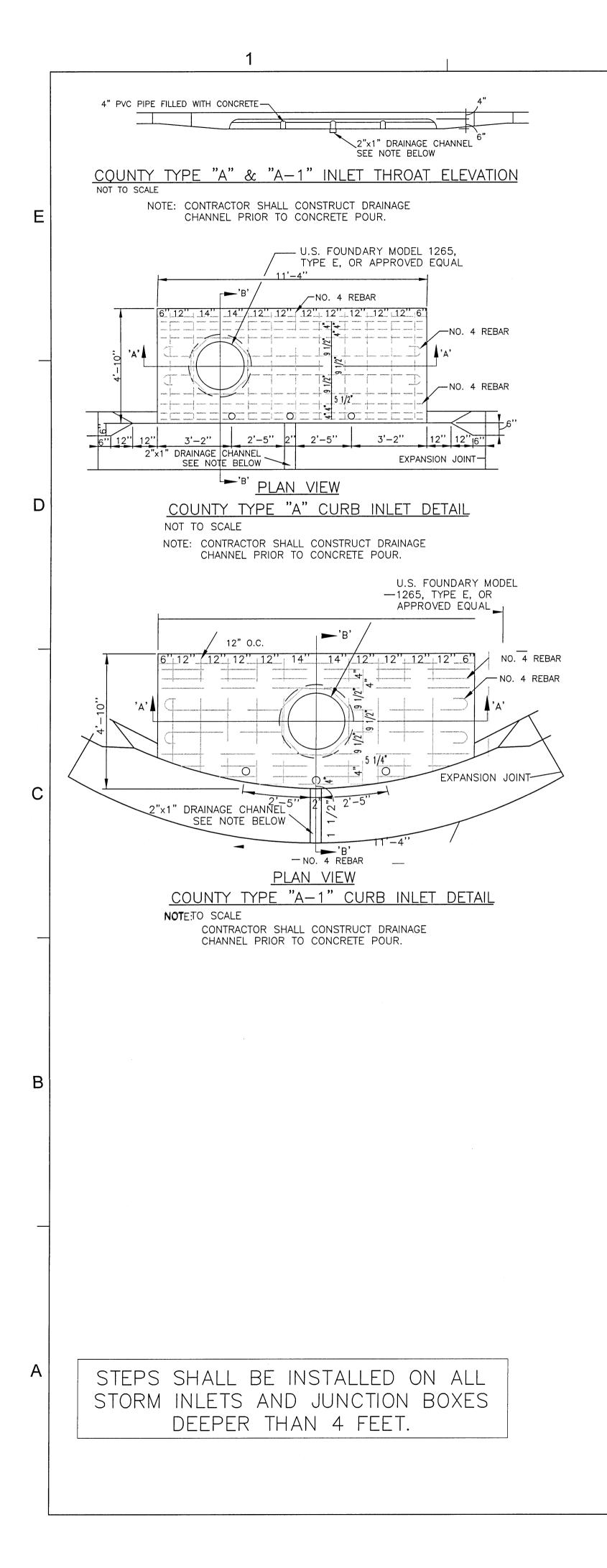
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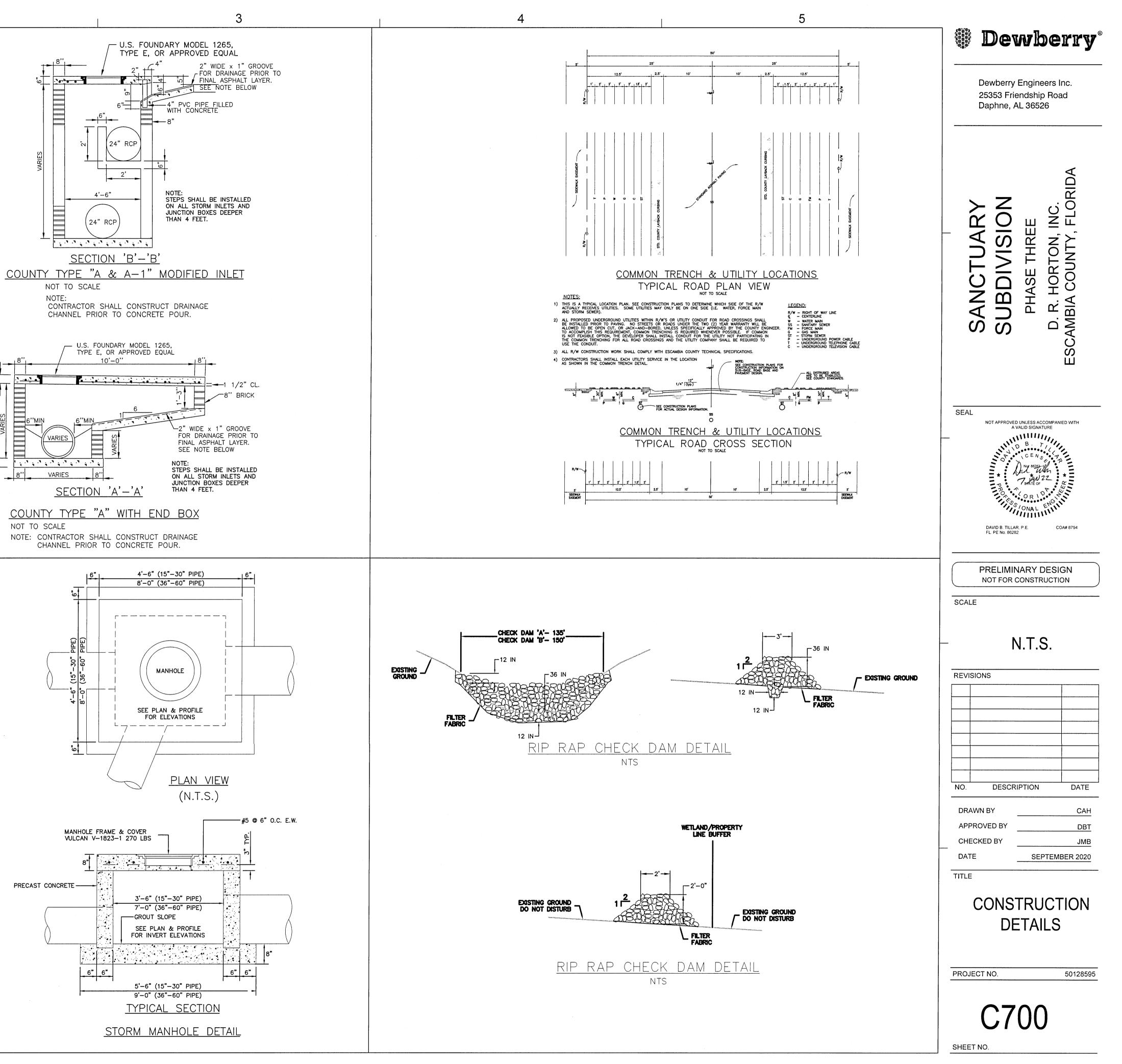




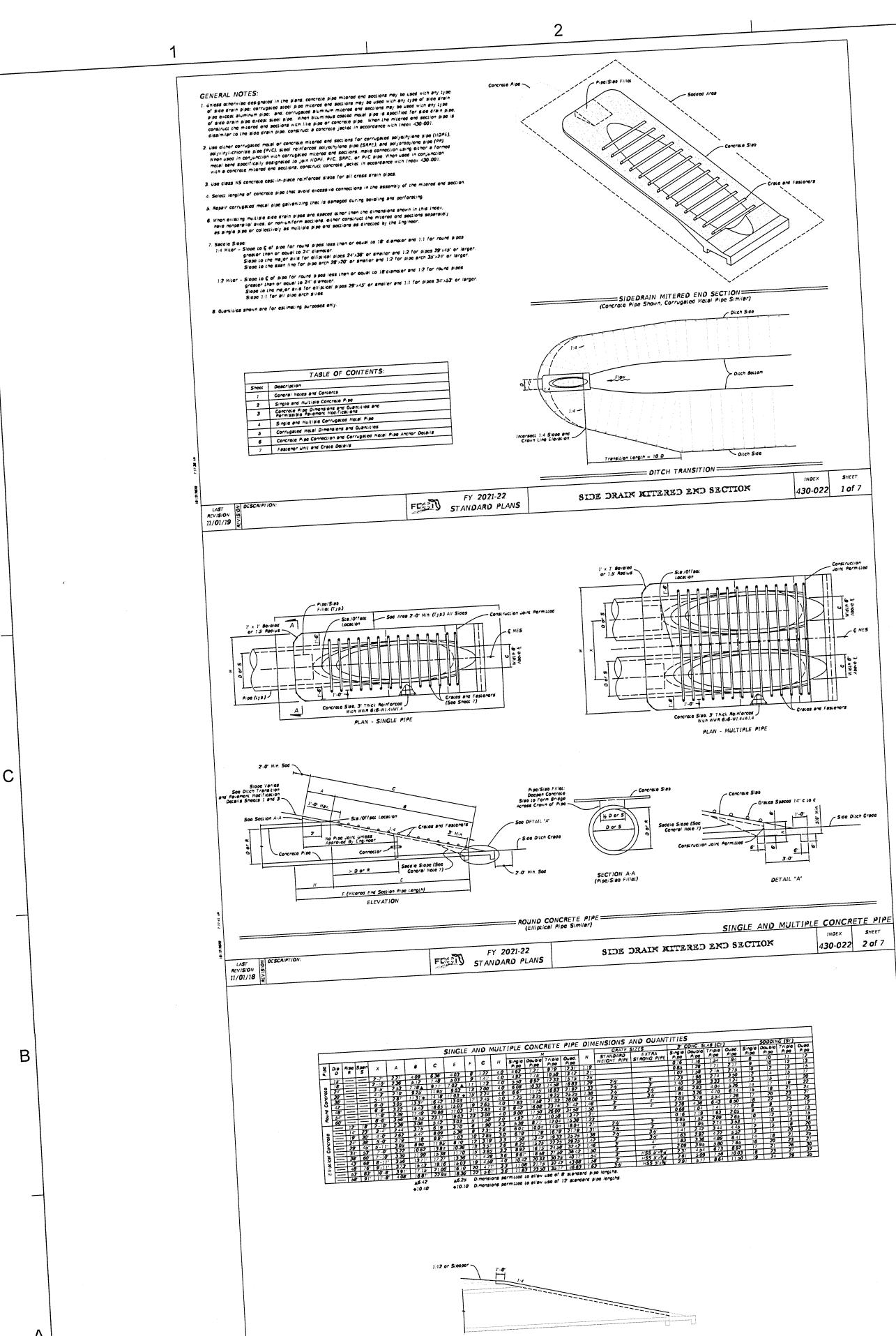
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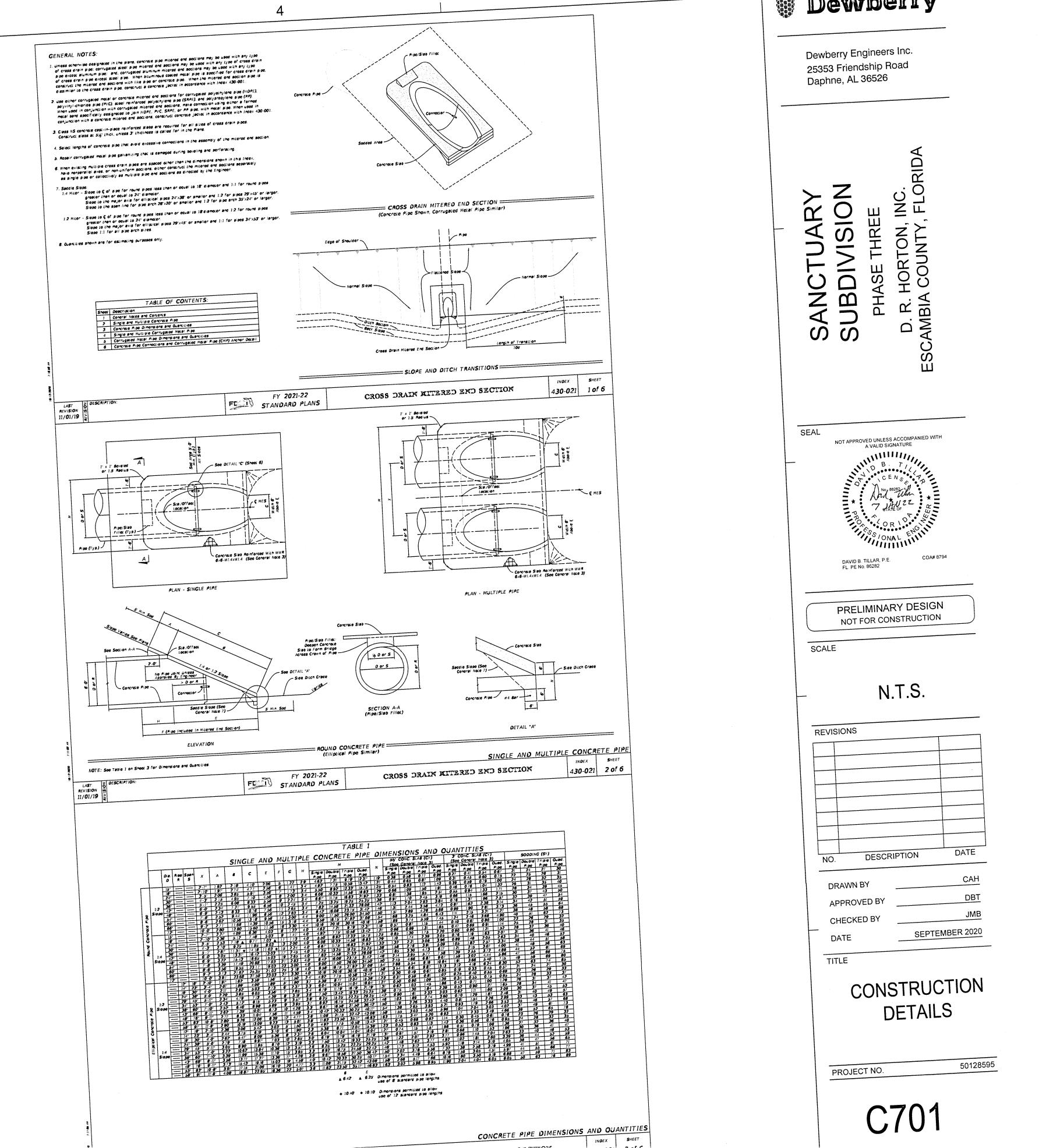
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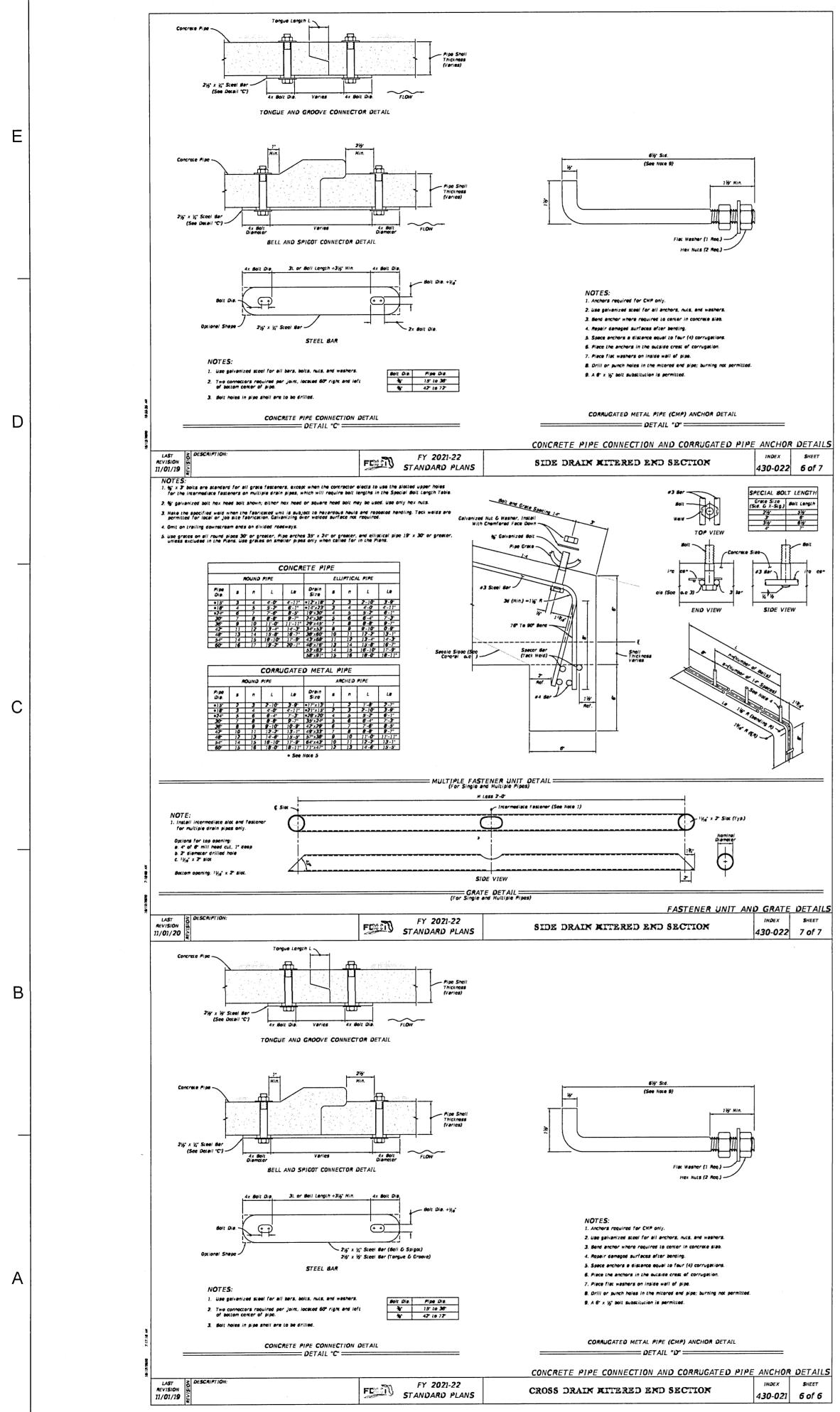


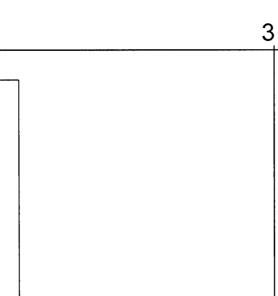


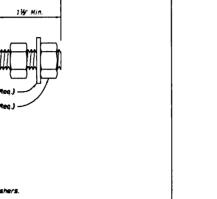


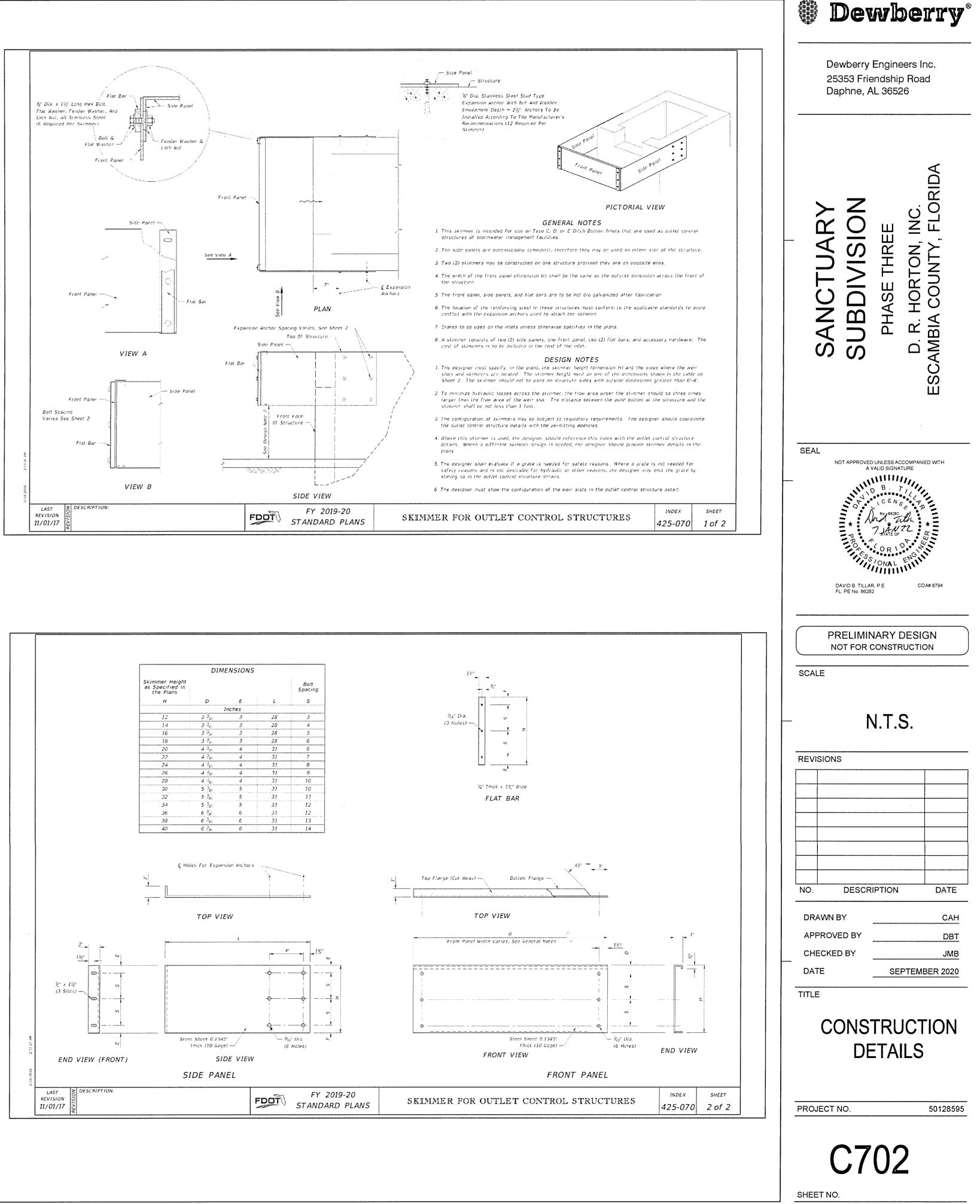
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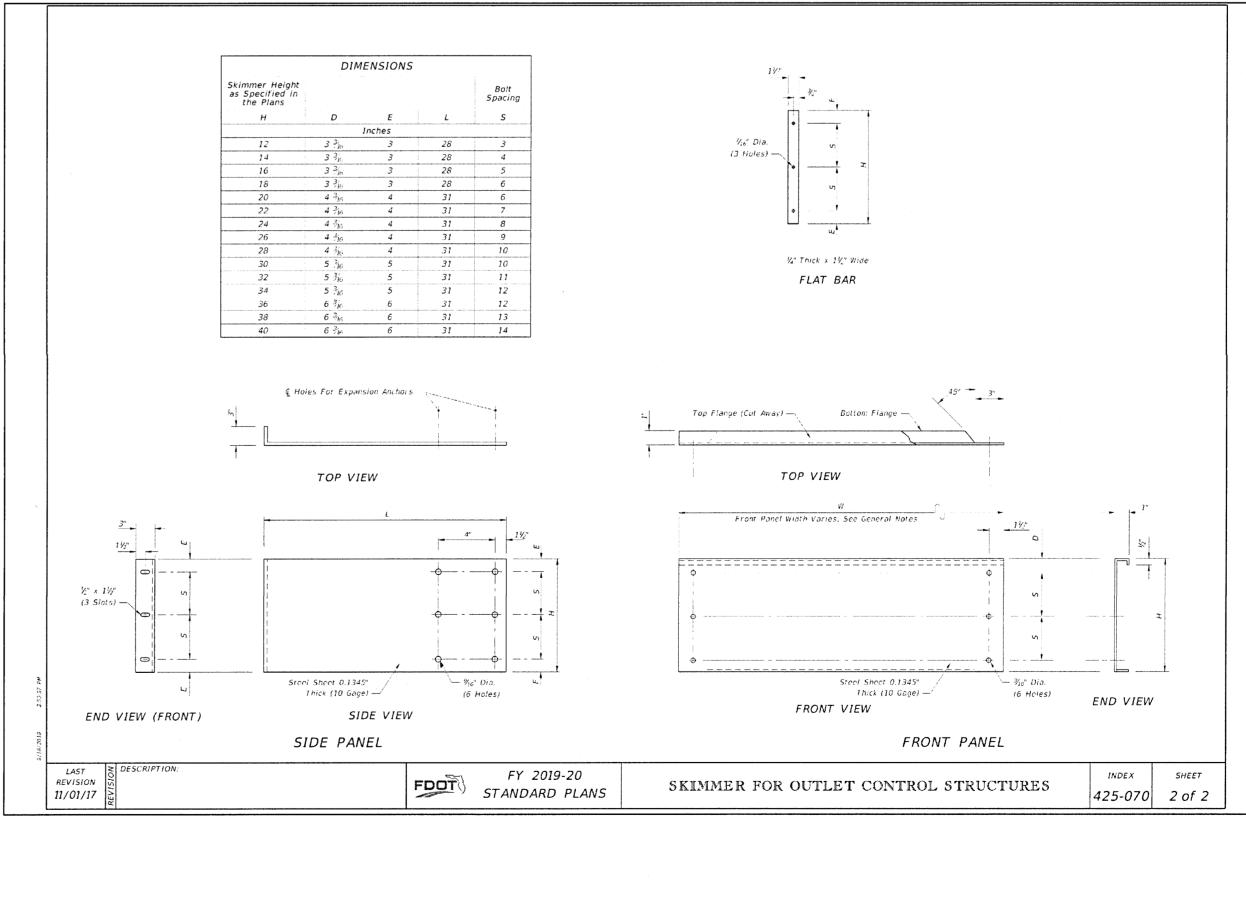








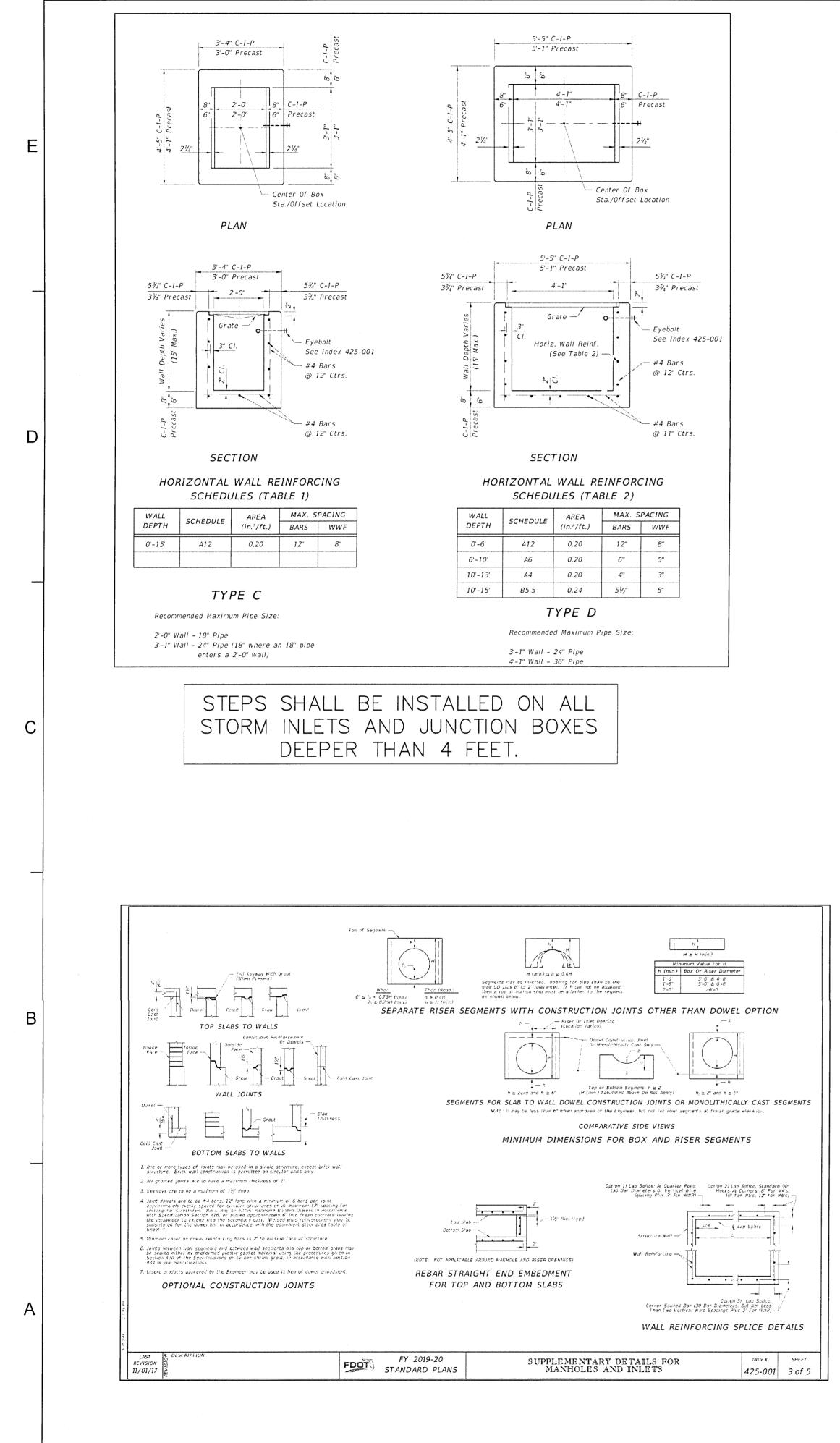




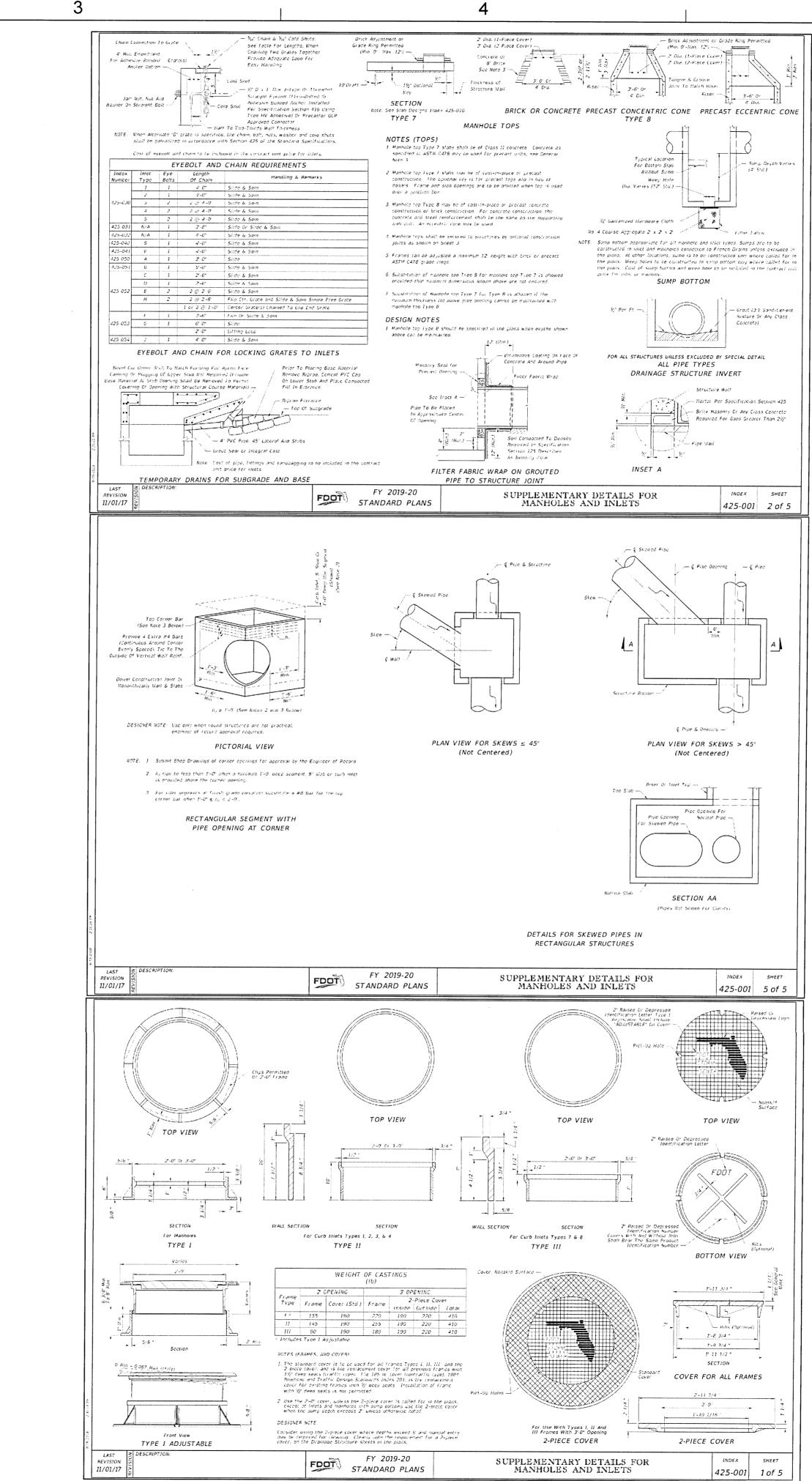




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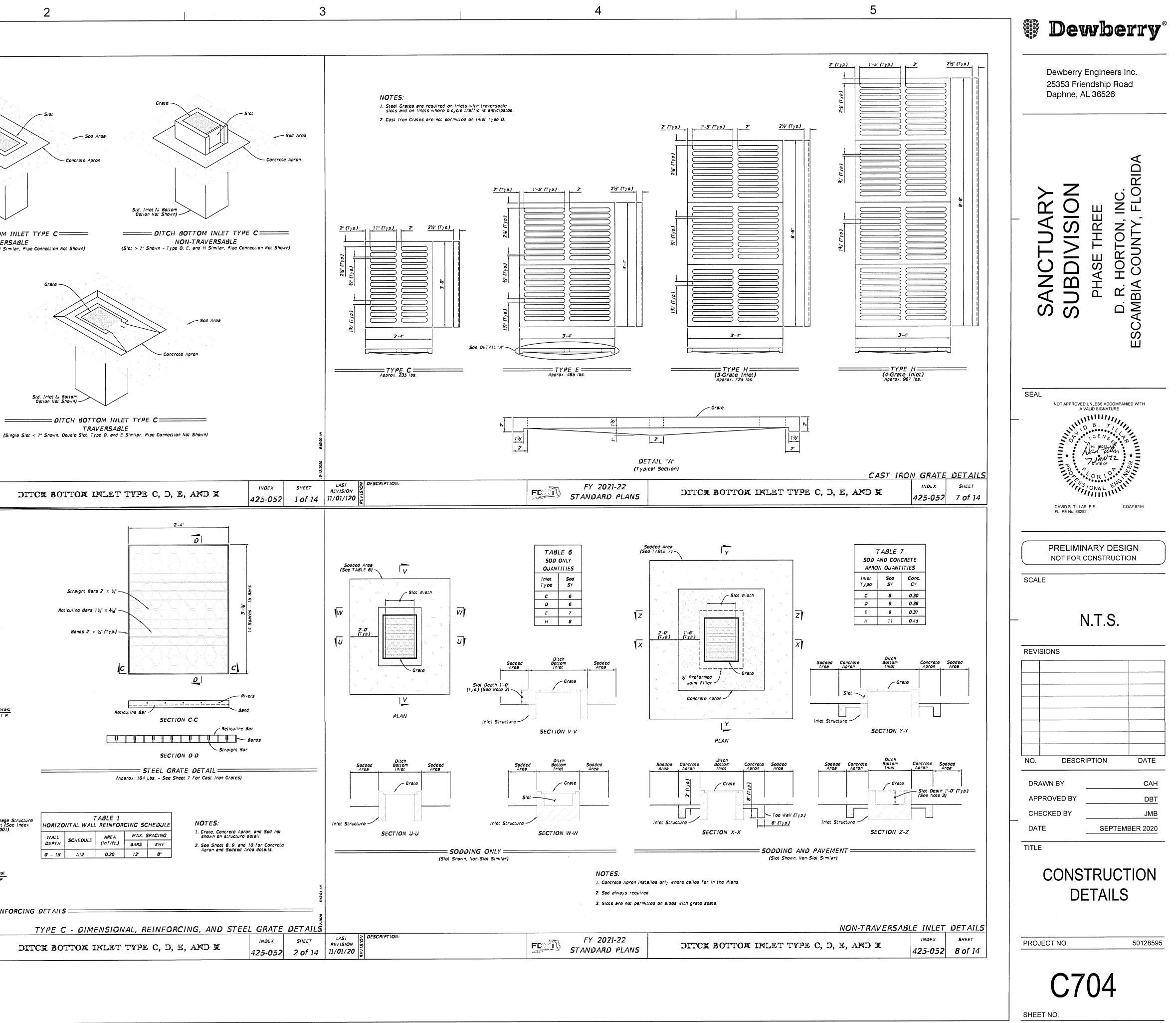




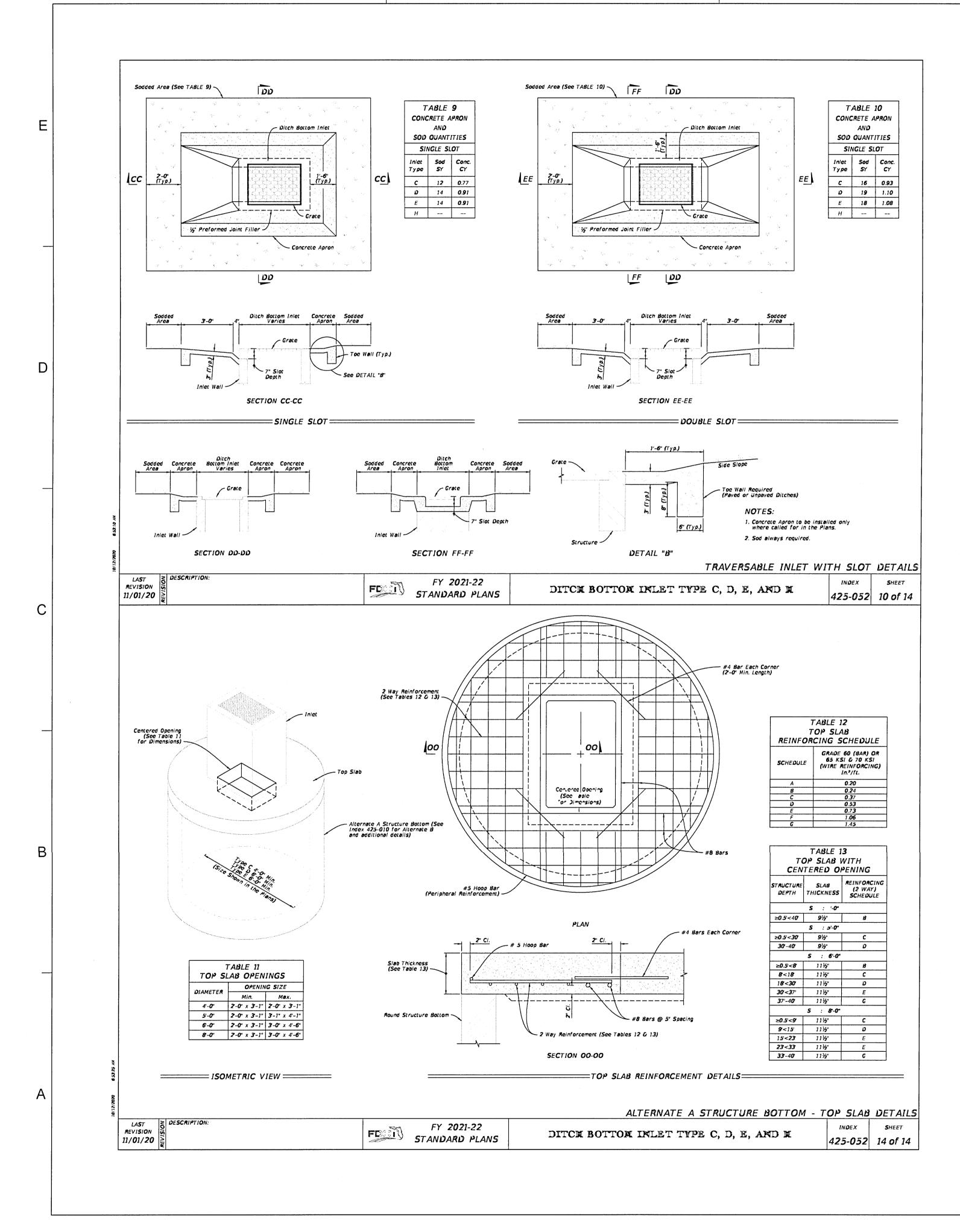
 Dewberry ®
Dewberry Engineers Inc. 25353 Friendship Road Daphne, AL 36526
SANCTUARY SUBDIVISION PHASE THREE D. R. HORTON, INC. ESCAMBIA COUNTY, FLORIDA
SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE
NOT FOR CONSTRUCTION SCALE N.T.S.
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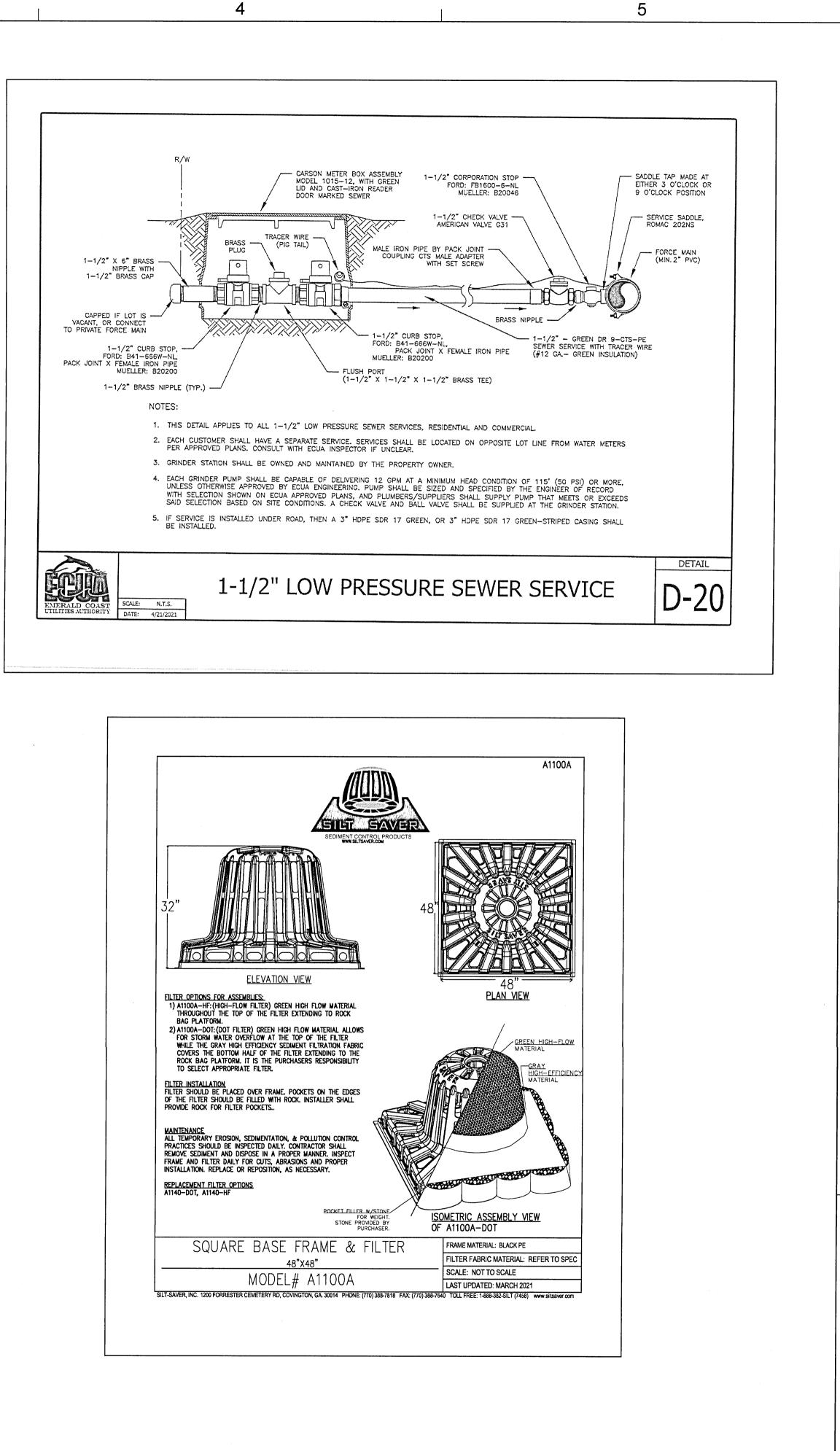
____ Sod Area GENERAL NOTES: 1. Work this Index with Index 425-001 and Index 425-010. 2. Chamier all exposed edges and corners \mathscr{Y}_{i} chamier or tooled to \mathscr{Y}_{i} radius. - Concrete Apron 3. All reinforcing is Grade 60 bars with 2" minimum. cover unless otherwise noted. Cut or bend bars for $1rac{1}{2}$ " clearance around pipe opening. Provide one additional #4 bar above and at each side of pipe opening. 4. Use Concrete Apron on inlets without slots and inlets with non-traversable slots only when called for in the Plans. Std. Inlet (J Bottom Option Not Shown) 5. Quantities are for informational and estimating purposes only. DITCH BOTTOM INLET TYPE C TRAVERSABLE (Without Slot - Type D, E, and H Similar, Pipe Connection Not Shown) TABLE OF CONTENTS: Sheet Description 1 General Notes and Contents 2 Type C - Dimensional, Reinforcing, and Grate Details 3 Type D - Dimensional, Reinforcing, and Grate Details 4 Type E - Dimensional, Reinforcing, and Grate Details 5 Type H (2 & 3 Grate) - Dimensional, Reinforcing, and Steel Grate Details 6 Type H (4 Grate) - Dimensional, Reinforcing, and Steel Grate Details 7 Cast Iron Grate Details 8 Non-Traversable Inlet Details 9 Traversable Inlet Without Slot Details Std. Inlet (J Bottom Option Not Shown) — 10 Traversable Inlet With Slot Details 1 Case 1 - Add Traversable Slots to Existing Inlets 12 Case 2 - Add Traversable Slots (Partial) to Existing Inlets 13 Case 3 - Add Traversable Slots (Partial) to Existing Inlets and Ditch Block 14 Alternate A Structure Bottom - Top Slab Details LAST OESCRIPTION: REVISION FY **202**1-**22** FE STANDARD PLANS 11/**0**1/**20** (d) 5 E 3-0" Precast 3-4" C-I-P B 6" Precast (Тур.) 8" С-1-Р (Тур.) Straight Bars 2" x ½" — - Sta./Offset/ Elev. Location Reticuline Bars 11/4" × 3/16" Bands 2" × ¼" (Typ.) — 2¼" (Typ) B PLAN 6" Precast 8" C-I-P 53/" C-1-P В - Eyebolt (See Index 425-001) Eyebolt l d 3" (Typ.) 3" СІ. (Тур.) **1∼**Extra #4 Bar - #4 Bars @ 1'-O" Ctrs. (See TABLE 1) 11/2" Cl. Pipe Opening (Typ.) Drainage Structure Invert (See Index 425-001) 0' - 15' A12 0.20 12" 8" #4 Bars @ 1'-0" Ctrs. --6" Precas: 8" C-I-P 6" Precast 8" C-I-P 2'-0" 2'-0" SECTION B-B (Pipe Opening Shown) SECTION A-A (Pipe Opening Not Shown) — DIMENSIONAL AND REINFORCING DETAILS ———— Α S DESCRIPTION: LAST REVISION 11/01/20 FY **2021-22** FECTO STANDARD PLANS

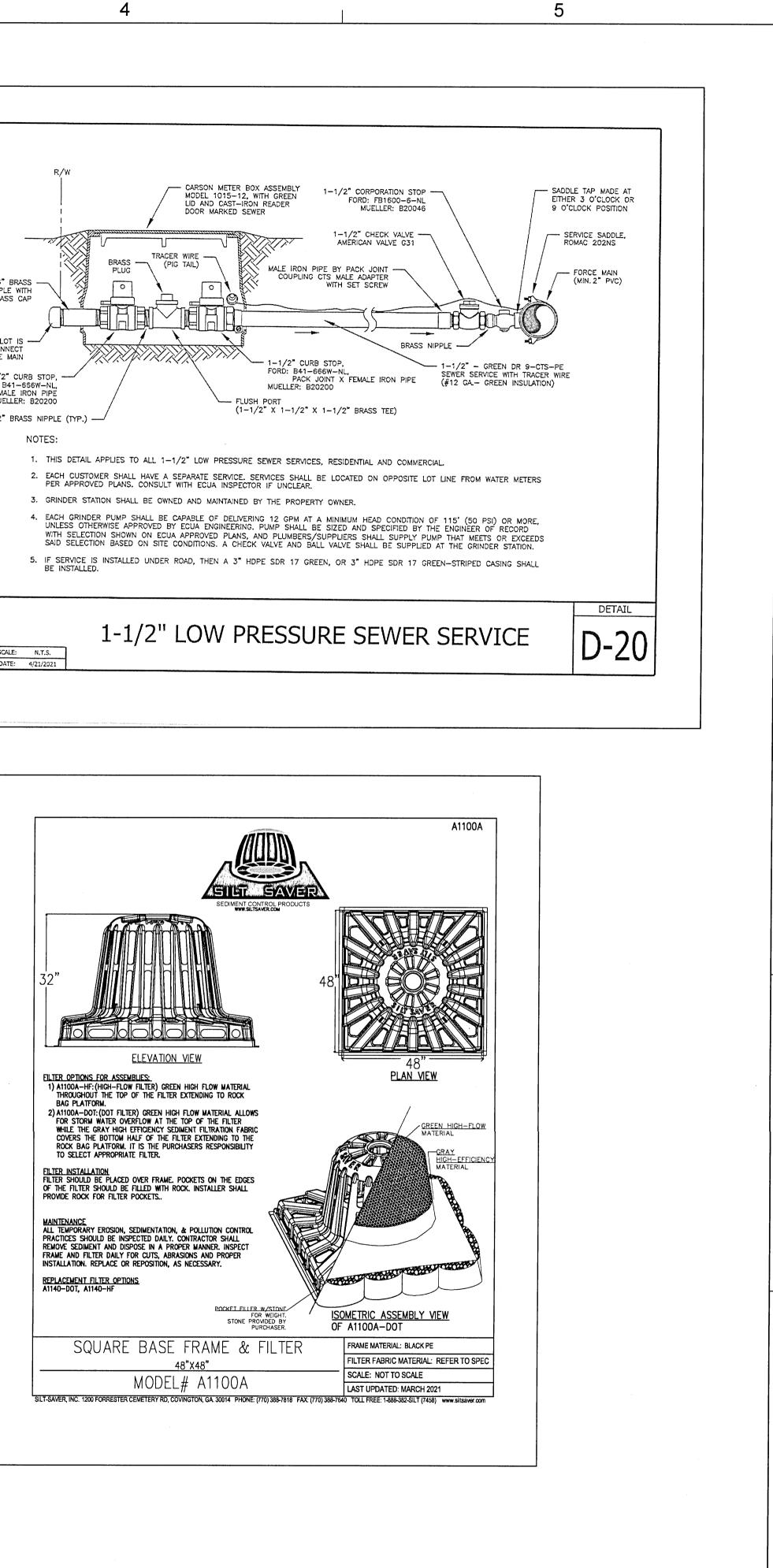




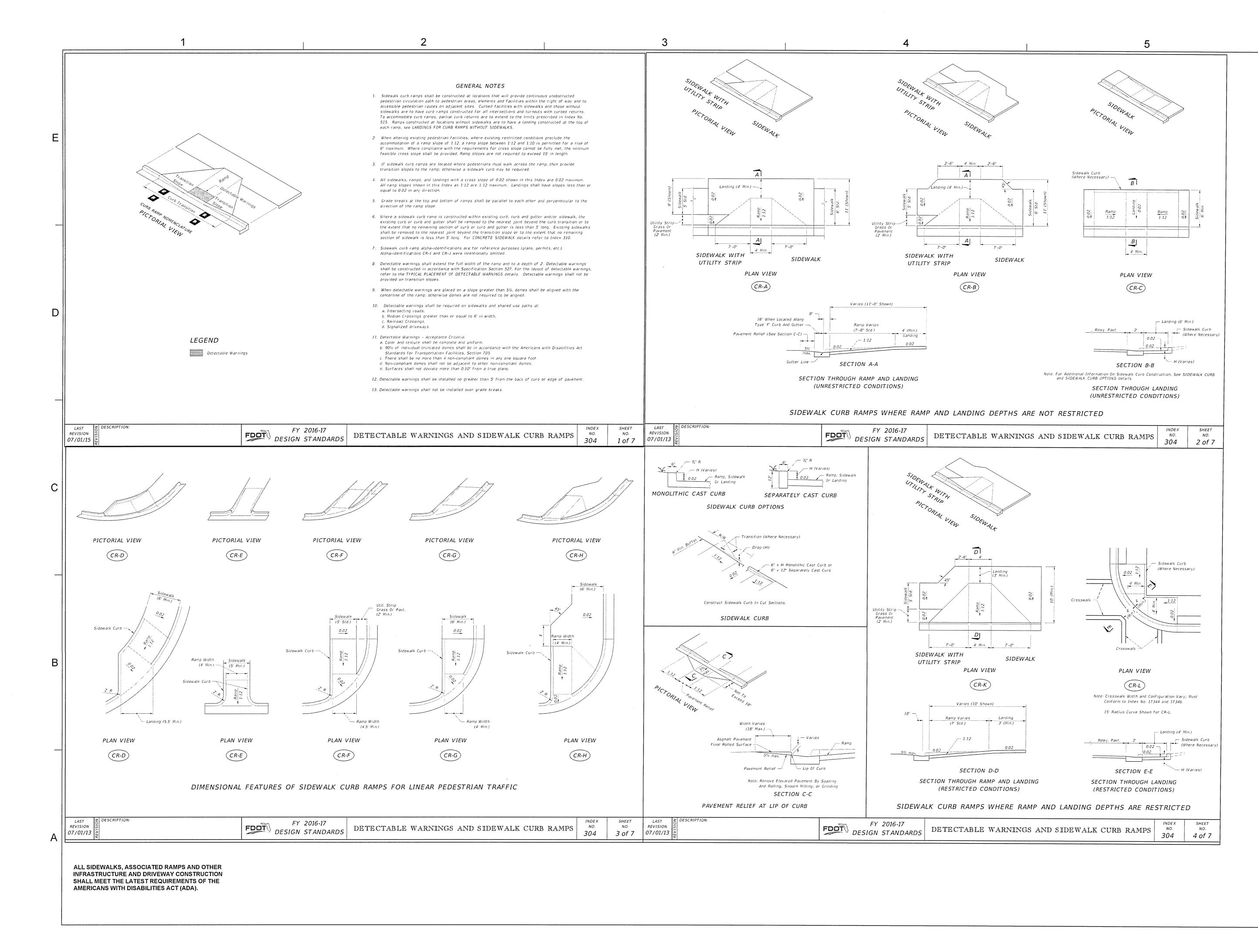


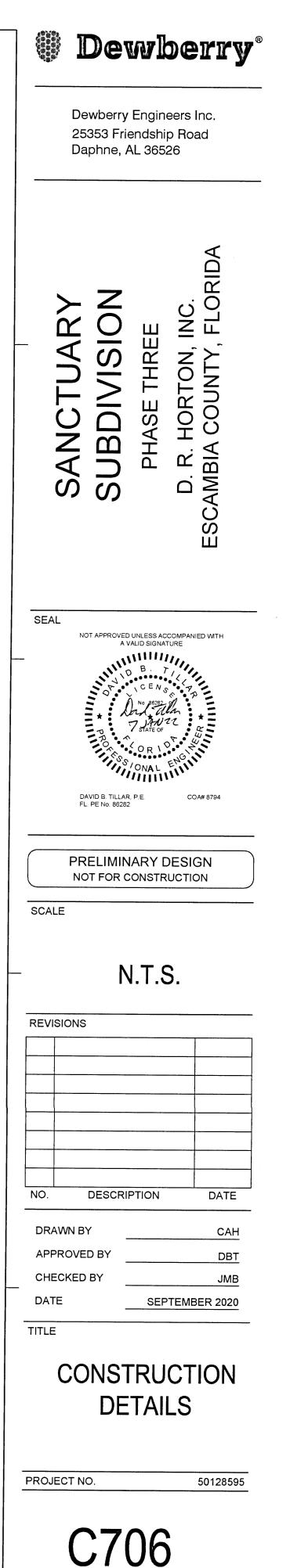






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SANCTUARY SUBDIVISION	PHASE THREE	D. R. HORTON, INC. ESCAMBIA COUNTY, FLORIDA	
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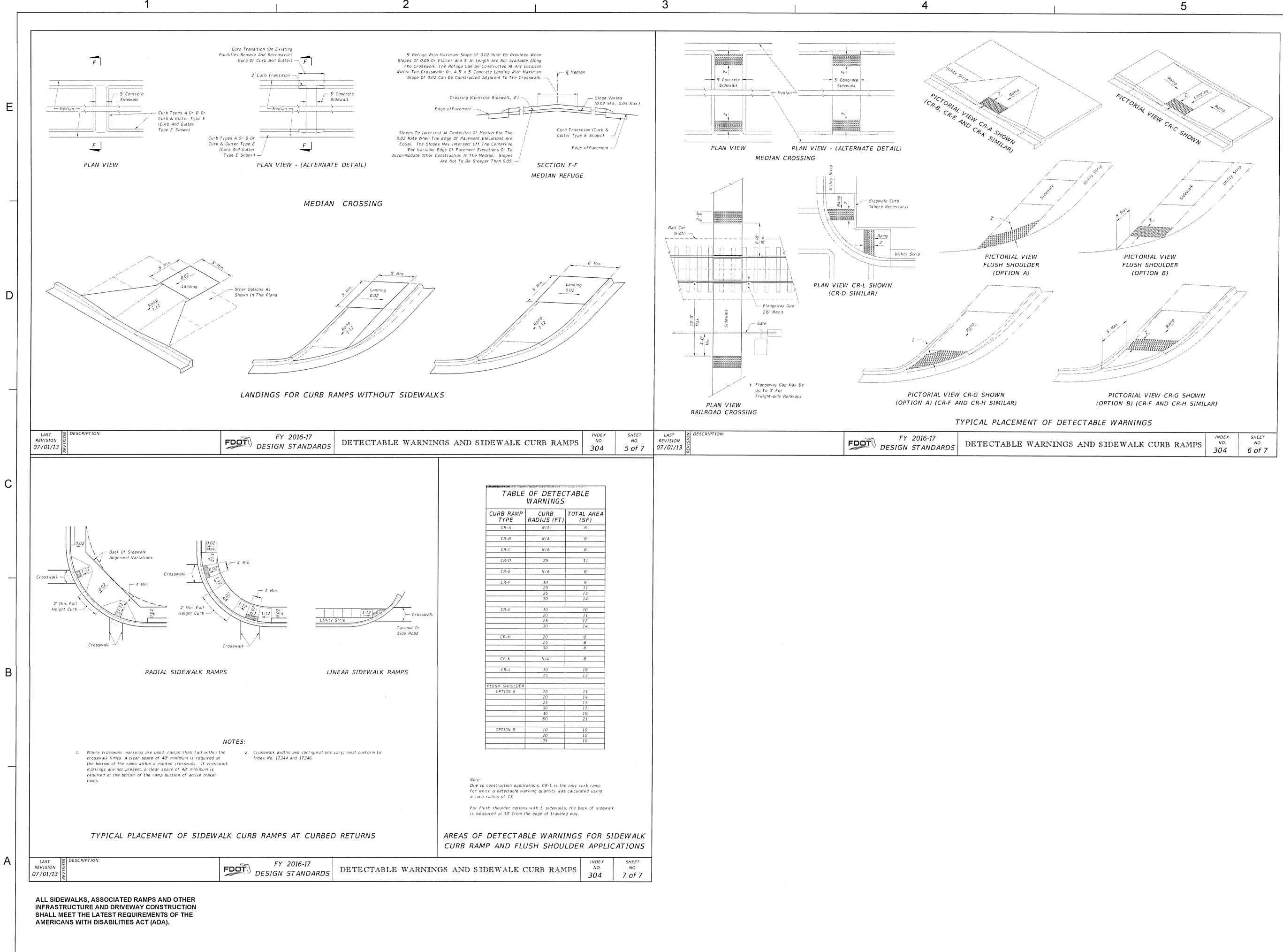






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AND SIDEWALK CURB RAMPS	INDEX NO. 304	^{5неет} NO. 7 of 7
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