

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.

PROFESSIONAL SURVEYOR AND MAPPER
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TELEPHONE: 850.438.0400

CIVIL ENGINEER
JEREMY R. KING, P.E.
REBOL-BATTLE & ASSOCIATES, LLC
2301 NORTH NINTH AVE., SUITE 300
PENSACOLA, FL 32503
TELEPHONE: 850.438.0400

CONSTRUCTION PLANS FOR FALLSCHASE AT PATHSTONE COMMERCIAL LOTS EAST RIVER OAKS DRIVE ESCAMBIA COUNTY, FLORIDA

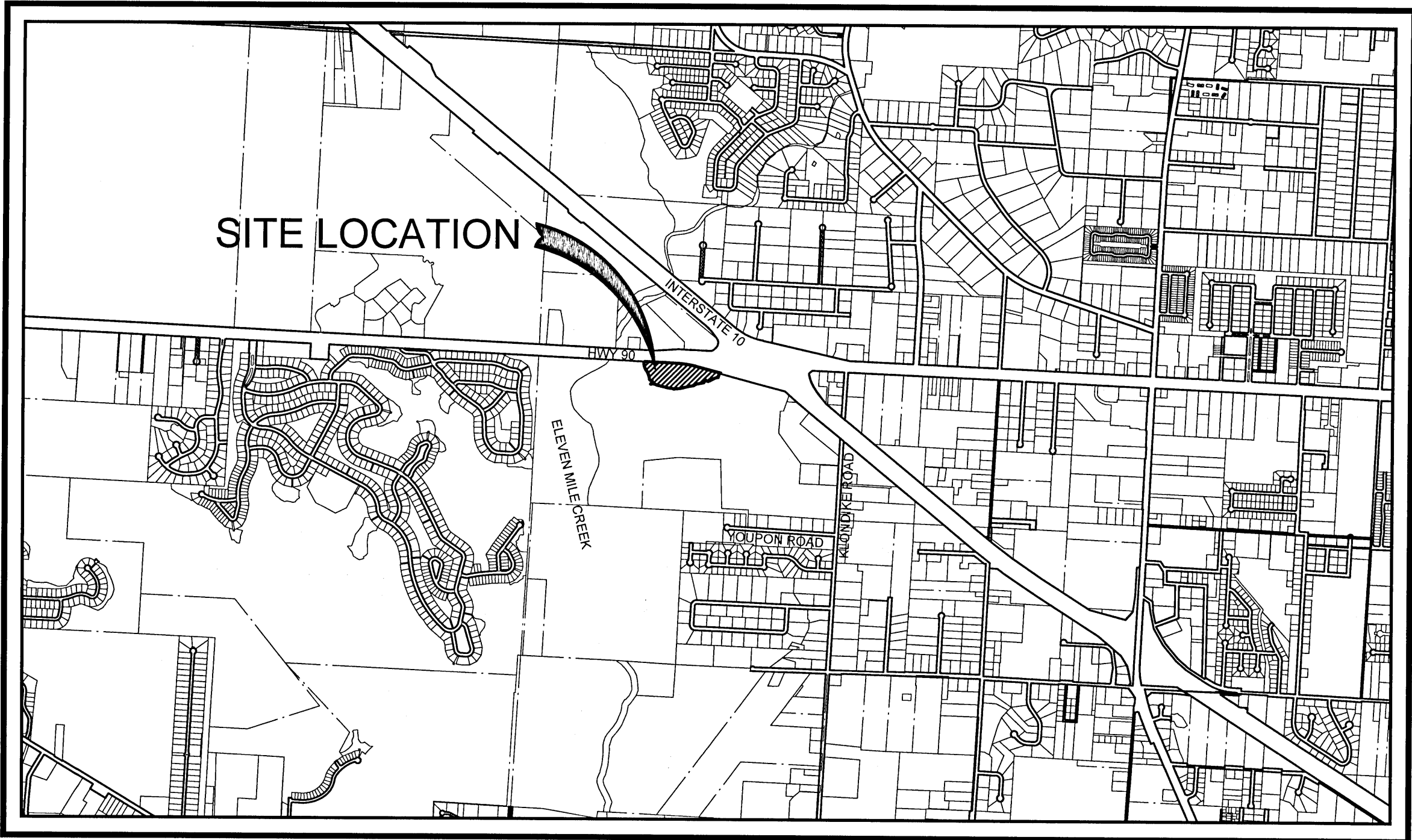
October 18, 2021

RBA PROJECT NO.: 2017.103

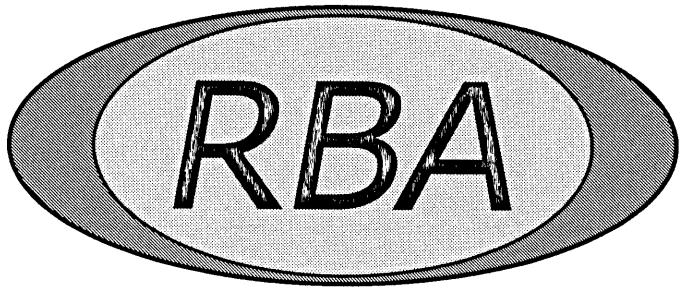
SITE INFORMATION	
OWNER:	PATHSTONE FL 2017 LLC 29891 WOODROW LN STE 300 SPANISH FORT, AL 36527
DEVELOPER:	PATHSTONE FL 2017 LLC 29891 WOODROW LN STE 300 SPANISH FORT, AL 36527
PROPERTY REFERENCE NO:	10-1S-31-1401-003-002
PROPERTY ADDRESS:	EAST RIVER OAKS DRIVE
PROPERTY AREA:	7.88 ACRES
PROJECT AREA:	7.88 ACRES
PROPERTY ZONING:	COMMERCIAL
FUTURE LAND USE:	MU-U
PROPOSED ACTIVITY:	COMMERCIAL SITE PLAN
REQUIRED BUILDING SETBACKS COMMERCIAL:	FRONT YARD - 15 FT. SIDE YARD - 10 FEET OR 10% OF LOT WIDTH AT STREET R/W WHICHEVER IS LESS BUT NOT LESS THAN 5' REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	290	G	SEPT 29, 2006

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770



VICINITY MAP
SCALE: 1" = 2000'



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EB 00009657 LB 7916

ECUA REQUIRED PLAN NOTES
(NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH ANY LISTED UPDATES (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND THE PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD ON THE APPROPRIATE RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

☐ YES ☐ NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTION OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

INDEX OF DRAWINGS

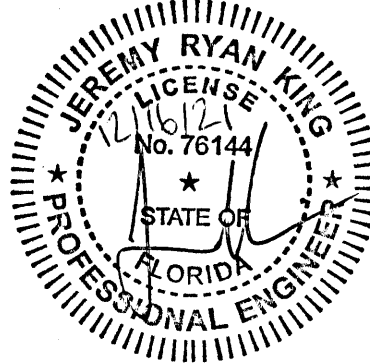
- C1.0 - 1.3 EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN
- C1.4 EROSION CONTROL DETAILS
- C1.5 NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0 - 2.3 SITE LAYOUT AND DIMENSION PLAN
- C2.4 SITE DETAILS
- C3.0 - 3.3 GRADING AND DRAINAGE PLAN
- C3.4 - 3.5 GRADING AND DRAINAGE DETAILS
- C4.0 - 4.3 UTILITY PLAN
- C4.4 UTILITY DETAILS
- C5.0 - 5.3 LANDSCAPE PLAN
- C5.4 LANDSCAPE DETAILS

LEGAL DESCRIPTION

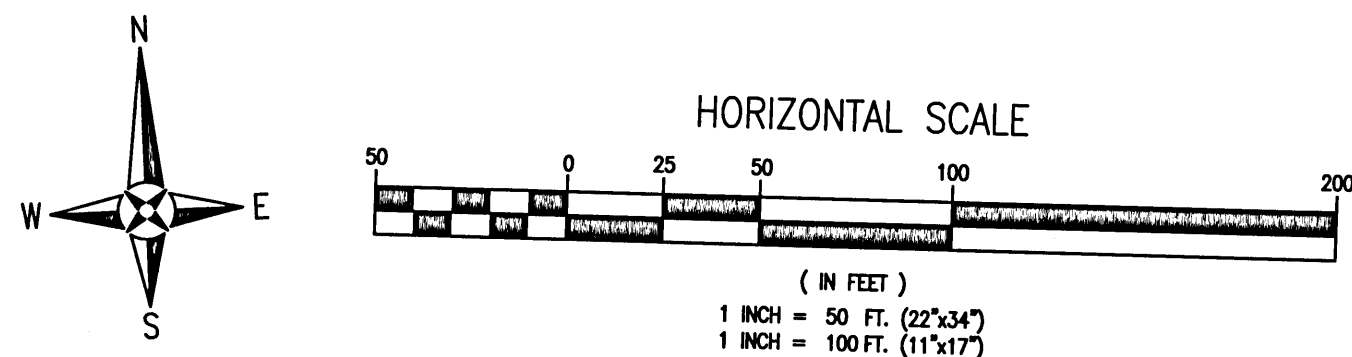
DESCRIPTION: (PREPARED BY REBOL-BATTLE & ASSOCIATES)

LOTS 1-5 OF PATHSTONE COMMERCIAL SUBDIVISION

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>[Signature]</i>	Date: 1-5-22
Printed Name: <i>[Name]</i>	
Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	



SITE ENVIRONMENTAL INFORMATION	
COMBINED SITE AREA	7.88 ACRES
ACOE/NWFWMD/ESCAMBIA COUNTY JURISDICTIONAL WETLANDS	0.57 ACRES
WETLAND BUFFER	0.50 ACRES
WETLAND IMPACT	0.57 ACRES
TEMPORARY OFFSITE WETLAND IMPACT	0 ACRES
WETLAND BUFFER IMPACT	0.50 ACRES
TEMPORARY OFFSITE WETLAND BUFFER IMPACT	0 ACRES
CONSERVATION EASEMENT	0 ACRES
MERS BUFFER	0 ACRES



LEGEND

[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	DEMOLITION
[Pattern]	WETLAND
[Symbol]	BENCHMARK
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	CLEANOUT
[Symbol]	MANHOLE
[Symbol]	GUY ANCHOR
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	TELEPHONE BOX
[Symbol]	GAS VALVE
[Symbol]	MAILBOX
[Symbol]	POST
[Symbol]	STREET SIGN
[Symbol]	SIGN

LEGEND

[Line Style]	BOUNDARY LINE
[Line Style]	EASEMENT LINE
[Line Style]	LOT LINE
[Line Style]	RIGHT-OF-WAY LINE
[Line Style]	ACOE LINE
[Line Style]	FDEP LINE
[Line Style]	WETLAND LINE
[Line Style]	WATER LINE
[Line Style]	SEWER LINE (GRAVITY)
[Line Style]	FORCE MAIN
[Line Style]	OVERHEAD UTILITIES
[Line Style]	BT BURIED TELEPHONE LINE
[Line Style]	G GAS LINE
[Line Style]	BE BURIED ELECTRIC LINE
[Line Style]	FOC BURIED FIBER OPTIC CABLE
[Line Style]	BTU BURIED TV LINE
[Line Style]	EXISTING CONTOUR
[Line Style]	STRAW BALE
[Line Style]	SILT FENCE W/ HAYBALES
[Line Style]	SF/HB

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
5. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC. AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
6. RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.

TREE PROTECTION NOTE:
ALL TREE BARRICADES SHALL BE INSTALLED PRIOR TO SITE CONSTRUCTION ACTIVITIES.

FLOOD ZONE NOTE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C02906, MAP REVISION DATED SEPTEMBER 29, 2006.

8. ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE CLEANED OF DEBRIS AND CONSTRUCTION MATERIAL AND RAKED SMOOTH.
 9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
 10. CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING & GRUBBING REQUIRED.
 11. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 12. CONTRACTOR TO COORDINATE WITH RESPONSIBLE UTILITY FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
 13. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
 14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
 15. ALL SIDEWALKS, CURB RAMPS AND DRIVEWAYS MUST BE BUILT TO THE LATEST EDITION OF THE FDOT DESIGN STANDARDS, ADA AND PROWAG.
 16. CONSERVATION EASEMENTS SHALL REMAIN IN THEIR NATURAL STATE AND AS CONDITIONED WITHIN THE GUIDELINES OUTLINED WITHIN THE RECORDED EASEMENT. WETLANDS, BUFFERS AND WERS NOT PERMITTED IMPACTED IN ACCORDANCE WITH THE INTENDED USE OF THE EASEMENT.
 17. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
- DEMOLITION NOTES:**
1. ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
 2. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
 3. NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

EROSION CONTROL NOTES:

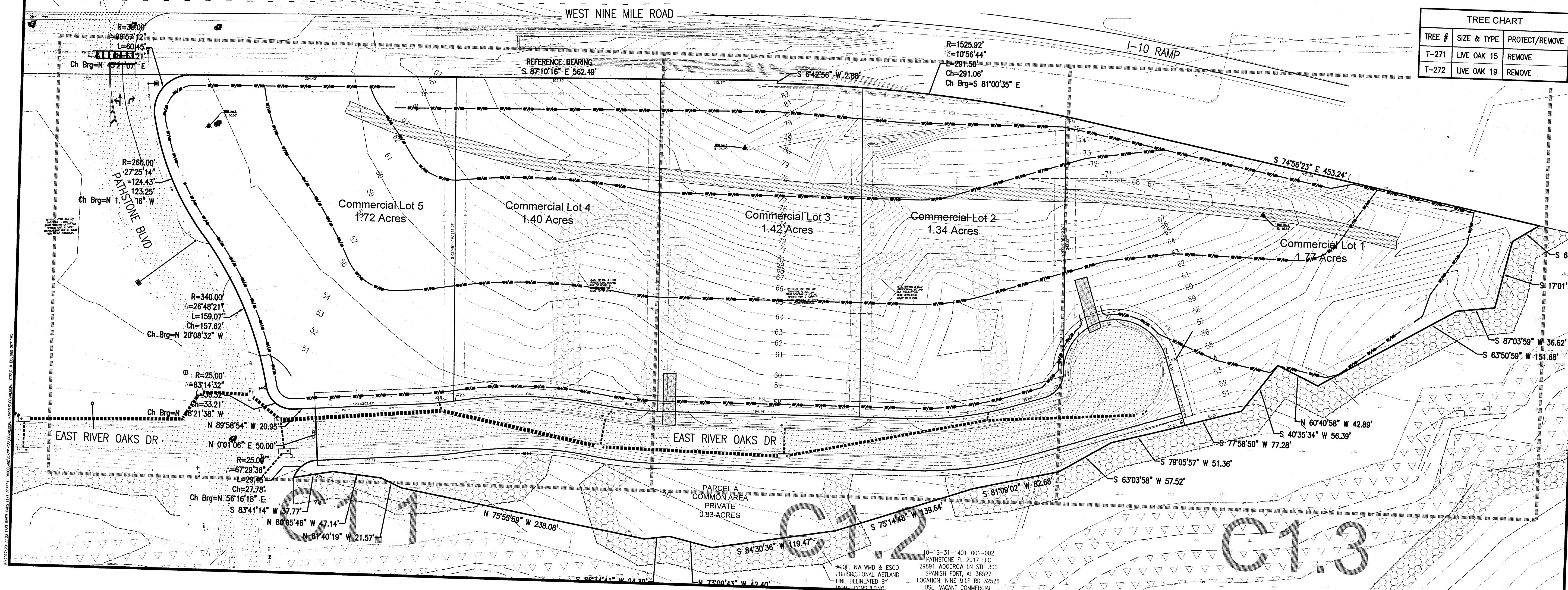
1. THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS SUGGESTED ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
2. AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
3. INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(b)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE NPDES STORMWATER NOTICES CENTER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
6. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

PARCEL CURVE TABLE

Curve #	Radius	Delta Angle	Length	Chord	Chord Bearing
C3	375.00	5°57'00"	38.94	38.93	N 87°02'36" E
C4	50.00	163°36'00"	142.77	98.98	S 84°37'43" W
C5	25.00	73°36'00"	32.11	29.95	S 39°37'43" W
C8	405.00	19°35'25"	138.48	137.80	N 86°08'11" W
C9	325.00	0°29'05"	2.75	2.75	N 84°18'38" E
C10	325.00	5°27'56"	31.00	30.99	S 87°17'08" W
C11	1525.92	3°05'12"	82.21	82.20	S 84°56'21" E
C12	1525.92	7°23'20"	196.78	196.64	S 79°42'04" E
C13	1525.92	0°28'12"	12.52	12.52	S 75°46'19" E
C14	50.00	13°33'47"	11.84	11.81	N 20°21'10" W

TREE CHART

TREE #	SIZE & TYPE	PROTECT/REMOVE
T-271	LIVE OAK 15	REMOVE
T-272	LIVE OAK 19	REMOVE



RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

200 North Avenue, Suite 300
Panama City, FL 32401
Telephone 850.438.0400 FAX 850.438.0448
E-mail rebol@rebol-battle.com

OVERALL

EXISTING SITE, DEMOLITION

& EROSION CONTROL PLAN

FALLSCHASE AT PATHSTONE

COMMERCIAL SUBDIVISION

ESCAMBA COUNTY, FLORIDA

REVISION

No.	DATE	REVISION

SEAL

NOTARY PUBLIC

JEREMY R. KING, P.E.

No. 76944

STATE OF FLORIDA

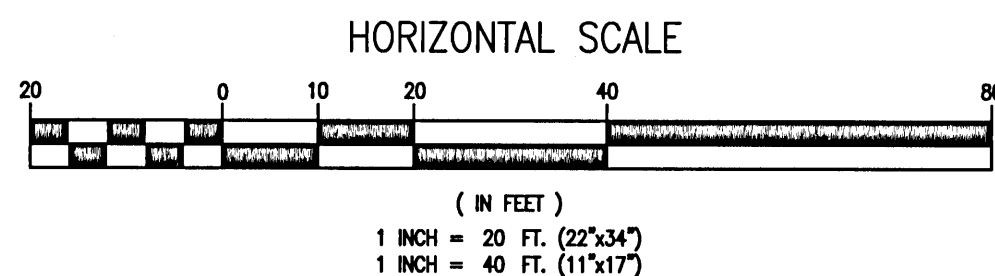
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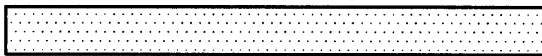
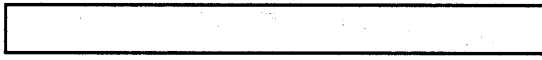

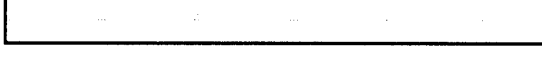




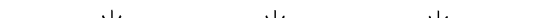






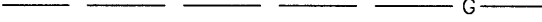
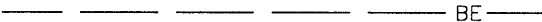
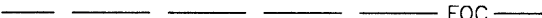


















Ck By: JRK

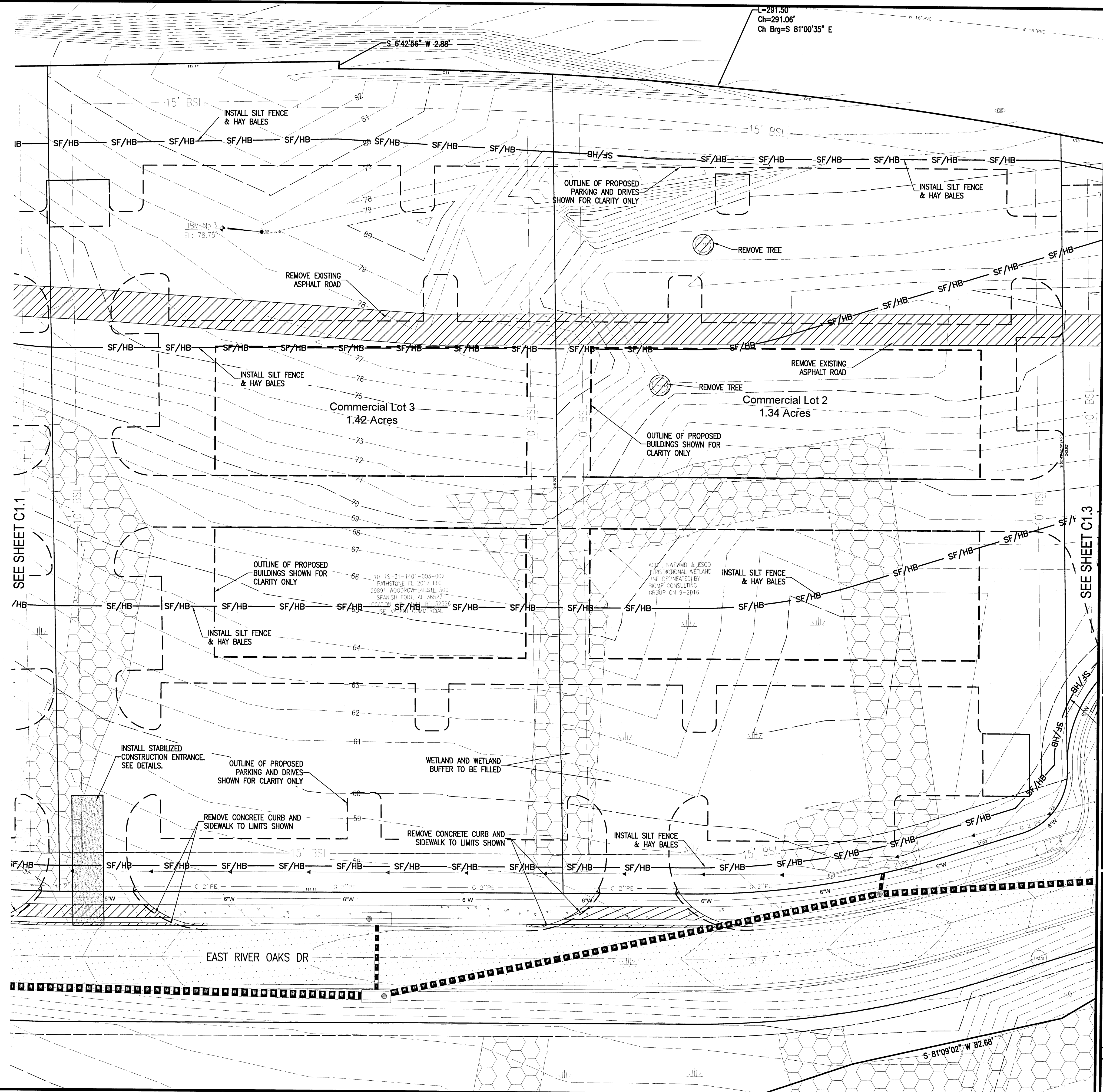
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DRAWING No.



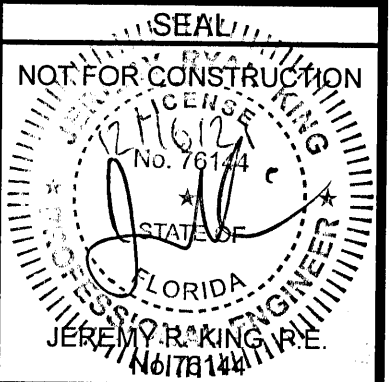
	EXISTING ASPHALT
	EXISTING CONCRETE
	DEMOLITION
	WETLAND
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
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	FORCE MAIN
	OVERHEAD UTILITIES
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	GAS LINE
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	STRAW BALE
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	MANHOLE
	GUY ANCHOR
	UTILITY POLE
	LIGHT POLE
	TELEPHONE BOX
	GAS VALVE
	MAILBOX
	POST
	STREET SIGN
	SIGN



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

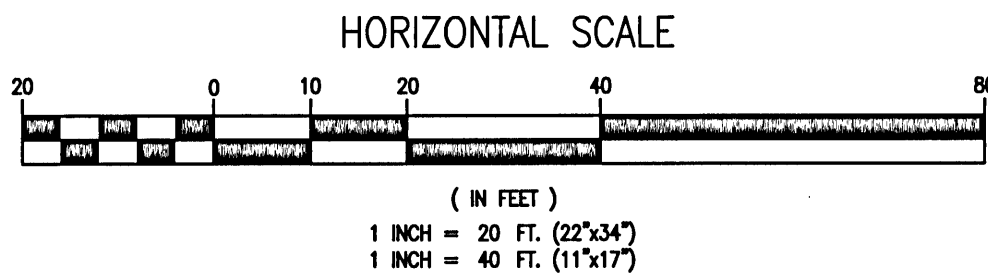
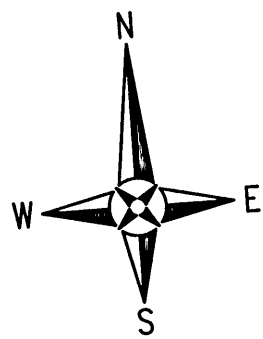
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Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

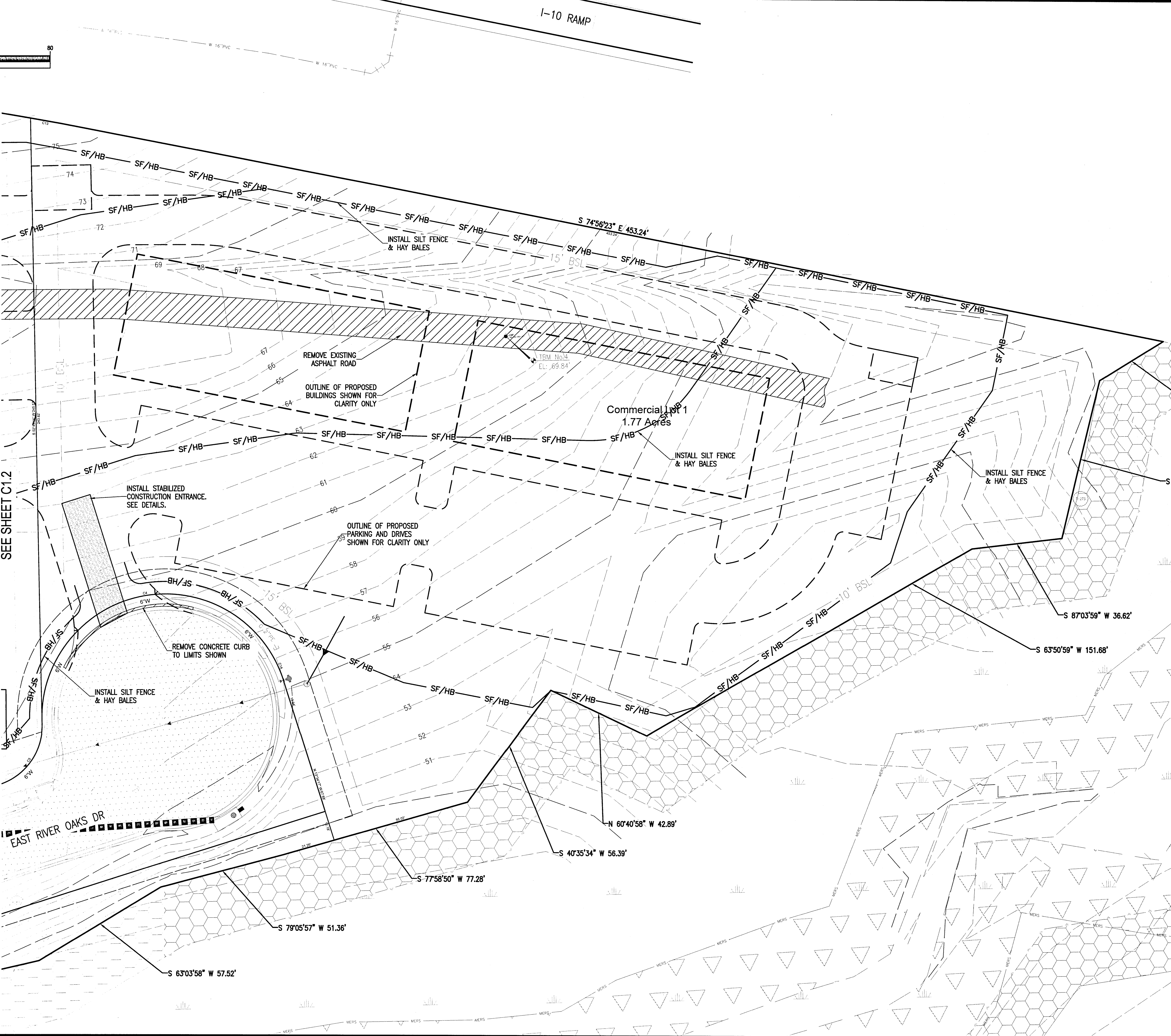
DRAWING No.

C1.2

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- LEGEND**
- EXISTING ASPHALT
 - EXISTING CONCRETE
 - DEMOLITION
 - WETLAND
 - BOUNDARY LINE
 - EASEMENT LINE
 - LOT LINE
 - RIGHT-OF-WAY LINE
 - WETLAND LINE
 - WATER LINE
 - SEWER LINE (GRAVITY)
 - FORCE MAIN
 - OVERHEAD UTILITIES
 - BURIED TELEPHONE LINE
 - GAS LINE
 - BURIED ELECTRIC LINE
 - BURIED FIBER OPTIC CABLE
 - BURIED TV LINE
 - EXISTING CONTOUR
 - STRAW BALE
 - SILT FENCE
 - BENCHMARK
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - CLEANOUT
 - MANHOLE
 - GUY ANCHOR
 - UTILITY POLE
 - LIGHT POLE
 - TELEPHONE BOX
 - GAS VALVE
 - MAILBOX
 - POST
 - STREET SIGN
 - SIGN



RBA

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Fax: 850.438.0448
E-mail: info@rebol-battle.com

**EXISTING SITE, DEMOLITION
& EROSION CONTROL PLAN**

**FALLCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

NOT FOR CONSTRUCTION

SEAL

JEREMY R. KING, P.E.

No. 76144

Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.
C1.3

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GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 981, 982, 983, 985, & 987.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

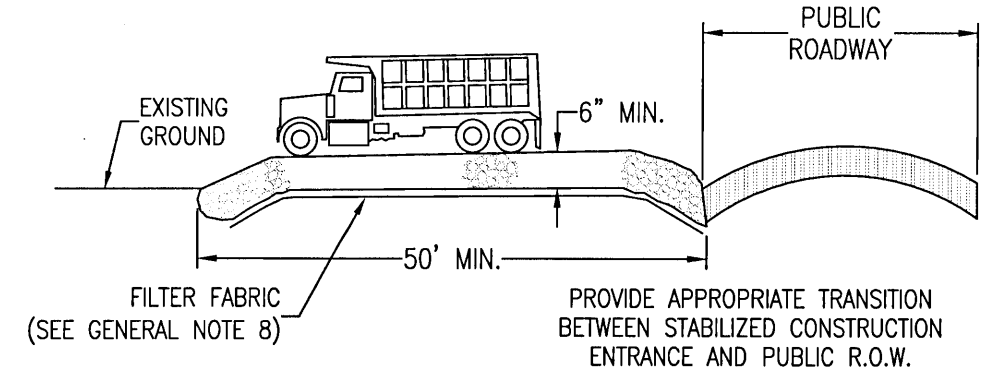
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

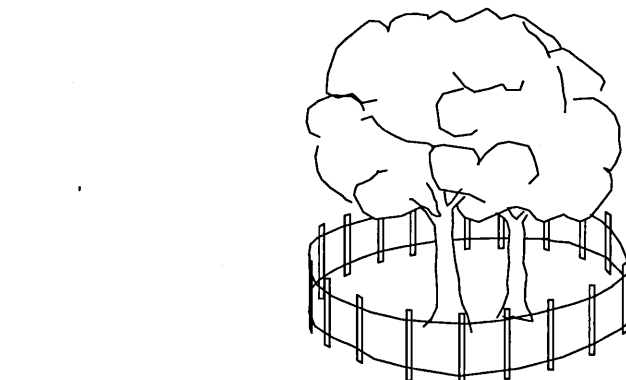
1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 104, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S)
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPRAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

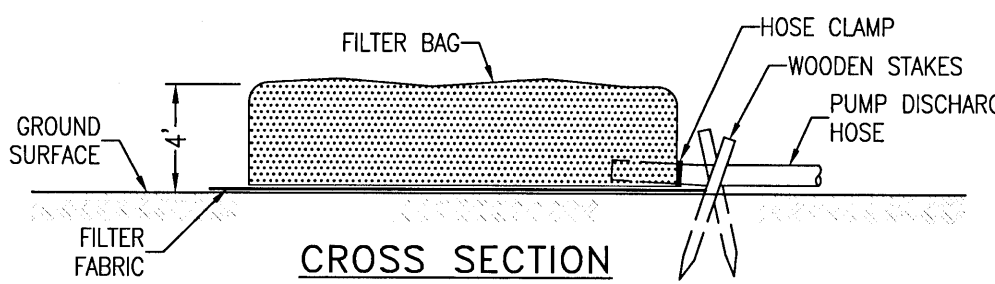
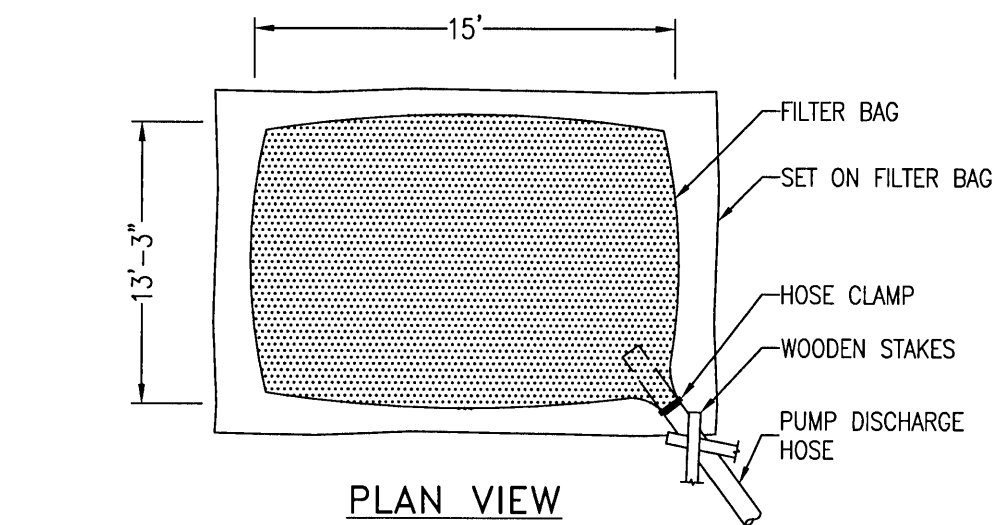
TREE BARRICADE DETAIL
N.T.S.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

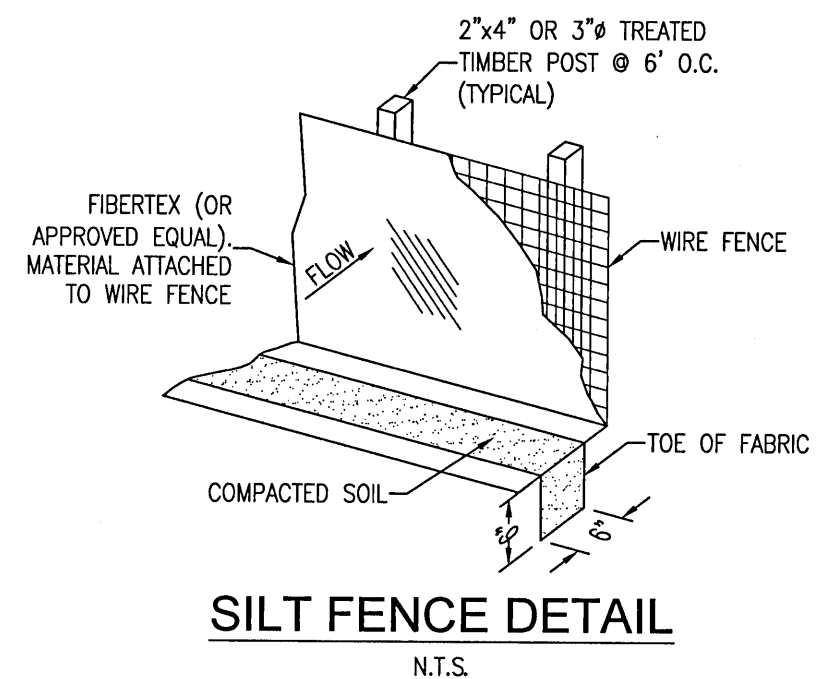
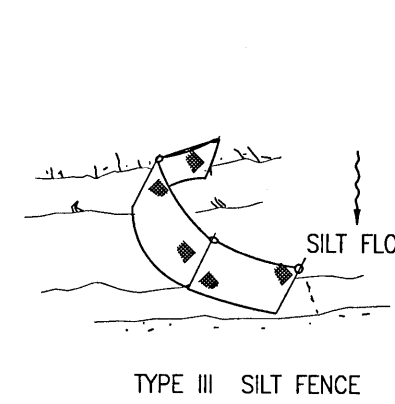
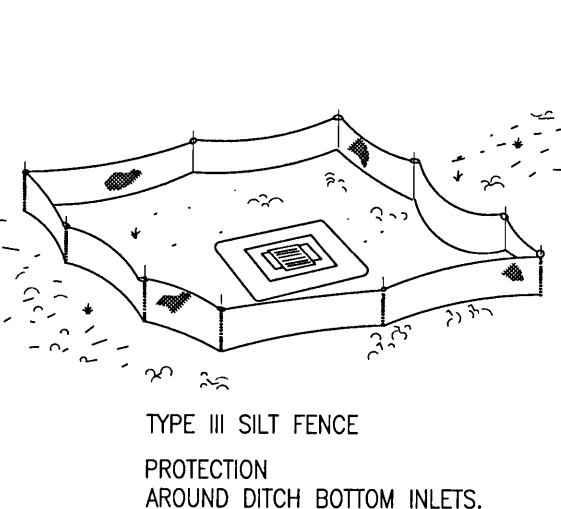
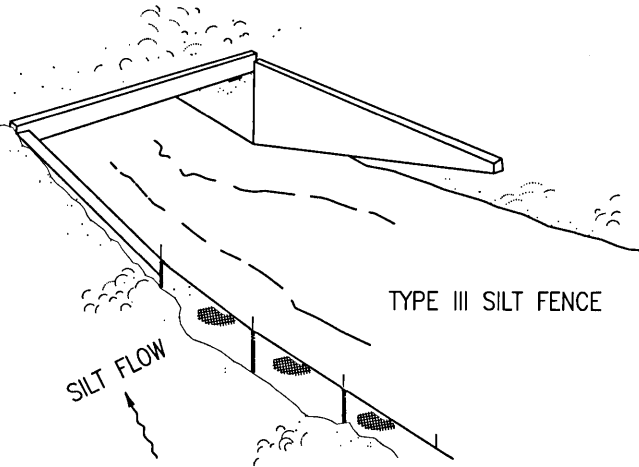
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

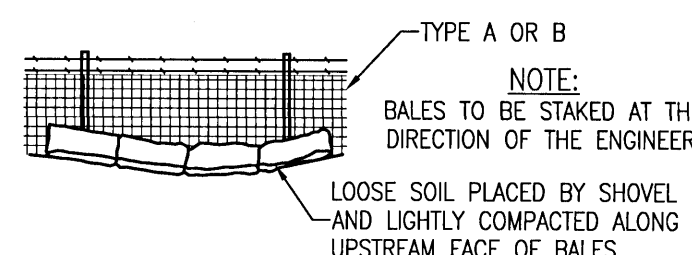


FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS
N.T.S.

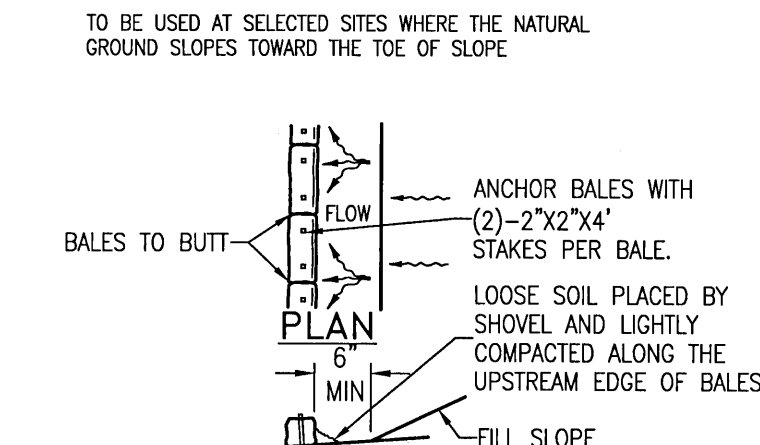
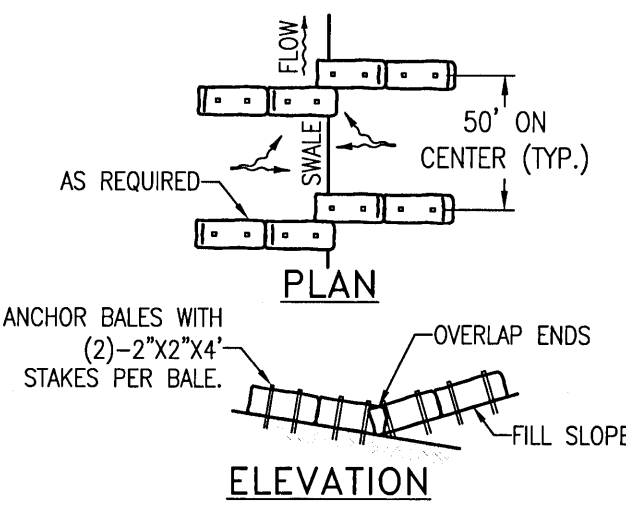


SILT FENCE APPLICATIONS
N.T.S.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

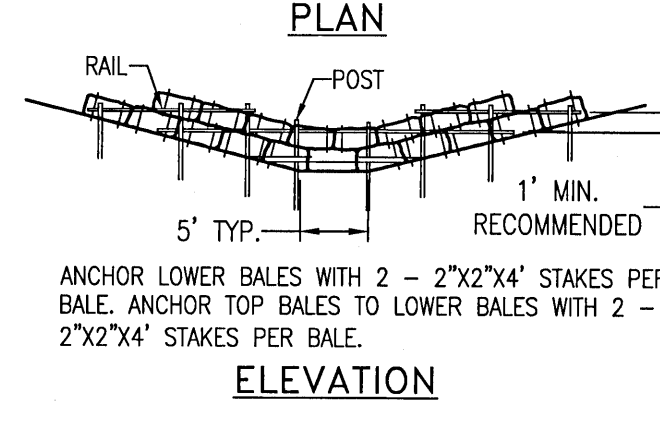
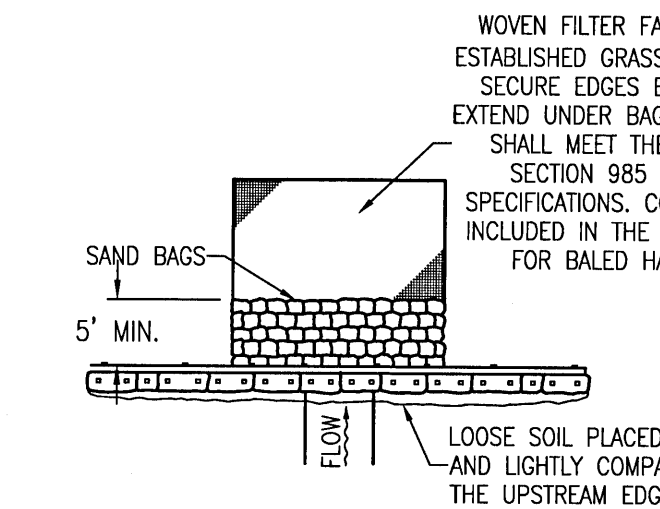


STRAW BALES BACKED BY FENCE
N.T.S.



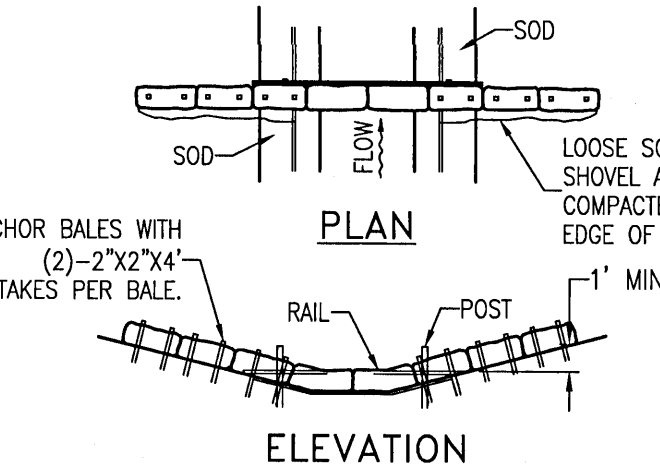
PLAN
ELEVATION
TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

BARRIERS FOR FILL SLOPES
N.T.S.



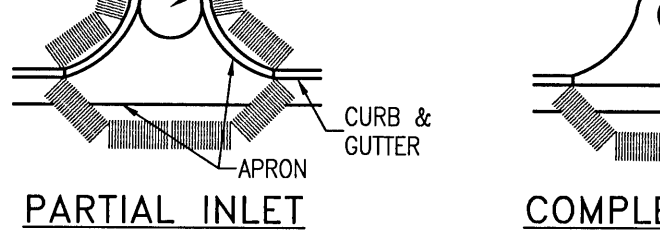
PLAN
ELEVATION
ANCHOR LOWER BALES WITH 2 - 2"x2"x4" STAKES PER BALE. ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2"x2"x4" STAKES PER BALE.

TYPE II
BARRIER FOR UNPAVED DITCH
N.T.S.

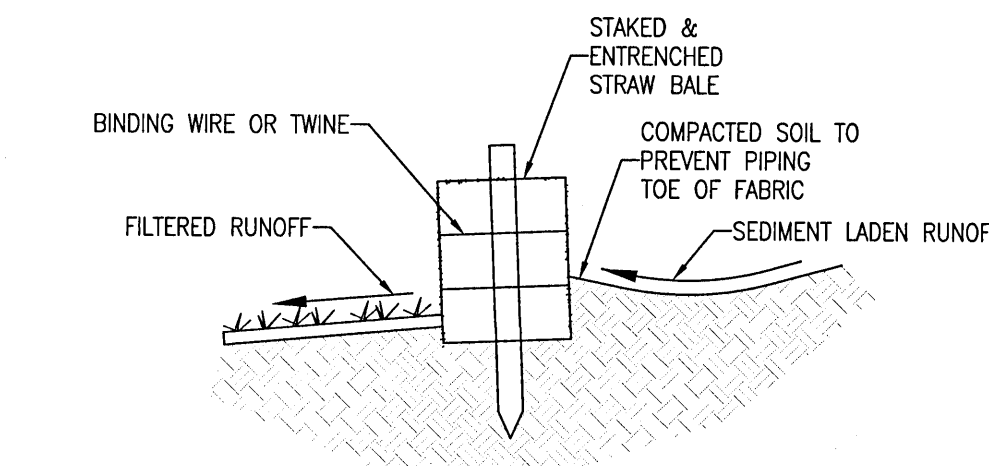


PLAN
ELEVATION
SPACING:
BALE BARRIERS FOR PAVED DITCHES SHOULD BE SPACED IN ACCORDANCE WITH CHART I, SHEET 1 OF 3, INDEX NO. 102

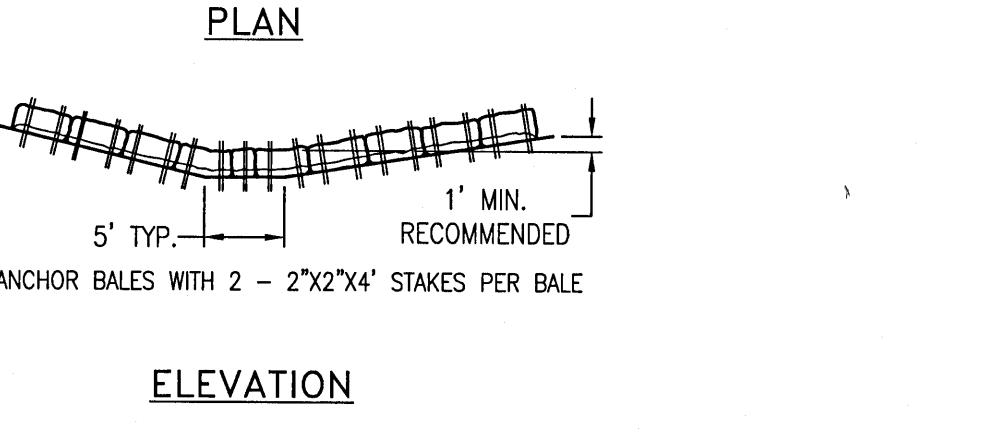
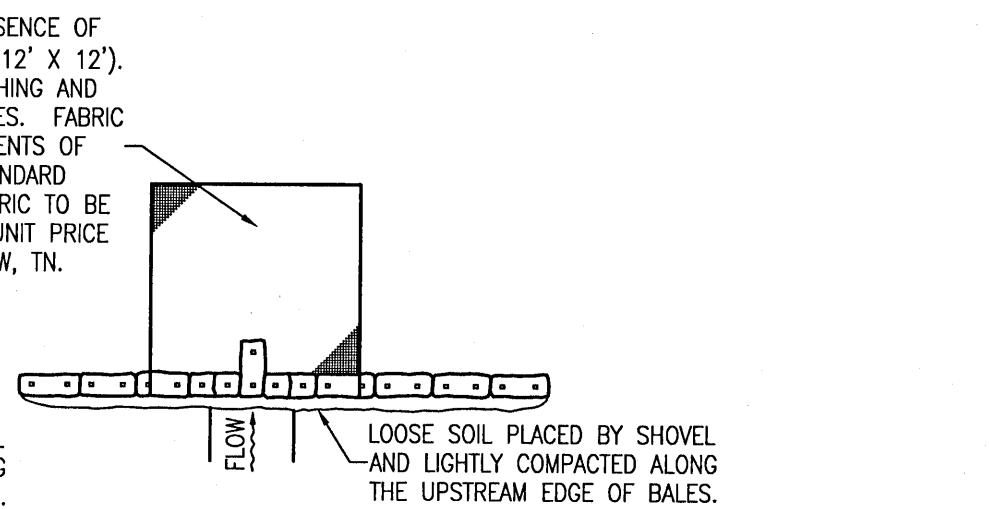
BARRIER FOR PAVED DITCH
N.T.S.



PARTIAL INLET
N.T.S.

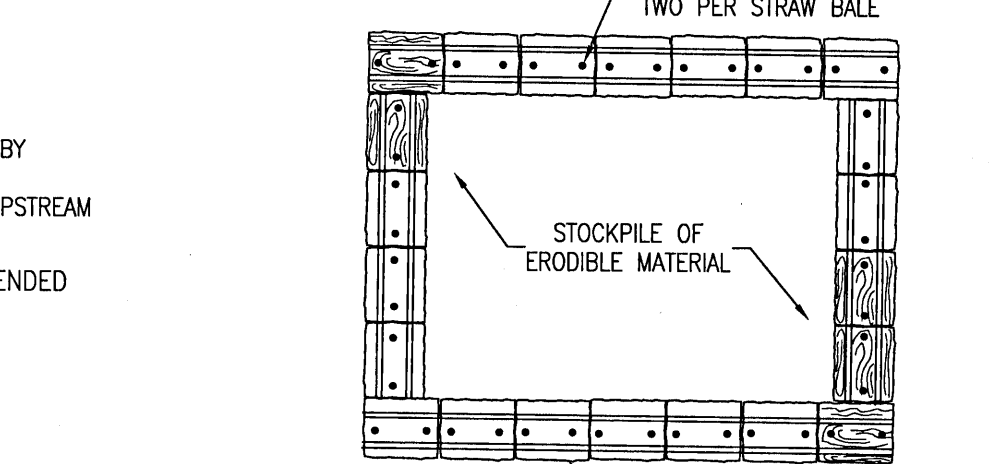


STRAW BALE DETAIL
N.T.S.

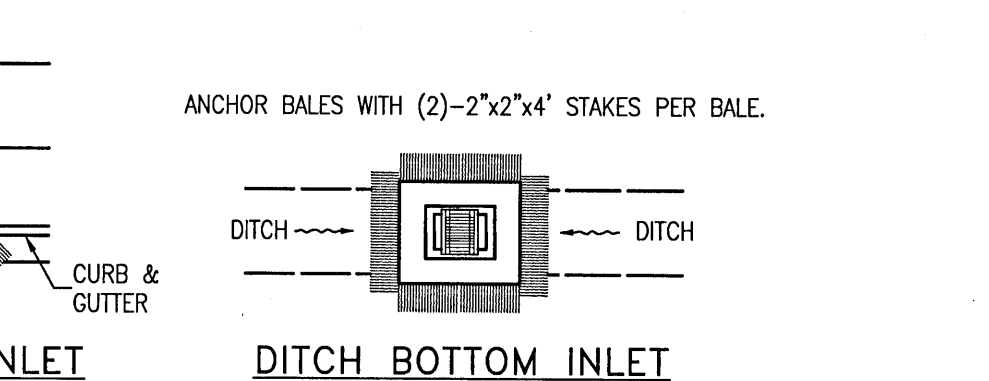


PLAN
ELEVATION
APPLICATION AND SPACING: THE USE OF TYPES I & II BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN CHART I, SHEET 1 OF 3, INDEX NO. 102

TYPE I
BARRIER FOR UNPAVED DITCH
N.T.S.



PLAN
ELEVATION
MATERIAL STOCKPILE DETAIL
N.T.S.



DITCH BOTTOM INLET
N.T.S.

RBA
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Tampa, FL 33605
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EB 00009557 LB7516

EROSION CONTROL
DETAILS

FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

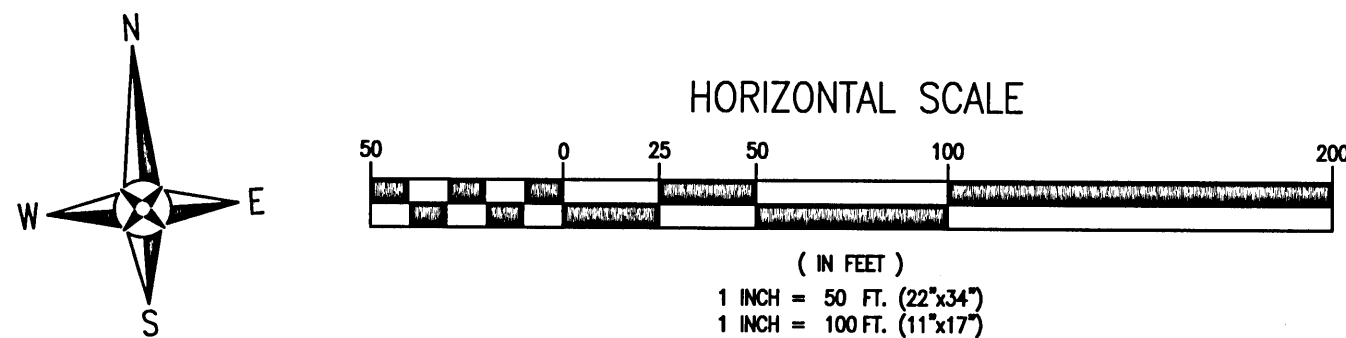
REVISION	DATE	NO.

SEAL
NOT FOR CONSTRUCTION
JEREMY R. KING, P.E.
No. 76144

Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.
C1.4

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

- GENERAL NOTES:
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 2. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST FDOT STANDARD PLANS FOR ROAD CONSTRUCTION.
 3. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 6. ALL SIGNS SHALL BE INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION, WIND ZONE No.1.
 7. THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIMES/MOT PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
 8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 9. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 10. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

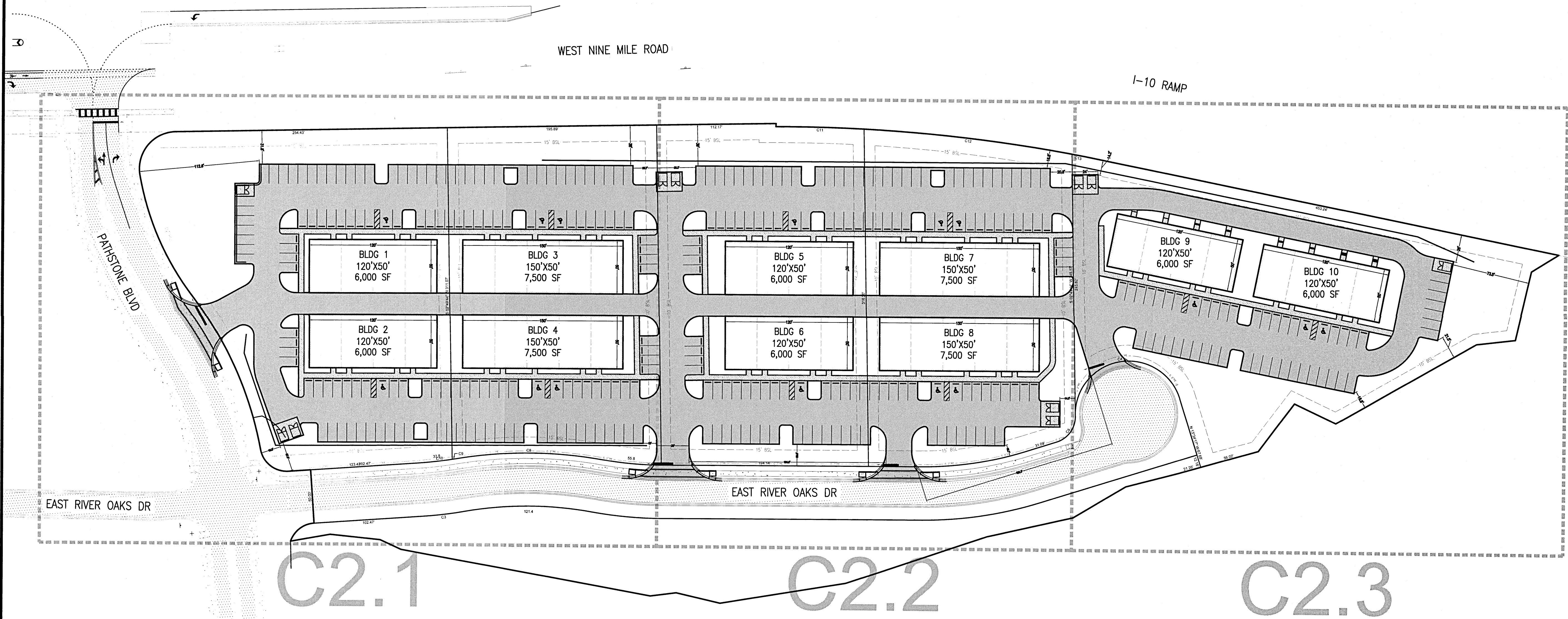
PROJECT NOTE:
TRASH PICK-UP WILL BE PROVIDED BY
SCREENED ON-SITE DUMPSTERS

PARKING CALCULATIONS:
TOTAL REQUIRED PARKING SPACES
RESTAURANT (15 SPACES / 1,000 SF)
9,000 SF *15/1000 = 135 SPACES
PROFESSIONAL SERVICE OFFICE (3.5 SPACES / 1,000 SF)
24,000 SF *3.5/1000 = 84 SPACES
RETAIL SALES (3 SPACES / 1,000 SF)
33,000 SF *3/1000 = 99 SPACES
TOTAL PARKING SPACES REQUIRED = 318

TOTAL PARKING SPACES PROVIDED = 330
STANDARD PARKING SPACES = 316
H.C. PARKING SPACES = 14 H.C.

AREA CALCULATIONS:
EXISTING CONDITIONS:
TOTAL EXISTING IMPERVIOUS AREA = 12,244 SF (4%)
TOTAL EXISTING PERVIOUS AREA = 331,115 SF (96%)
TOTAL SITE AREA = 343,359 SF

PROPOSED CONDITIONS:
TOTAL PROPOSED BUILDING AREAS (FOOT PRINTS)= 66,000 SF
TOTAL PROPOSED IMPERVIOUS AREA = 225,864 SF (66%)
TOTAL PROPOSED PERVIOUS AREA = 117,495 SF (34%)
TOTAL SITE AREA = 343,359 SF



RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: (904) 438-4360
Fax: (904) 438-4360
EEO 00029597, LB 9196

**OVERALL
SITE LAYOUT**

**FALLCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBIA COUNTY, FLORIDA**

No.	DATE	REVISION

SEAL

NOT FOR CONSTRUCTION

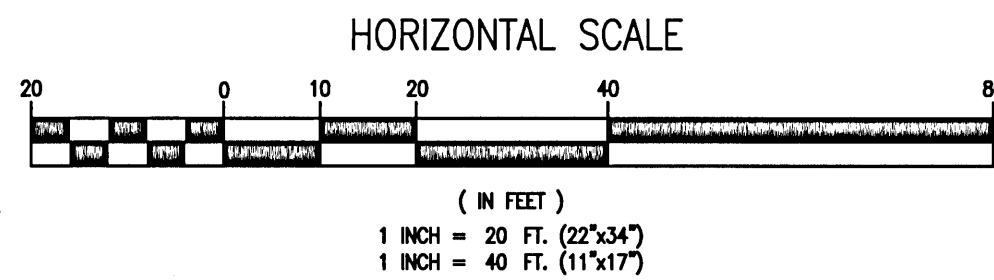
JEREMY R. KING, P.E.
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DRAWING No.

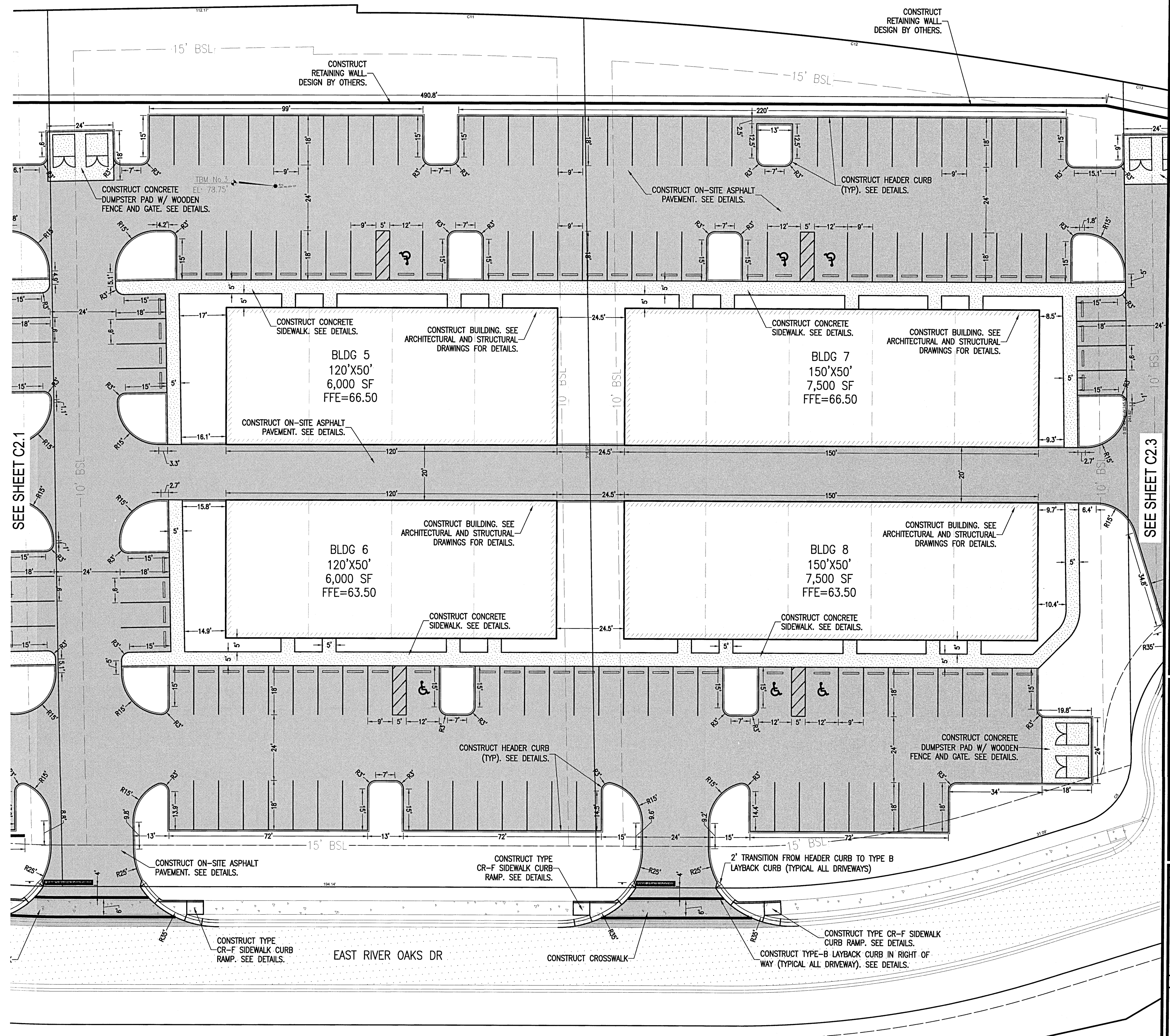
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LEGEND

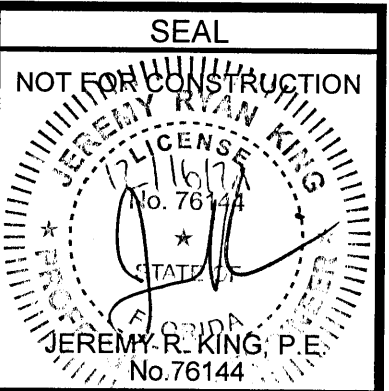
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE



 **REBOL-BATTLE & ASSOCIATES**
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 904/480-4300 Fax: 904/438-0448
EO 00009657 L57916

SITE LAYOUT & DIMENSION PLAN

FALLCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

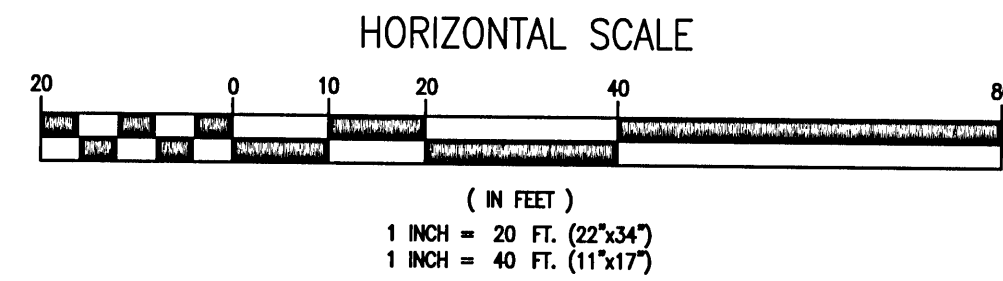
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Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021




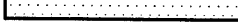
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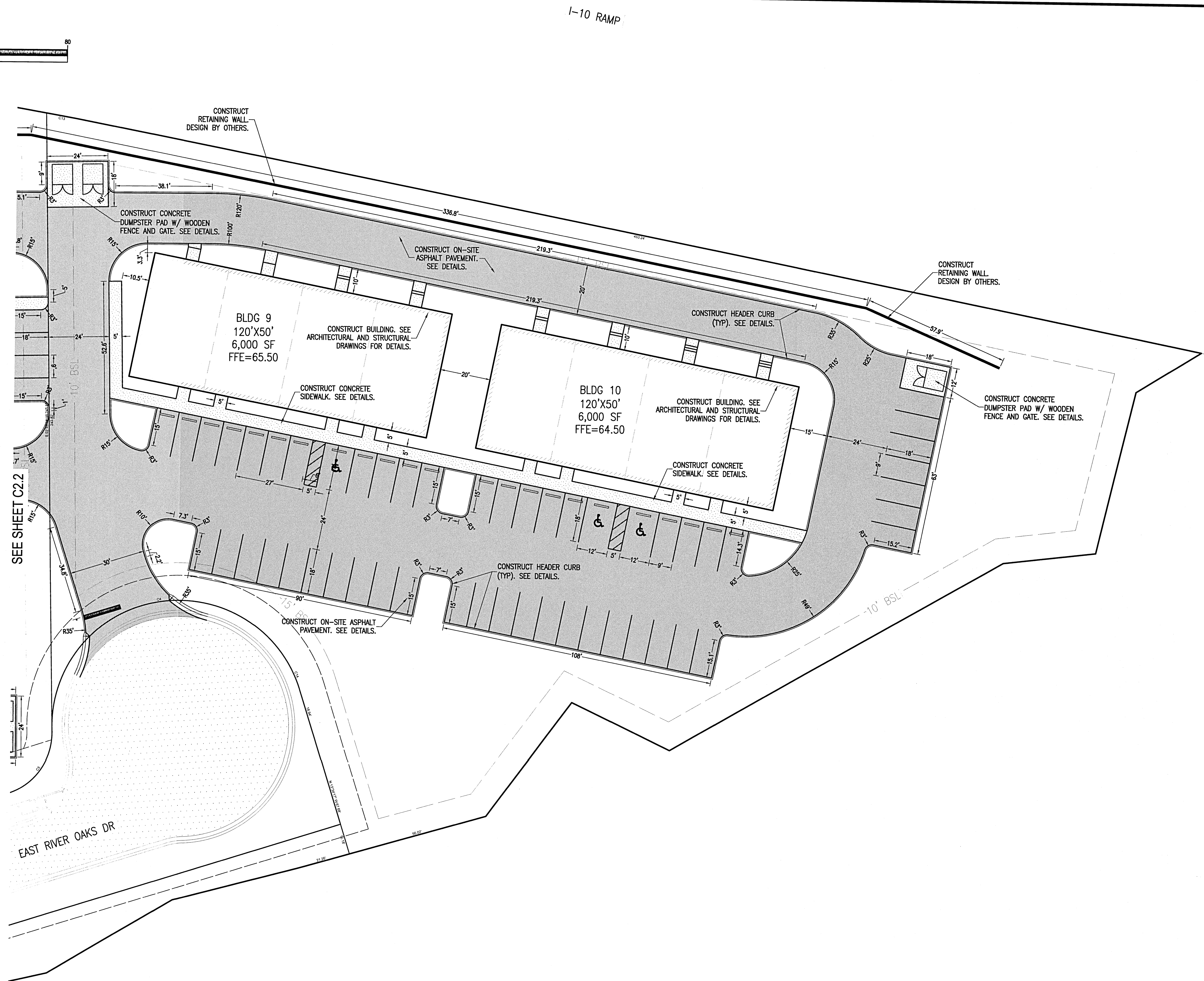
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LEGEND

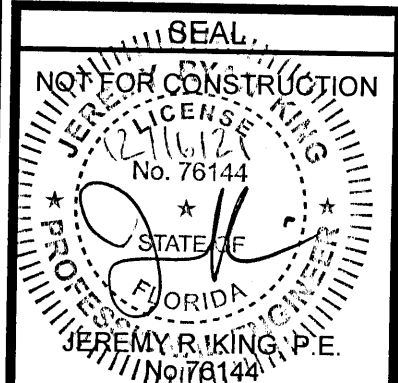
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300

SITE LAYOUT & DIMENSION PLAN

**FALLCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

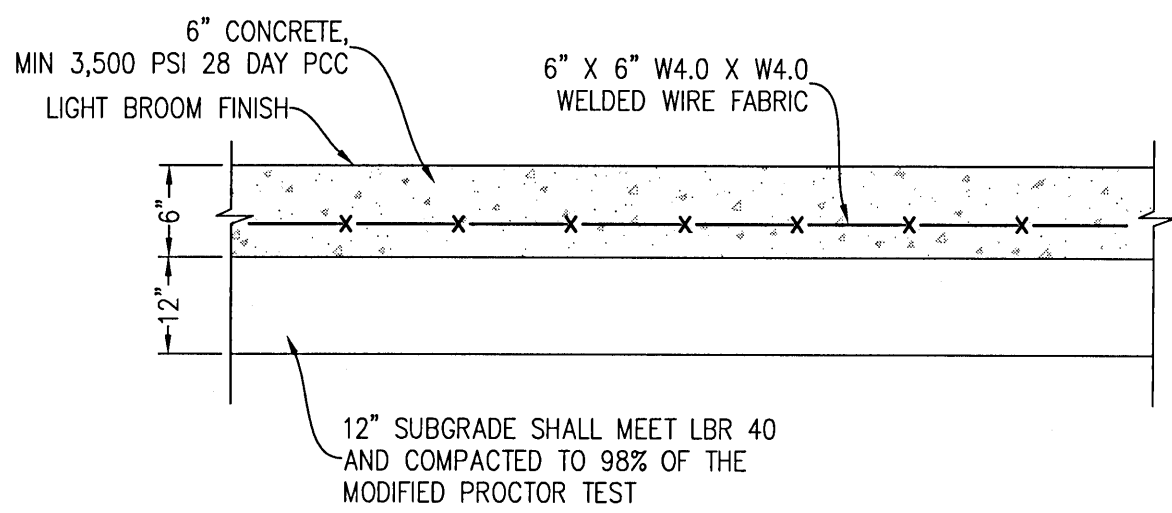
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Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

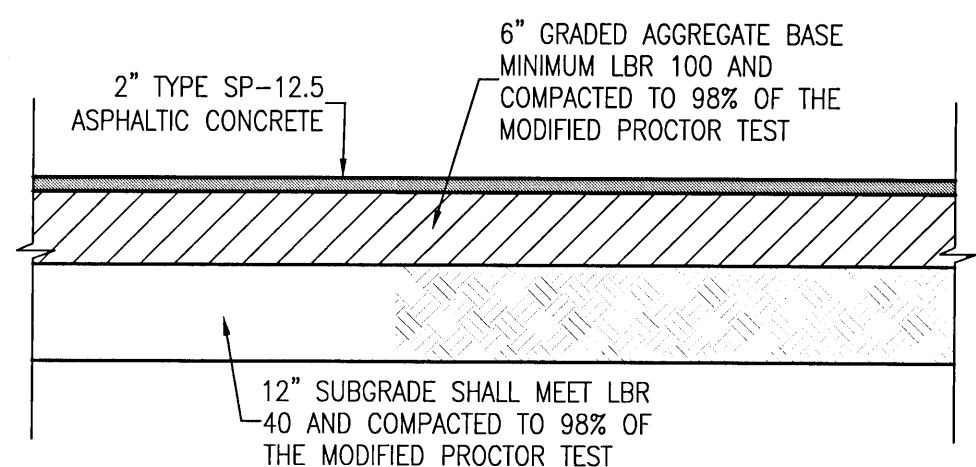
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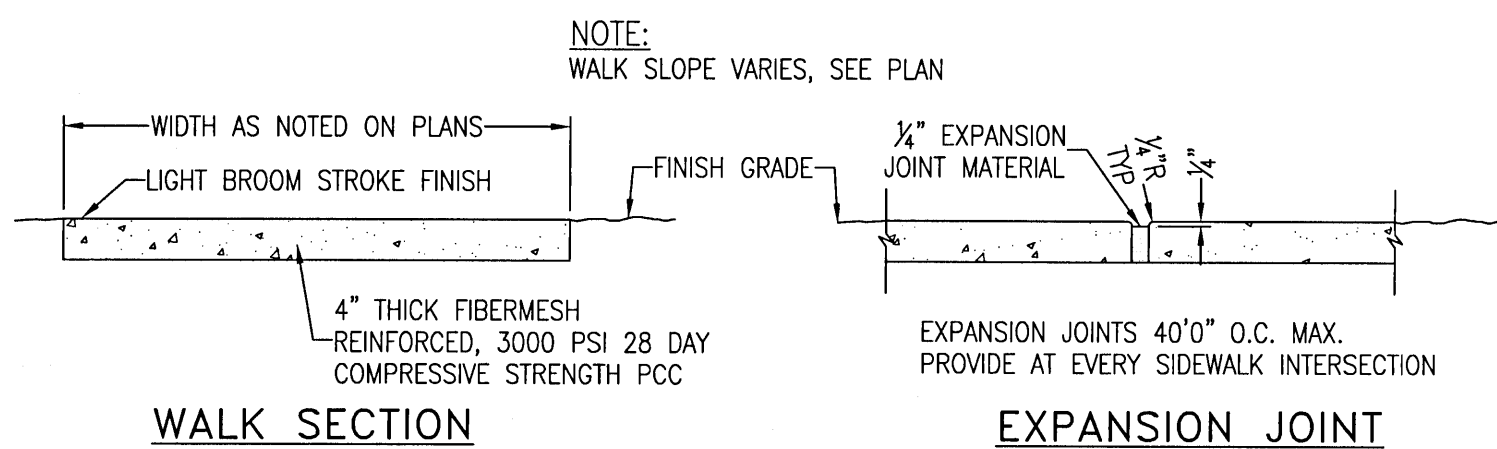
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CONCRETE PAVING DETAIL
N.T.S.

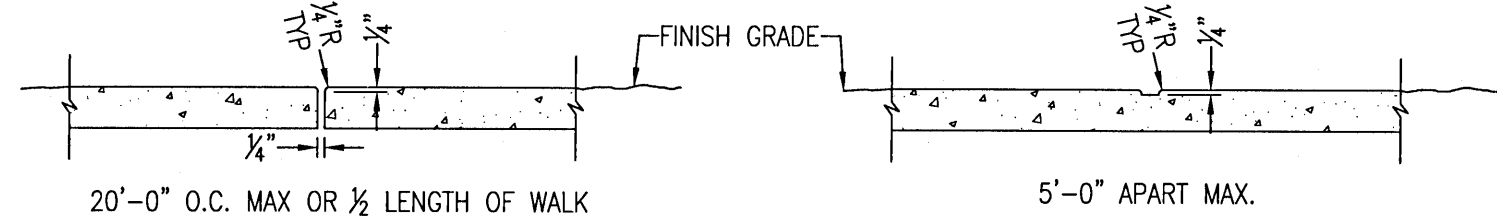


ON-SITE ASPHALT PAVING DETAIL
N.T.S.



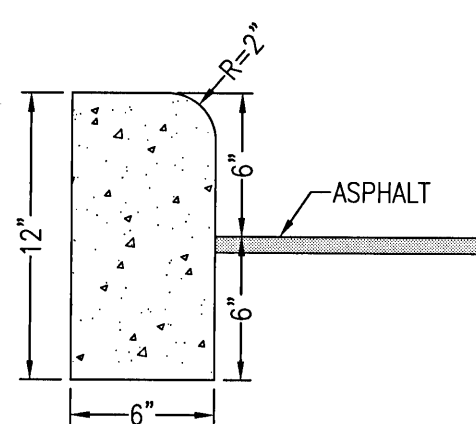
WALK SECTION

EXPANSION JOINT



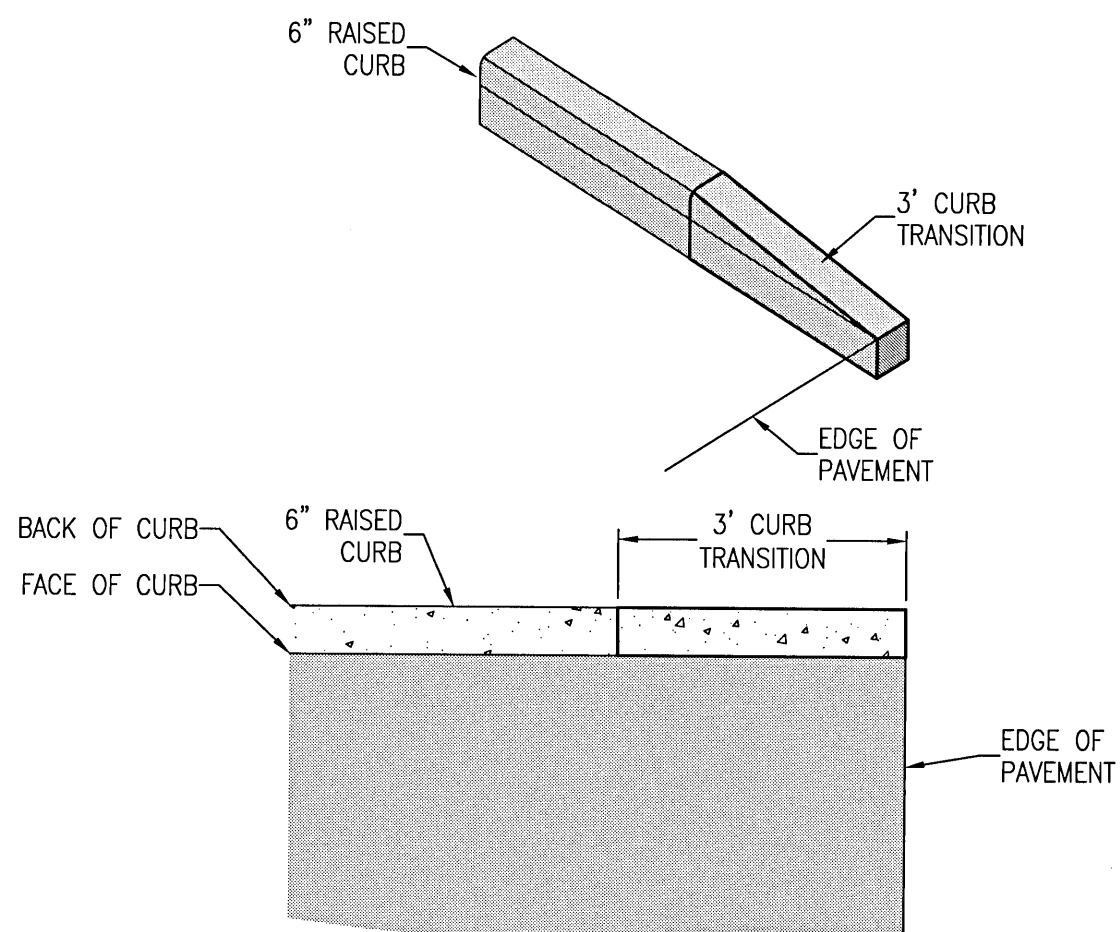
CONSTRUCTION JOINT

DUMMY GROOVE

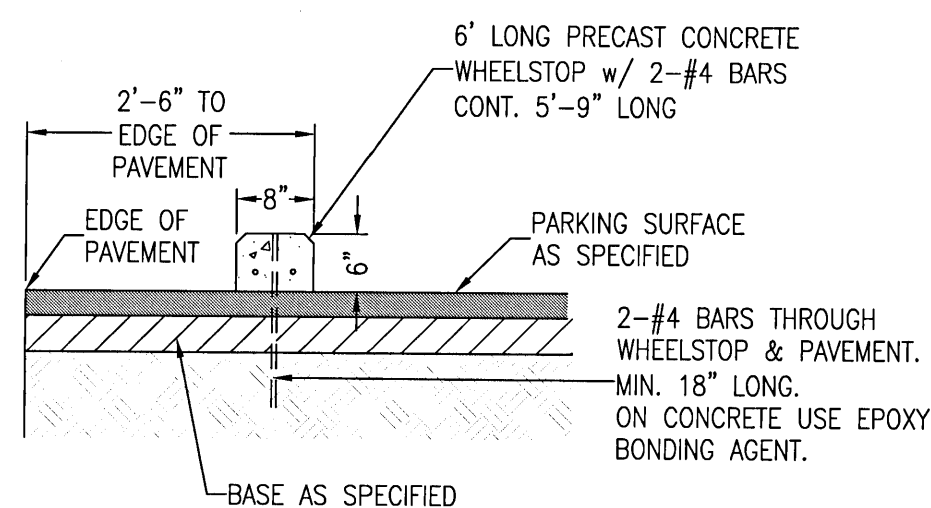


6" RAISED CURB
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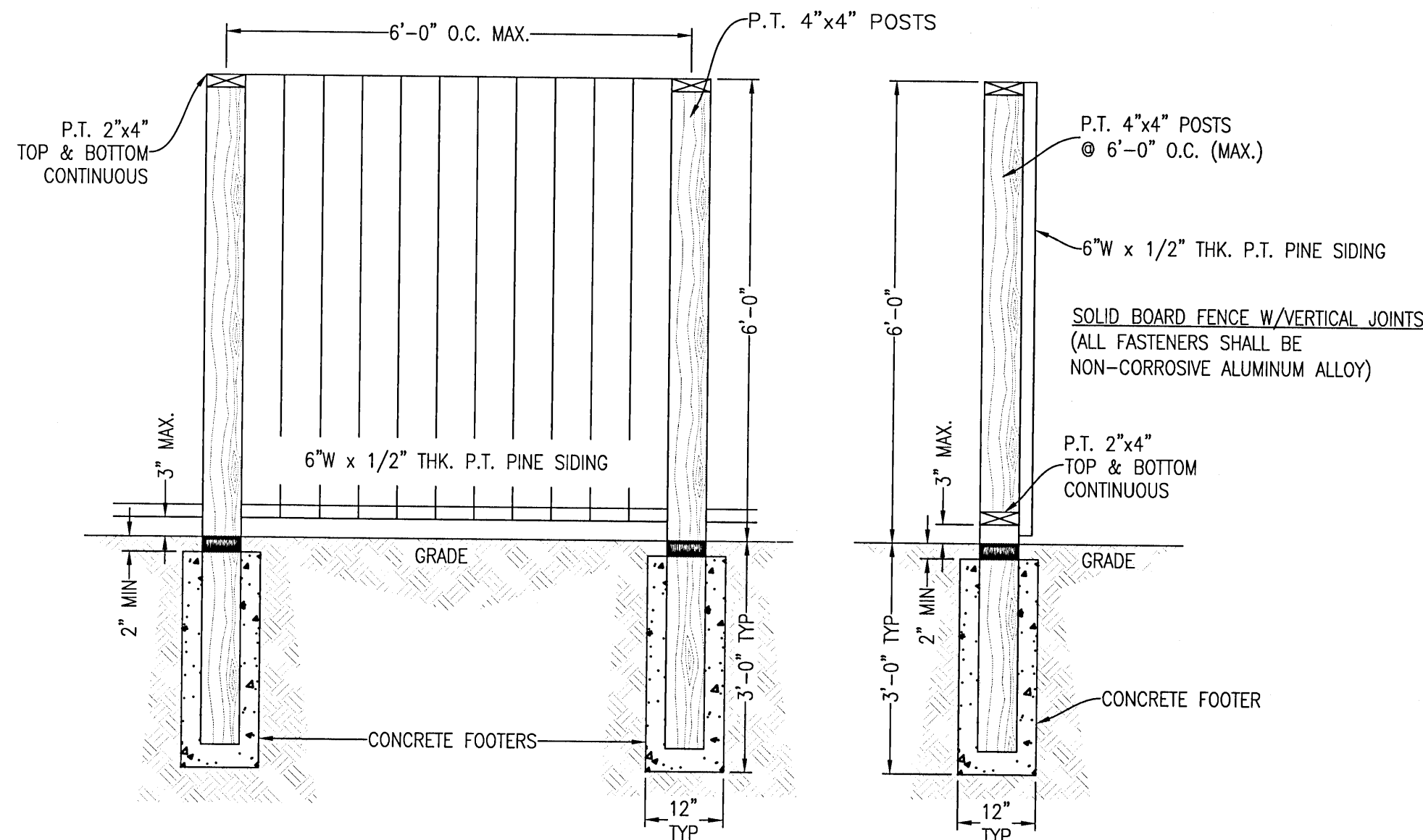
- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.



CURB TRANSITION
6" RAISED TO ASPHALT
N.T.S.

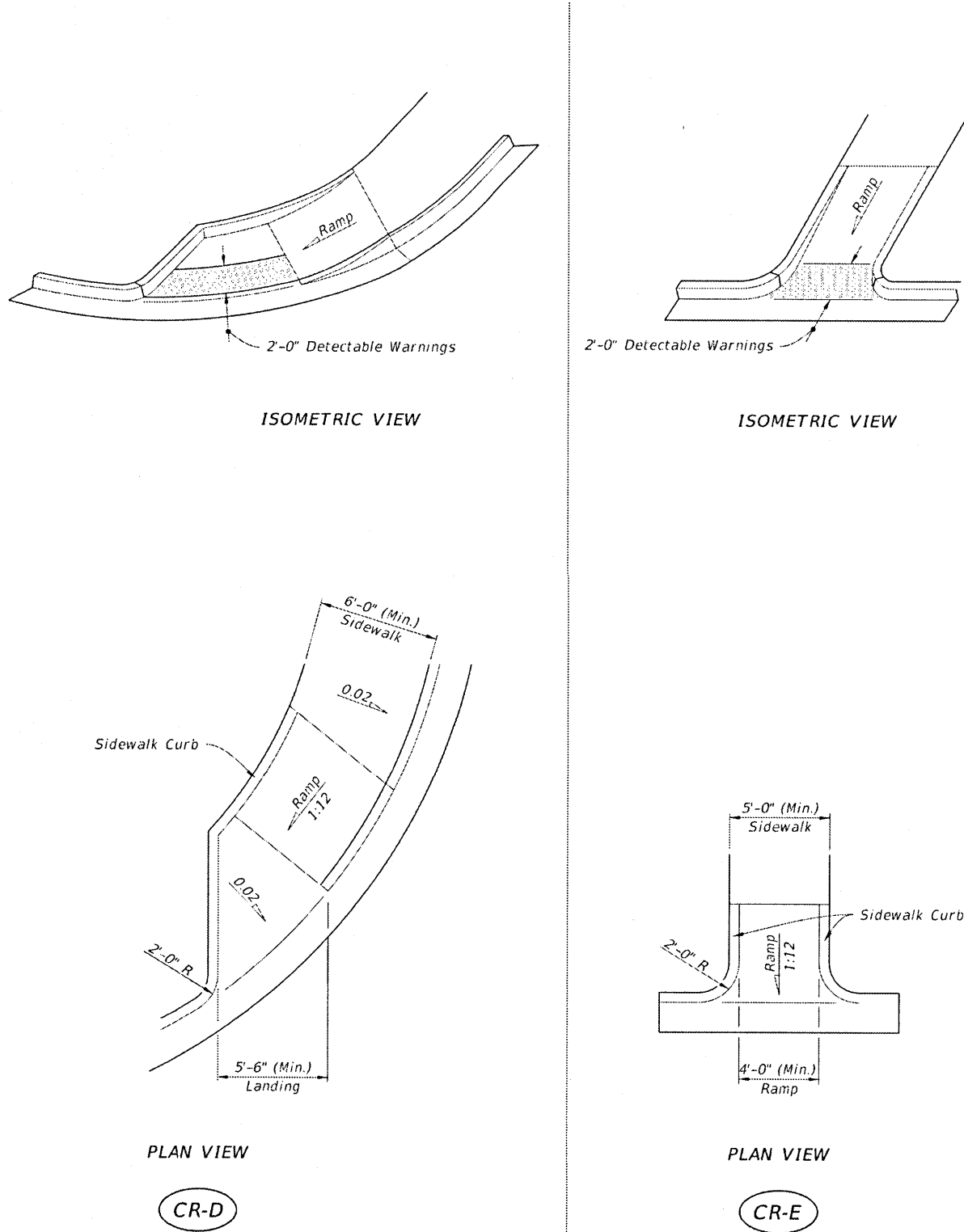


WHEEL STOP DETAIL
N.T.S.



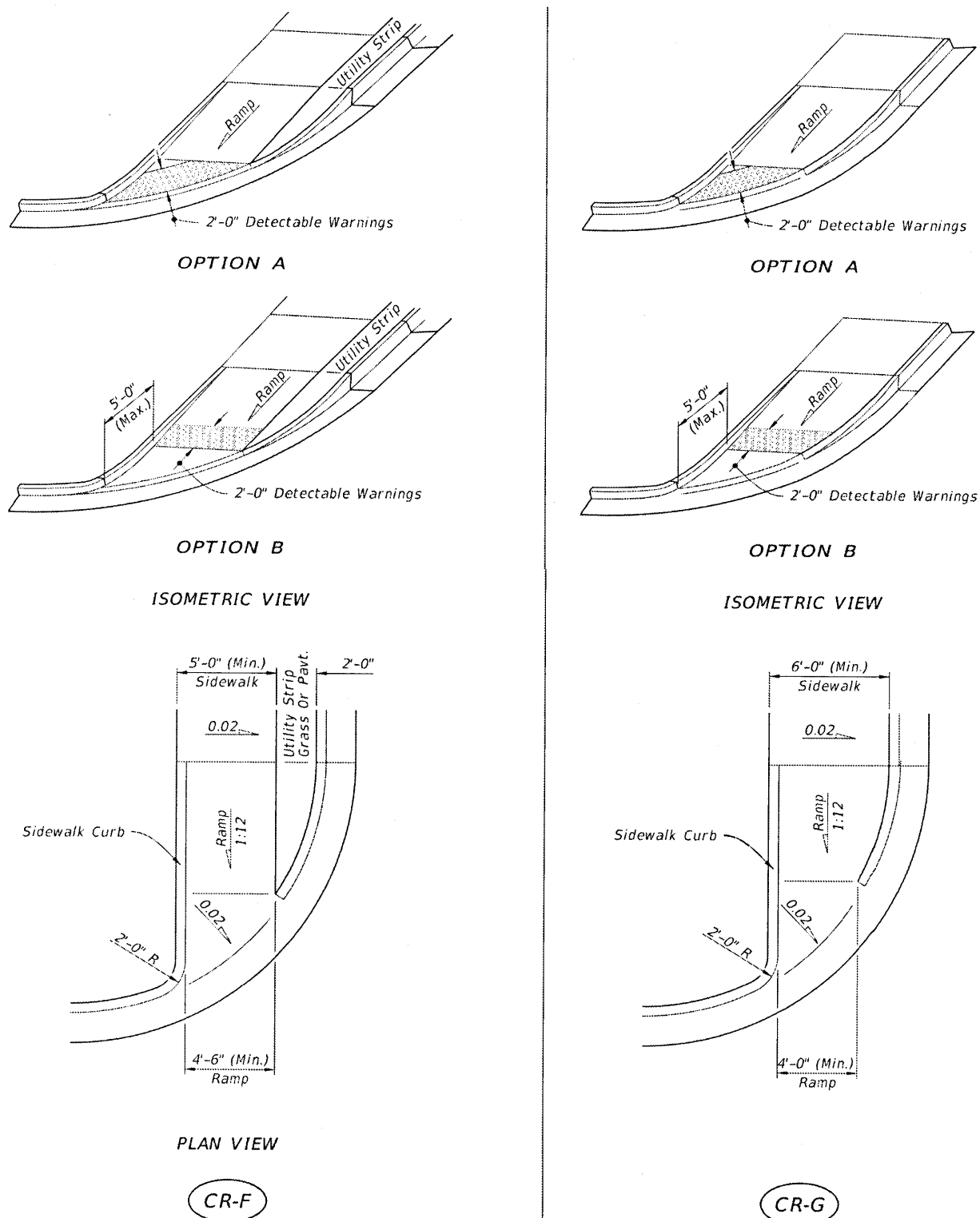
WOOD FENCE DUMPSTER ENCLOSURE DETAIL
N.T.S.

NOTE: DUMPSTER ENCLOSURE GATES AND WALLS WILL BE FUNCTIONALLY OPAQUE



CR-D

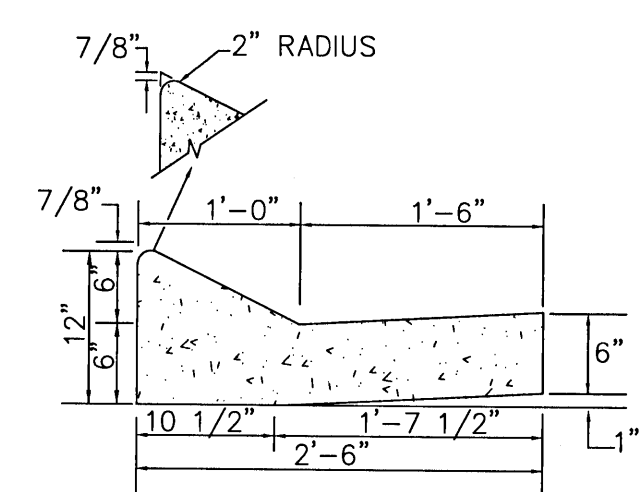
CR-E



CR-F

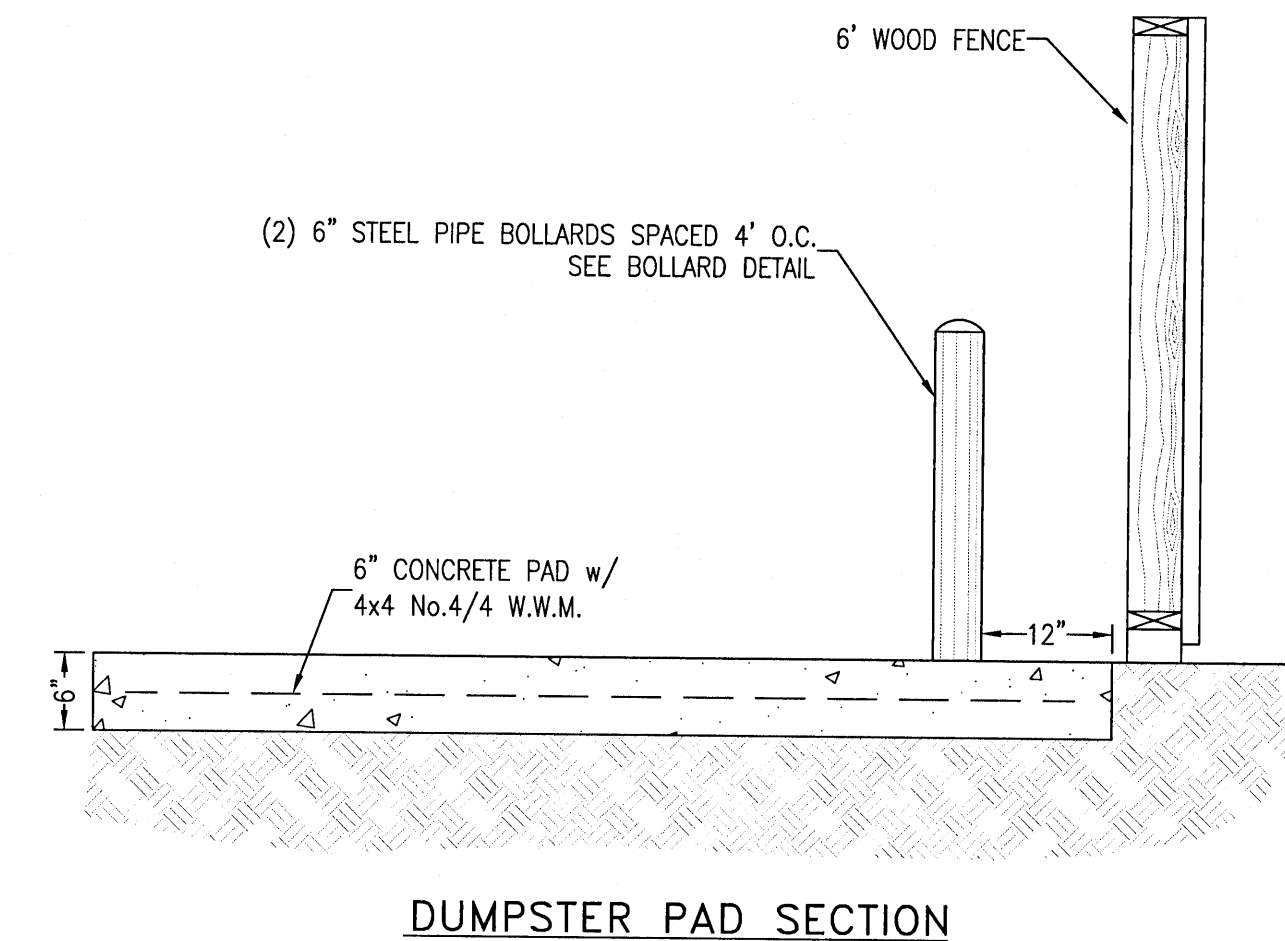
CR-G

SIDEWALK CURB RAMPS CR-D, CR-E, CR-F & CR-G

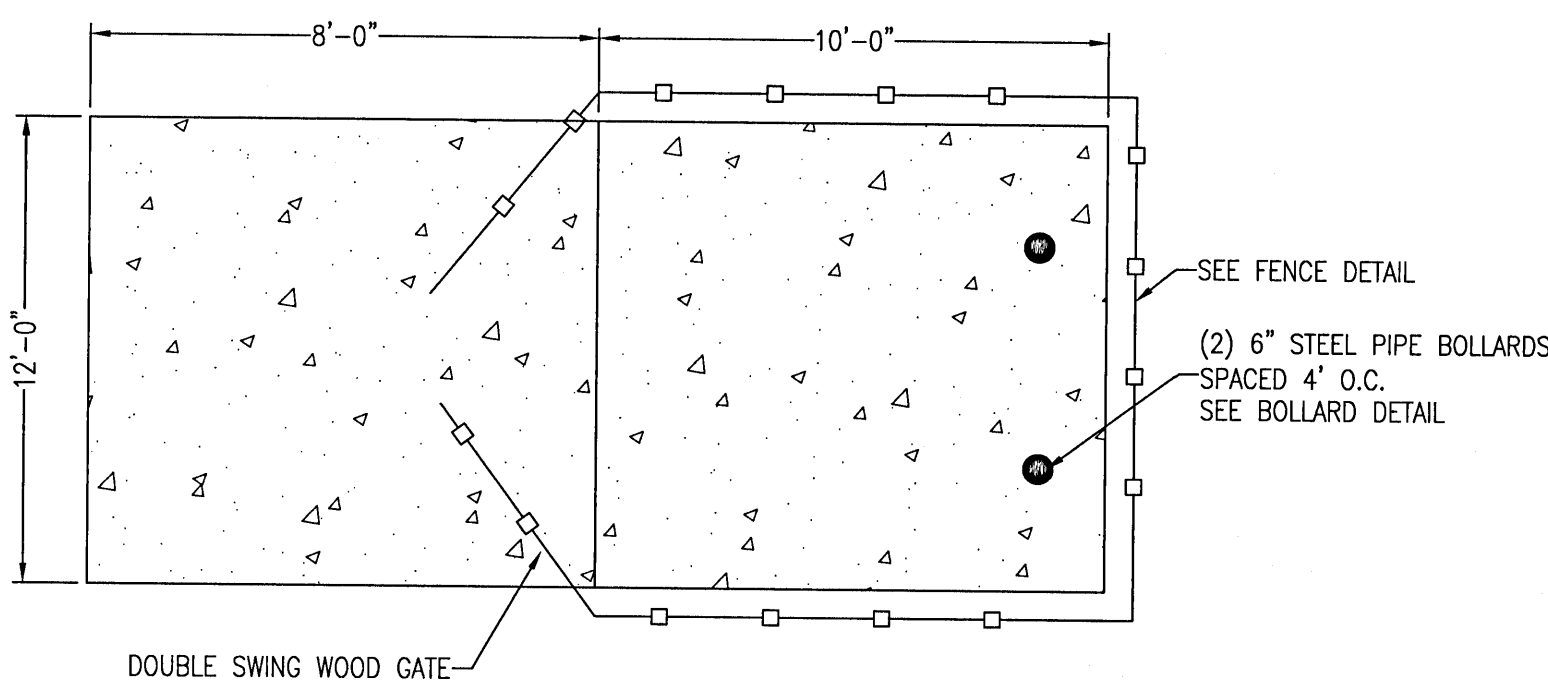


- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

LAYBACK CURB & GUTTER
N.T.S.



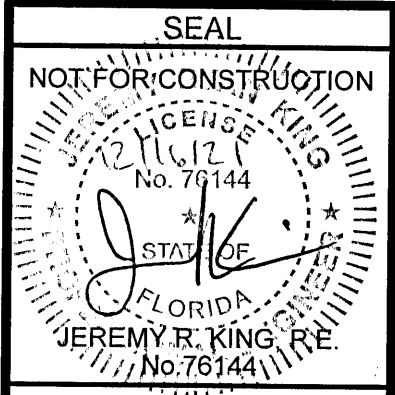
DUMPSTER PAD SECTION



DUMPSTER PAD PLAN VIEW

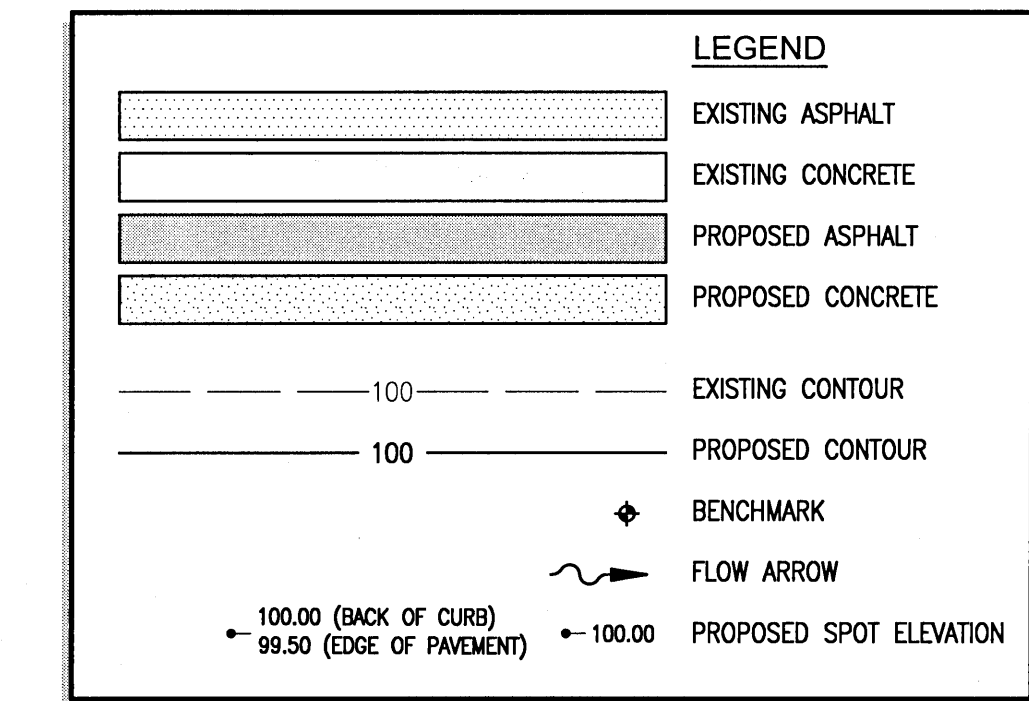
DUMPSTER PAD DETAIL
N.T.S.

REVISION	DATE	BY	CHK



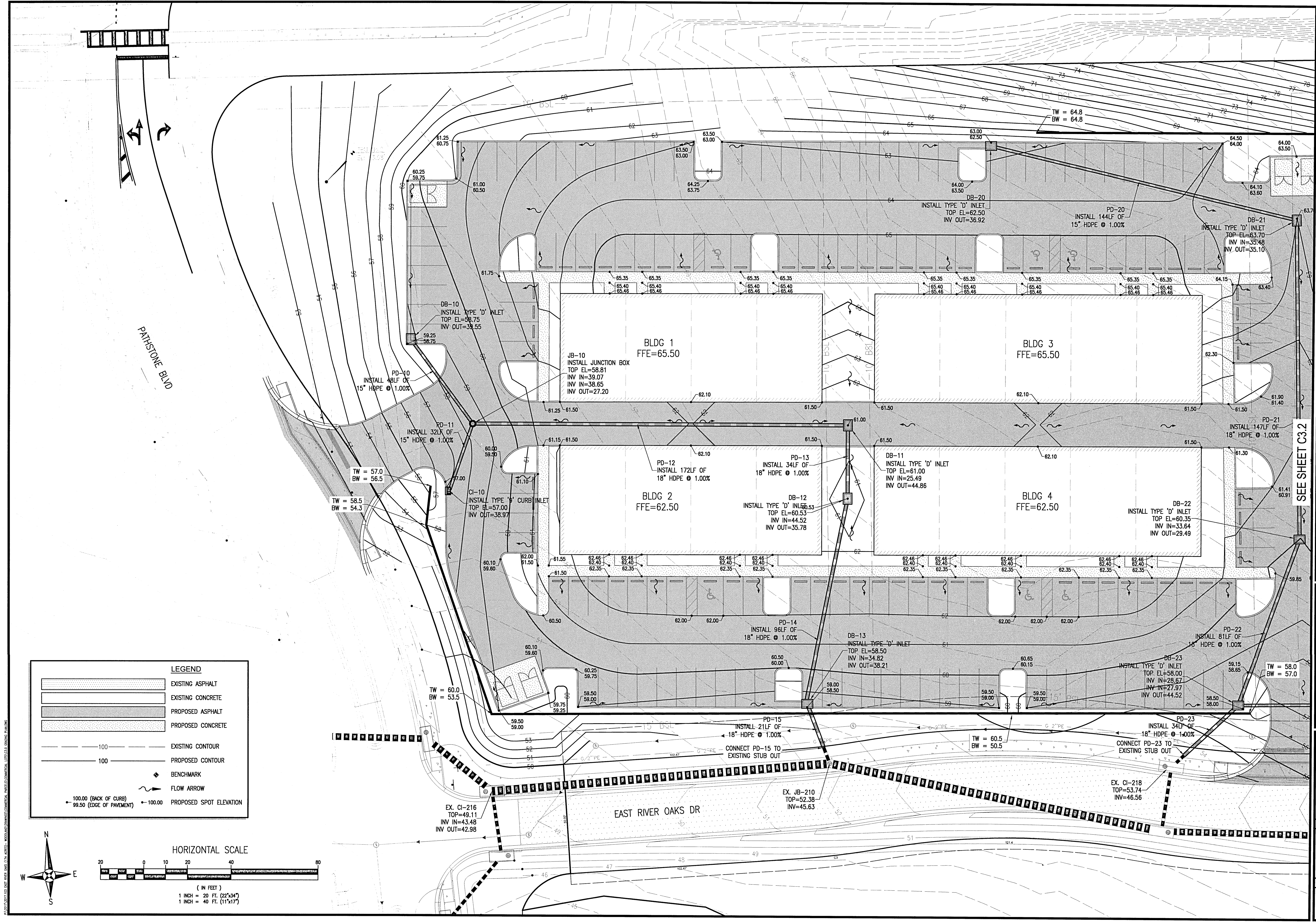
Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.
C2.4



RETAINING WALL (DESIGN BY OTHERS).
CONTRACTOR TO OBTAIN A SEPARATE BUILDING
PERMIT FOR ANY RETAINING WALL GREATER
THAN 2' IN HEIGHT PRIOR TO CONSTRUCTION.

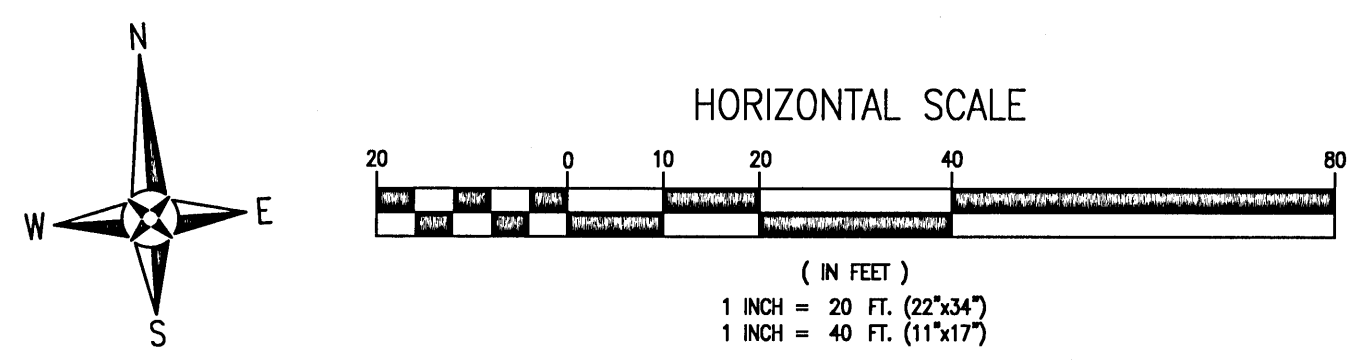
C3.0



LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	PROPOSED SPOT ELEVATION

100.00 (BACK OF CURB)
99.50 (EDGE OF PAVEMENT)



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GRADING & DRAINAGE PLAN

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

NOT FOR CONSTRUCTION

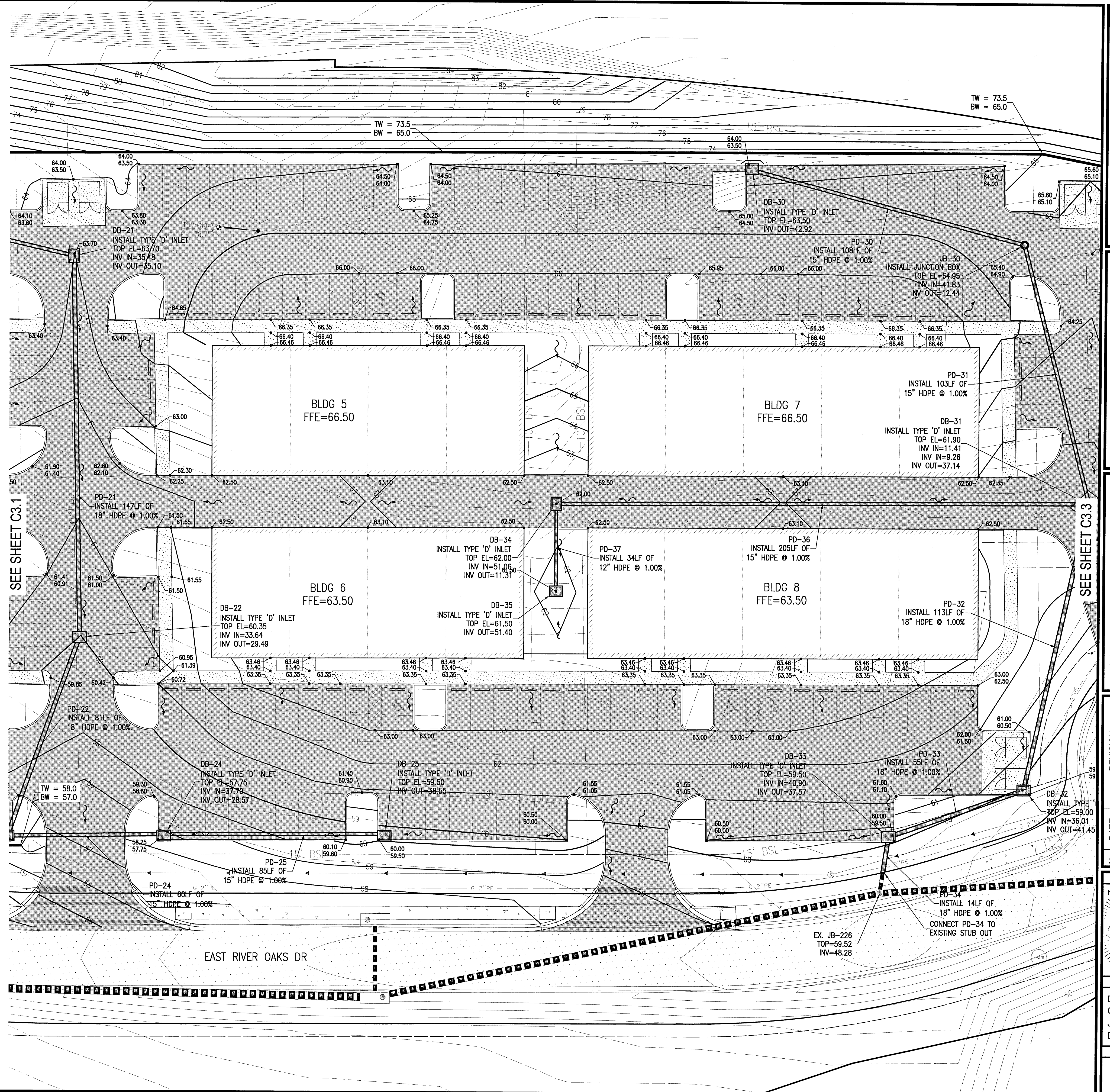
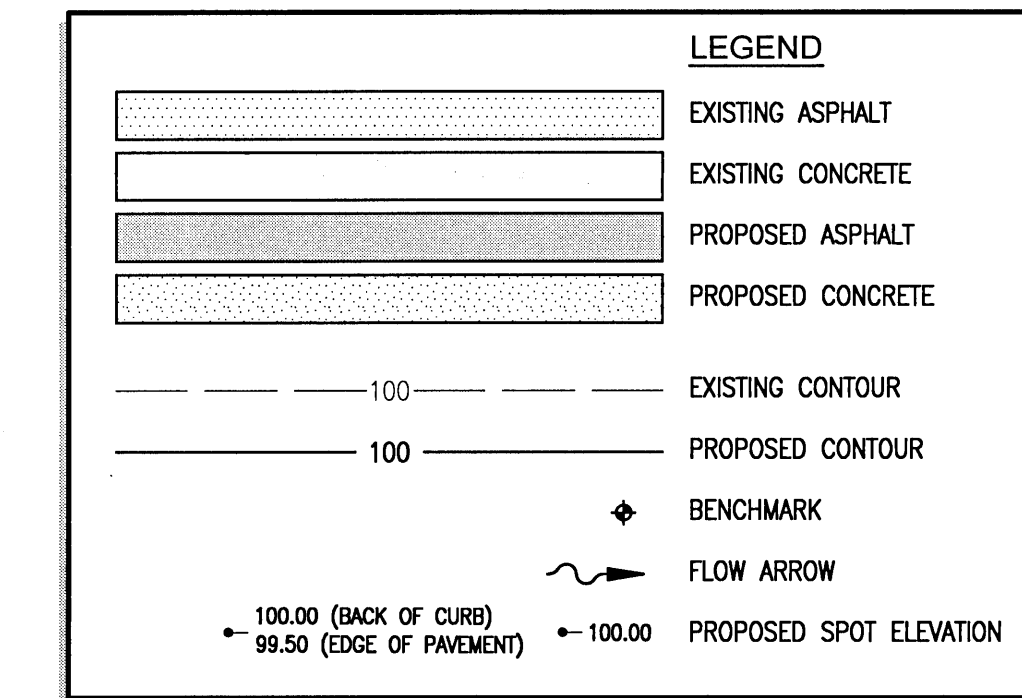
JEREMY R. KING, P.E.
No. 76124
STATE OF FLORIDA


Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.

C3.1

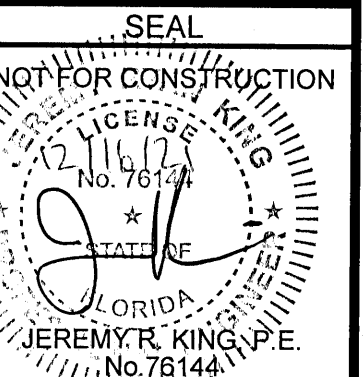
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EB 0003657 LB7916

GRADING & DRAINAGE PLAN

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

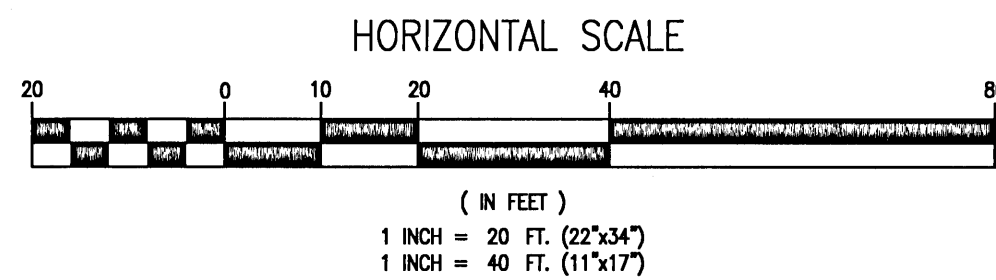
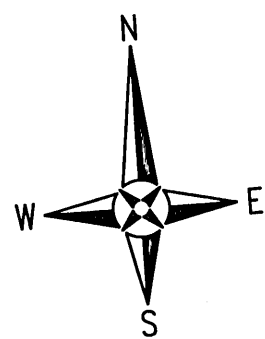
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Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

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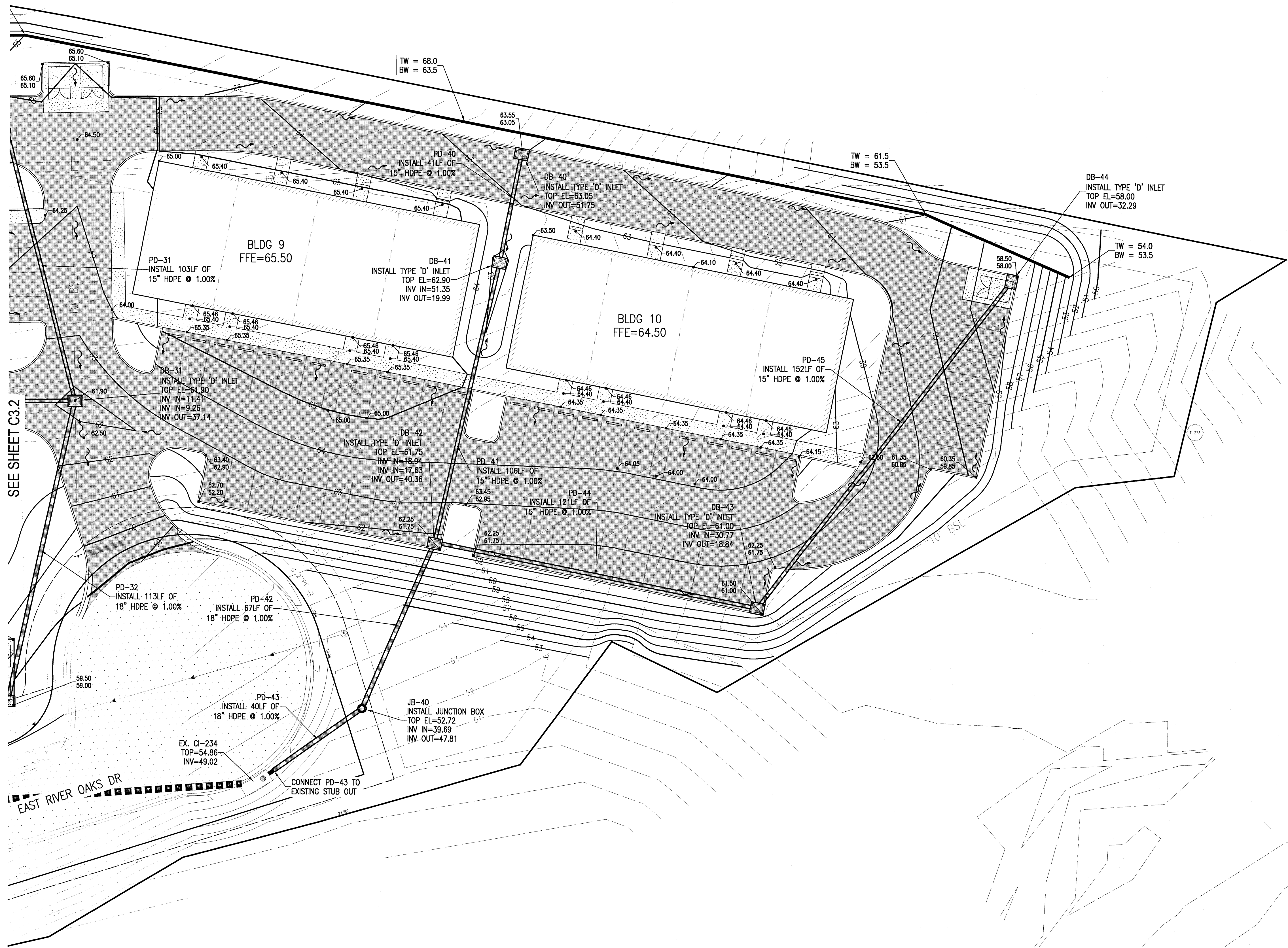
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LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)
	100.00 PROPOSED SPOT ELEVATION



RBA

REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

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Telephone: 904.438.4448
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E-mail: RBA@RBA-FLA.COM

GRADING & DRAINAGE PLAN

**FALLCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

SEAL

NOT FOR CONSTRUCTION

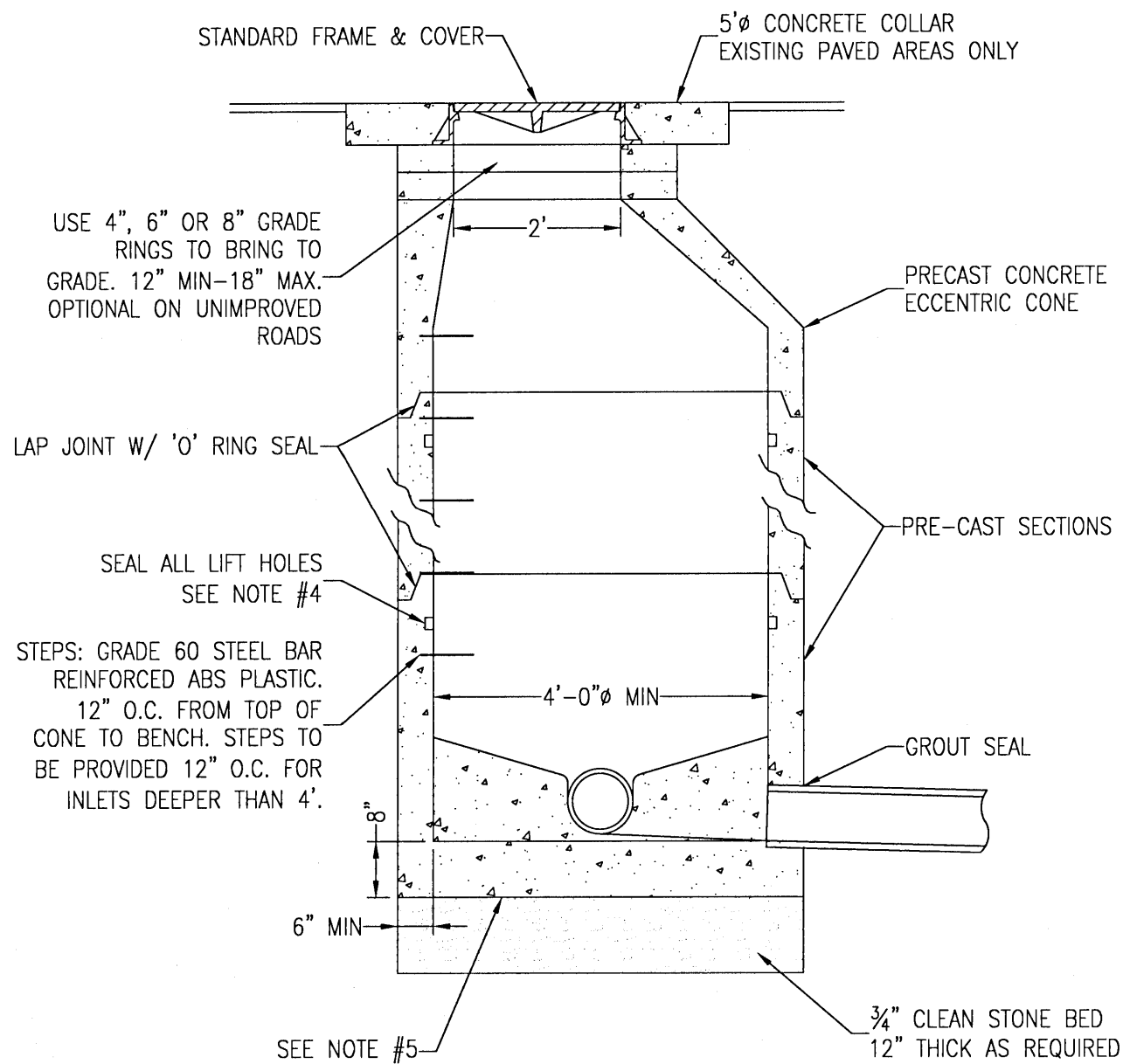
JEREMY R. KING, P.E.
No. 76144

Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

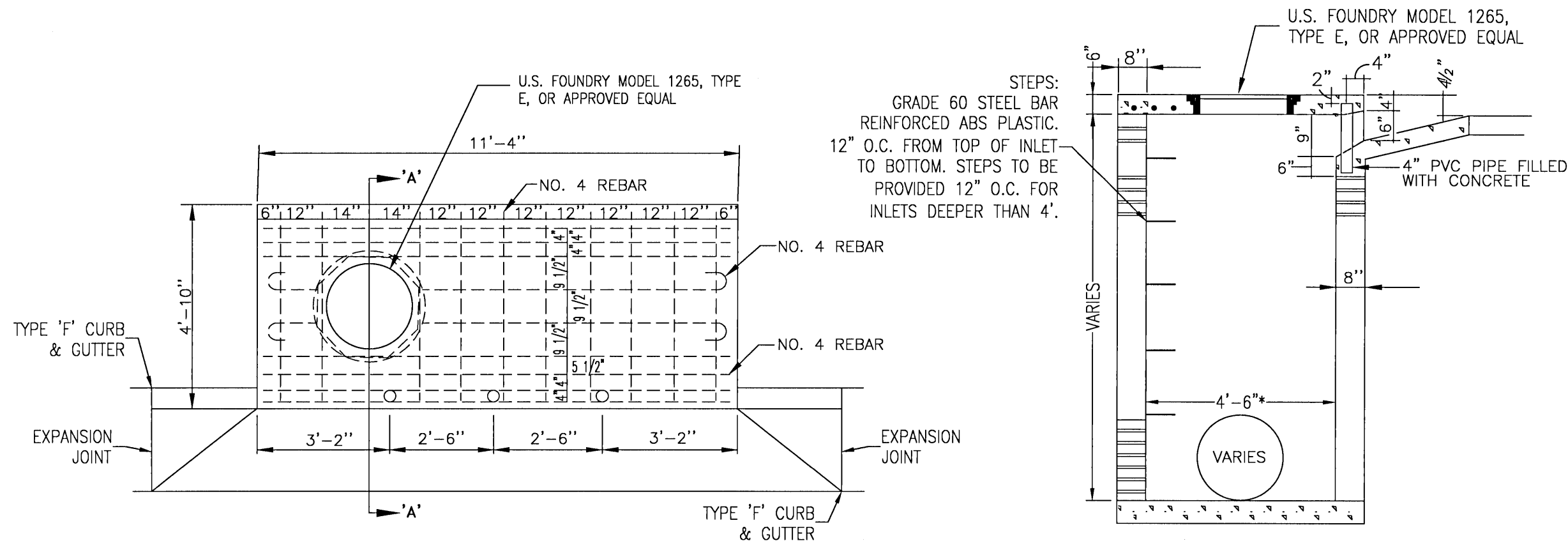
DRAWING No.
C3.3

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- NOTES:
- MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
 - DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
 - JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC GASKET OR EQUAL.
 - ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
 - CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTMA C-478.
 - CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.

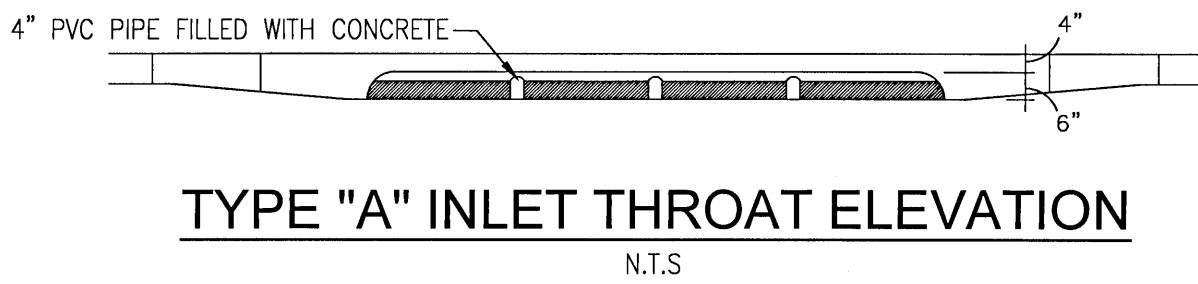


STORMWATER MANHOLE DETAIL
N.T.S.

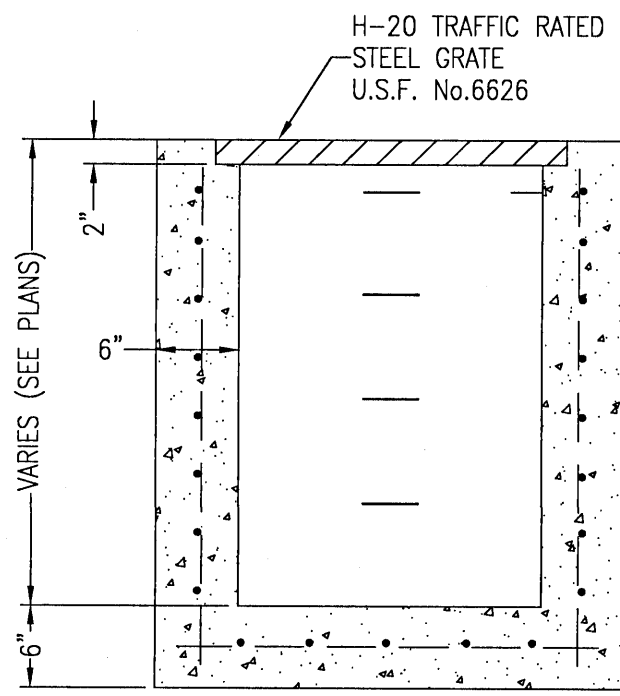
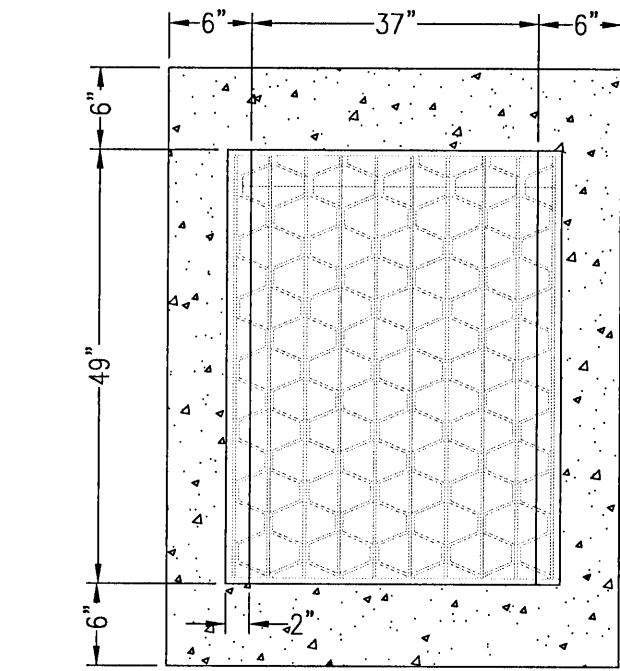


PLAN VIEW
TYPE "A" CURB INLET DETAIL
N.T.S.

SECTION A-A
TYPE "A" CURB INLET DETAIL
N.T.S.



TYPE "A" INLET THROAT ELEVATION
N.T.S.

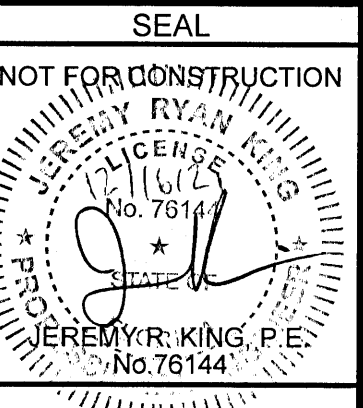


FDOT TYPE 'D' INLET
N.T.S.

GRADING & DRAINAGE PLAN
DETAILS

FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

No.	DATE	REVISION



Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.

C3.4

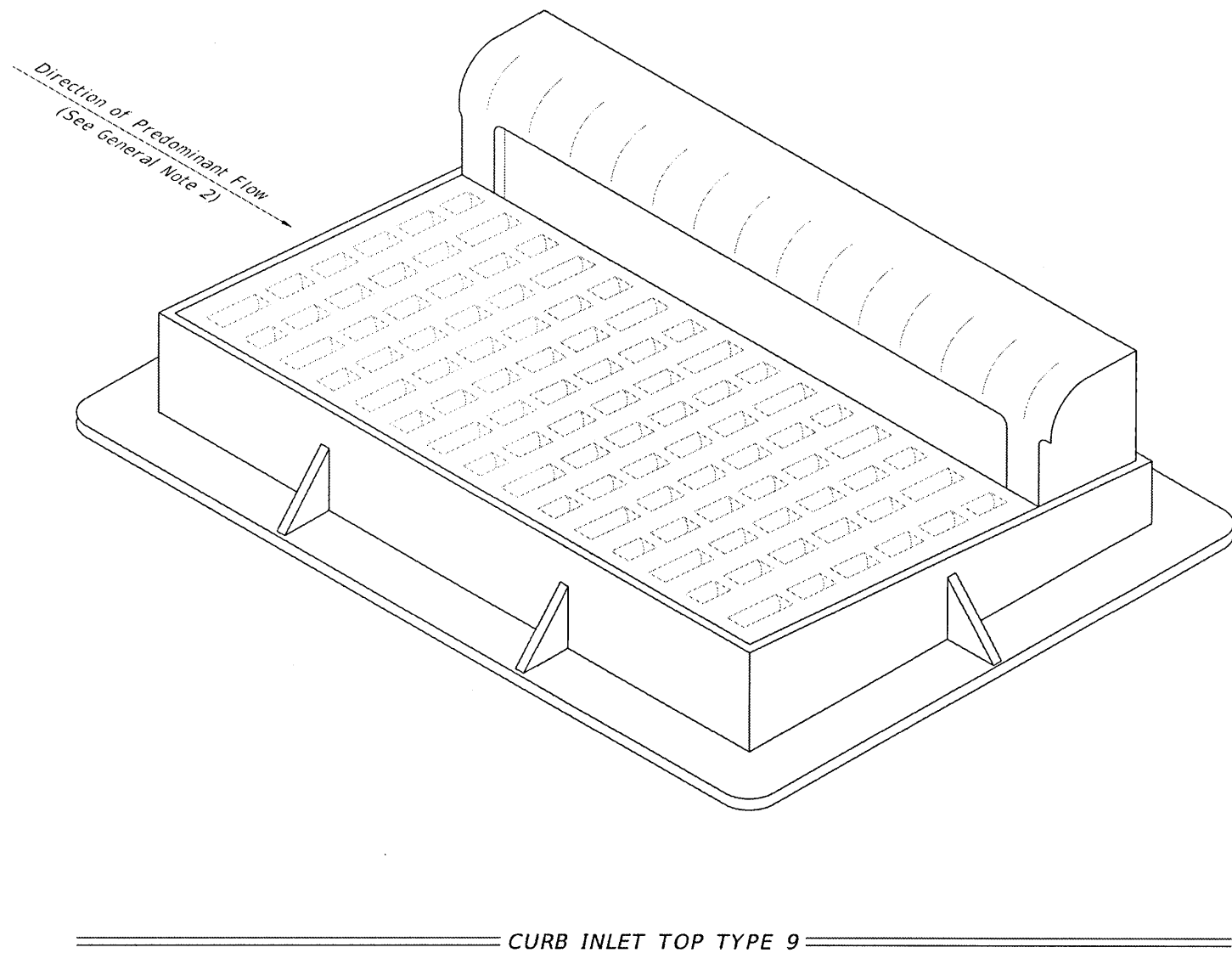
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Tampa, Florida 33606
Telephone 813.438.0400 Fax 813.438.0448
EB 0009557 LB7916

10/12/2020 4:45:58 AM
10/12/2020 4:46:51 AM
10/12/2020 4:46:57 AM
F:\DATA\2017\103\LAST\NOTE\DWG (174 ACRES) - WOODLAND DRAMMIS COMMERCIAL INDEVELOP COMMERCIAL LOT/VEHICLE DRIVING GRADING

GENERAL NOTES:

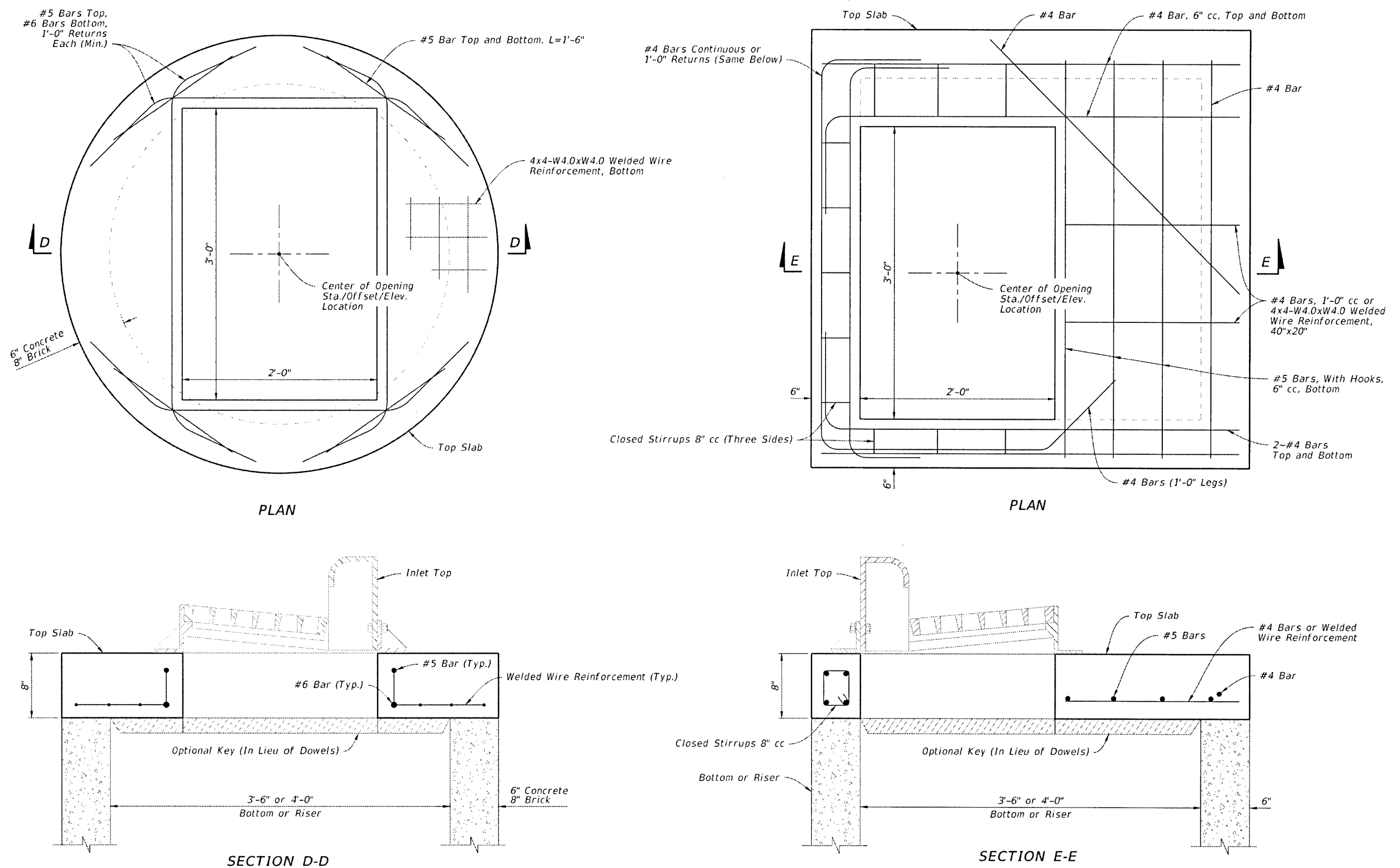
1. Work this Index with Index 425-001 and Index 425-010.
2. Orient grate with vanes directed toward predominant flow.
3. Provide 1 1/2" minimum cover for steel in slab tops unless otherwise shown. Tops may be either cast-in-place or precast concrete.
4. Place top slab openings such that 2 edges of inlet frame will be located directly above bottom wall or riser wall for Alternate B applications...
5. When used on a structure with dimensions larger than those detailed on Sheet 3 and risers are not applied, construct the top slab using Index 425-010 with the slab opening adjusted to 24"x36". The "Special Top Slab" on Index 425-010 is not permitted.
6. Frame may be adjusted with one to six courses of brick.
7. Vaned grates with approximately equal openings that satisfy AASHTO HL-93 loading are permitted. Provide reversible (right or left) grates.

TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Frame and Grate Details
3	Top Slab Details



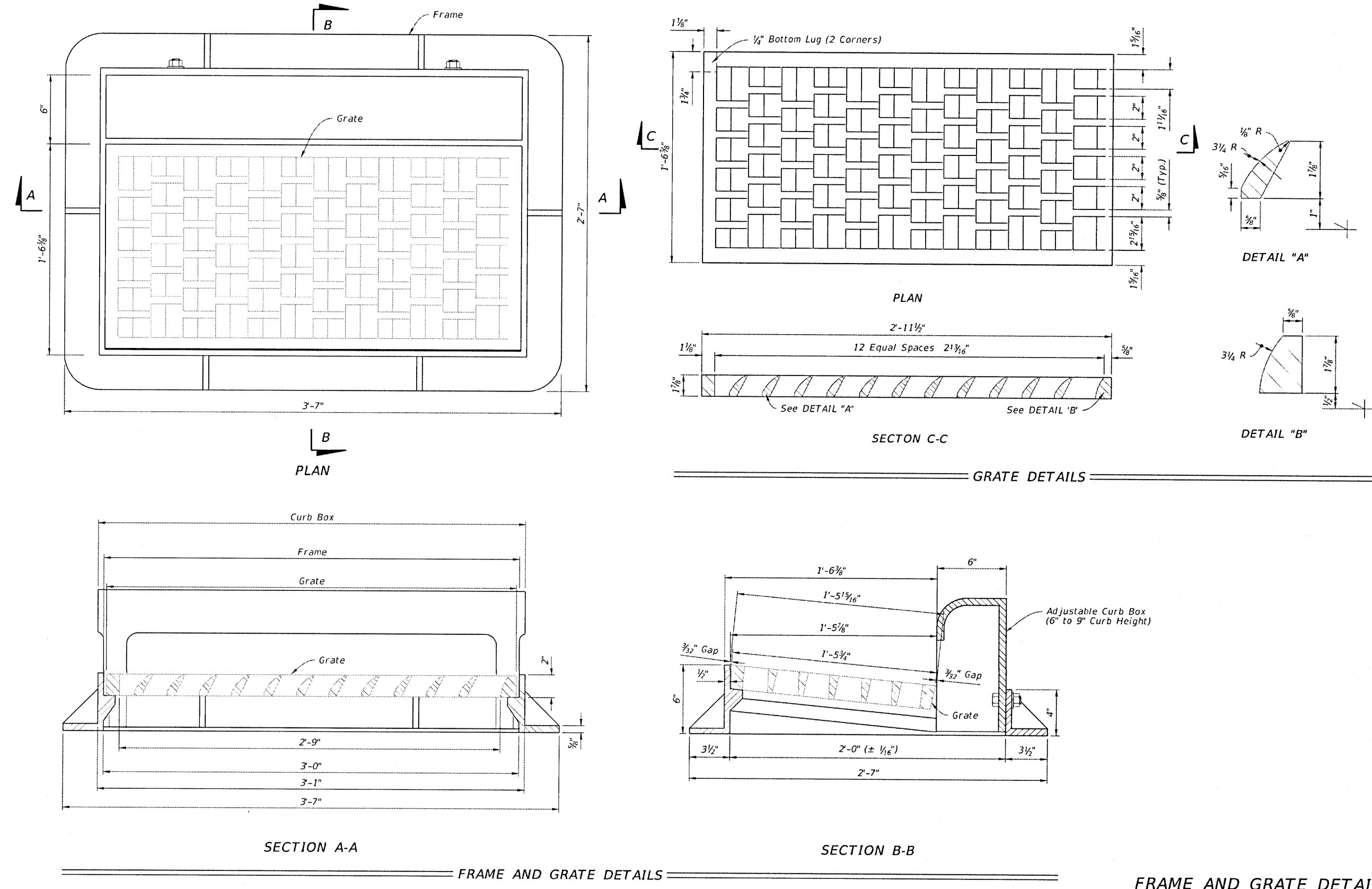
CURB INLET TOP TYPE 9

LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	INDEX	SHEET
11/01/20			STANDARD PLANS	425-024	1 of 3



TOP SLAB DETAILS

LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	INDEX	SHEET
11/01/20			STANDARD PLANS	425-024	3 of 3



FRAME AND GRATE DETAILS

FRAME AND GRATE DETAILS

LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	INDEX	SHEET
11/01/20			STANDARD PLANS	425-024	2 of 3

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Fort Lauderdale, FL 33305
Telephone 800.438.0400 Fax 800.438.0448
EEO 00009657 LE7916

GRADING & DRAINAGE PLAN
DETAILS

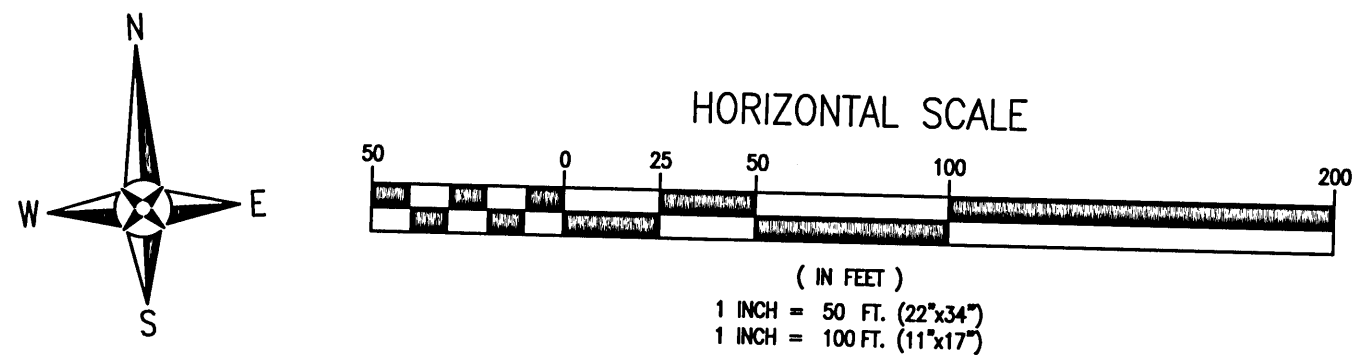
FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
10/16/2020
JEREMY R. KING, P.E.
No. 78144

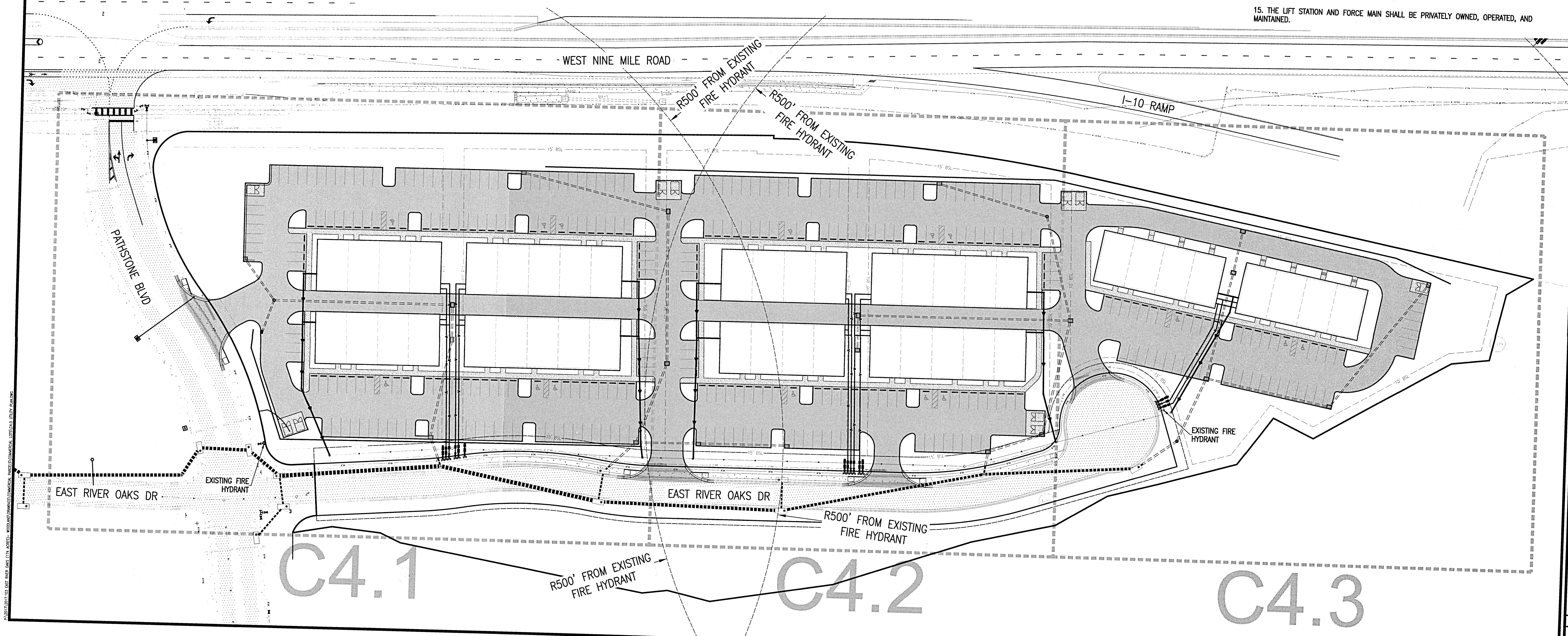
Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021
DRAWING No.
C3.5

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

- UTILITY NOTES:**
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 2. THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 3. ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 4. ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 5. MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 6. THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 7. ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 8. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 9. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 10. ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 11. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBA COUNTY AND THE ECUA GUIDELINES.
 12. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 13. ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
 14. ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
 15. THE LIFT STATION AND FORCE MAIN SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.



RBA
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2301 N. Ninth Avenue, Suite 300
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EEO 0009557, 03-916

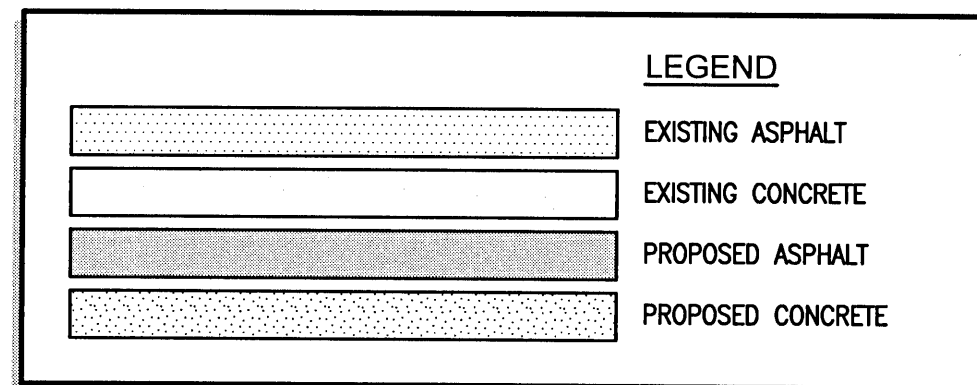
**OVERALL
UTILITY PLAN**

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

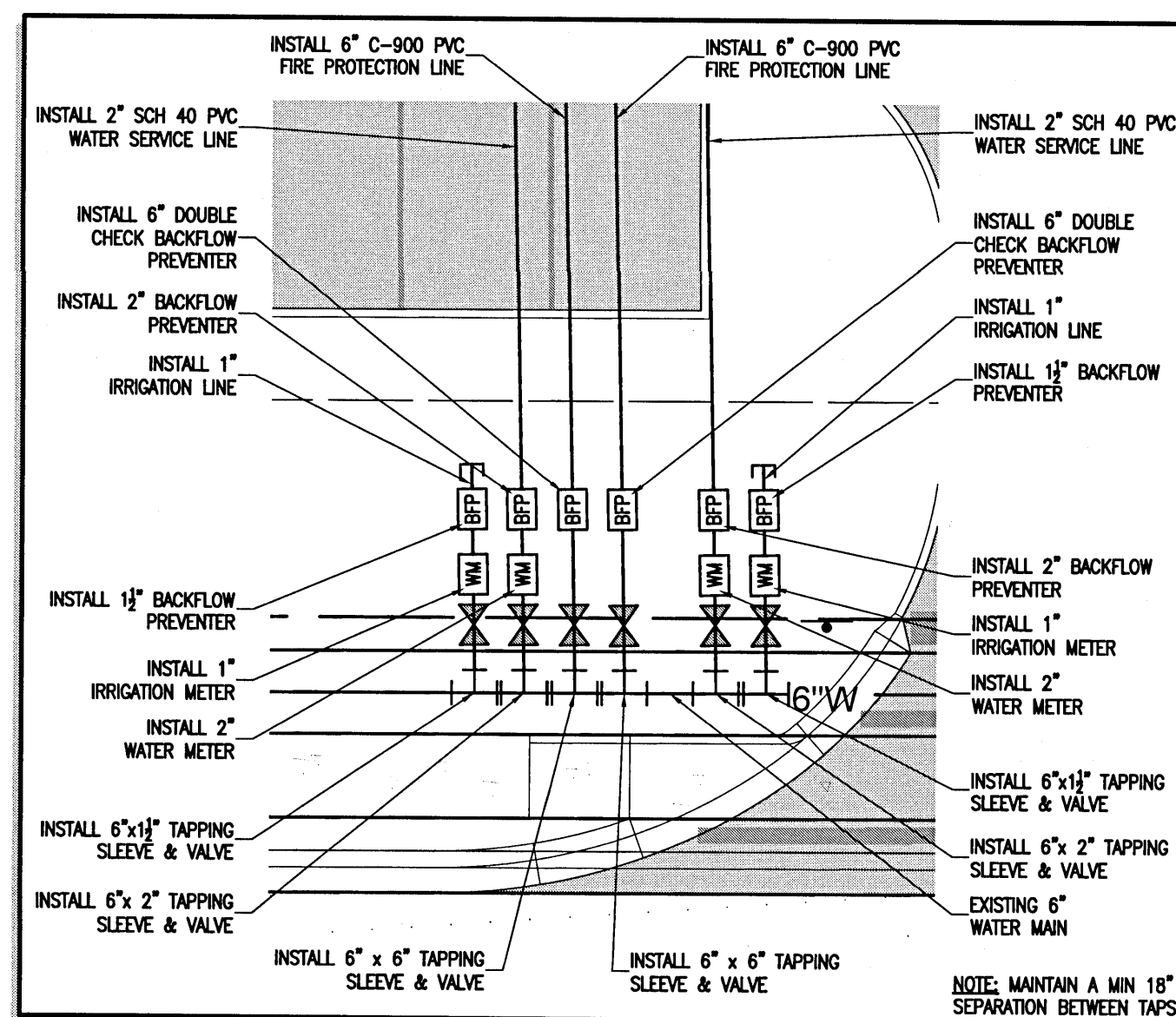
NOT FOR CONSTRUCTION
FLORIDA
JEREMY R. KING, P.E.
No. 78144

Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021
DRAWING No.
C4.0



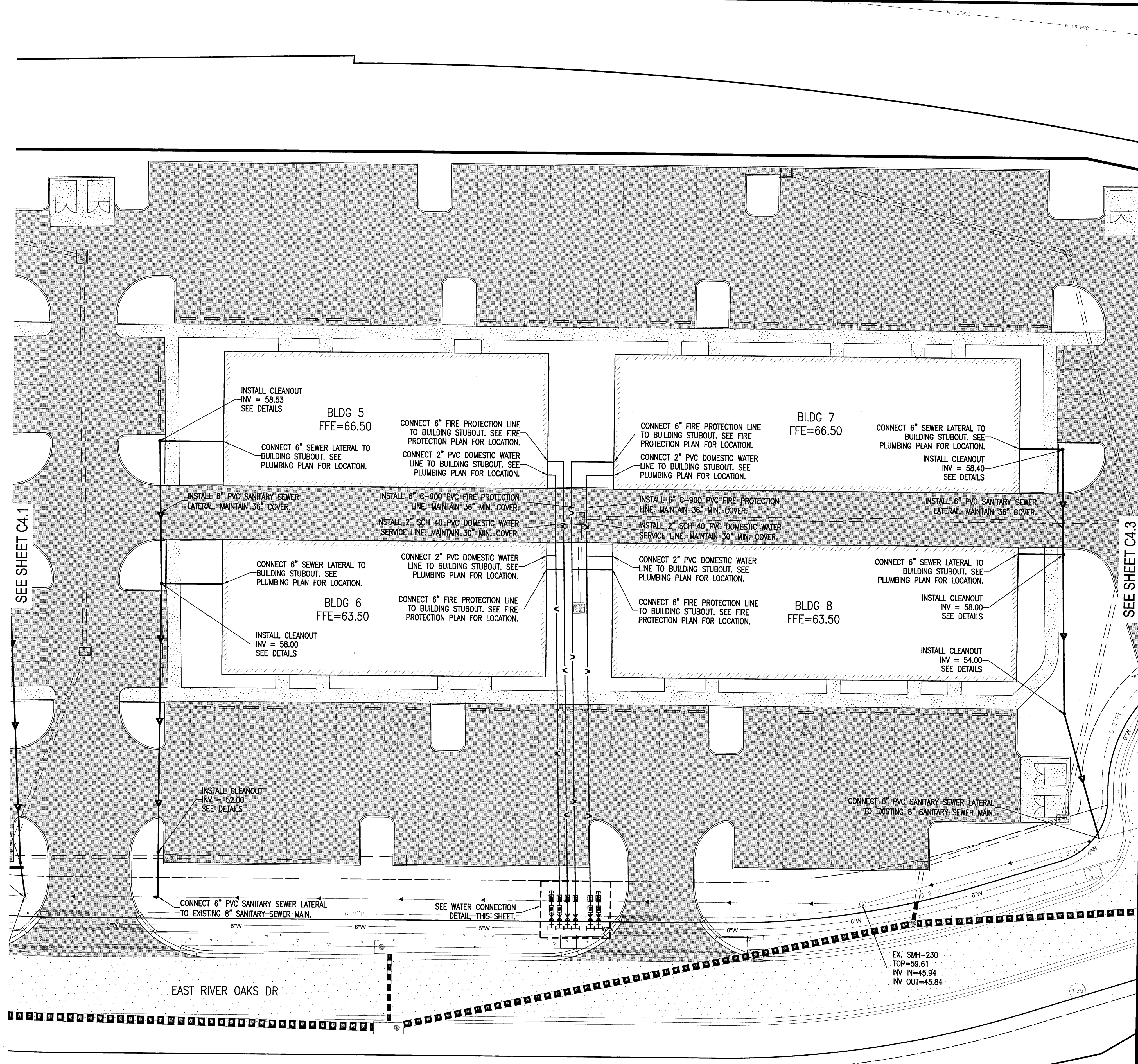
UTILITY DETAIL REFERENCE NOTE


REFER TO ECUA ENGINEERING MANUAL (09-01-16)
DIVISION 4 FOR ALL ECUA STANDARD DETAILS



WATER CONNECTION DETAIL

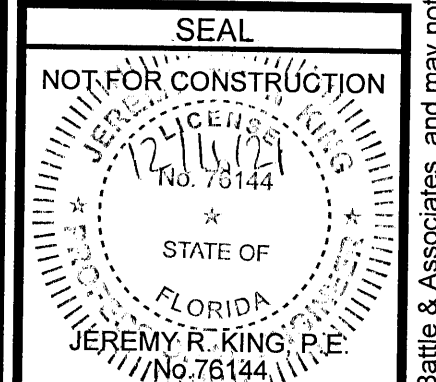
N.T.S.




REBOL-BATTLE & ASSOCIATES
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Gainesville, Florida 32603
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FAX: 352/327-4248
E-mail: EB_0005957@LB7818

UTILITY PLAN

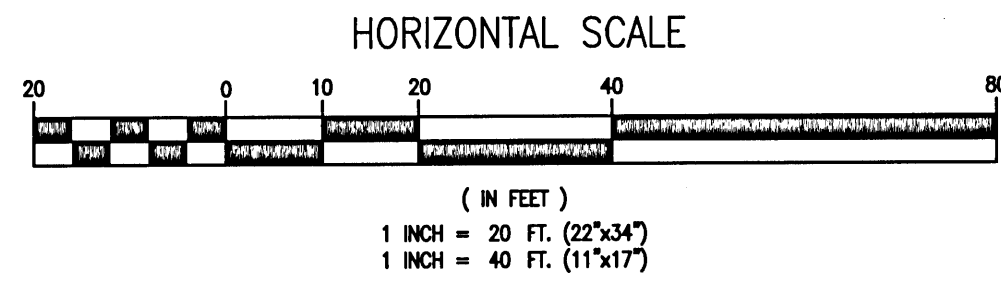
FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

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Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.	s drawing is
C4.2	

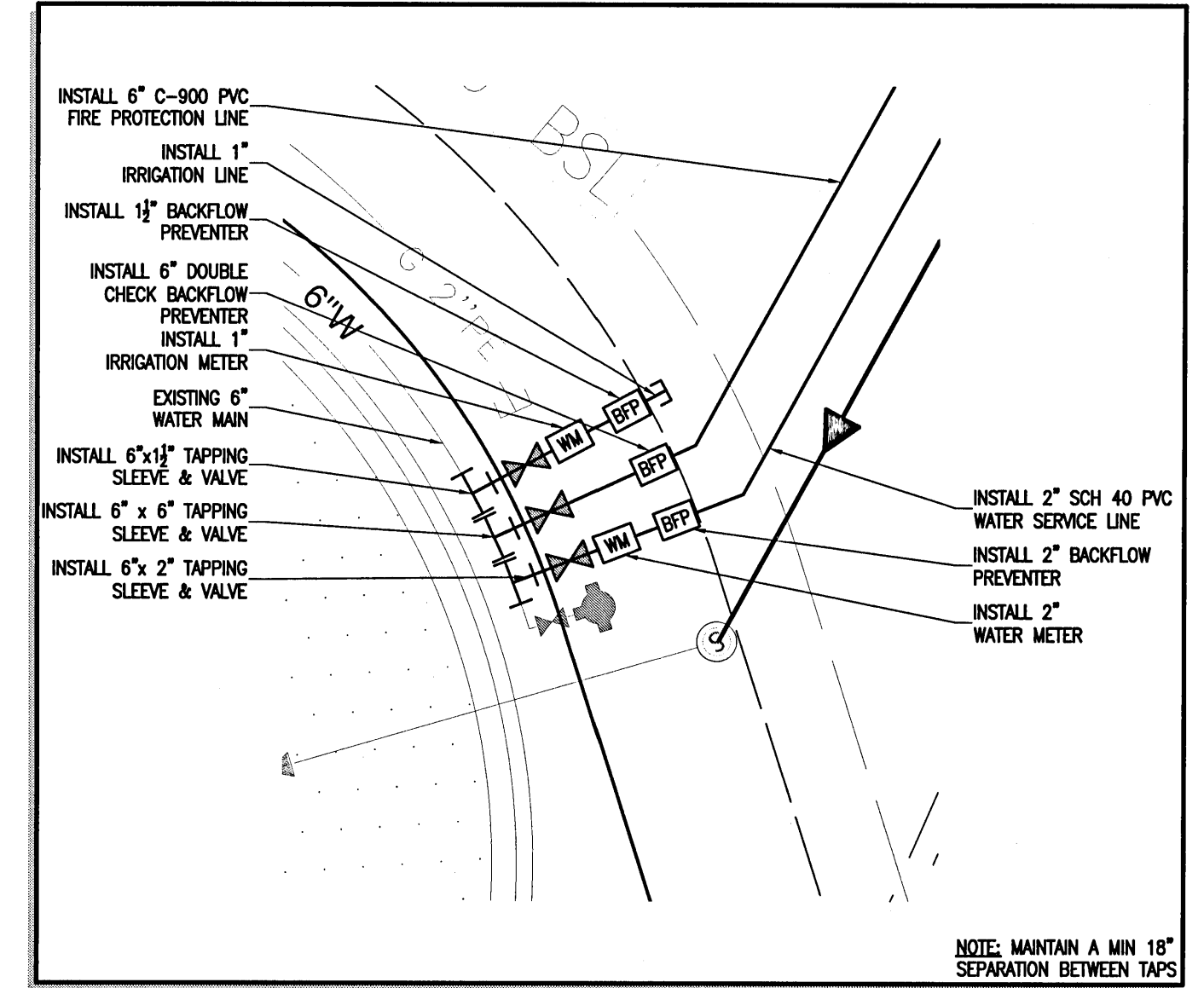
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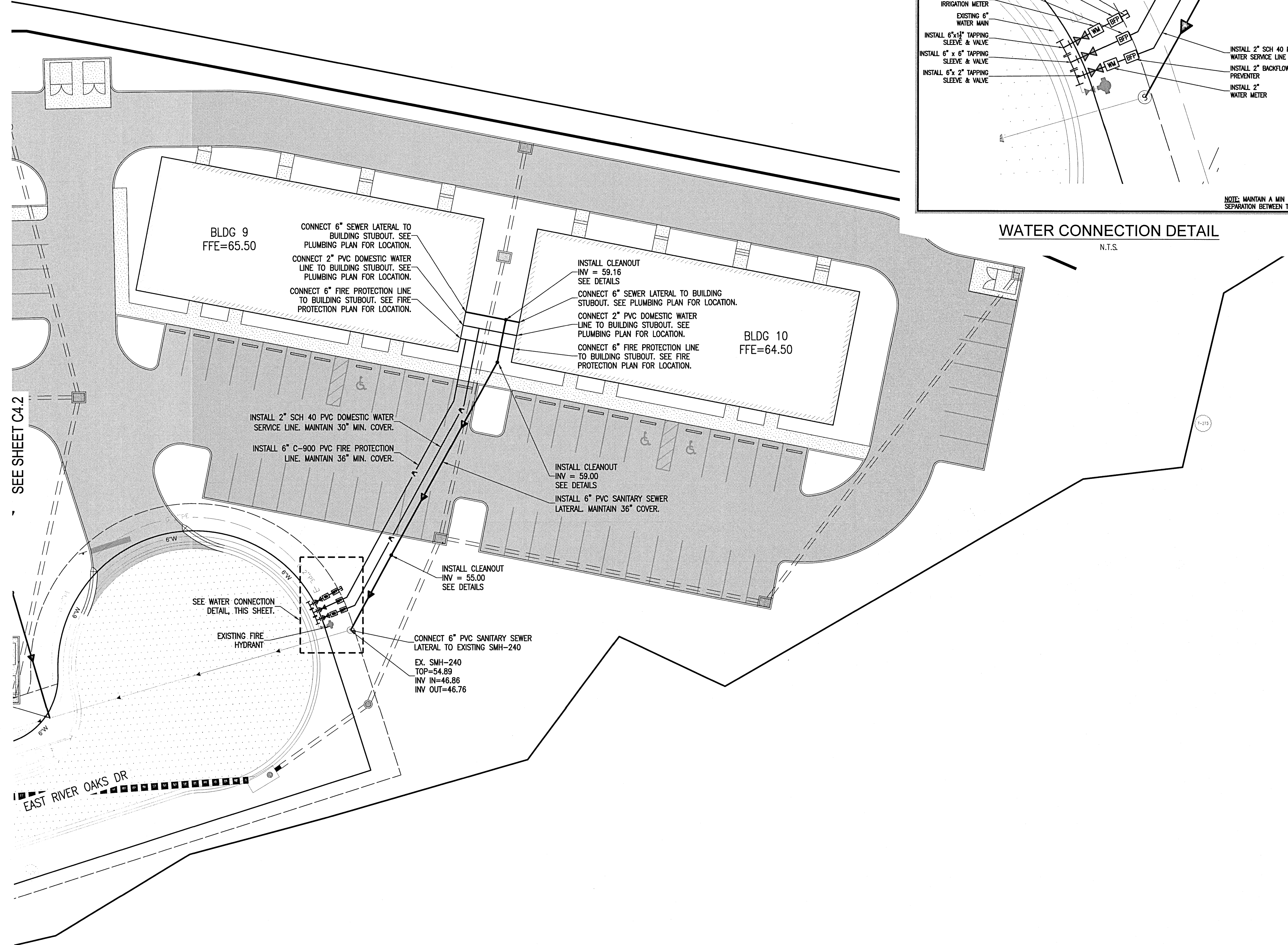
LEGEND


- EXISTING ASPHALT (Pattern: Dotted)
- EXISTING CONCRETE (Pattern: Horizontal lines)
- PROPOSED ASPHALT (Pattern: Diagonal lines)
- PROPOSED CONCRETE (Pattern: Stippled)

UTILITY DETAIL REFERENCE NOTE
 REFER TO ECUA ENGINEERING MANUAL (09-01-16)
 DIVISION 4 FOR ALL ECUA STANDARD DETAILS



WATER CONNECTION DETAIL

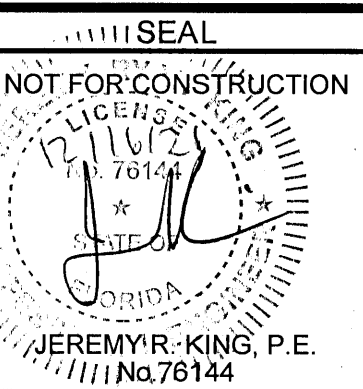


 **REBOL-BATTLE & ASSOCIATES**
Civil Engineers and Surveyors

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Telephone 850.438.0400 Fax 850.438.0448
EEO 00009667 LB7916

UTILITY PLAN

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

[illegible]

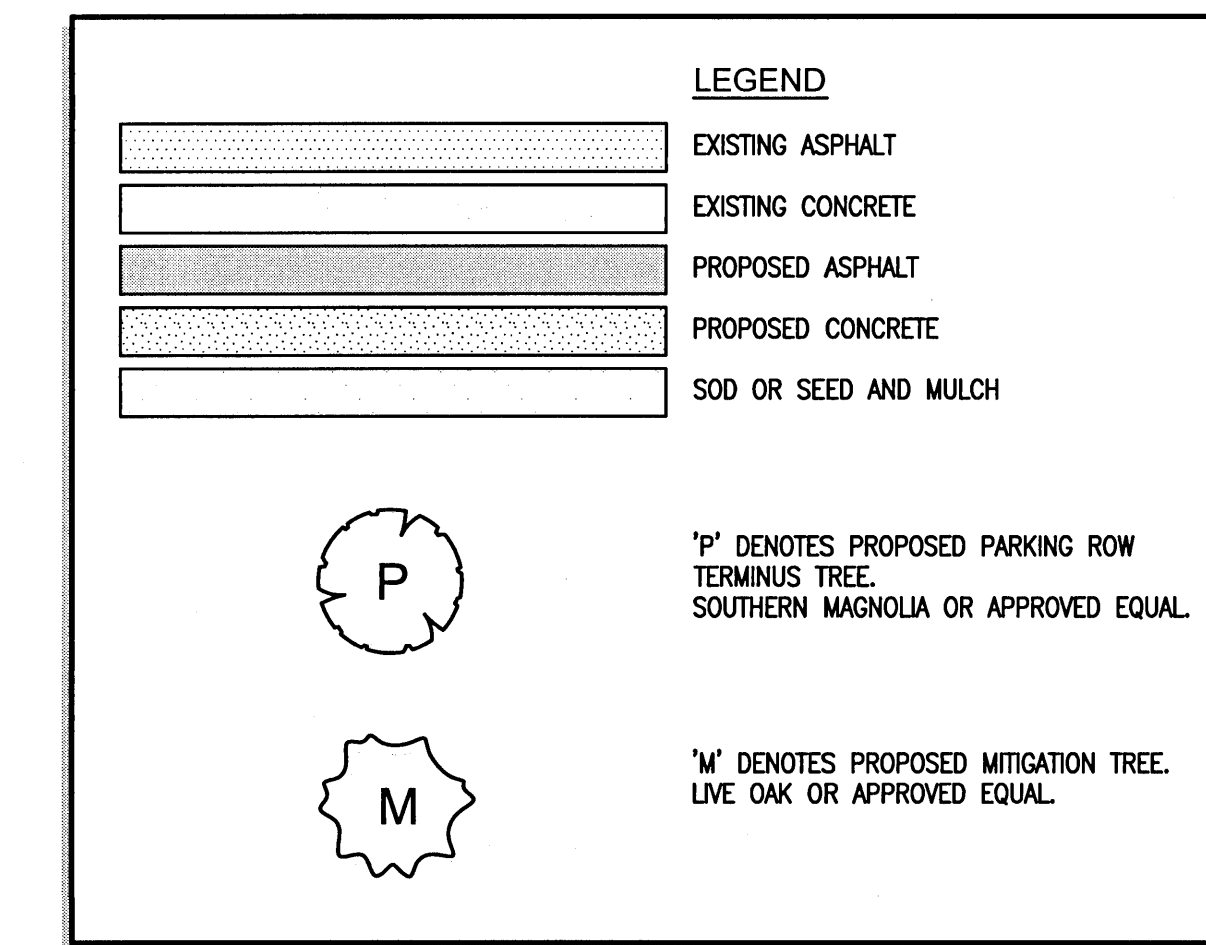
Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.

C4.3

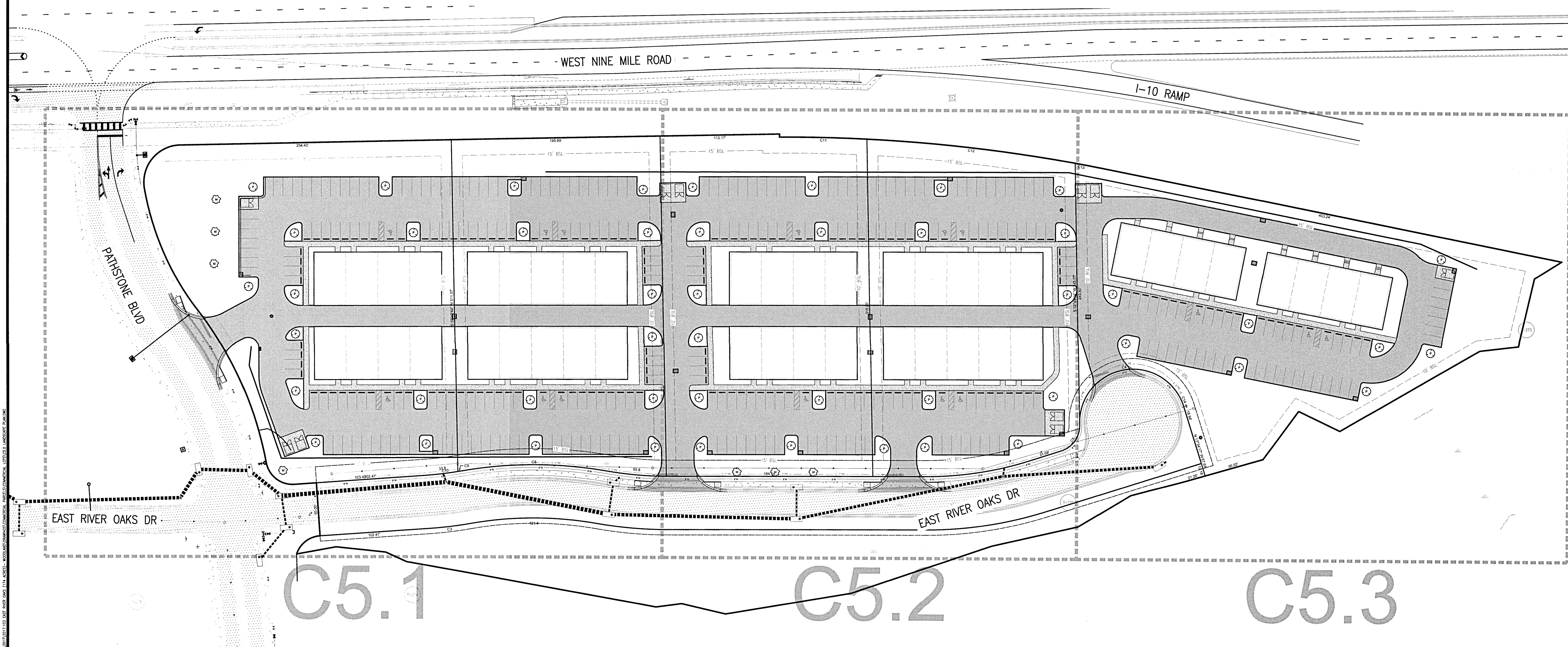
03-2017-2017-103 EAST RIVER OAKS (174 ACRES) - WOODLAND/DRAWINGS/ COMMERCIAL PARCELS/ COMMERCIAL LOTS/ C4.0 UTILITY PLANNING

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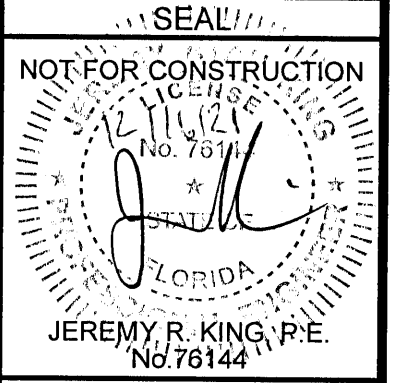
- STRIPPING & SIGN NOTES:**
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX 17346.
 2. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD INDEX 17346.
 3. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 4. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865, WIND ZONE No.:1.

REPLACEMENT TREE CALCULATIONS:
FROM #1 ABOVE - TOTAL INCHES REMOVED = 34"
MINIMUM REPLACEMENT 34" x 50% = 17" REQUIRED
FROM #1 ABOVE - PROJECT ACREAGE = 7.88 ACRES
MAXIMUM INCHES REQUIRED 7.88 ac x 25" = 197"
THEREFORE 197" REQUIRED. 17"/2.5" = 6.8 TREES. PROVIDE 7 TREES
FROM #2 ABOVE - 67% MAXIMUM MAY BE ONE SPECIES



FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA

No.	DATE	REVISION

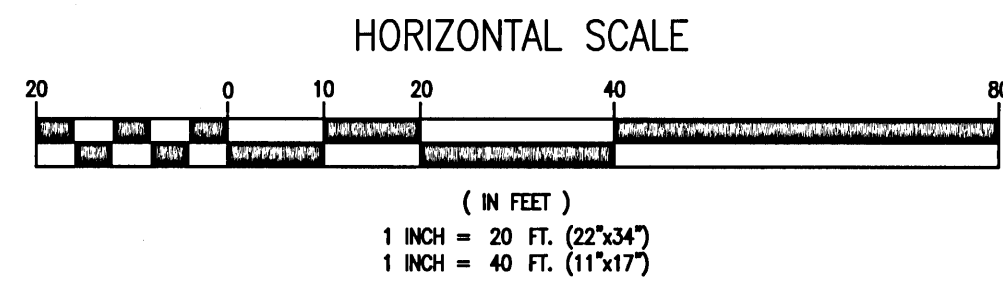
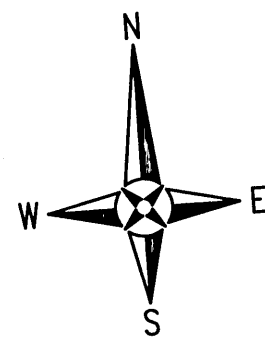


Dr. By: KAE
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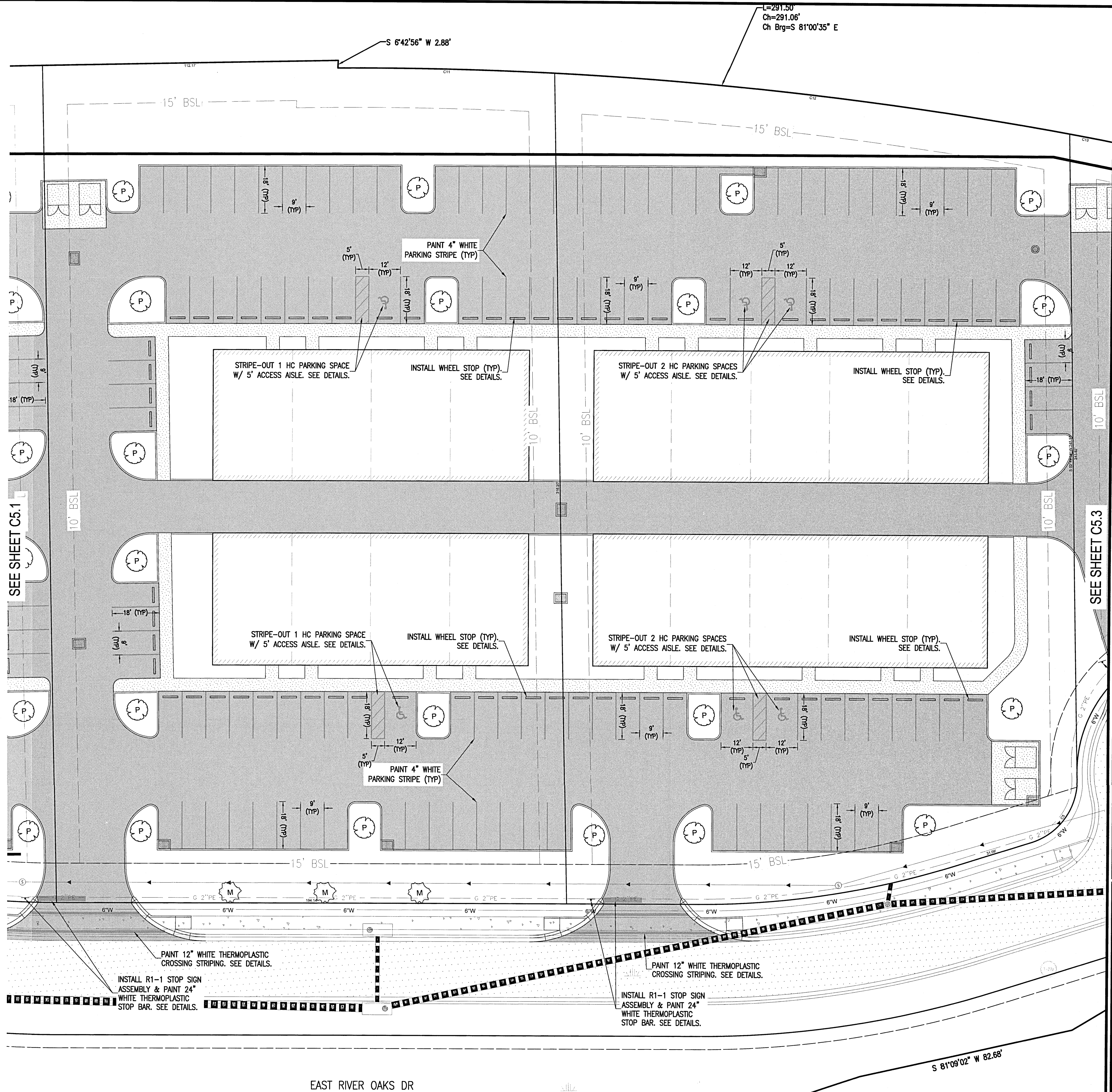
DRAWING No.

C5.0

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	SOD OR SEED AND MULCH
	"P" DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.
	"M" DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.



RBA
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**LANDSCAPE, STRIPING,
AND SIGNAGE PLAN**

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION
ESCAMBA COUNTY, FLORIDA**

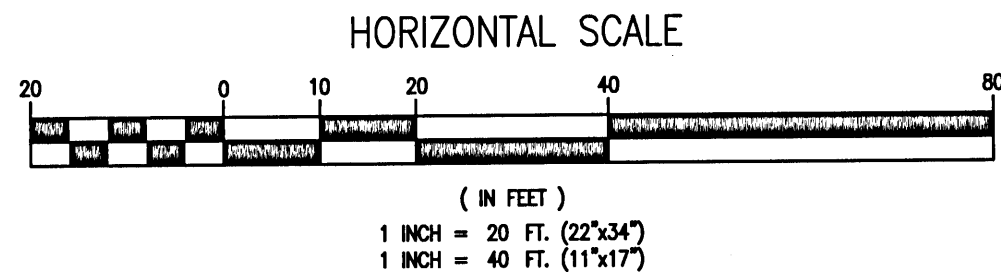
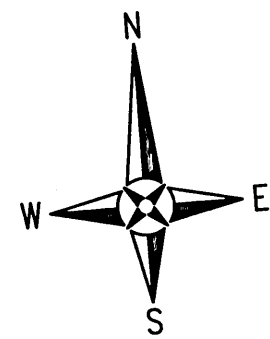
No.	DATE	REVISION

NOT FOR CONSTRUCTION
No. 76144
FLORIDA
JEREMY R. KING, P.E.
No. 76144

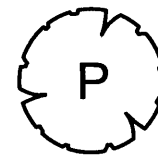
Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.
C5.2

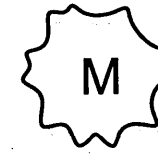
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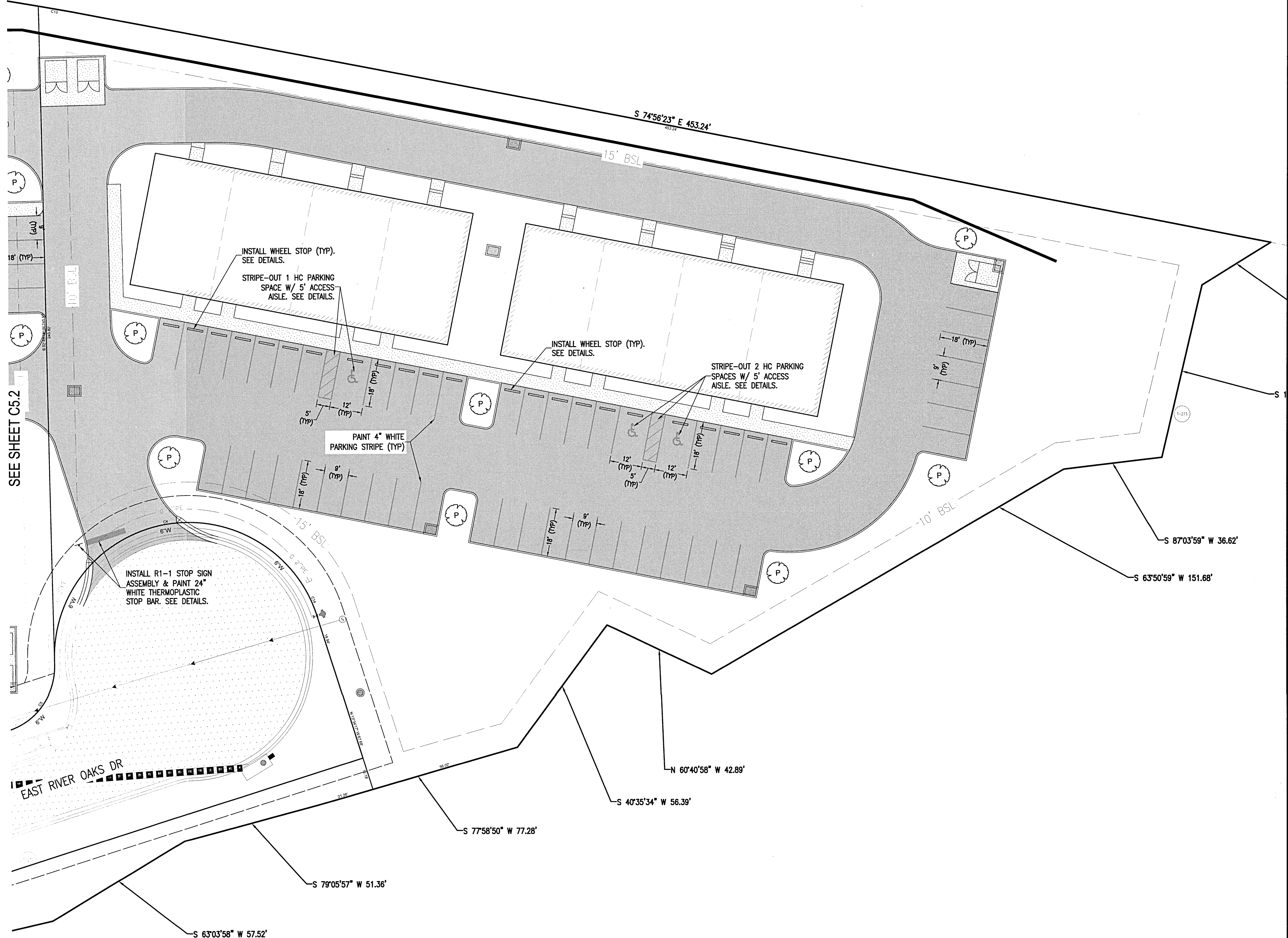
LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	SOD OR SEED AND MULCH

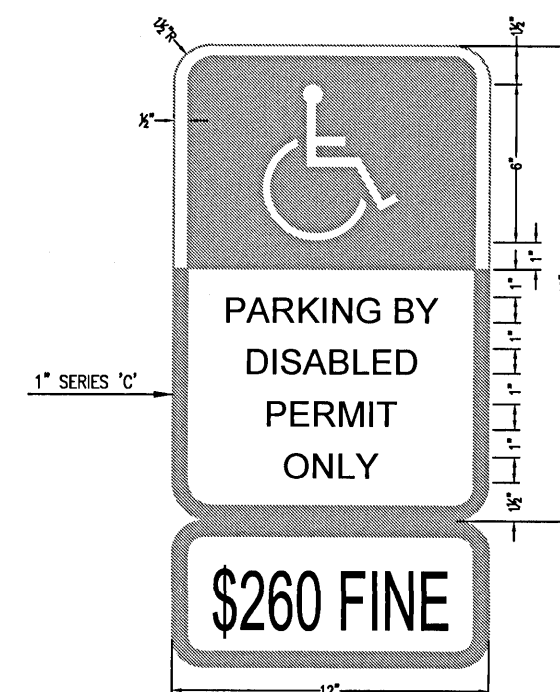


"P" DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.



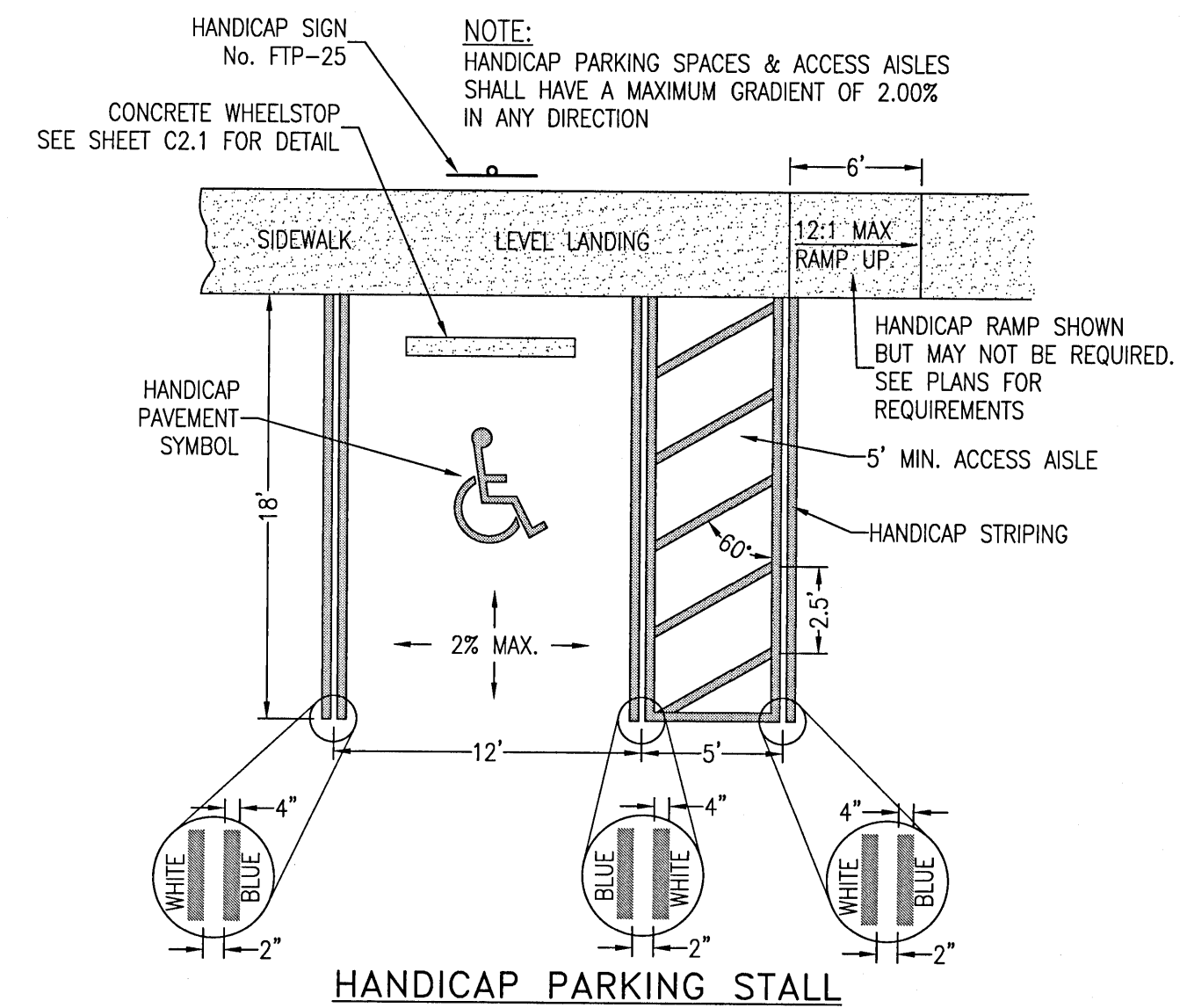
"M" DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.





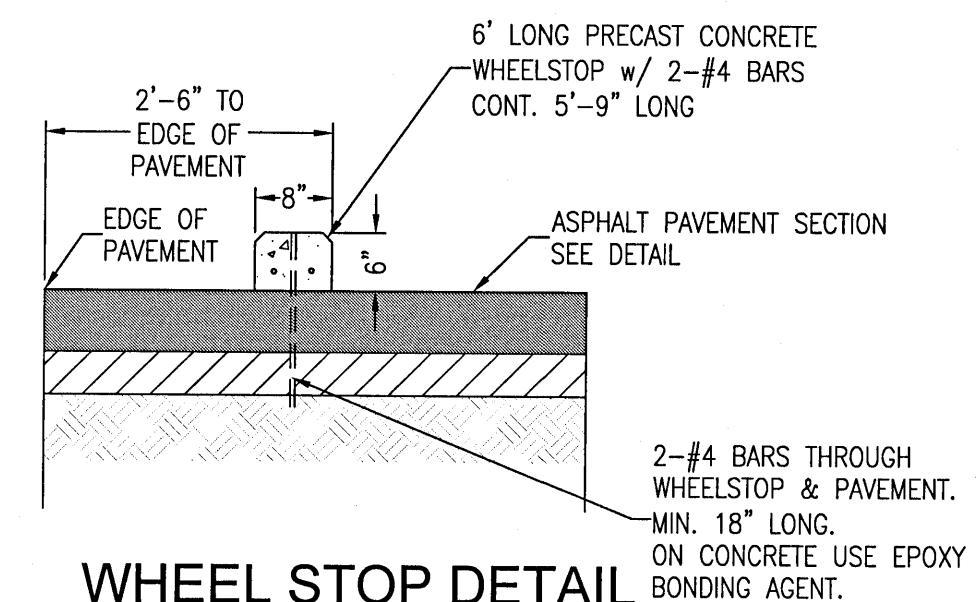
- NOTES:**
1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
 4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).
 5. SIGN COLUMN TO BE AS PER F.D.O.T. STANDARDS, INDEX NO'S 11860 AND 11865.

SIGN USED AS PER FLORIDA STATUTES
FTP 25 Per FS 316.1955, FS 316.1956



HANDICAP PARKING STALL DETAILS

N.T.S.

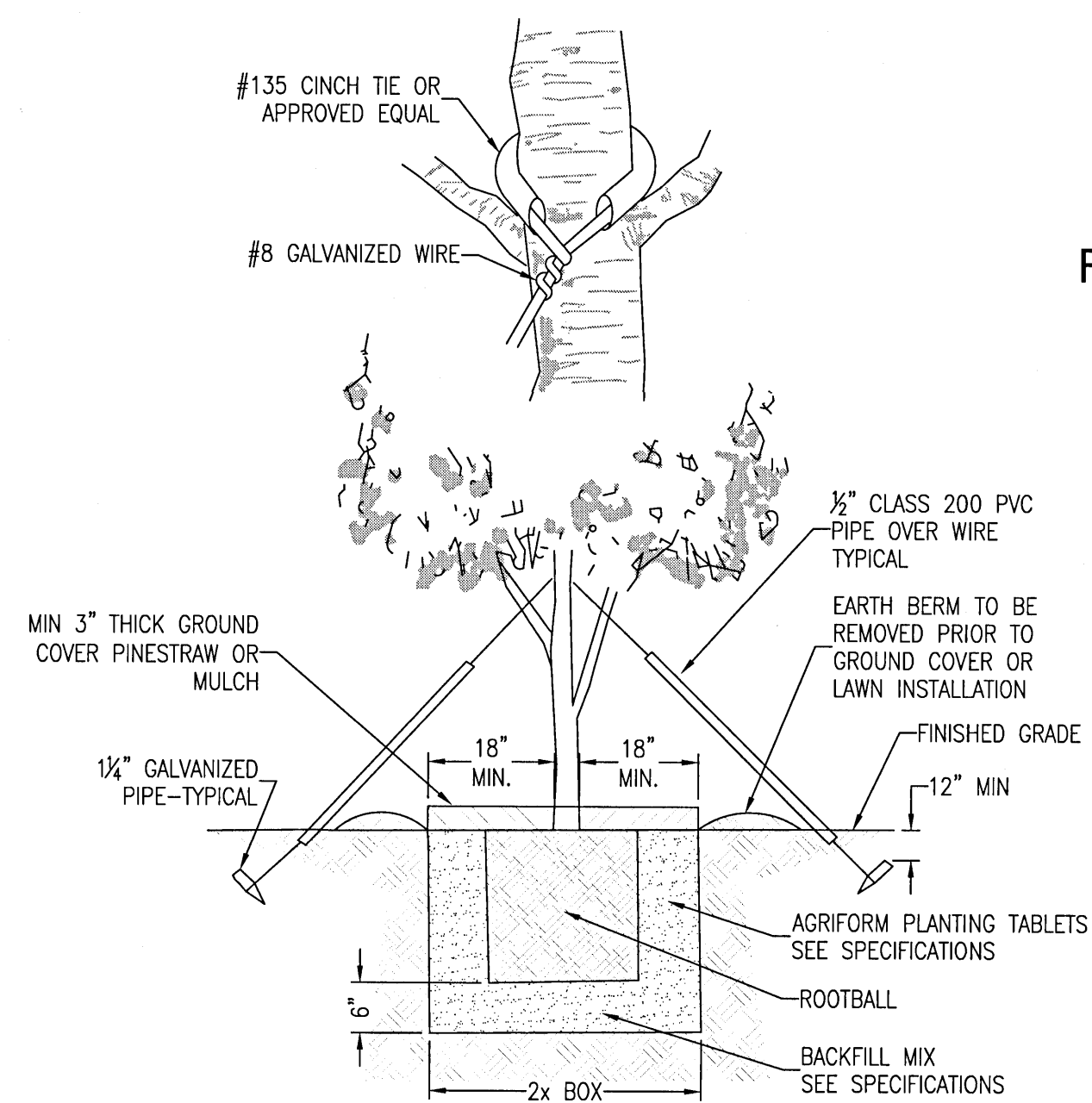


WHEEL STOP DETAIL

N.T.S.

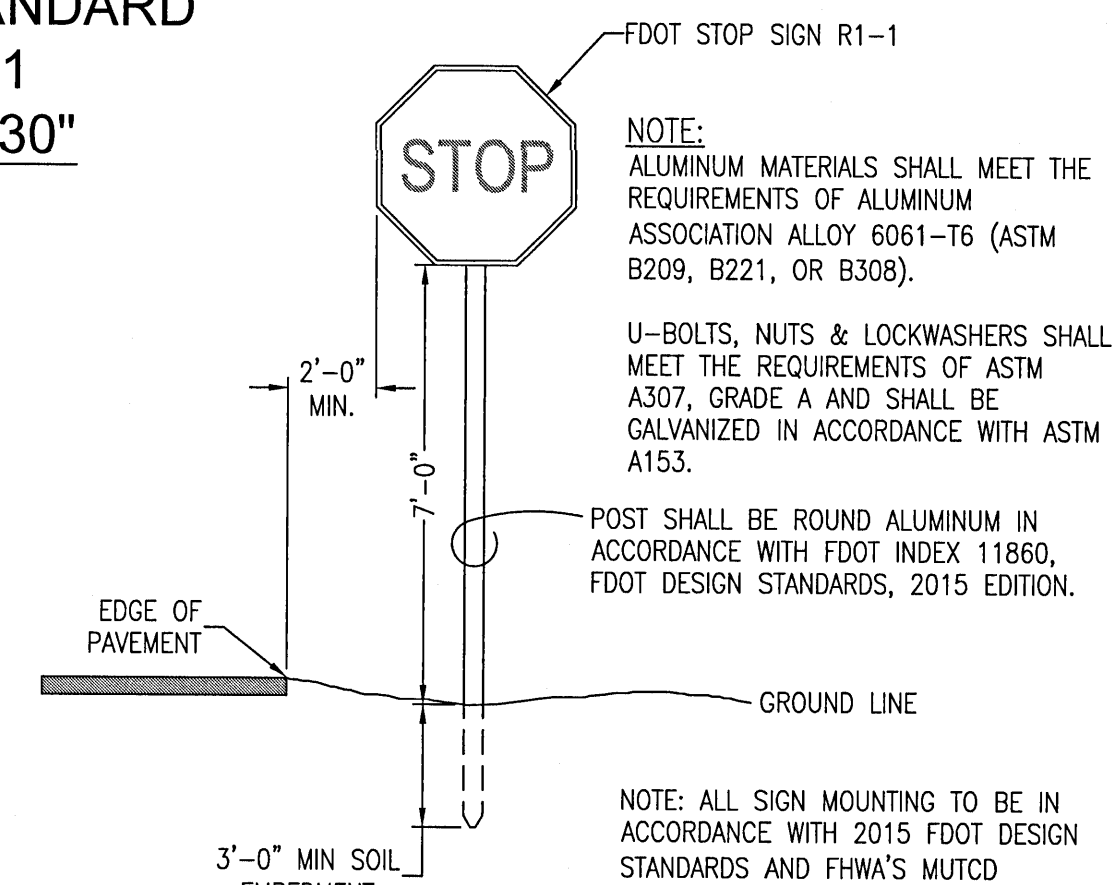


FDOT STANDARD
R1-1
30" x 30"
N.T.S.



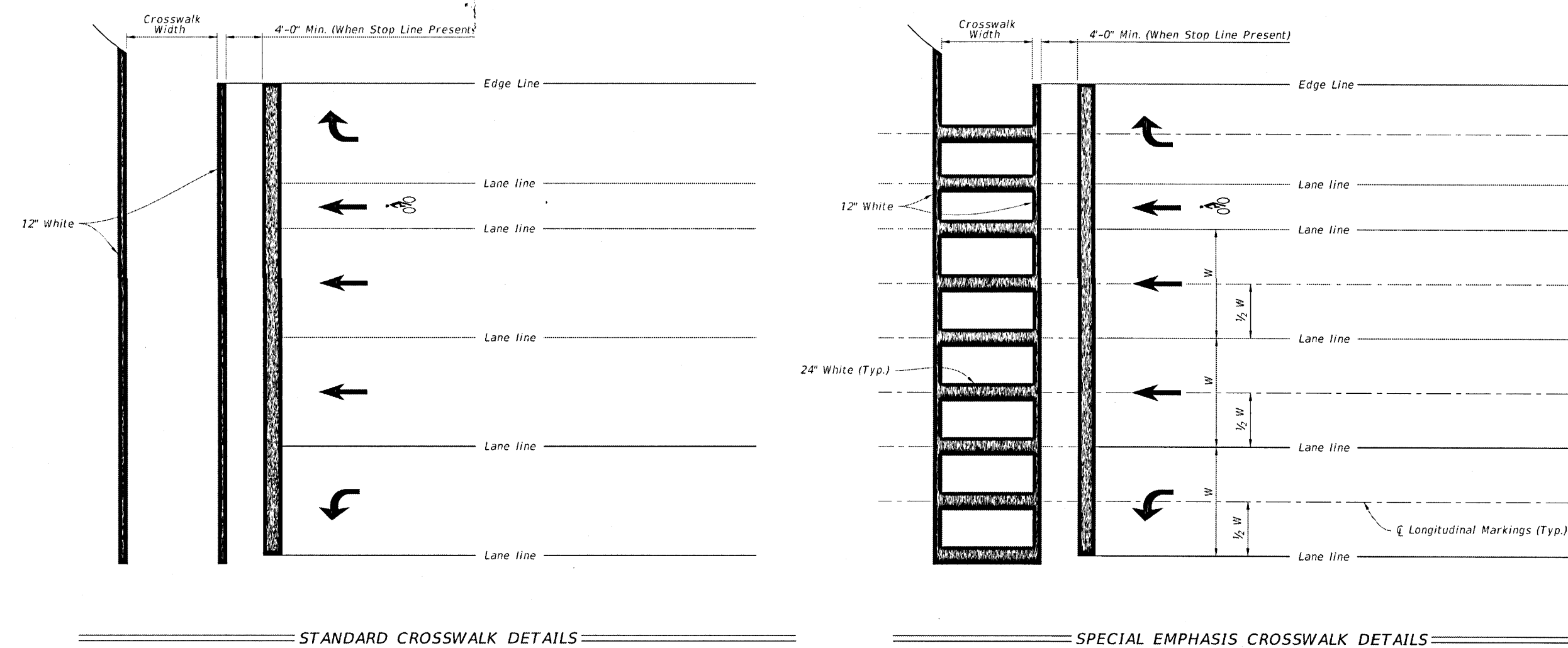
TREE PLANTING DETAIL

N.T.S.




SIGN MOUNTING DETAIL

N.T.S.



NOTES:

1. For crosswalk width, exceed width of the adjacent sidewalk, but do not make width less than 6' for intersection crosswalks and 10' for midblock crosswalks. Measure width from the inside of the transverse crosswalk markings.
2. When the Special Emphasis Crosswalk is not perpendicular to the lane lines, make the longitudinal markings parallel to the lane lines.
3. Refer to Index 522-002 when Curb Ramps are present.

LAST REVISION 11/01/20	DESCRIPTION: 	 FY 2021-22 STANDARD PLANS	PAVEMENT MARKINGS	INDEX 711-001	SHEET 10 of 13
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EB 00009557 LB7916

LANDSCAPE, STRIPING, AND SIGNAGE PLAN DETAILS

**FALLSCHASE AT PATHSTONE
COMMERCIAL SUBDIVISION**
ESCAMBA COUNTY, FLORIDA

[illegible]

SEAL

NOT FOR CONSTRUCTION

12116125

NO 76144

JRK

STATE OF FLORIDA

JEREMY R. KING, P.E.

No 76144

Dr. By: KAE
Ck By: JRK
Job No.: 2017.103
Date: 10-18-2021

DRAWING No.

C5.4

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