

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SURVEILLING CLEAR AND LEGIBLE RECORDS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. IMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUCE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSES/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS INCLUDING OF POND, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING. OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TRENCING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:

ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATION AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

SORRENTO ROAD/HWY--292 FRONTAGE (ARTERIAL STREET):

FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 250 SF (250' FRONTAGE * 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 35 LF IN HEIGHT.

WALL SIGNAGE:

SORRENTO ROAD/HWY--292 FRONTAGE (ARTERIAL/FOUR-LANE ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 60.00 SF (2.50 SF * 24.00 LF BLDG. FRONTAGE)

*EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL. UNUSED SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 60.00 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES

3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-478-5110
FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 331 SOUTH
DEFUNIAK SPRINGS, FL 32435
PHONE NO.: (850)-951-4660
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-336-6312
FAX NO.: (850)-297-1211

FLORIDA DEPARTMENT OF TRANSPORTATION

6025 OLD BACODD HIGHWAY
PENSACOLA, FL 32583
PHONE NO.: (850)-981-3000
FAX NO.: (850)-981-2719

PROJECT DIRECTORY:

CIVIL ENGINEER

HAMMOND ENGINEERING, INC.
3802 NORTH "S" ST
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650

SURVEYOR

PITTMAN, GLAZE AND ASSOCIATES, INC.
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
PHONE NO.: (850)-434-6666
FAX NO.: (850)-434-6681

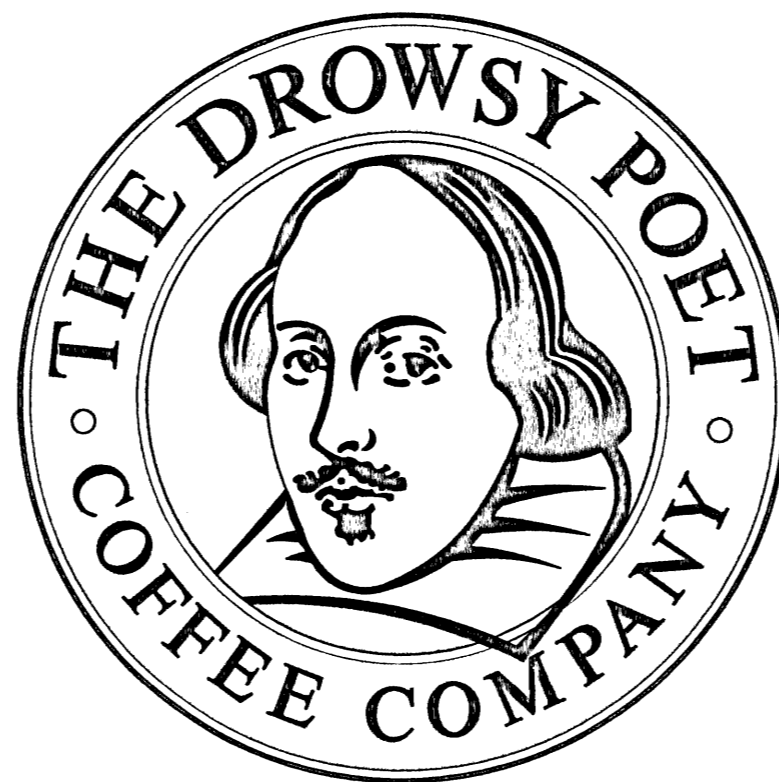
GEOTECHNICAL ENGINEER

NOVA ENGINEERING & ENVIRONMENTAL, LLC.
140-A LURTON STREET
PENSACOLA, FL 32505
PHONE NO.: (850)-607-7782
FAX NO.: (850)-249-6683

ENVIRONMENTAL CONSULTANT

WEITLAND SCIENCES, INC.
3308 GULF BEACH HIGHWAY
PENSACOLA, FL 32507
PHONE NO.: (850)-453-4700
FAX NO.: (850)-453-1010

SITE DEVELOPMENT PLANS FOR



SECTION 14 TOWNSHIP 3 SOUTH, RANGE 32 WEST ESCAMBIA COUNTY, FLORIDA

13170 SORRENTO ROAD
PENSACOLA, FLORIDA 32507

OWNER/DEVELOPER:

JOHN FOLEY
(251)-979-7773
STIMPSON AND FOLEY, LLC.
PO BOX 305
MOBILE, AL 36601

PROPERTY ID NO.: 14-3S-32-2000-003-006

ZONING DESIGNATION: COM

ADJACENT ZONING: COM

FLU DESIGNATION: MU-S

ADJACENT FLU: MU-S

CONDITIONAL USE APPROVAL BY ESCAMBIA COUNTY
BOARD OF ADJUSTMENT GRANTED ON NOVEMBER 18TH,
2020 TO ALLOW FOR A DRIVE-THRU RESTAURANT IN
COMMERCIAL ZONING WITHIN 200 FEET OF LOW DENSITY
RESIDENTIAL (LDR) ZONING. SEE CU-2020-09

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
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- C5 ~ GRADING & DRAINAGE PLAN
- C6 ~ STORMWATER POND PLAN
- C7 ~ UTILITY PLAN
- C8 ~ OFFSITE UTILITY PLAN
- C9 ~ LANDSCAPING PLAN
- C10 ~ ENVIRONMENTAL IMPACT PLAN
- C11 ~ FDOT DRIVEWAY CONNECTION PLAN
- C12 ~ FDOT '660' PLAN
- C13 ~ EROSION CONTROL DETAILS
- C14 ~ CONSTRUCTION DETAILS
- C15 ~ CONSTRUCTION DETAILS
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- C17 ~ LIFT STATION DETAILS
- C18 ~ FDOT DETAILS
- C19 ~ FDOT DETAILS
- C20 ~ FDOT DETAILS
- C21 ~ FDOT DETAILS

HAMMOND ENGINE
FLORIDA AUTHORIZATION
ALABAMA AUTHORIZATION
3802 NORTH "S" ST
PENSACOLA, FLORIDA
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIG

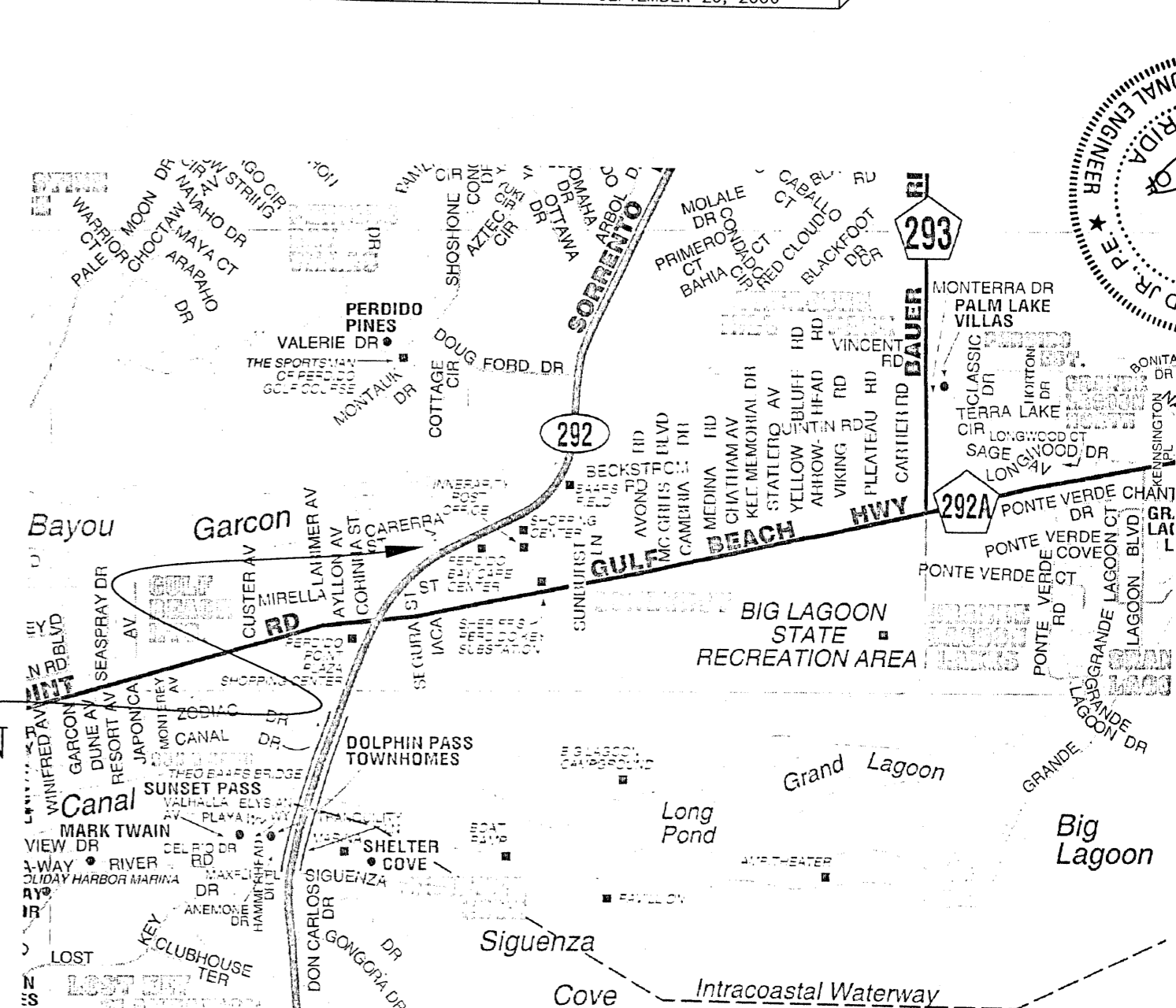
Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>[Signature]</i>	Date: 1-12-2021
Printed Name: <i>[Signature]</i>	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn! A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

GENERAL NOTES:

31. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
32. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
34. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
35. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
36. ADEQUATE PROMISONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
37. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
38. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
39. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
40. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
41. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
42. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
43. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.30(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
44. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
45. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
46. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT OF NECESSARY. ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
47. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
48. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
49. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
50. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
51. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
52. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #47 ABOVE.
53. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
54. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
55. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
56. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
57. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECMA STANDARDS AND REQUIREMENTS.
58. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1.2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
59. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY. OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
60. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXHAUSTION OF POND FROM BLINDING DUE TO SEDIMENTS.
61. THE CONTRACTOR SHALL NOTIFY FOOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

FLOOD ZONE DATA

FLOOD ZONE(S)	NTP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0508	G	SEPTEMBER 29, 2006



VICINITY MAP GRAPHIC SCALE

(IN FEET)
22" x 34": 1 inch = 2000 ft.
11" x 17": 1 inch = 4000 ft.

SHEET
C1

GRAPHIC SCALE

22"x34" SCALE 1 inch = 30 ft.

11"x17" SCALE 1 inch = 60 ft.

LEGEND:

BM	Benchmark	Gas marker
ELEV	Elevation	Gas valve
FFE	Finished floor elevation	Guy wire
P.O.B.	Point of beginning	Handhole
P.O.C.	Point of commencement	Light pole with base
P.C.	Point of curvature	Monitor well
P.T.	Point of tangency	Power pole
R/W	Right of way	PVC pipe with underground electric
R	Radius	Road sign
ARC	Arc distance	Sanitary sewer valve
CH	Chord distance	Spot elevation
C.B.	Chord bearing	Storm manhole
Δ	Delta	Telephone line marker
CP	Concrete pipe	Water valve
1/2" Capped iron rod set #7073		Anchor line
1/2" Capped iron rod found #noted		Cable line
4"x4" Concrete monument found #noted		Contour line
Iron rod found		Electric line
Electric equipment		Gas line
Fire hydrant		Storm sewer line
Concrete/rebar footer		Telephone line
		Water line

LEGAL DESCRIPTION: (O.R. 7788, page 557)

A Parcel of land lying in Section 14, Township 3 South, Range 32 West, Escambia County, Florida, being a portion of Parcel 3 as described in Official Records Book 5018, Page 145 of the Public Records of Escambia County, Florida, and a portion of Parcel 4 as described in Official Records Book 5018, Page 147, of said Public Records, of an unrecorded plat known as Sorrento Road commercial subdivision, and being more particularly described as follows:

A portion of Parcel 3, that portion of Inerarity Heights subdivision, a subdivision of a portion of Section 14, Township 3 South, Range 32 West, Escambia County, Florida, as recorded in Deed Book 102 at Page 196 and 197 of the Public Records of said County described as follows:

Commence at the Southwest corner of Section 12, Township 3 South, Range 32 West, Escambia County, Florida, thence run Northwesterly along the West line of said Section 12, being also the East line of said Section 14, a distance of 1468.67 feet to a One-Half inch iron rod at an intersection with the Northerly right-of-way of State Road S-292 (100 foot right-of-way); thence deflect 122 degrees 48 minutes 00 seconds left and run South 71 degrees 09 minutes 00 seconds West along said right-of-way a distance of 252.41 feet to a One-Half inch capped iron rod (#4655) at an intersection with the East line of said Inerarity Heights subdivision; thence continue South 71 degrees 09 minutes 00 seconds West along said right-of-way a distance of 191.44 feet (191.84 feet per deed) to a One-Half inch capped iron rod (#4655); thence run Southwesterly along said right-of-way on the arc of a curve to the left a distance of 61.24 feet (62.74 feet per deed), a central angle of 02 degrees 26 minutes 38 seconds (02 degrees 30 minutes 35 seconds per deed), a chord of 63.24 feet (62.74 feet per deed) and a chord bearing of South 69 degrees 55 minutes 41 seconds West (South 70 degrees 09 minutes 16 seconds West per deed) to the Southeasterly corner of said Parcel 3; thence continue Southwesterly along said right-of-way line and curve with a radius of 1482.69 feet and an arc length of 53.32 feet through a central angle of 02 degrees 03 minutes 37 seconds (chord of 53.31 feet bears South 67 degrees 40 minutes 33 seconds West) to the Point of Beginning; radius of 1482.69 feet and an arc length of 63.56 feet along said right-of-way and curve with a radius of 1482.69 feet and an arc length of 63.56 feet through a central angle of 02 degrees 27 minutes 21 seconds (chord of 63.55 feet bears South 65 degrees 25 minutes 04 seconds West) to the Westerly boundary line of said Parcel 3; thence run North 00 degrees 35 minutes 05 seconds East along said Westerly boundary line a distance of 156.59 feet; thence run South 23 degrees 21 minutes 15 seconds East a distance of 141.75 feet to the Point of Beginning.

And also:

A portion of Parcel 4:

That portion of Inerarity Heights subdivision, a subdivision of a portion of Section 14, Township 3 South, Range 32 West, Escambia County, Florida, as recorded in Deed Book 102 at Page 196 and 197 of the Public Records of said County described as follows:

Commence at the Southwest corner of Section 12, Township 3 South, Range 32 West, Escambia County, Florida, thence run Northwesterly along the West line of said Section 12, being also the East line of said Section 14, a distance of 1468.67 feet to a One-Half inch iron rod at an intersection with the Northerly right-of-way of State Road S-292 (100 foot right-of-way); thence deflect 122 degrees 48 minutes 00 seconds left and run South 71 degrees 09 minutes 00 seconds West along said right-of-way a distance of 252.41 feet to a One-Half inch capped iron rod (#4655) at an intersection with the East line of said Inerarity Heights subdivision; thence continue South 71 degrees 09 minutes 00 seconds West along said right-of-way a distance of 191.44 feet (191.84 feet per deed) to a One-Half inch capped iron rod (#4655); thence run Southwesterly along said right-of-way on the arc of a curve to the left a distance of 61.24 feet (62.74 feet per deed), a central angle of 02 degrees 26 minutes 38 seconds (02 degrees 30 minutes 35 seconds per deed), a chord of 63.24 feet (62.74 feet per deed) and a chord bearing of South 69 degrees 55 minutes 41 seconds West (South 70 degrees 09 minutes 16 seconds West per deed) to the Southeasterly corner of said Parcel 3; thence continue Southwesterly along said right-of-way line and curve with a radius of 1482.69 feet and an arc length of 53.32 feet through a central angle of 02 degrees 03 minutes 37 seconds (chord of 53.31 feet bears South 67 degrees 40 minutes 33 seconds West) to the Point of Beginning; radius of 1482.69 feet and an arc length of 63.56 feet along said right-of-way and curve with a radius of 1482.69 feet and an arc length of 63.56 feet through a central angle of 02 degrees 27 minutes 21 seconds (chord of 63.55 feet bears South 65 degrees 25 minutes 04 seconds West) to the Westerly boundary line of said Parcel 3; thence run North 00 degrees 35 minutes 05 seconds East along said Westerly boundary line a distance of 156.59 feet; thence run South 23 degrees 21 minutes 15 seconds East a distance of 141.75 feet to the Point of Beginning.

From said Point of Beginning thence continue Southwesterly along said right-of-way and curve with a radius of 1482.69 feet (1432.39 feet per deed) and an arc length of 116.50 feet (116.75 feet per deed) through a central angle of 04 degrees 30 minutes 07 seconds (04 degrees 40 minutes 14 seconds per deed), a chord of 116.47 feet (116.75 feet per deed) bears South 61 degrees 56 minutes 14 seconds per deed, degrees 53 minutes 38 seconds West per deed to a one inch iron pipe on the Westerly boundary line of Lot 3, Block 6, of said Inerarity Heights subdivision; thence run North 00 degrees 35 minutes 05 seconds West (North 00 degrees 39 minutes 48 seconds West per deed) along said Westerly boundary line a distance of 228.22 feet (224.97 feet per deed) to a 5/8 inch capped iron rod (#7124); thence run North 67 degrees 43 minutes 25 seconds East a distance of 54.4 feet to a 5/8 inch capped iron rod (#7124); thence run South 23 degrees 21 minutes 15 seconds East a distance of 53.52 feet to a point on the Easterly boundary line of said Parcel 4; thence run South 00 degrees 35 minutes 05 seconds West along said Easterly boundary line a distance of 156.59 feet to the Point of Beginning.

STREET ADDRESS: 13170 Sorrento Road

BENCHMARKS:

48-02-D01HV - A F.D.O.T. concrete monument with brass disk located 7' +/- west of west edge of asphalt of Perdido Key Drive (S.R. #292) and 145' +/- north of north end of guardrail on the northwest end of Theo Baars bridge over the Intracoastal Waterway.

Elevation = 13.36'

N 490761.01

E 1045637.90

1680/68 - An "X" in the north bonnet bolt of a fire hydrant located in the southwest corner of the intersection of Sorrento Road and Iaca Avenue.

Elevation = 12.96'

1680/68A - A mag nail in the south side of a power pole located in the north right of way of Sorrento Road and 20' +/- west of the centerline projection of Iaca Avenue.

Elevation = 11.90'

1680/68B - An FDOT concrete monument stamped "48-17-COIV" in the south right of way of Sorrento Road and 80' +/- east from centerline Iaca Avenue.

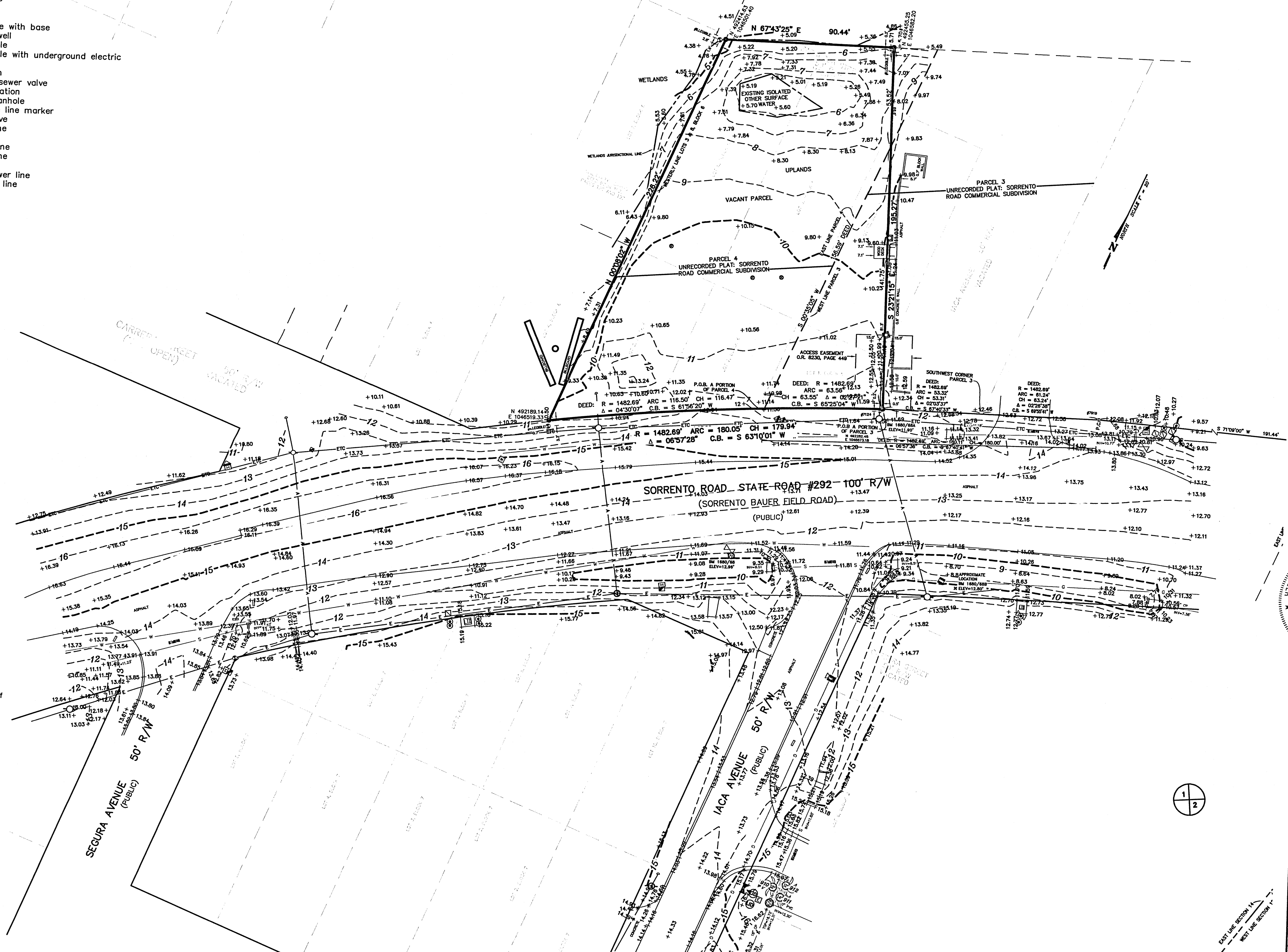
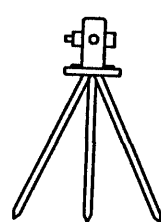
Elevation = 12.60'

SURVEYOR'S NOTES:

- The underground utilities shown have been located from field survey information and existing drawings. The surveyor has not physically located the underground utilities. The surveyor does not certify that the underground utilities shown comprise all such utilities or that they are the exact size, material, or location as indicated.
- This survey does not reflect or determine ownership.
- This survey is subject to any facts that may be disclosed by a full and accurate title search.
- This survey is subject to setbacks, easements, and restrictions of record.
- To assure the contractor is on the same vertical and horizontal datum as this survey, it is strongly recommended that vertical checks be made between two benchmarks and that horizontal checks be made between three control points or property corners.
- Sub-surface improvements, if any, not located.
- Due to current safety regulations, we are unable to access any sewer manholes and/or structures in order to verify pipe size or material. Pipe size and material has been shown as per plans or by approximate measurements. It is strongly recommended that size and material are verified before any design work begins.
- Coordinates shown are State Plane Coordinates referenced to N.A.D. 83 datum, 2011 adjustment, Florida North Zone and expressed in U.S. survey feet.
- Coordinates are derived by using the Trimble and Florida Department of Transportation continuously operating reference station (CORS) network.

SITE SURVEY COMPLETED BY:

PITTMAN,
GLAZE AND
ASSOCIATES, INC.
LAND SURVEYORS
500 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32508
Phone (850) 434-6666 Fax (850) 434-6661
Email: pgsurvey@bellsouth.net



HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

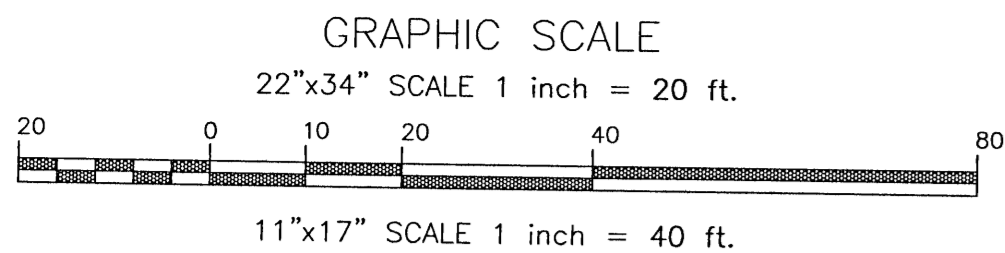


SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
EXISTING CONDITIONS

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT REBASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-057

SHEET: C2



LAND DISTURBANCE ACTIVITIES NOTE:

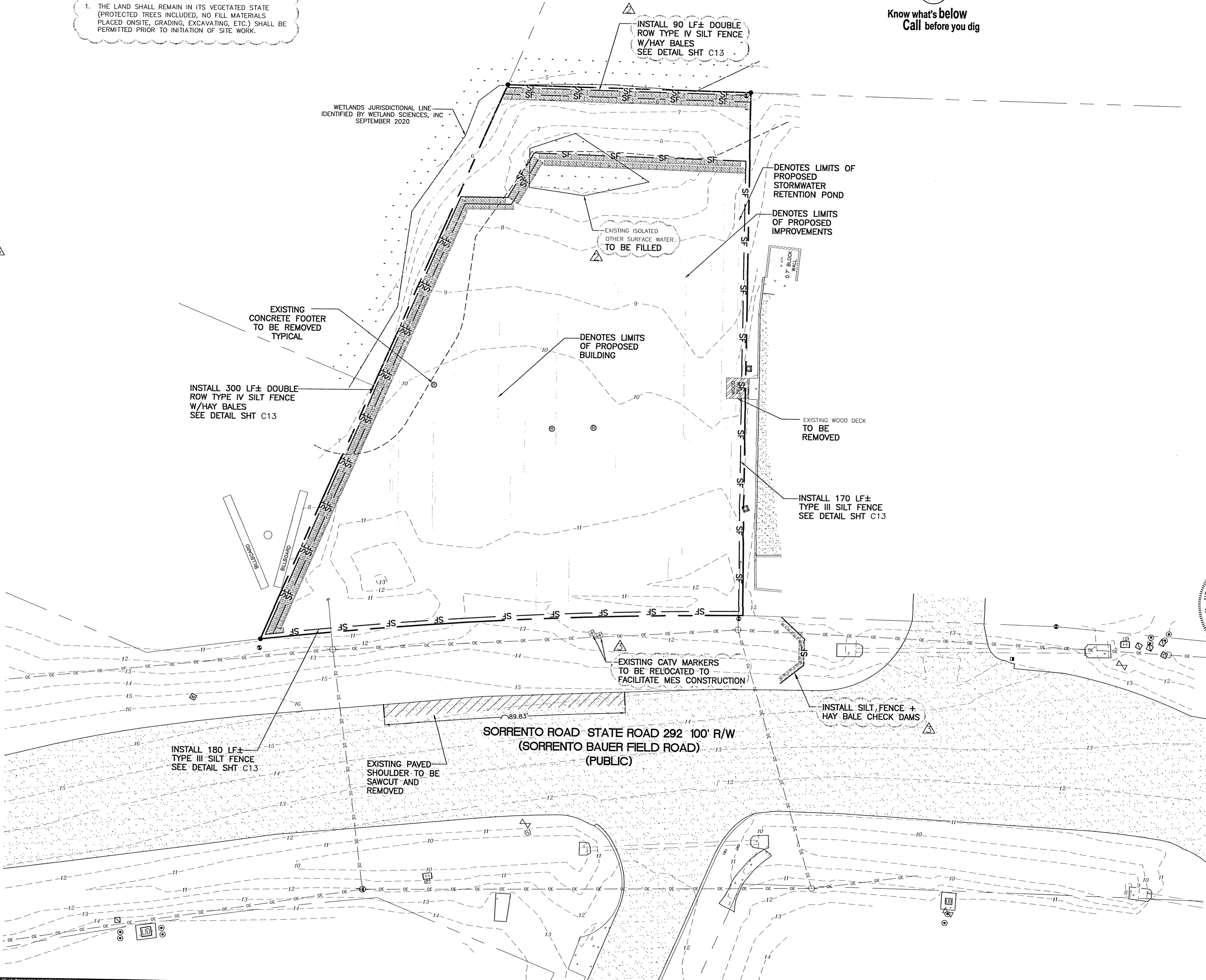
1. THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GUY WIRE
	DENOTES EXISTING ASPHALT TO BE REMOVED		DENOTES EXISTING BACKFLOW PREVENTER
	DENOTES EXISTING WETLANDS		DENOTES EXISTING LIGHT POLE
	DENOTES 25' WETLAND BUFFER		DENOTES EXISTING WATER VALVE
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES EXISTING CATV LINE MARKER
			DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION

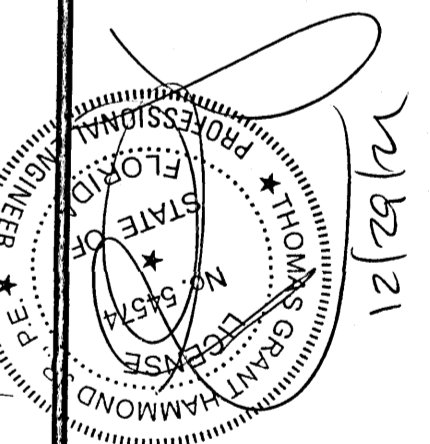
- DEMOLITION/EROSION CONTROL NOTES
- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
 - WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
 - IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
 - THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
 - EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
 - ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
 - TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
 - TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (I.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
 - THERE SHALL BE NO TEMPORARY ROCK CONSTRUCTION ENTRANCES ON FDOT ROADWAYS. CONTRACTOR TO OBTAIN A TEMPORARY DRIVEWAY PERMIT TO ACCESS THE SITE.
 - ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

- DEWATERING NOTES:
- DEWATERING IS EXPECTED TO OCCUR AS PART OF THE OVERALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
 - UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
 - COVERAGE UNDER THE GENERIC PERMIT FOR DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS (FDEP DOCUMENT 62-621.300(2)(g)) SHALL BE OBTAINED FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO ANY DEWATERING OPERATIONS OCCURRING. THE TERMS AND CONDITIONS OF THIS PERMIT SHALL BE COMPLIED WITH FOR THE DURATION OF DEWATERING OPERATIONS.
 - CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH SEC. 40A-2.061 F.A.C.; GENERAL WATER USE PERMITS BY RULE. DEWATERING OPERATIONS MAY BE GOVERNED BY THE REGULATIONS SPECIFIED IN THE F.A.C. AND THE WATER USE PERMIT APPLICANT'S HANDBOOK, LATEST EDITION.
 - CONTRACTOR SHALL MITIGATE ANY HARM CAUSED BY THE PERMITTED WITHDRAWALS OR DIVERSIONS OF GROUNDWATER ON LEGAL WATER USES, OFFSITE LAND USE, AND WATER RESOURCES & ASSOCIATED ENVIRONMENTAL FEATURES WHICH EXISTED AT THE TIME OF PERMIT APPLICATION. THE DISTRICT RESERVES THE RIGHT TO CURTAIL PERMITTED WITHDRAWAL AND DIVERSION RATES IF THE WITHDRAWAL OR DIVERSION CAUSES HARM TO LEGAL USES OF WATER, OFFSITE LAND USE, OR WATER RESOURCES AND ASSOCIATED ENVIRONMENTAL FEATURES THAT EXISTED AT THE TIME OF PERMIT APPLICATION.



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

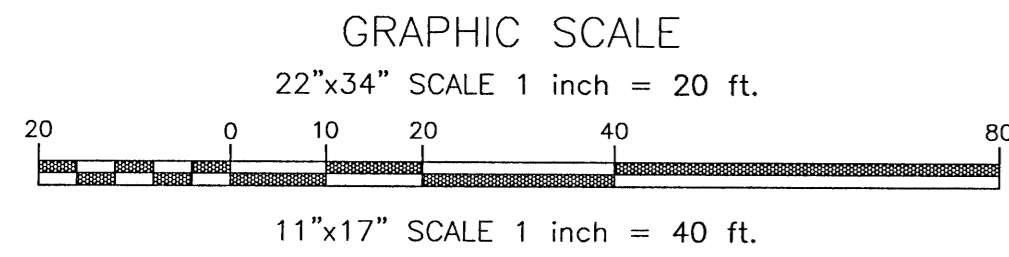
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
DEMOLITION & EROSION
CONTROL PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-057
SHEET: C3



LEGEND:

DENOTES EXISTING ASPHALT	DENOTES EXISTING UTILITY POLE
DENOTES EXISTING CONCRETE	DENOTES EXISTING GUY WIRE
DENOTES PROPOSED ASPHALT	DENOTES EXISTING BACKFLOW PREVENTER
DENOTES PROPOSED CONCRETE	DENOTES EXISTING LIGHT POLE
DENOTES PROPOSED WOOD DECK	DENOTES EXISTING WATER VALVE
DENOTES PROPOSED GRAVEL	DENOTES EXISTING FIRE HYDRANT
DENOTES EXISTING WETLANDS	DENOTES EXISTING CATV LINE MARKER
DENOTES 25' WETLAND BUFFER	DENOTES PROPOSED RETAINING WALL
DENOTES EXISTING STORM PIPE	DENOTES PROPOSED CHAIN LINK FENCE
DENOTES EXISTING OVERHEAD UTILITIES	DENOTES QUANTITY OF PARKING STALLS PER ROW

PARKING CALCULATIONS:
PROPOSED 1,280 SF RESTAURANT
AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
10 PARKING STALLS PER 1,000 SF REQUIRED
(1,280/1,000)*10 = 12.8 STALLS REQUIRED
13 TOTAL PARKING STALLS REQUIRED
12 REGULAR STALLS PROPOSED
1 HANDICAP STALL PROPOSED
13 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN

SITE DATA:
13170 SORRENTO ROAD
PARCEL ZONING: COM
FLU: MU-S

BUILDING SETBACKS REQUIRED (COM ZONED PARCEL):
FRONT SETBACK = 15'
REAR SETBACK = 15'
SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%
MAXIMUM BUILDING HEIGHT: 150'
MAXIMUM FLOOR AREA RATIO: 2.0 (MU-S)

PROPOSED FLOOR AREA RATIO:
TOTAL GROSS FLOOR AREA = 1,280 SF
GROSS LOT AREA = 26,684 SF
FLOOR AREA RATIO = 1,280 SF/26,684 SF = 0.05

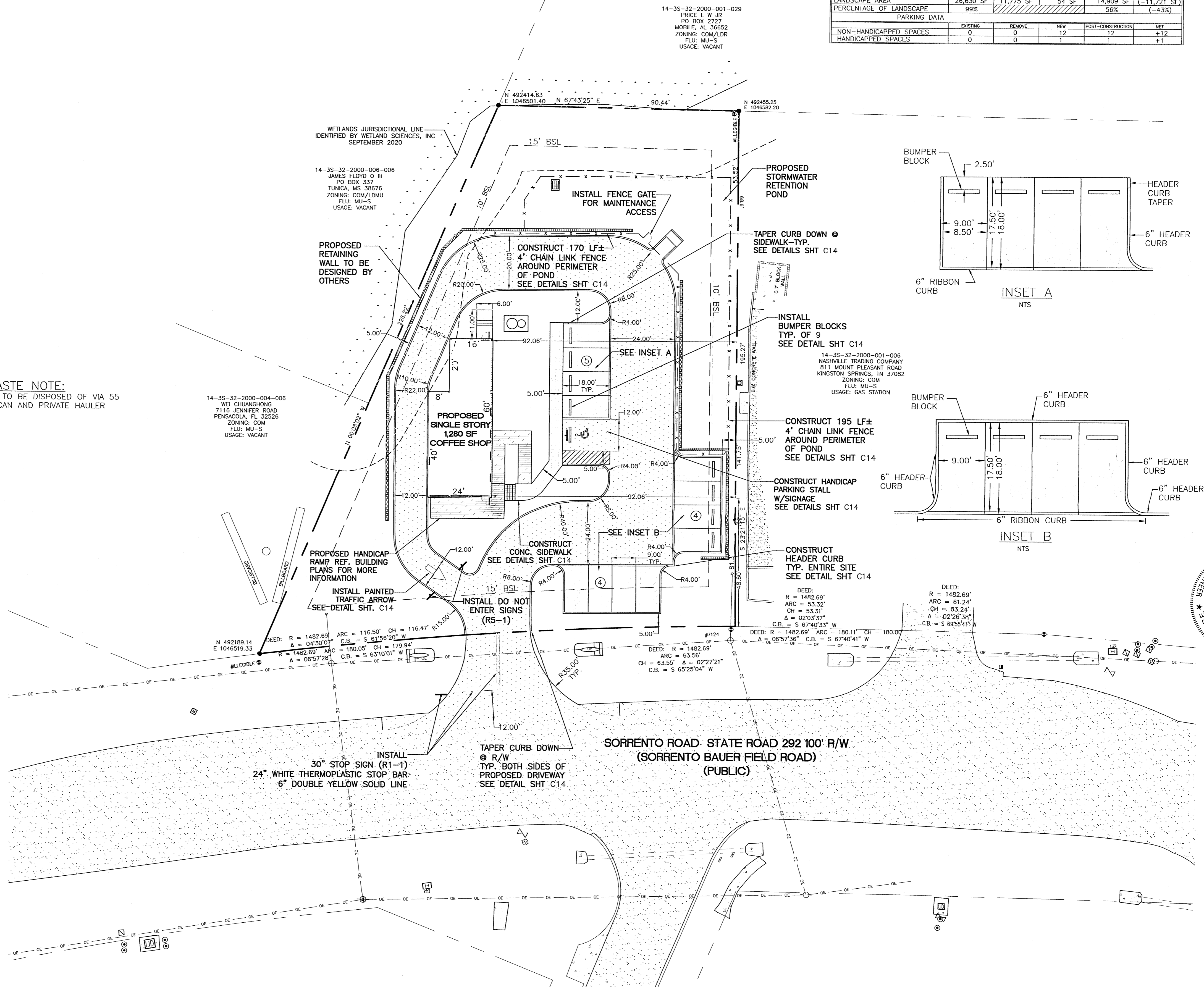
PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. MINIMUM OF 40 TONS

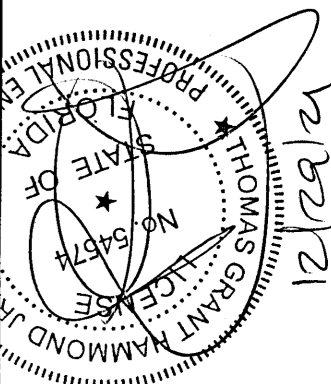
SOLID WASTE NOTE:
SOLID WASTE TO BE DISPOSED OF VIA 55 GAL. TRASH CAN AND PRIVATE HAULER



14-35-32-2000-001-029
PRICE L W JR
PO BOX 2727
MOBILE, AL 36652
ZONING: COM/LDR
FLU: MU-S
USAGE: VACANT

EXISTING SITE AREA: 26,684 SF - 0.61 ACRES					
IMPERVIOUS and PERVIOUS AREA					
BUILDINGS	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
ASPHALT/CONCRETE	0 SF	0 SF	1,280 SF	1,280 SF	+1,280 SF
TOTAL IMPERVIOUS AREA	0 SF	0 SF	9,268 SF	9,268 SF	+9,268 SF
SEMI-IMPERVIOUS AREA	54 SF	54 SF	2,507 SF	2,507 SF	+2,453 SF
LANDSCAPE AREA	26,630 SF	11,775 SF	54 SF	14,909 SF	(-11,721 SF)
PERCENTAGE OF LANDSCAPE	99%	56%	56%	56%	(-43%)
PARKING DATA					
NON-HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
HANDICAPPED SPACES	0	0	1	1	+1

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
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850 434-2603
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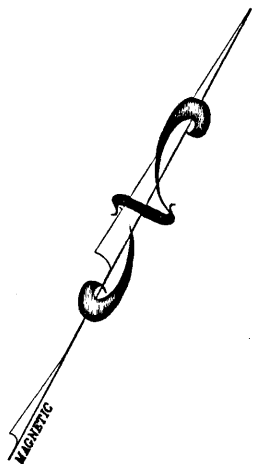


SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
SITE PLAN

DRAWN BY: CJB
DESIGNED BY: RLB
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION

PROJECT NO: 20-057

SHEET: C4



1. THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.

THE CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY

20.00 DENOTES PROPOSED SPOT ELEVATION

M.E.G. MATCH EXISTING GRADE

20.50 DENOTES PROPOSED DUAL SPOT ELEVATION
20.00 TOP ##=TOP OF CURB/SIDEWALK
BOTTOM ##=ASPHALT/CONC. ELEV

CONSTRUCT 180 LF±
RETAINING WALL
TO BE DESIGNED BY OTHERS

CONSTRUCT 18" MITERED
END SECTION
INV ELEV=11.50
SEE DETAILS SHT C21

CONSTRUCT 18" MITERED
END SECTION
INV ELEV=111.40
SEE DETAILS SHT C21

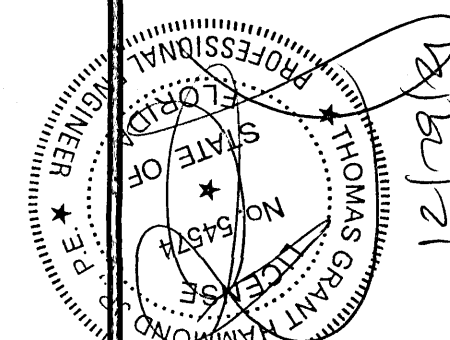
BM 1680/684
ELEV=12.96'

APPROXIMATE
LOCATION
BM 1680/688
ELEV=12.80'

***POND SIDE SLOPES (MINUS THE FILTER SYSTEM)
TO BE SODDED AND PINNED***

1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3).
2. ONCE INITIAL CLEARING AND GRADING ARE COMPLETE AND PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS OR SEMI-IMPERVIOUS SURFACE, THE DETENTION BASIN SHALL BE CONSTRUCTED.
3. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
4. CONSTRUCT THE IN-BANK SIDE SAND FILTER SYSTEM AND INCLUDE A MIN. OF 8" MOUNDN SAND ON TOP OF THE SYSTEM. INSTALL SILT FENCING AND HAY BALES AROUND PERIMETER OF FILTER SYSTEM FOLLOWING CONSTRUCTION.
5. THE POND AND UPSTREAM SLOPES SHALL BE MONITORED FOR GROUNDWATER SEEPAGE DURING CONSTRUCTION. SHOULD SEEPAGE OCCUR AND CAUSE EROSION OF UPSTREAM SLOPES, A TEMPORARY FRENCH DRAIN SYSTEM (6" PERFORATED HDPE PIPE IN 12" WIDE GRAVEL ENVELOPE EXTENDING TO THE GROUND SURFACE) SHALL BE INSTALLED ON THE UPSTREAM SIDE OF THE POND TO INTERCEPT THE FLOW OF GROUNDWATER.
6. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
7. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE BASIN BOTTOM (OUTSIDE OF THE FILTER SYSTEM) MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION. THE MOUNDN SAND FOUND ON THE TOP OF THE FILTER SYSTEM MAY ALSO BE REMOVED.
8. FINALLY, THE ENTIRE BANK SLOPES AND POND BOTTOM (MINUS THE SAND FILTER SYSTEM) SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUEDA, AND OTHER GRASS SPECIES. THE SAND FILTER SYSTEM SHOULD BE MONITORED DURING THE GROWTH OF GRASS. ONCE THE POND IS STABILIZED, THE SILT FENCING AND HAY BALES MAY BE REMOVED FROM THE PERIMETER OF THE FILTER SYSTEM.

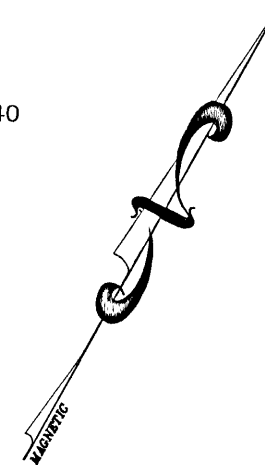
SECTION A-A
NTS





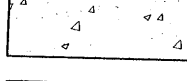

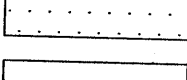

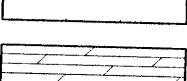

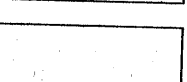



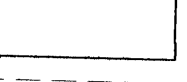

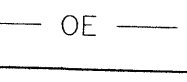





ESCAMBIA COUNTY FLORIDA

BY: _____	DATE: _____
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SHEET: C5

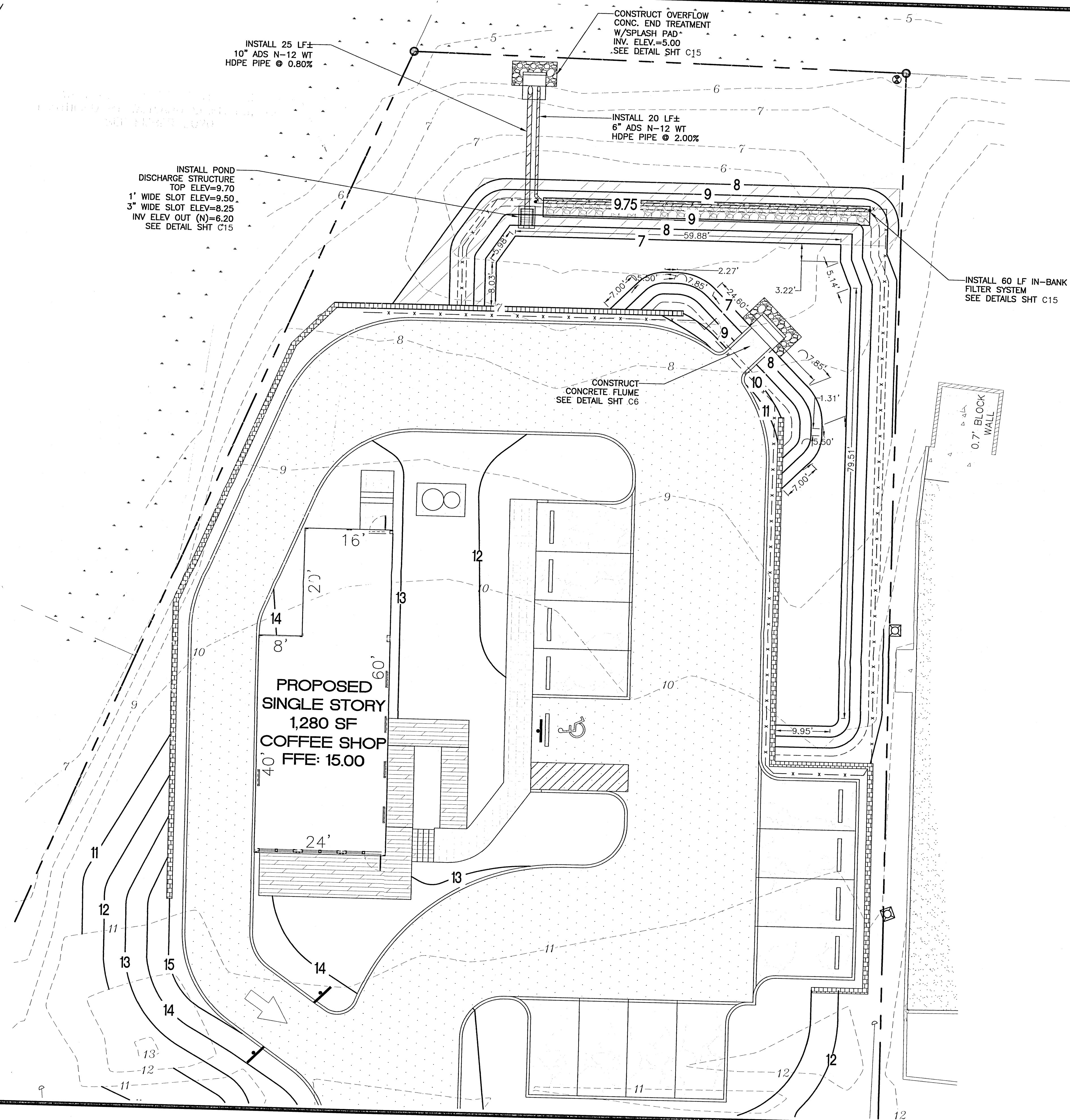
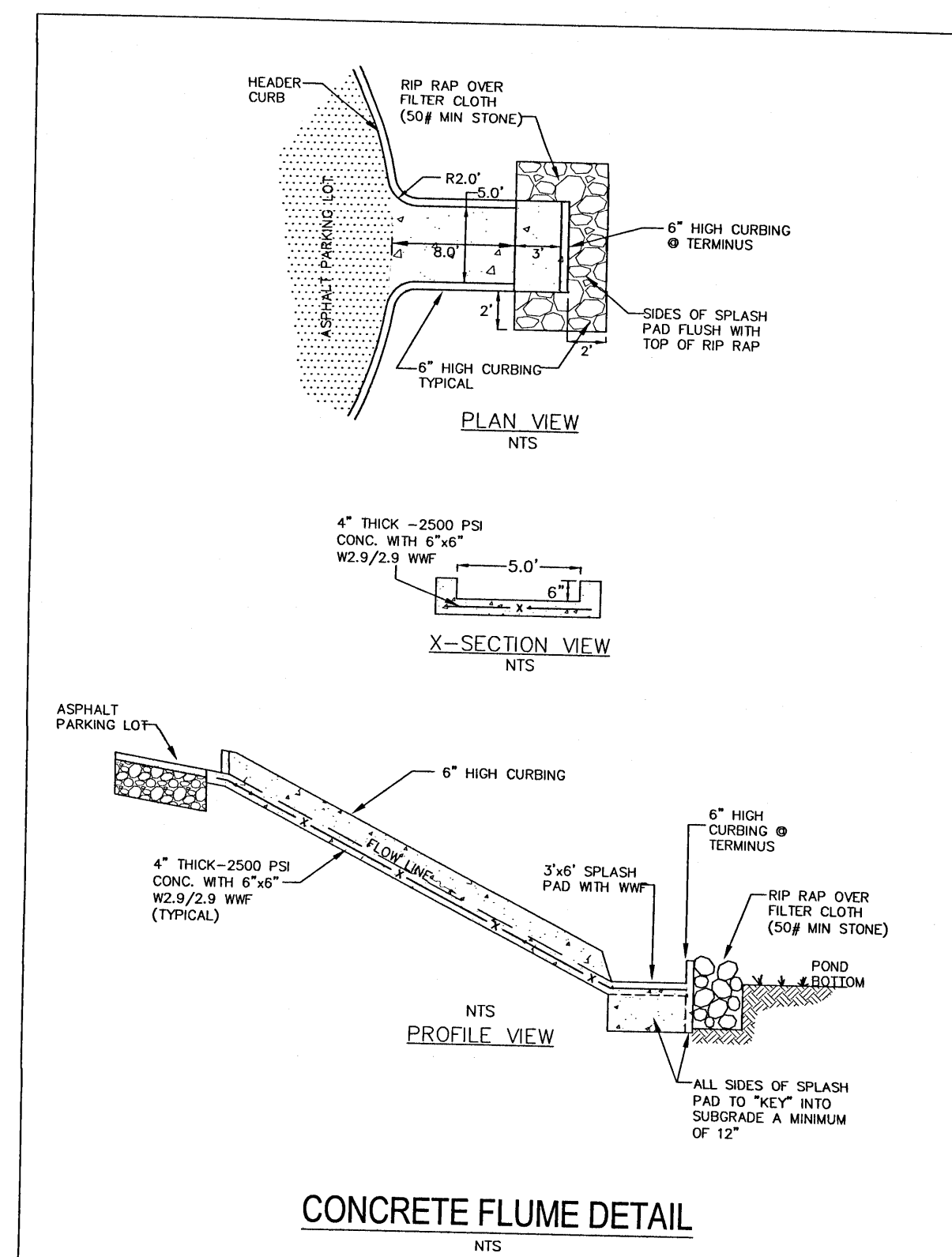


LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GUY WIRE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING BACKFLOW PREVENTER
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES PROPOSED WOOD DECK		DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED GRAVEL		DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING WETLANDS		DENOTES EXISTING CATV LINE MARKER
	DENOTES 25' WETLAND BUFFER		DENOTES PROPOSED RETAINING WALL
	DENOTES EXISTING STORM PIPE		DENOTES PROPOSED CHAIN LINK FENCE
	— OE — DENOTES EXISTING OVERHEAD UTILITIES		DENOTES PROPOSED STORM PIPE

LAND DISTURBANCE ACTIVITIES NOTE:

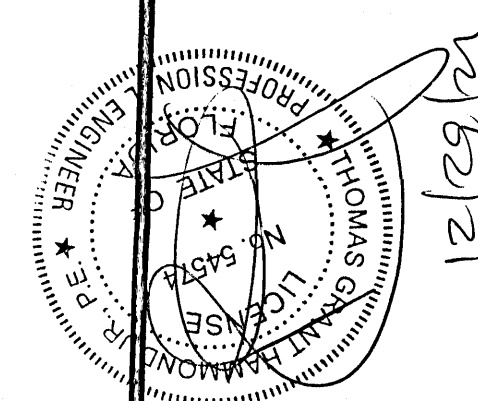
1. THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.



NO.	DATE	REVISIONS
△	08/10/2021	REVISED PLANS AS PER ECUA INITIAL PERMIT REVIEW COMMENTS
△	08/12/2021	REVISED PLANS AS PER ESCAMBA COUNTY PERMIT REVIEW COMMENTS
△	08/28/2021	REVISED PLANS AS PER FOOT ACCESS PERMIT REVIEW COMMENTS
△	08/26/2021	REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS
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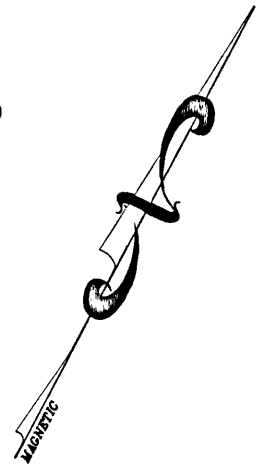
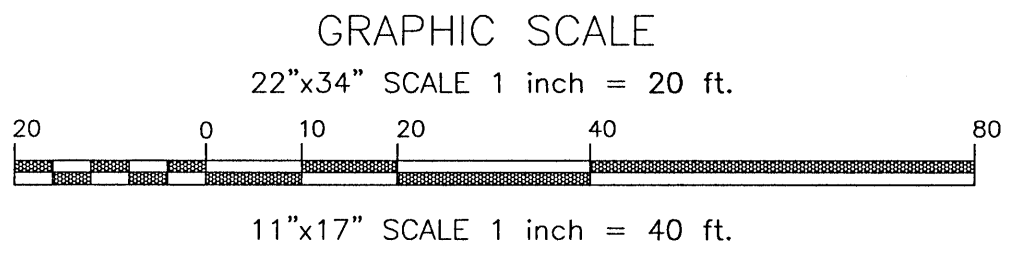
ESCAMBIA COUNTY FLORIDA

**SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
STORMWATER POND
PLAN**

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION

PROJECT NO: 20-057

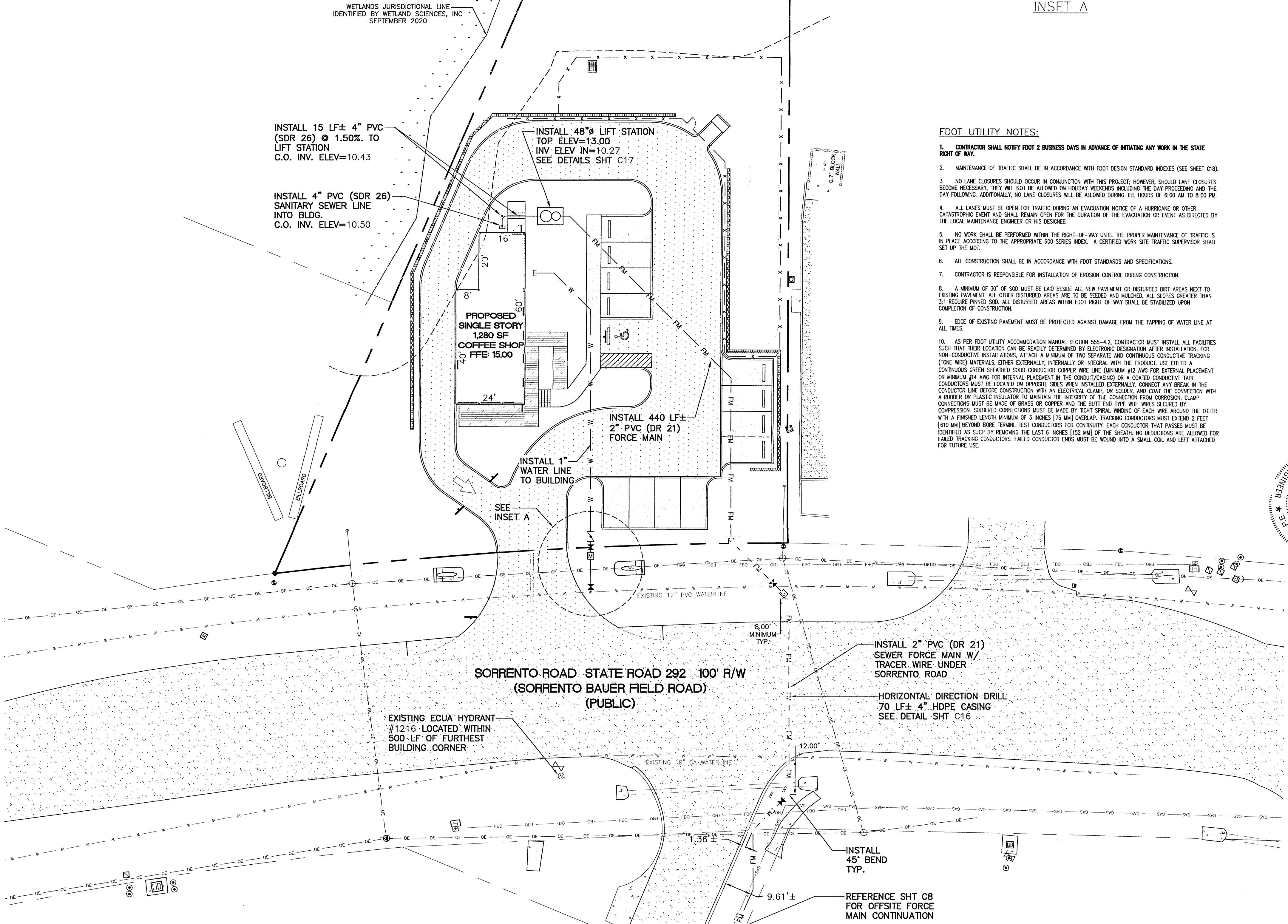
SHEET: C6

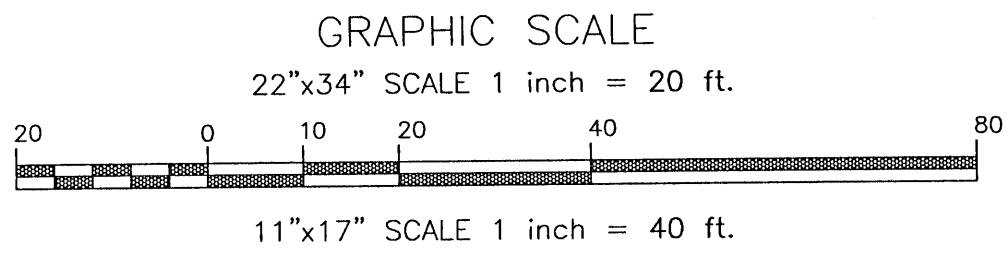


LEGEND:	
	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES PROPOSED ASPHALT
	DENOTES PROPOSED CONCRETE
	DENOTES PROPOSED WOOD DECK
	DENOTES PROPOSED GRAVEL
	DENOTES EXISTING WETLANDS
	DENOTES 25' WETLAND BUFFER
	DENOTES EXISTING STORM PIPE
	DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED STORM PIPE
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING GUY WIRE
	DENOTES EXISTING BACKFLOW PREVENTER
	DENOTES EXISTING LIGHT POLE
	DENOTES EXISTING WATER VALVE
	DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING CATV LINE MARKER
	DENOTES PROPOSED RETAINING WALL
	DENOTES PROPOSED CHAIN LINK FENCE
	DENOTES EXISTING WATER LINE
	DENOTES EXISTING GAS LINE
	DENOTES EXISTING BURIED FIBER OPTIC CABLE
	DENOTES PROPOSED WATER LINE
	DENOTES PROPOSED SANITARY SEWER LINE
	DENOTES PROPOSED SANITARY SEWER FORCE MAIN

GENERAL UTILITY NOTES:

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA, F.D.O.T. and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W, 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line, sanitary sewer line, and sanitary sewer force main shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C16 & C17.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.





LEGEND:

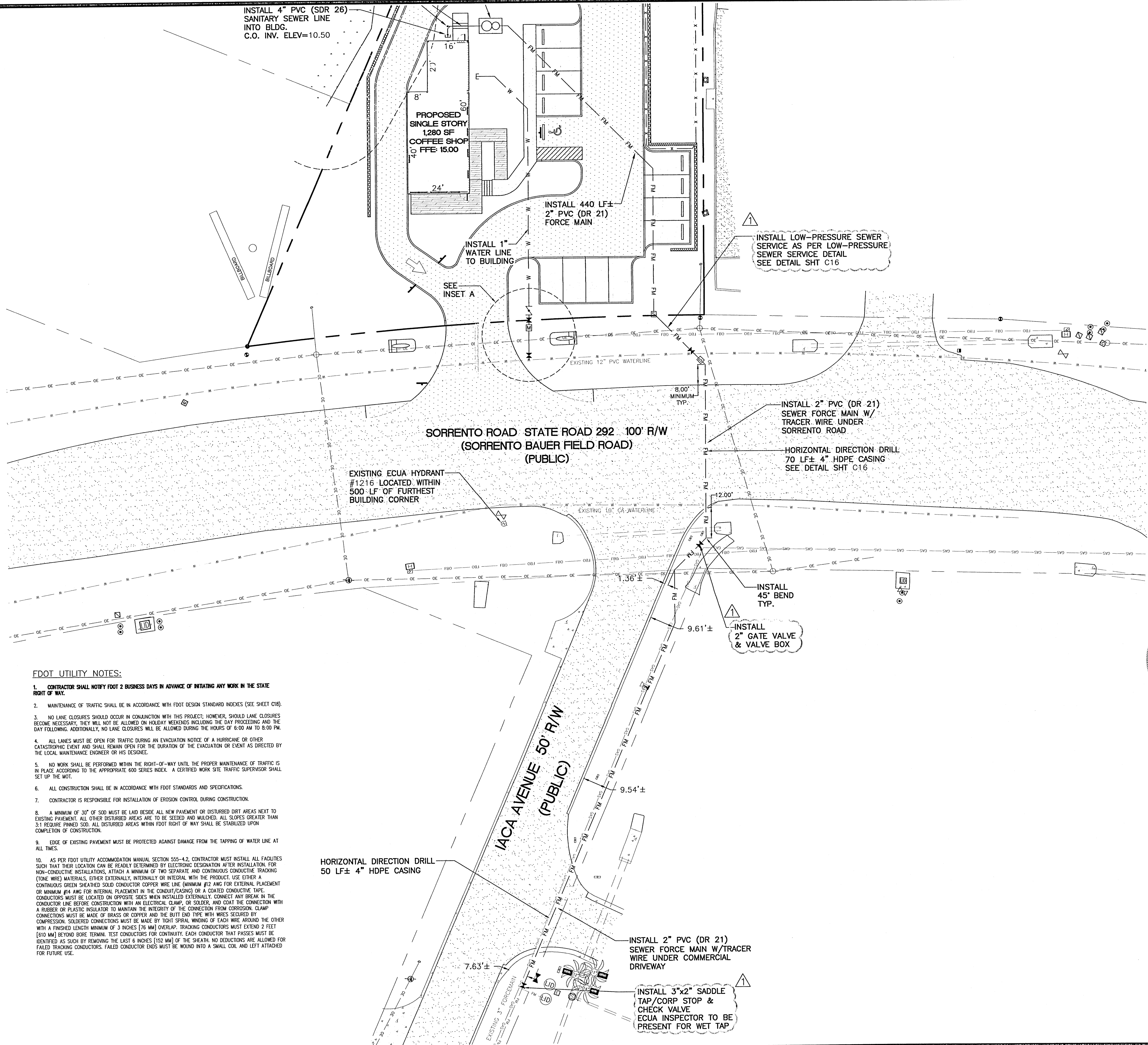
	DENOTES EXISTING ASPHALT		DENOTES EXISTING UTILITY POLE
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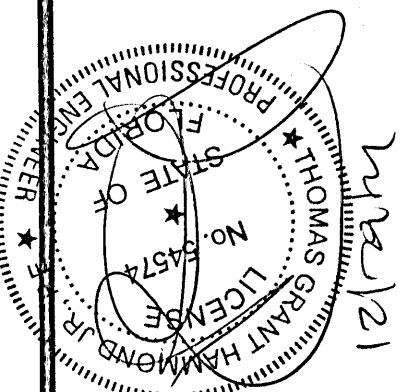
FDOT UTILITY NOTES:

- CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE OF INITIATING ANY WORK IN THE STATE RIGHT OF WAY.
- MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARD INDEXES (SEE SHEET C18).
- NO LANE CLOSURES SHOULD OCCUR IN CONJUNCTION WITH THIS PROJECT; HOWEVER, SHOULD LANE CLOSURES BECOME NECESSARY, THEY WILL NOT BE ALLOWED ON HOLIDAY WEEKENDS INCLUDING THE DAY PROCEEDING AND THE DAY FOLLOWING. ADDITIONALLY, NO LANE CLOSURES WILL BE ALLOWED DURING THE HOURS OF 6:00 AM TO 8:00 PM.
- ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
- NO WORK SHALL BE PERFORMED WITHIN THE RIGHT-OF-WAY UNTIL THE PROPER MAINTENANCE OF TRAFFIC IS IN PLACE ACCORDING TO THE APPROPRIATE 600 SERIES INDEX. A CERTIFIED WORK SITE TRAFFIC SUPERVISOR SHALL SET UP THE MOT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF EROSION CONTROL DURING CONSTRUCTION.
- A MINIMUM OF 30" OF SOD MUST BE LAID BESIDE ALL NEW PAVEMENT OR DISTURBED DIRT AREAS NEXT TO EXISTING PAVEMENT. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED AND MULCHED. ALL SLOPES GREATER THAN 3:1 REQUIRE PINNED SOD. ALL DISTURBED AREAS WITHIN FDOT RIGHT OF WAY SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION.
- EDGE OF EXISTING PAVEMENT MUST BE PROTECTED AGAINST DAMAGE FROM THE TAPPING OF WATER LINE AT ALL TIMES.
- AS PER FDOT UTILITY ACCOMMODATION MANUAL SECTION 555-4.2, CONTRACTOR MUST INSTALL ALL FACILITIES SUCH THAT THEIR LOCATION CAN BE READILY DETERMINED BY ELECTRONIC DESIGNATION AFTER INSTALLATION. FOR NON-CONDUCTIVE INSTALLATIONS, ATTACH A MINIMUM OF TWO SEPARATE AND CONTINUOUS CONDUCTIVE TRACKING (TONE WIRE) MATERIALS, EITHER EXTERNALLY, INTERNALLY OR INTEGRAL WITH THE PRODUCT. USE EITHER A CONTINUOUS GREEN SHEATHED SOLID CONDUCTOR COPPER WIRE LINE (MINIMUM #12 AWG FOR EXTERNAL PLACEMENT OR MINIMUM #14 AWG FOR INTERNAL PLACEMENT IN THE CONDUIT/CASING) OR A COATED CONDUCTIVE TAPE. CONDUCTORS MUST BE LOCATED ON OPPOSITE SIDES WHEN INSTALLED EXTERNALLY. CONNECT ANY BREAK IN THE CONDUCTOR LINE BEFORE CONSTRUCTION WITH AN ELECTRICAL CLAMP, OR SOLDER, AND COAT THE CONNECTION WITH A RUBBER OR PLASTIC INSULATOR TO MAINTAIN THE INTEGRITY OF THE CONNECTION FROM CORROSION. CLAMP CONNECTIONS MUST BE MADE OF BRASS OR COPPER AND THE BUTT END TYPE WITH WIRES SECURED BY COMPRESSION. SOLDERED CONNECTIONS MUST BE MADE BY TIGHT SPIRAL WELDING OF EACH WIRE AROUND THE OTHER WITH A FINISHED LENGTH MINIMUM OF 3 INCHES (76 MM) OVERLAP. TRACKING CONDUCTORS MUST EXTEND 2 FEET (610 MM) BEYOND BORE TERMINI. TEST CONDUCTORS FOR CONTINUITY. EACH CONDUCTOR THAT PASSES MUST BE IDENTIFIED AS SUCH BY REMOVING THE LAST 6 INCHES (152 MM) OF THE SHEATH. NO REDUCTIONS ARE ALLOWED FOR FAILED TRACKING CONDUCTORS. FAILED CONDUCTOR ENDS MUST BE WOUND INTO A SMALL COIL AND LEFT ATTACHED FOR FUTURE USE.



NO.	DATE	REVISIONS
1	08/10/2021	REVISED PLANS AS PER ECUA INITIAL PERMIT REVIEW COMMENTS
2	08/12/2021	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
3	08/26/2021	REVISED PLANS AS PER FDOT ACCESS PERMIT REVIEW COMMENTS
4	08/26/2021	REVISED PLANS AS PER FDOT UTILITY PERMIT REVIEW COMMENTS

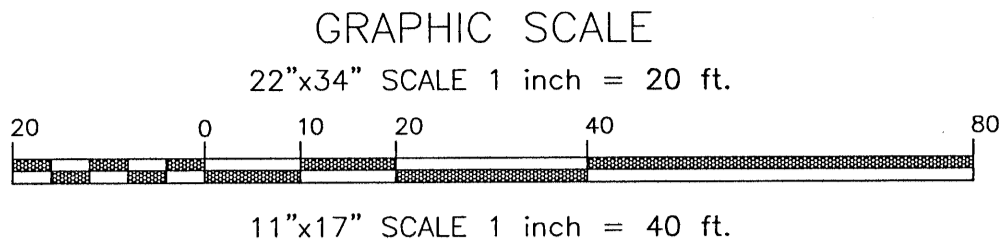
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 91377
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



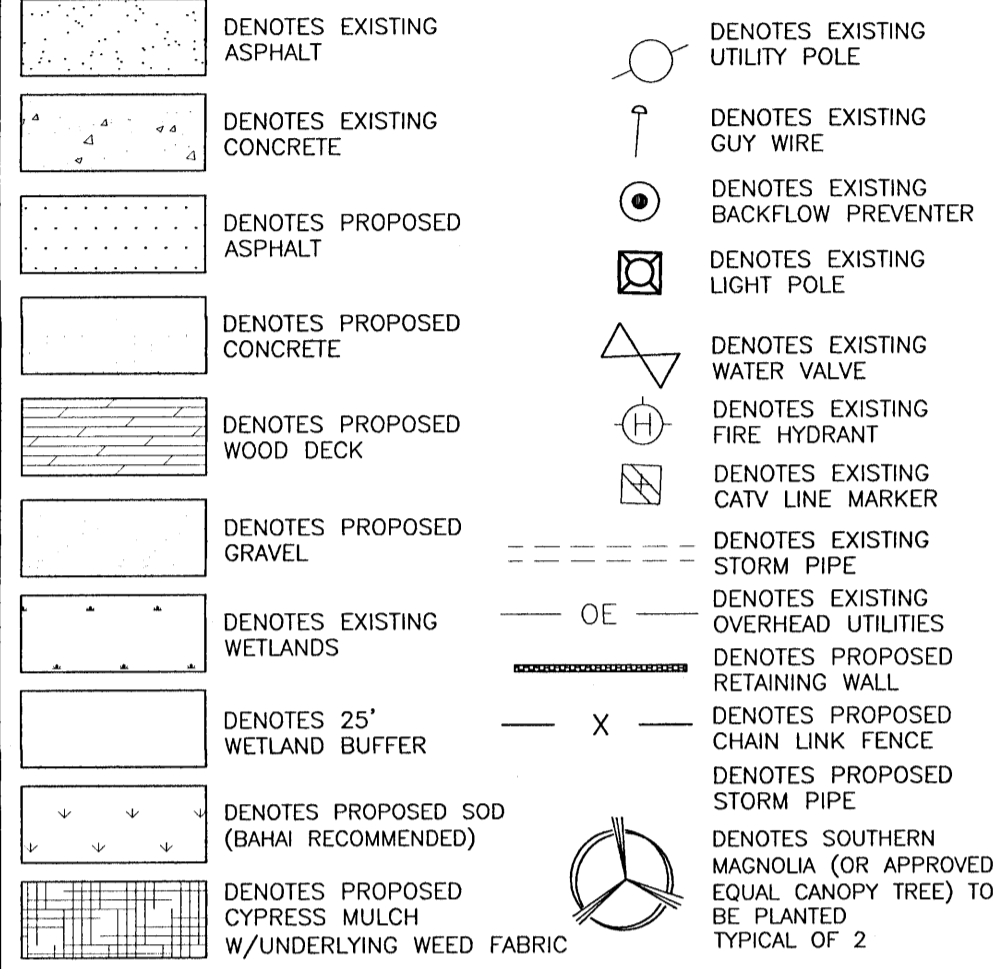
SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
OFFSITE FORCE MAIN
PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 02-26-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 20-057
SHEET: C8



LEGEND:



ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY: ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES: ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES: TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES: NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY: THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - USE OF PALMS: PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS: CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.

REQUIRED MITIGATION:

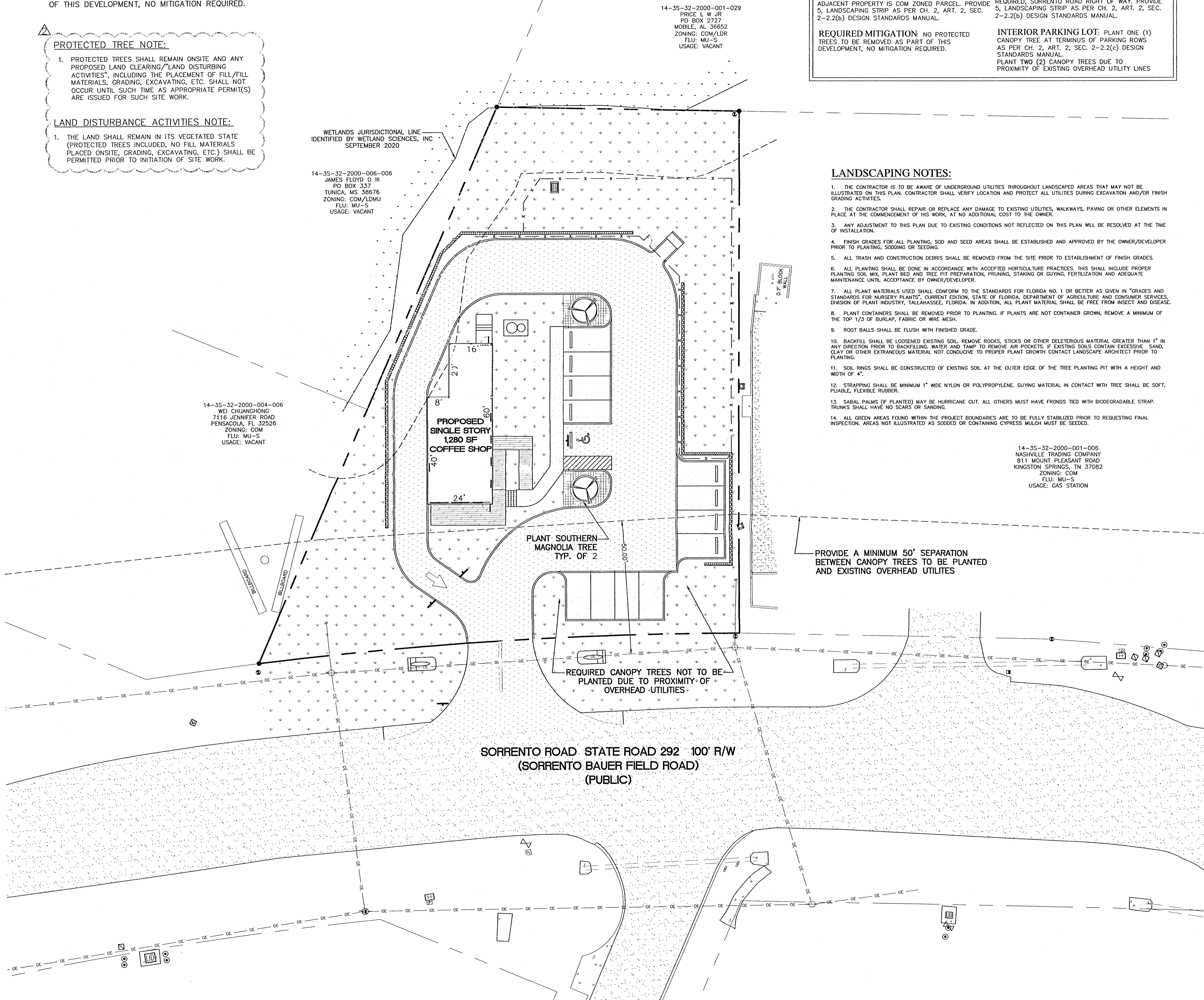
NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

PROTECTED TREE NOTE:

- PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

LAND DISTURBANCE ACTIVITIES NOTE:

- THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.



REQUIRED LANDSCAPE PLANTING DATA

WEST BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS VACANT COM ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

EAST BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS COM ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

REQUIRED MITIGATION: NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

NORTH BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS VACANT COM ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

SOUTH BOUNDARY LINE: NO BUFFER REQUIRED. SORRENTO ROAD RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.

INTERIOR PARKING LOT: PLANT ONE (1) CANOPY TREE AT TERMINUS OF PARKING ROWS AS PER CH. 2, ART. 2, SEC. 2-2.2(c) DESIGN STANDARDS MANUAL. PLANT TWO (2) CANOPY TREES DUE TO PROXIMITY OF EXISTING OVERHEAD UTILITY LINES

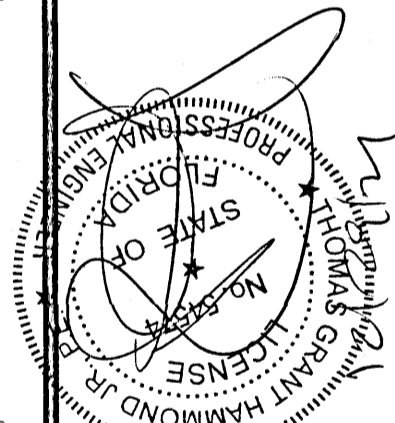
LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEEOUS MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEED.

NO.	DATE	REVISIONS
1	06/10/2021	REVISED PLANS AS PER ECIA INITIAL PERMIT REVIEW COMMENTS
2	08/12/2021	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
3	08/25/2021	REVISED PLANS AS PER FOOT ACCESS PERMIT REVIEW COMMENTS
4	08/26/2021	REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS

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ALABAMA AUTHORIZATION NO. 3277
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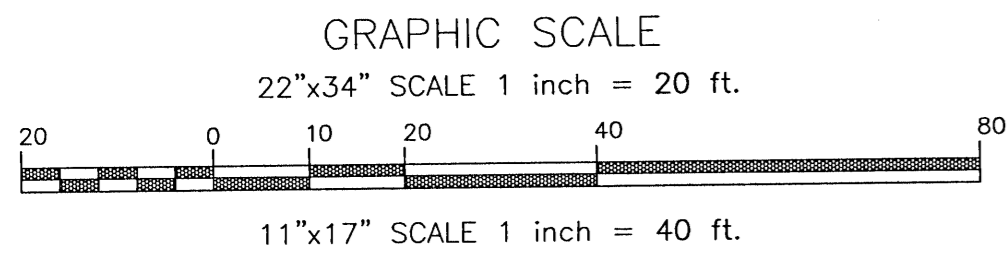


SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
LANDSCAPING PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB
DESIGNED BY: RLB
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-057

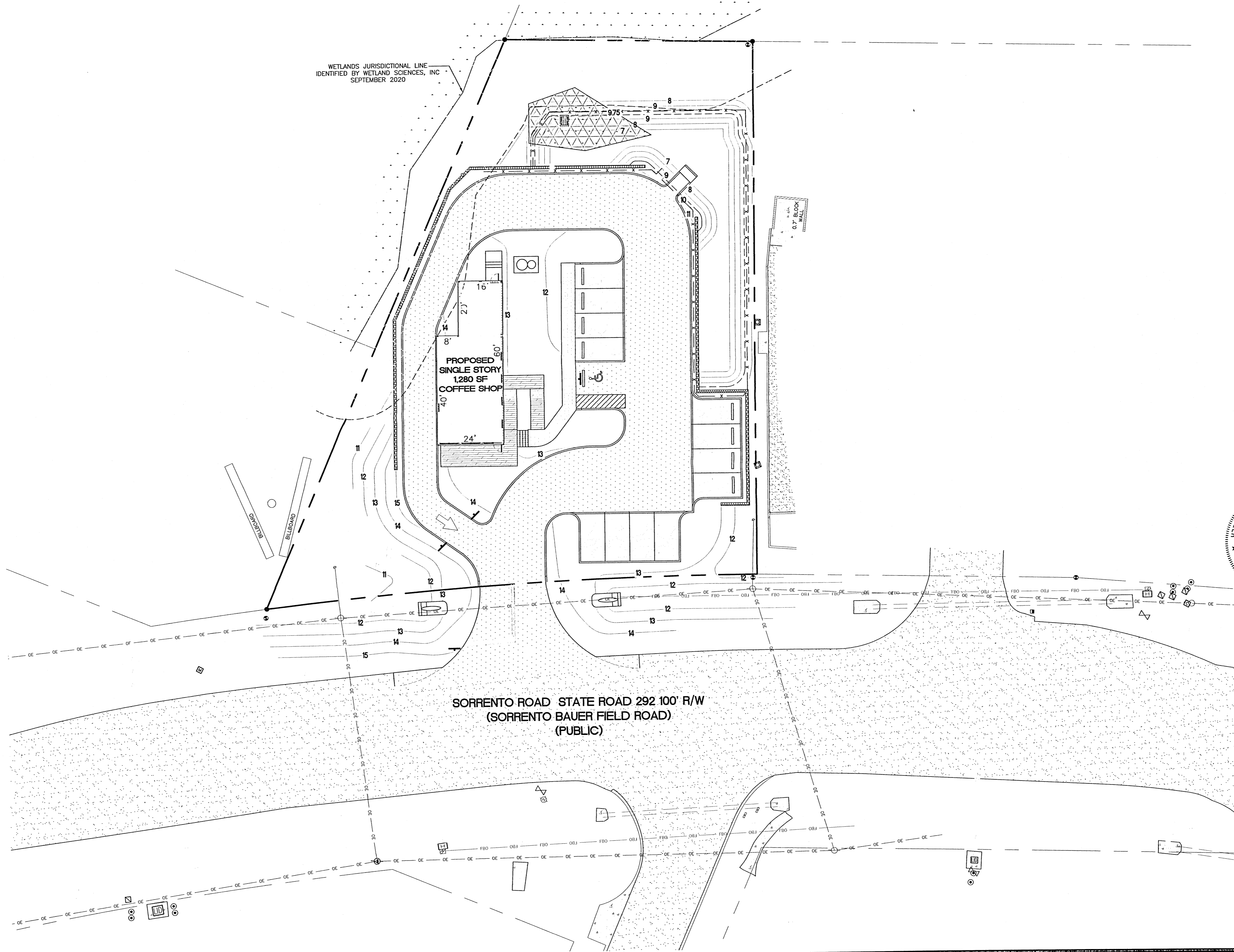
SHEET: C9



LEGEND:

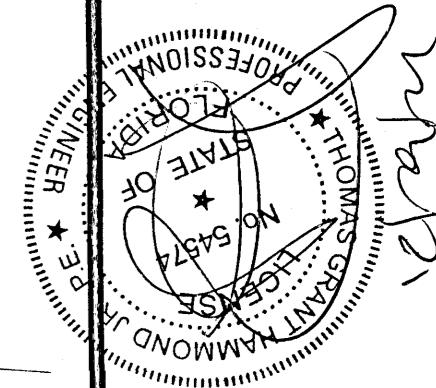
DENOTES EXISTING ASPHALT	DENOTES EXISTING UTILITY POLE
DENOTES EXISTING CONCRETE	DENOTES EXISTING GUY WIRE
DENOTES PROPOSED ASPHALT	DENOTES EXISTING BACKFLOW PREVENTER
DENOTES PROPOSED CONCRETE	DENOTES EXISTING LIGHT POLE
DENOTES PROPOSED WOOD DECK	DENOTES EXISTING WATER VALVE
DENOTES PROPOSED GRAVEL	DENOTES EXISTING FIRE HYDRANT
DENOTES EXISTING WETLANDS	DENOTES EXISTING CATV LINE MARKER
DENOTES 25' WETLAND BUFFER	DENOTES EXISTING STORM PIPE
DENOTES ISOLATED OTHER SURFACE WATER IMPACT 642.73 SF	DENOTES EXISTING OVERHEAD UTILITIES
DENOTES SECONDARY WETLAND IMPACT 1,432.76 SF	DENOTES PROPOSED RETAINING WALL
	DENOTES PROPOSED STORM PIPE

WETLAND IMPACT DATA TABLE			
ITEM	SQUARE FOOTAGE	ACREAGE	CUBIC YARDS
TOTAL DEP/ESC CO WETLANDS	0	0	N/A
PRIMARY WETLAND IMPACT	0	0	N/A
SECONDARY WETLAND IMPACT	1,432.76	0.033	N/A
TOTAL ESC. CO. WETLAND BUFFER	4,391	0.101	N/A
ISOLATED OTHER SURFACE WATER	642.73	0.015	N/A
ISOLATED OTHER SURFACE WATER IMPACT	642.73	0.015	N/A



REVISIONS		
NO.	DATE	REVISIONS
1	08/10/2021	REVISED PLANS AS PER ESCO INITIAL PERMIT REVIEW COMMENTS
2	08/12/2021	REVISED PLANS AS PER ESCAMBA COUNTY PERMIT REVIEW COMMENTS
3	08/26/2021	REVISED PLANS AS PER FOOT ACCESS PERMIT REVIEW COMMENTS
4	08/26/2021	REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS

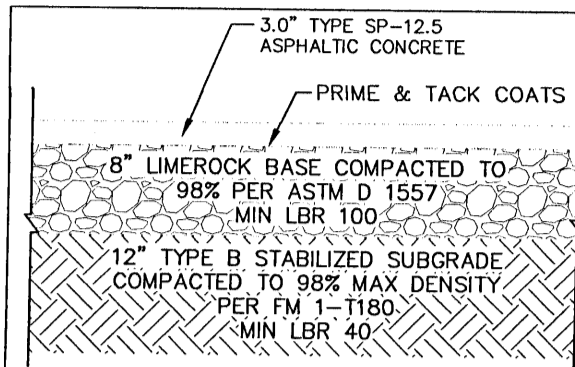
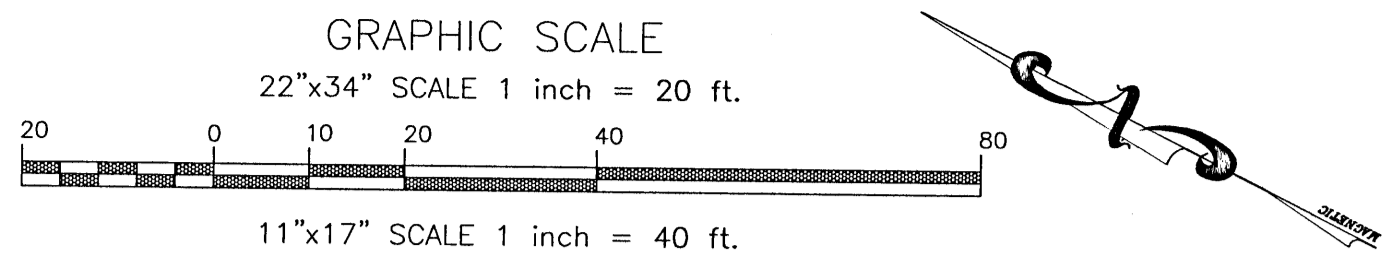
HAMMOND ENGINEERING, INC.
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SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
ENVIRONMENTAL IMPACT
PLAN
FLORIDA
ESCAMBA COUNTY

DRAWN BY: CJS	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 02-26-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

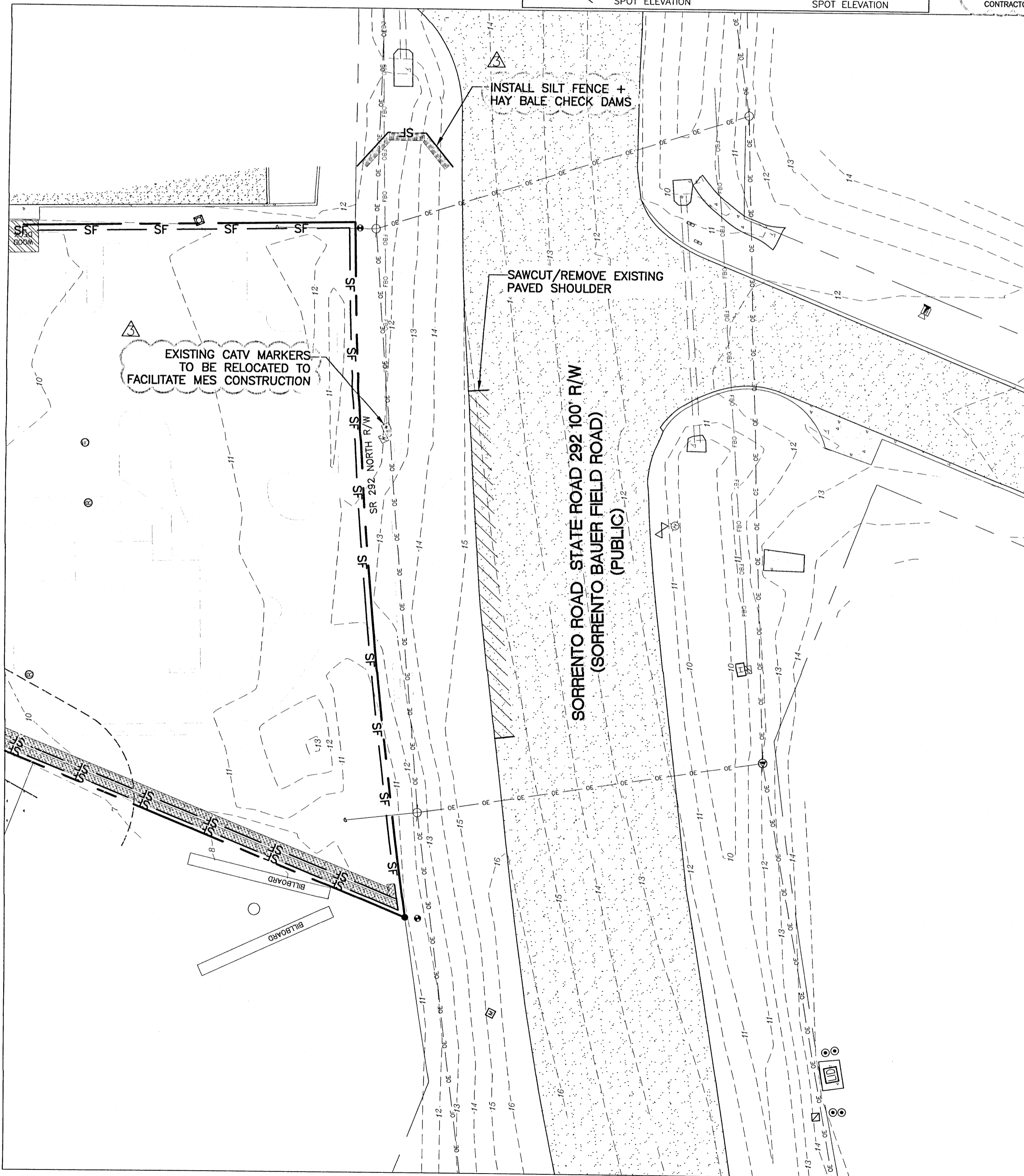
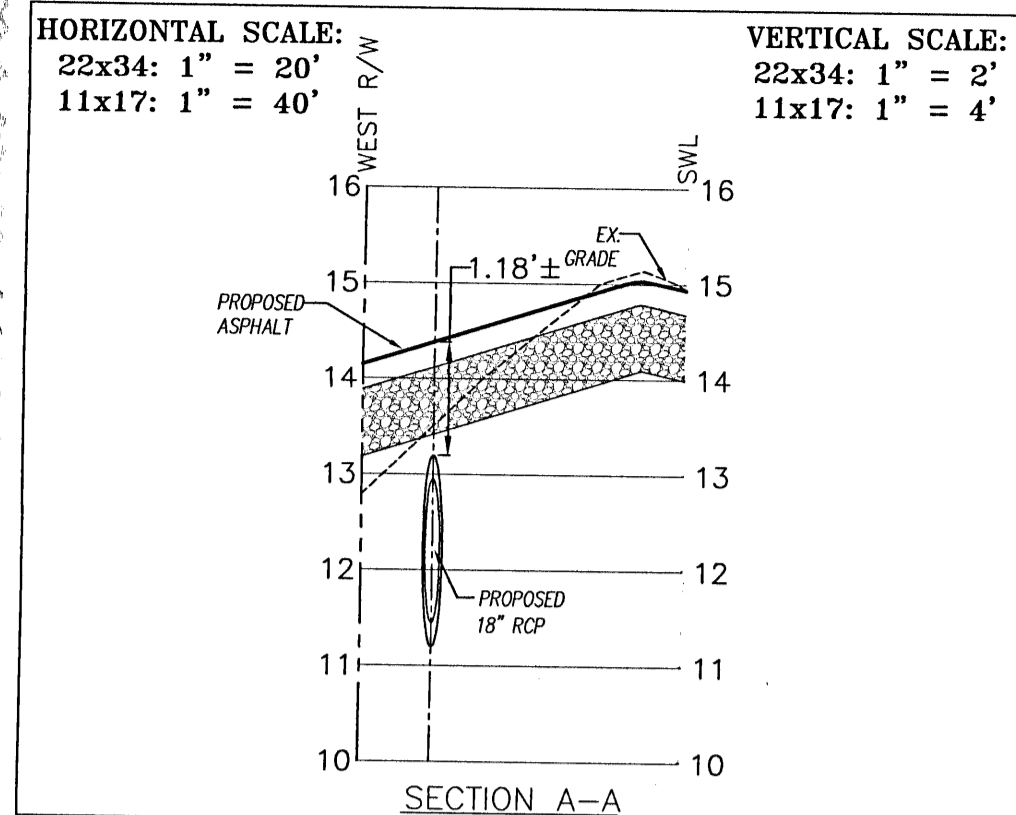
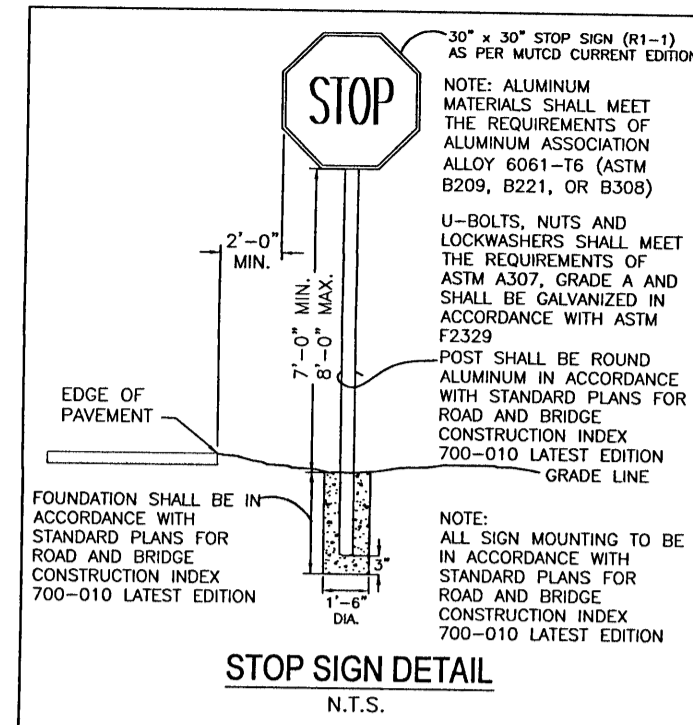
PROJECT NO: 20-057
SHEET: C10



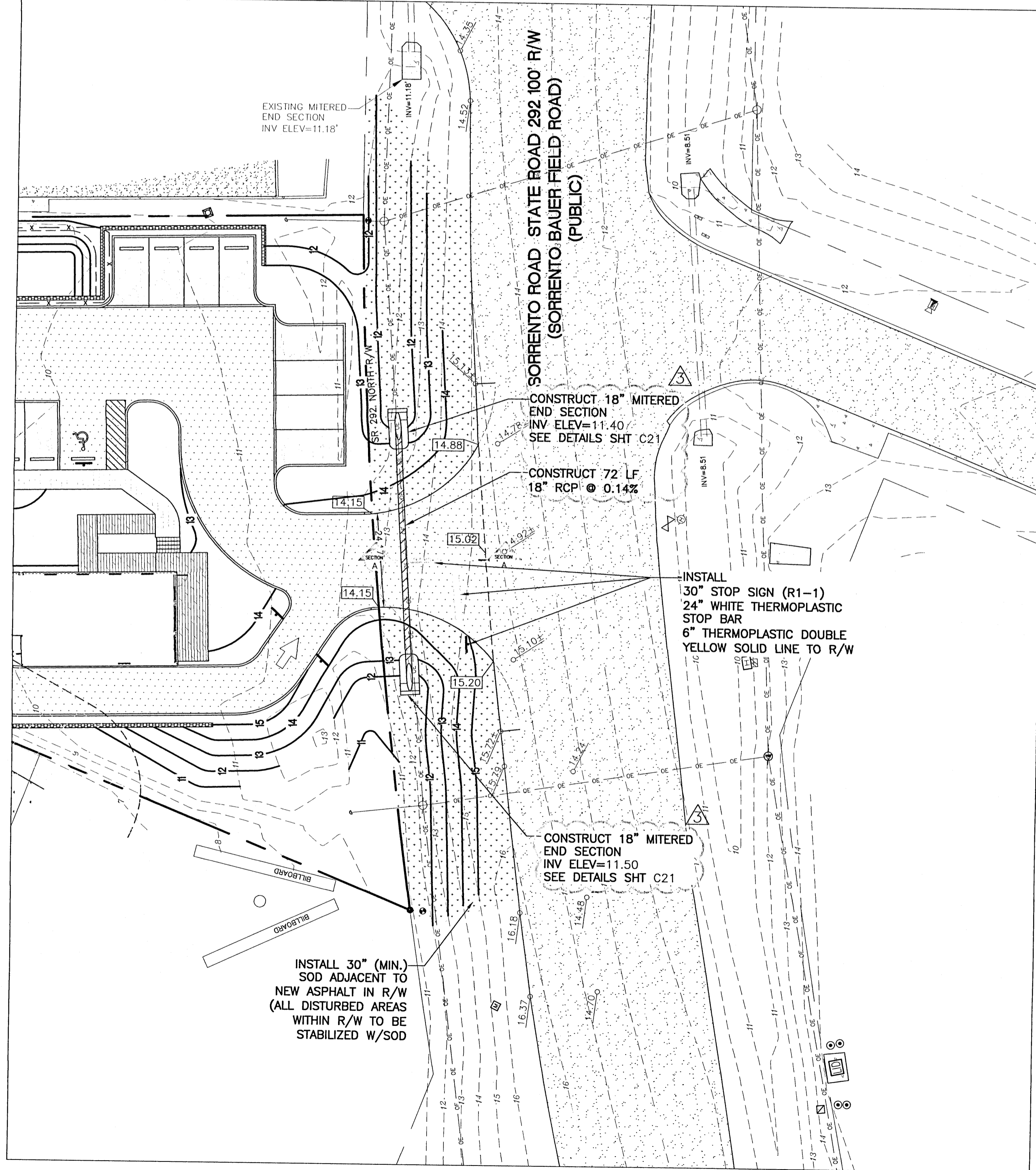
NOTE:
CONTRACTOR MUST PROVIDE
ENGINEER OF RECORD WITH
BASE AND SUBGRADE
COMPACTION TESTING RESULTS
PRIOR TO CONSTRUCTING ANY
ASPHALT SURFACE.
CONTRACTOR MUST PROVIDE
ENGINEER OF RECORD WITH
ASPHALT CORE TESTING
RESULTS PRIOR TO FINAL
AS-BUILT APPROVAL AND
SUBMITTAL TO FDOT.
CONTRACTOR TO COORDINATE
WITH E.O.R. TO DETERMINE
TEST LOCATIONS.

LEGEND:	
	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES PROPOSED ASPHALT
	DENOTES PROPOSED CONCRETE
	DENOTES PROPOSED WOOD DECK
	DENOTES PROPOSED GRAVEL
	DENOTES EXISTING ASPHALT TO BE REMOVED
	DENOTES PROPOSED SOD
	DENOTES HAY BALES TO BE INSTALLED
	DENOTES PROPOSED SPOT ELEVATION
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING GUY WIRE
	DENOTES EXISTING BACKFLOW PREVENTER
	DENOTES EXISTING LIGHT POLE
	DENOTES EXISTING WATER VALVE
	DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING CATV LINE MARKER
	DENOTES EXISTING STORM PIPE
	DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED RETAINING WALL
	DENOTES PROPOSED STORM PIPE
	DENOTES PROPOSED SILT FENCE
	MATCH EXISTING GRADE
	DENOTES EXISTING SPOT ELEVATION

- FDOT GENERAL NOTES:
1. PERMITTED WORK DOES NOT INCLUDE LANE CLOSURES ALONG THE STATE HIGHWAY. IF A LANE CLOSURE IS NECESSARY, A WRITTEN REQUEST FOR CLOSURE THAT INCLUDES PROPOSED DATES, TIMES, AND PROJECT DURATION MUST BE SUBMITTED TO FDOT. ALLOW A MINIMUM OF 2 WEEKS IN THE CONSTRUCTION SCHEDULING FOR THIS SPECIAL REVIEW.
 2. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 3. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION CURRENT EDITION, THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 4. ALL SIGNAGE FOUND IN THE RIGHT-OF-WAY THAT MUST BE REMOVED FOR CONSTRUCTION PURPOSES MUST BE RELOCATED IN THE SAME PRE-CONSTRUCTION VICINITY. ANY DAMAGE TO SIGNS OR POSTS DURING REMOVAL, STORAGE, OR RELOCATION WILL REQUIRE THE SIGN(S) OR POST(S) TO BE REPLACED WITH NEW.
 5. NO WORK SHALL BE PERFORMED WITHIN THE RIGHT-OF-WAY UNTIL THE PROPER MAINTENANCE OF TRAFFIC IS IN PLACE ACCORDING TO THE APPROPRIATE 102-600 SERIES INDEX OF THE STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION. A CERTIFIED WORKSITE TRAFFIC SUPERVISOR SHALL SET UP THE MAT.
 6. A QUALITY CONTROL PLAN FOR ALL WORK TO TAKE PLACE WITHIN THE STATE RIGHT-OF-WAY IS REQUIRED PRIOR TO START OF CONSTRUCTION.
 7. ALL PAVEMENT MARKINGS AND STRIPING TO BE THERMOPLASTIC AND INSTALLED ACCORDING TO THE APPROPRIATE 711 SERIES INDEX OF THE FDOT STANDARD PLANS FOR ROAD CONSTRUCTION.
 8. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF EROSION CONTROL DURING CONSTRUCTION.
 9. A MINIMUM OF 30" OF SOD MUST BE LAID BESIDE ALL NEW PAVEMENT. ALL OTHER DISTURBED AREAS ARE TO BE SEEDS AND MULCHED. ALL SLOPES GREATER THAN 3:1 REQUIRE PINNED SOD.
 10. ALL SODDED AND SEEDS AREAS MUST BE WATERED UNTIL GRASS IS ESTABLISHED.
 11. THE DEPARTMENT WILL REVIEW ALL LANE/SIDEWALK CLOSURE, DETOUR, AND LANE SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM.
 12. THE CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
 13. THERE SHALL BE NO TEMPORARY ROCK CONSTRUCTION ENTRANCES ON FDOT ROADWAYS. CONTRACTOR TO OBTAIN A TEMPORARY DRIVEWAY PERMIT TO ACCESS THE SITE.

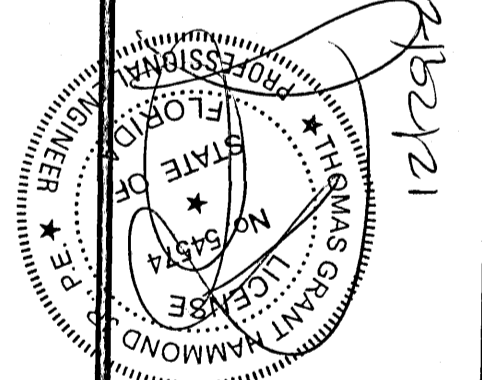


EXISTING CONDITIONS



PROPOSED IMPROVEMENTS

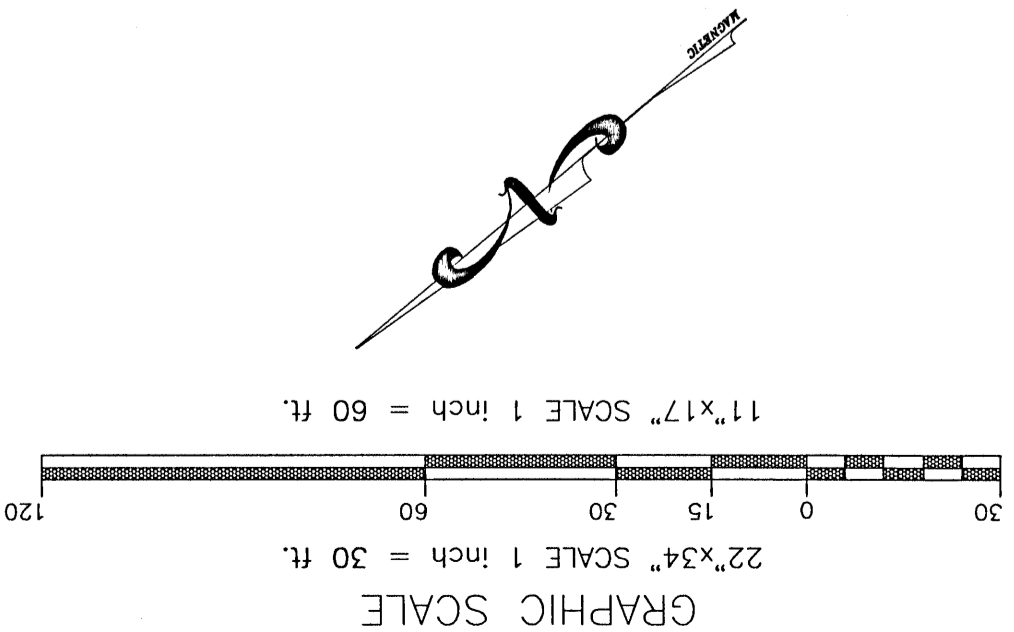
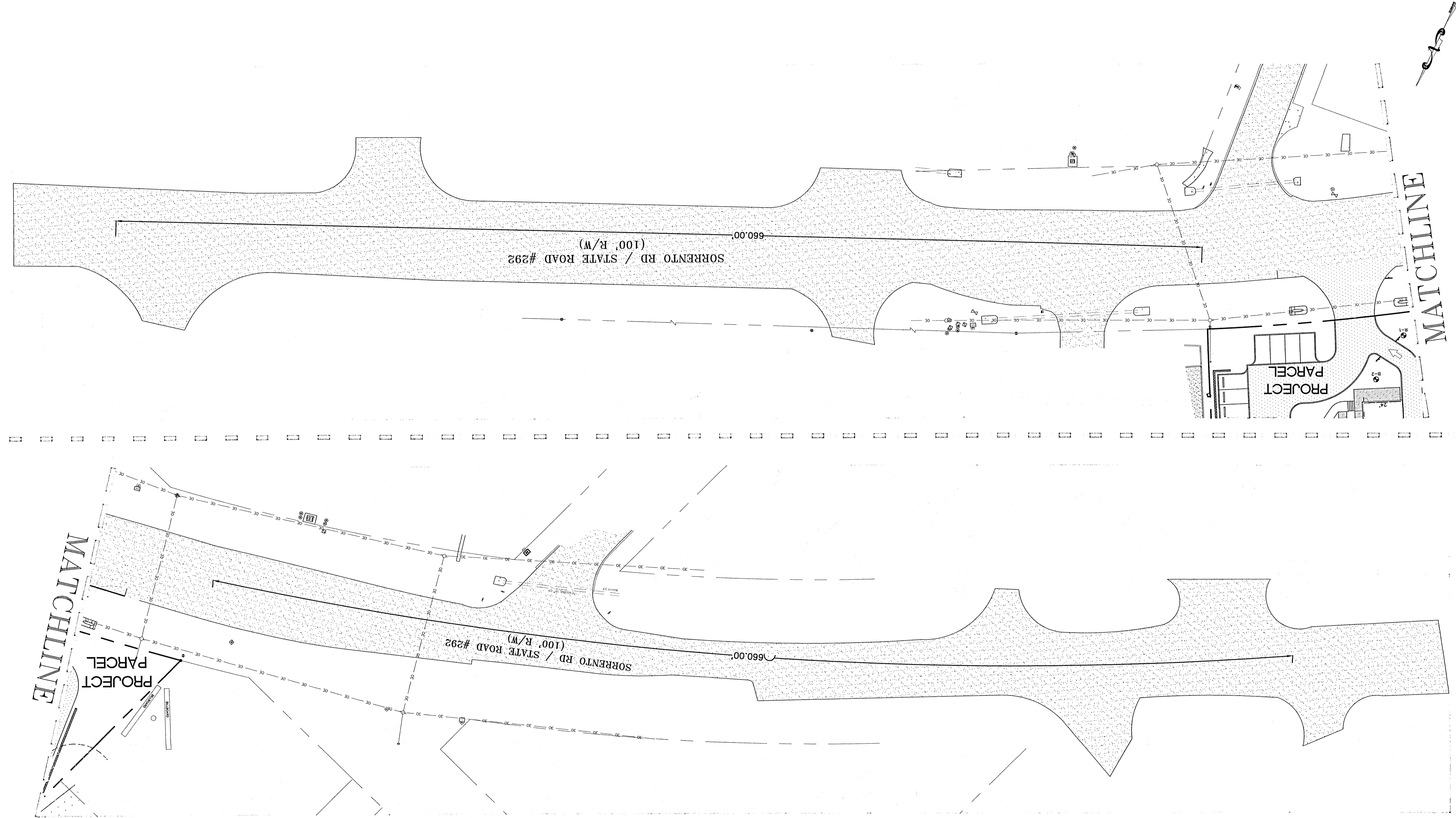
HAMMOND ENGINEERING, INC.
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SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
FOOT DRIVEWAY
CONNECTION PLAN
ESCAMBIA COUNTY FLORIDA

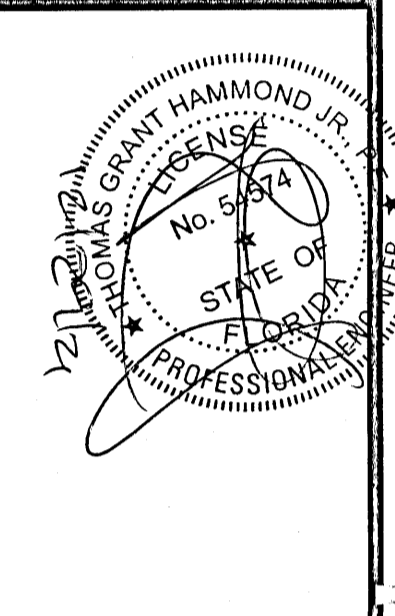
DRAWN BY: CJS
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 20-057
SHEET: C11



REVISIONS	
NO.	DATE
1	08/10/2021
2	08/12/2021
3	08/26/2021
4	08/26/2021

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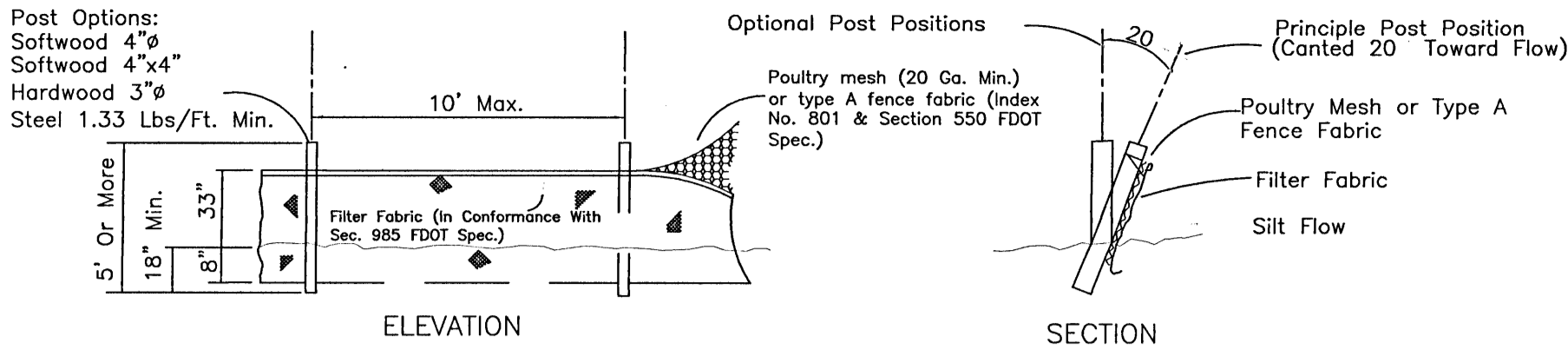


SITE DEVELOPMENT PLANS FOR DROWSY POET SORRENTO ROAD FDOT '660' PLAN

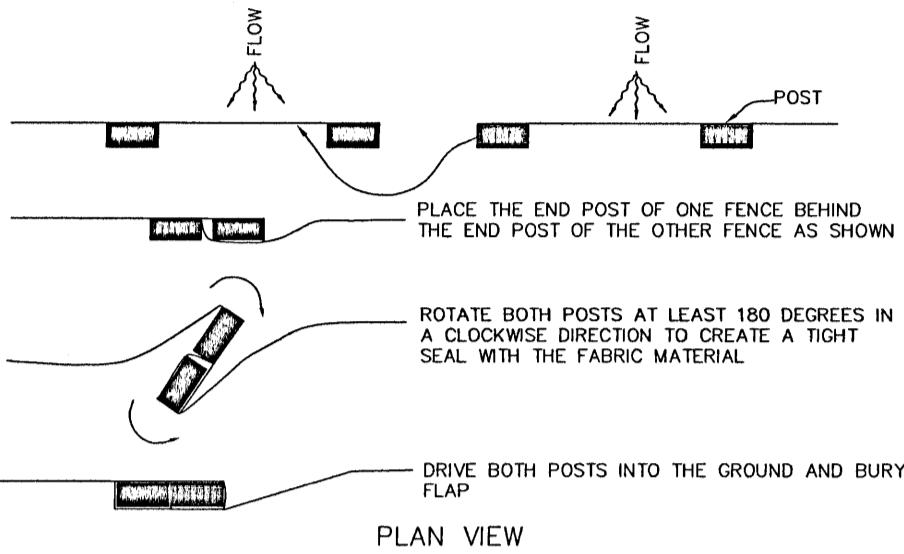
PROJECT NO: 20-097
SHEET: C12

DRAWN BY: CUB
CHECKED BY: TSH
DATE: 08-26-21
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

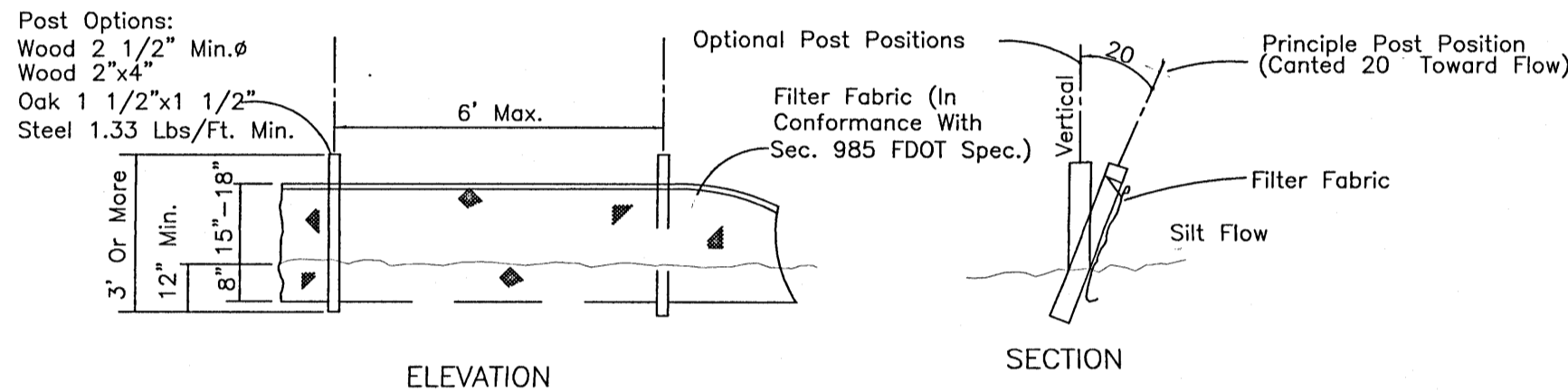
ESCAMBIA COUNTY FLORIDA



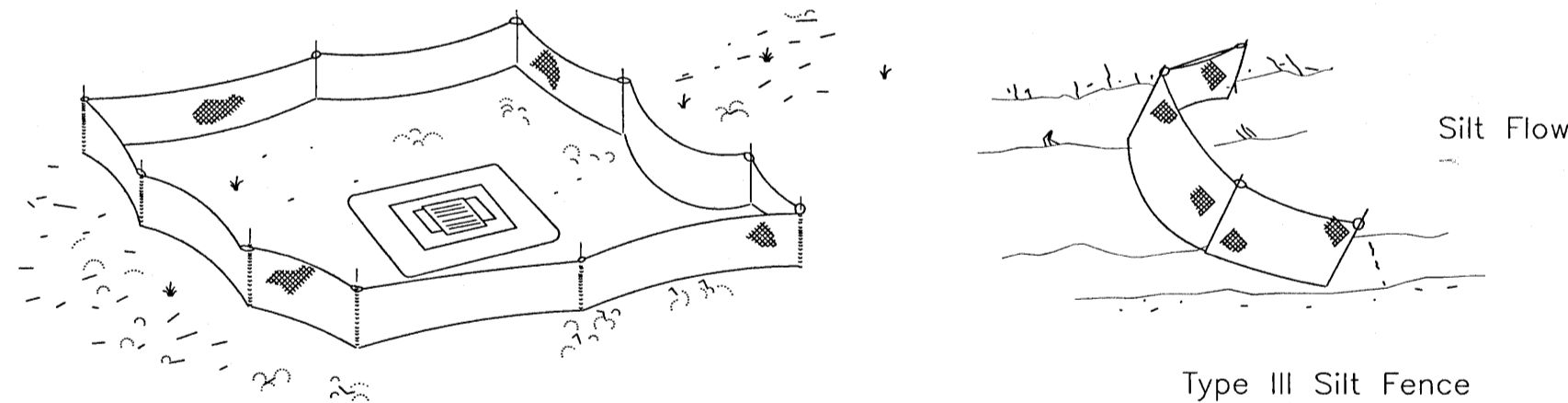
TYPE IV SILT FENCE
NTS



JOINING TWO SILT FENCES
NTS

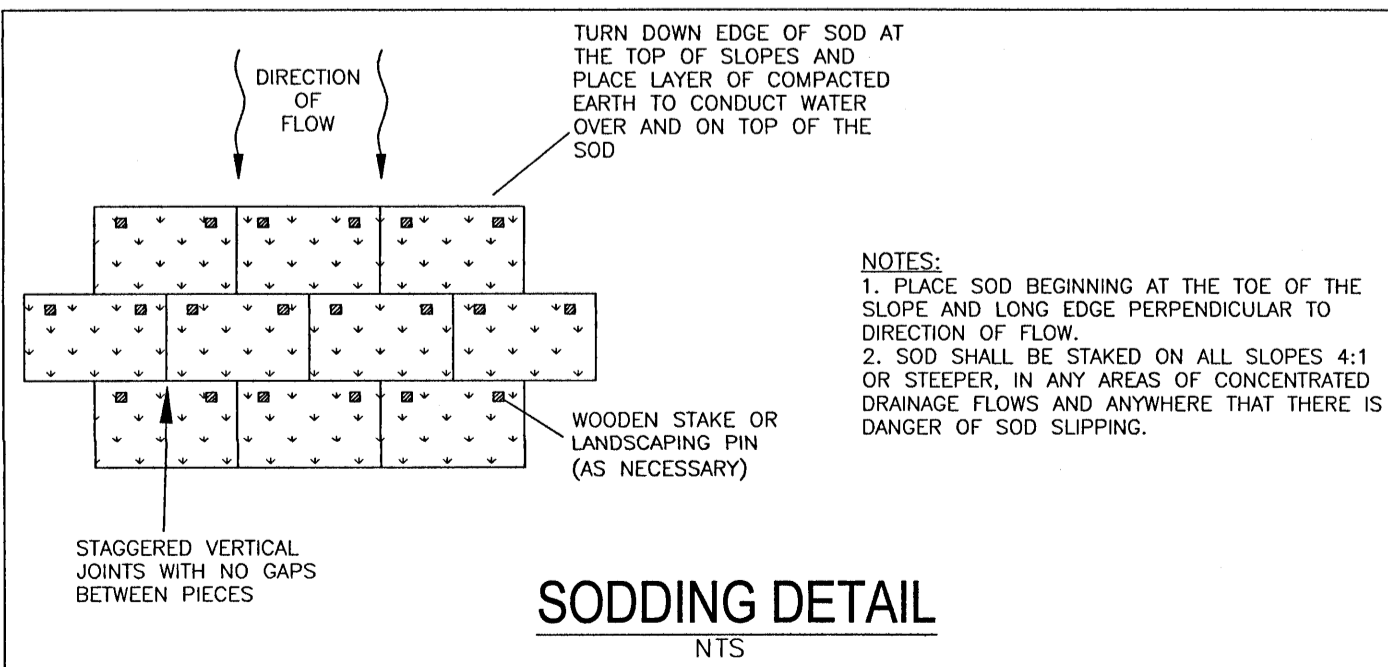


TYPE III SILT FENCE
NTS

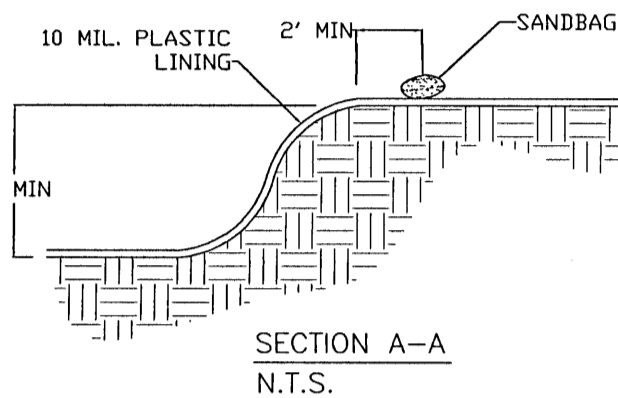
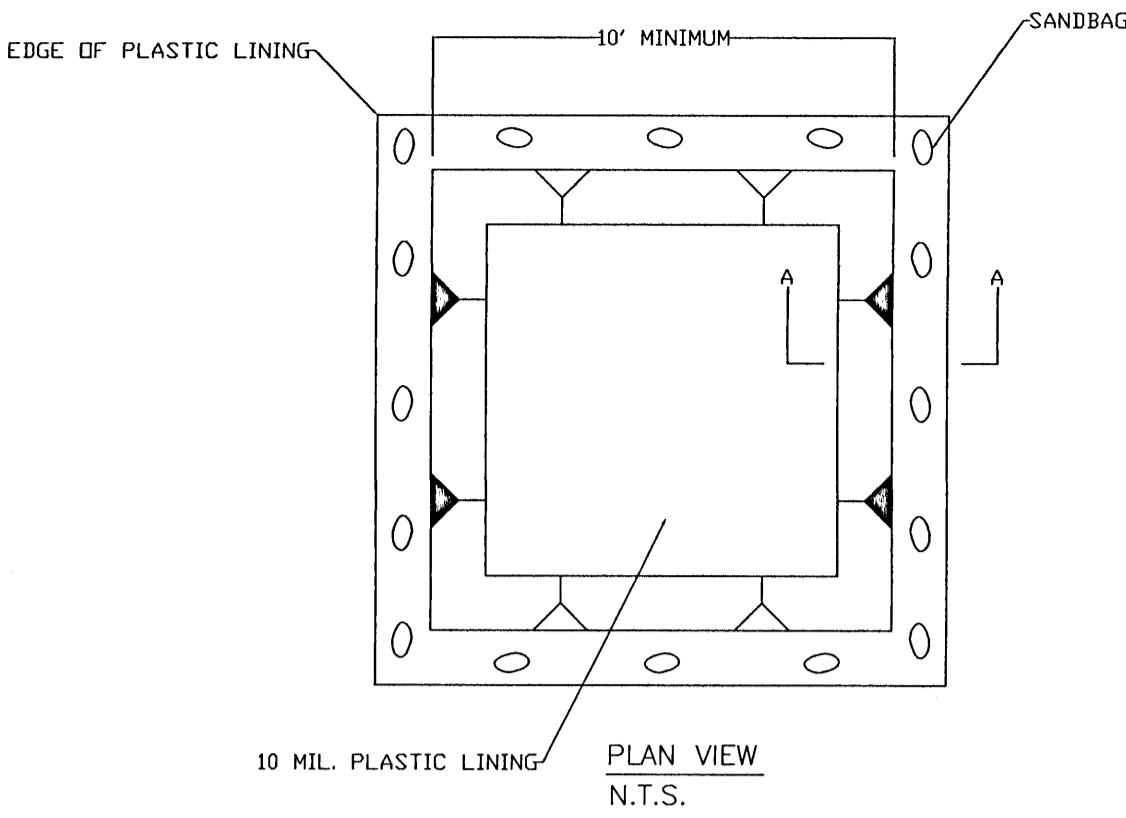


Type III Silt Fence Protection Around Ditch Bottom Inlets.

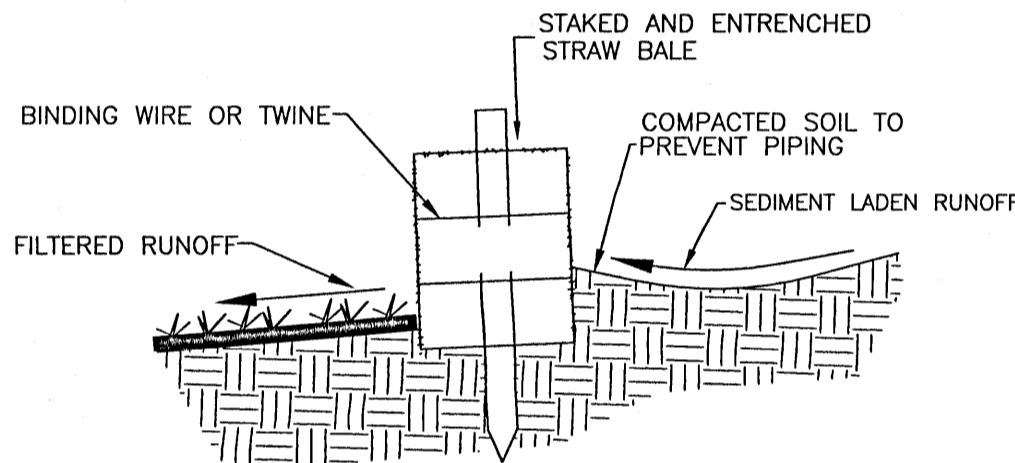
SILT FENCE APPLICATIONS
NTS



Type III Silt Fence
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

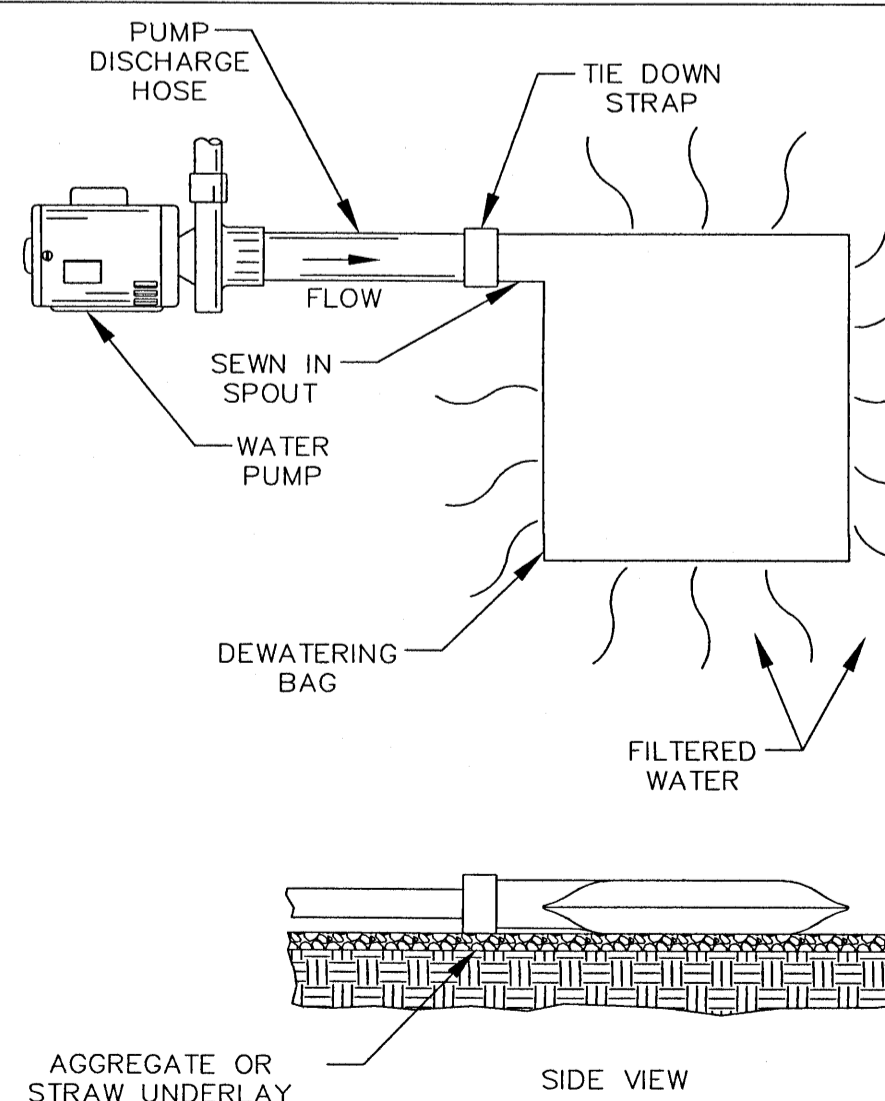
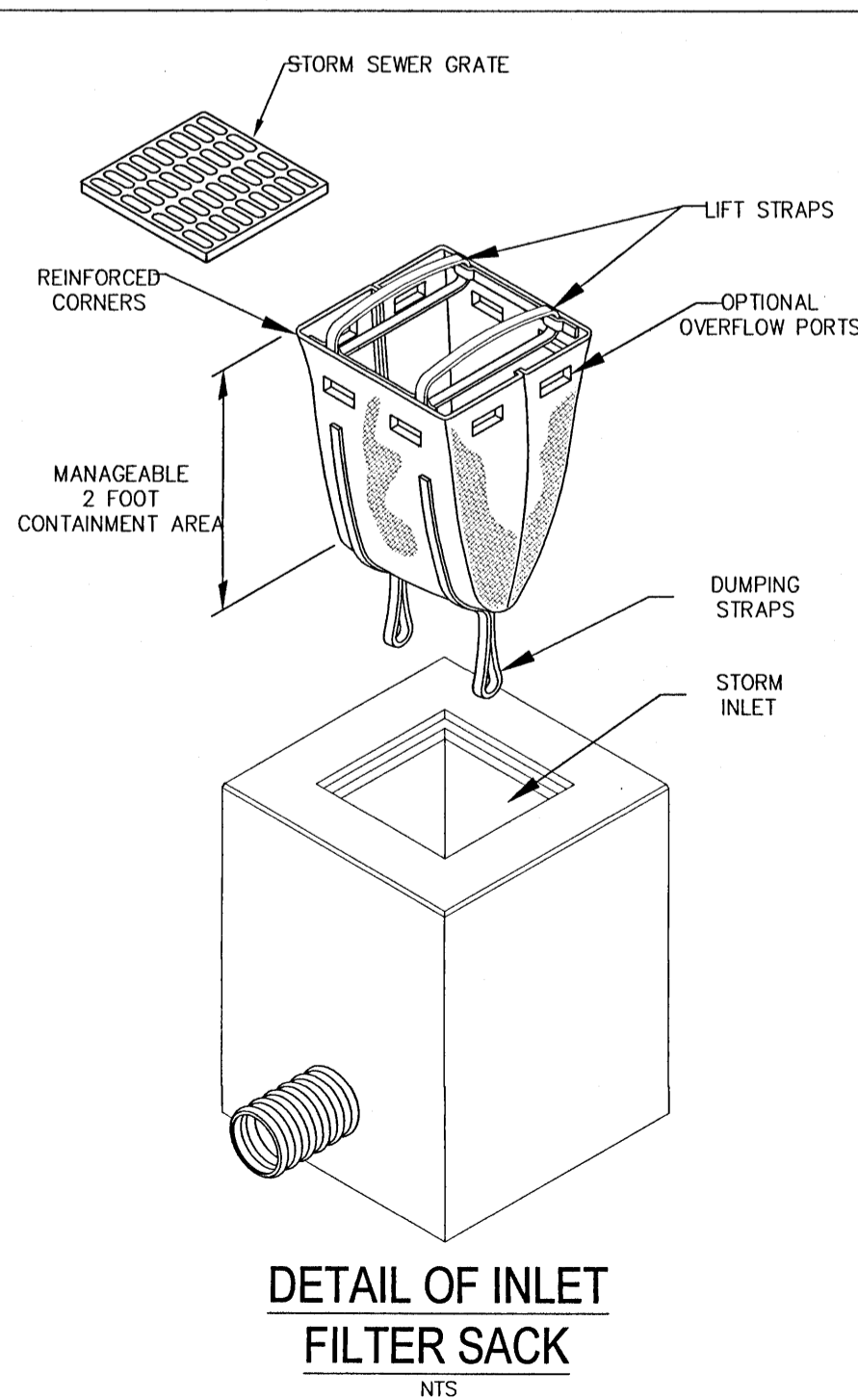


CONCRETE WASHOUT DETAIL
NTS



NOTE: INSTALL SILT FENCE AS DETAILED. INSTALL HAYBALES ALONG UPSTREAM SIDE OF SILT FENCE WITH BINDING STRINGS OR WIRE RUNNING PARALLEL TO THE GROUND.

HAY BALE INSTALLATION DETAIL
NTS



DEWATERING FILTER BAG NOTES:

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT, AND FINES ASSOCIATED WITH TRENCH DEWATERING. THE FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:
FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE EROSION CONTROL INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS SHALL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURE AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS ARE TO BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO JUST UNDER THE MAXIMUM MANUFACTURERS RECOMMENDATION, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

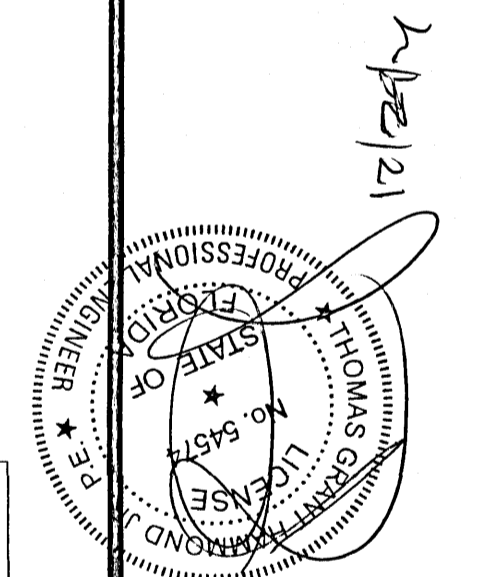
SPECIFICATION:
FILTER BAGS ARE TO BE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. FILTER BAG CAPACITY MAY BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE (REF. MANUFACTURERS SPECIFICATIONS). TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC SHOULD BE PLACED UNDER THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS SHALL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS SHALL BE USED TO SECURE THE DISCHARGE HOSE; WIRE OR STRING WILL NOT BE USED.

DEWATERING FILTER SACK
N.T.S.

NO.	DATE	REVISIONS	
		REVISIONS	REVIEW COMMENTS
1	08/10/2021	REVISED PLANS AS PER ECUA INITIAL PERMIT REVIEW COMMENTS	
2	08/12/2021	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS	
3	08/26/2021	REVISED PLANS AS PER FOOT ACCESS PERMIT REVIEW COMMENTS	
4	08/26/2021	REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS	

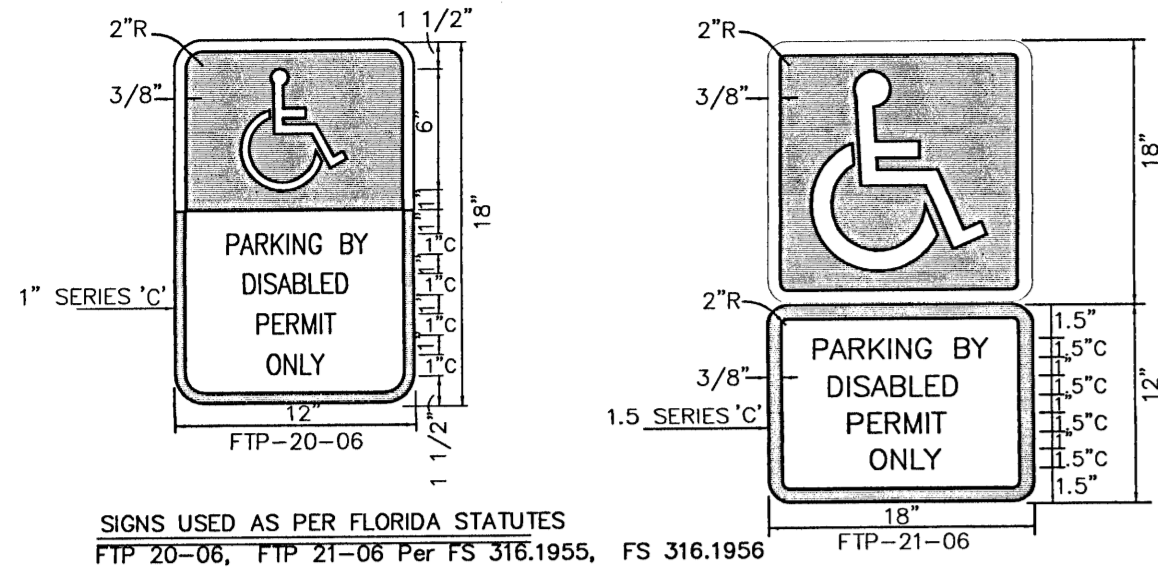
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SITE DEVELOPMENT PLANS FOR DROWSY POET SORRENTO ROAD EROSION CONTROL DETAILS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: GJB	DESIGNED BY: RLB
CHECKED BY: TGH	DATE: 02/26/21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:



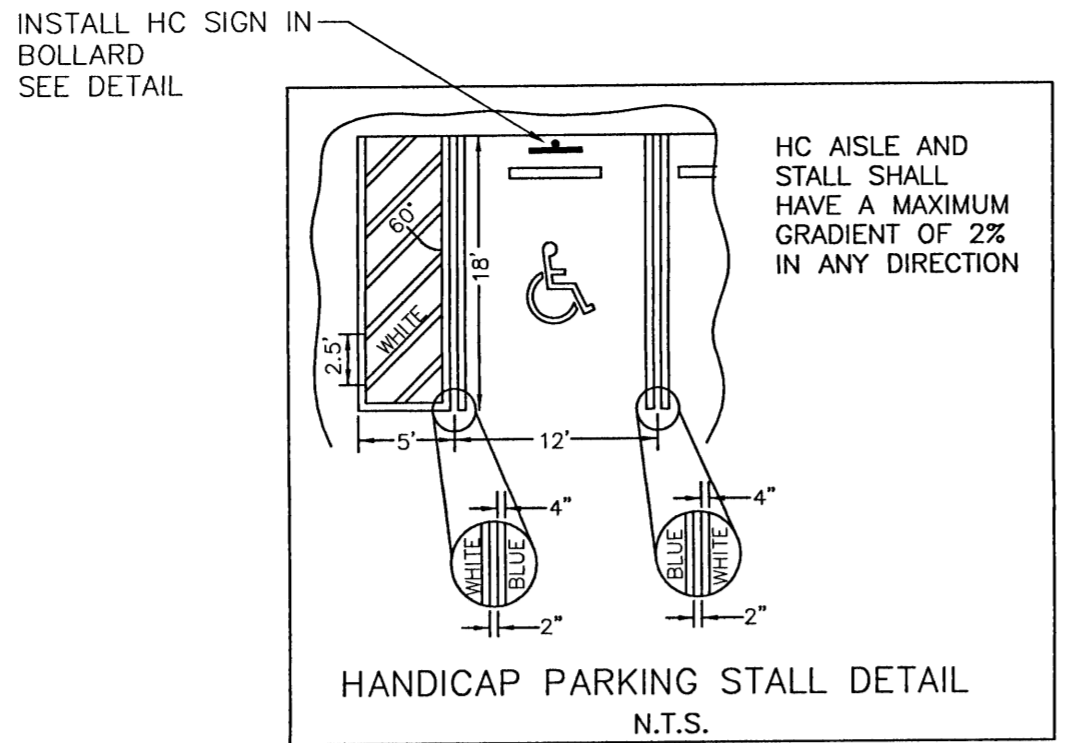
SIGNS USED AS PER FLORIDA STATUTES
FTP 20-06, FTP 21-06 Per FS 316.1955, FS 316.1956

VIOLATORS
\$250 FINE
INSTALL BELOW HANDICAP SIGN
(FTP-22-06)

- NOTES:
1. Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
 2. Bottom portion shall have a reflective white background with black opaque legend and border.
 3. FTP 20-06 & 21-06 may be fabricated on one panel or two.
 4. FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
 5. Signs are to be mounted at standard height. (7' from pavement to bottom of sign).

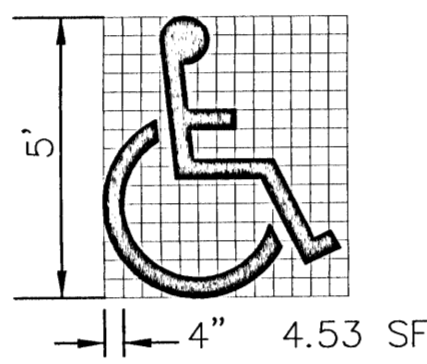
HANDICAPPED PARKING SIGN DETAIL

NTS



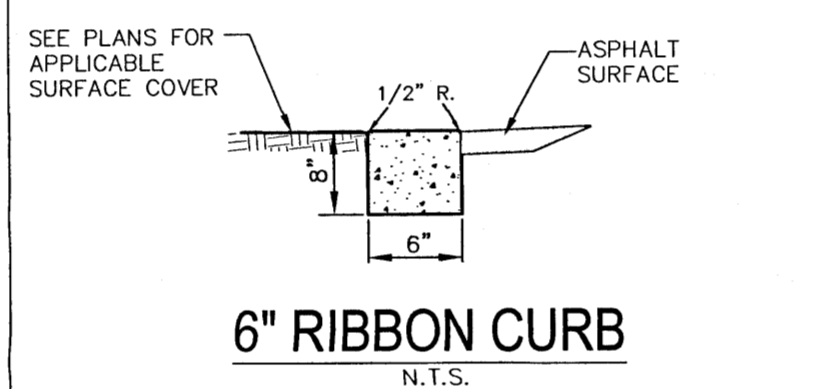
HANDICAP PARKING SPACE TO CONSTRUCTED IN ACCORDANCE TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 17346

SYMBOL SHALL BE WHITE IN COLOR. REFERENCE FDOT DESIGN STANDARDS INDEX 17346 FOR ADDITIONAL DETAILS



HANDICAP PAVEMENT SYMBOL/LINING

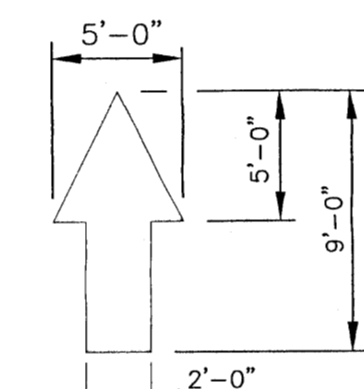
NTS



6" RIBBON CURB

N.T.S.

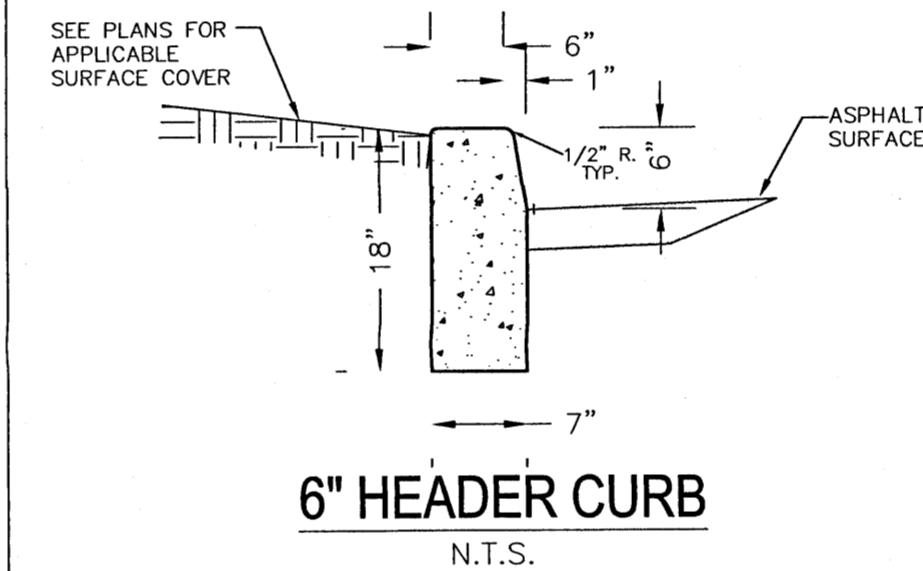
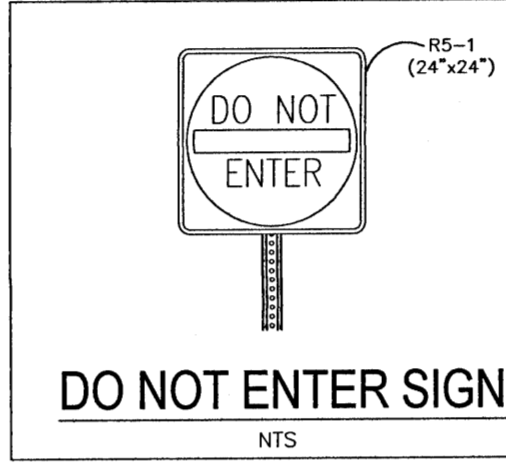
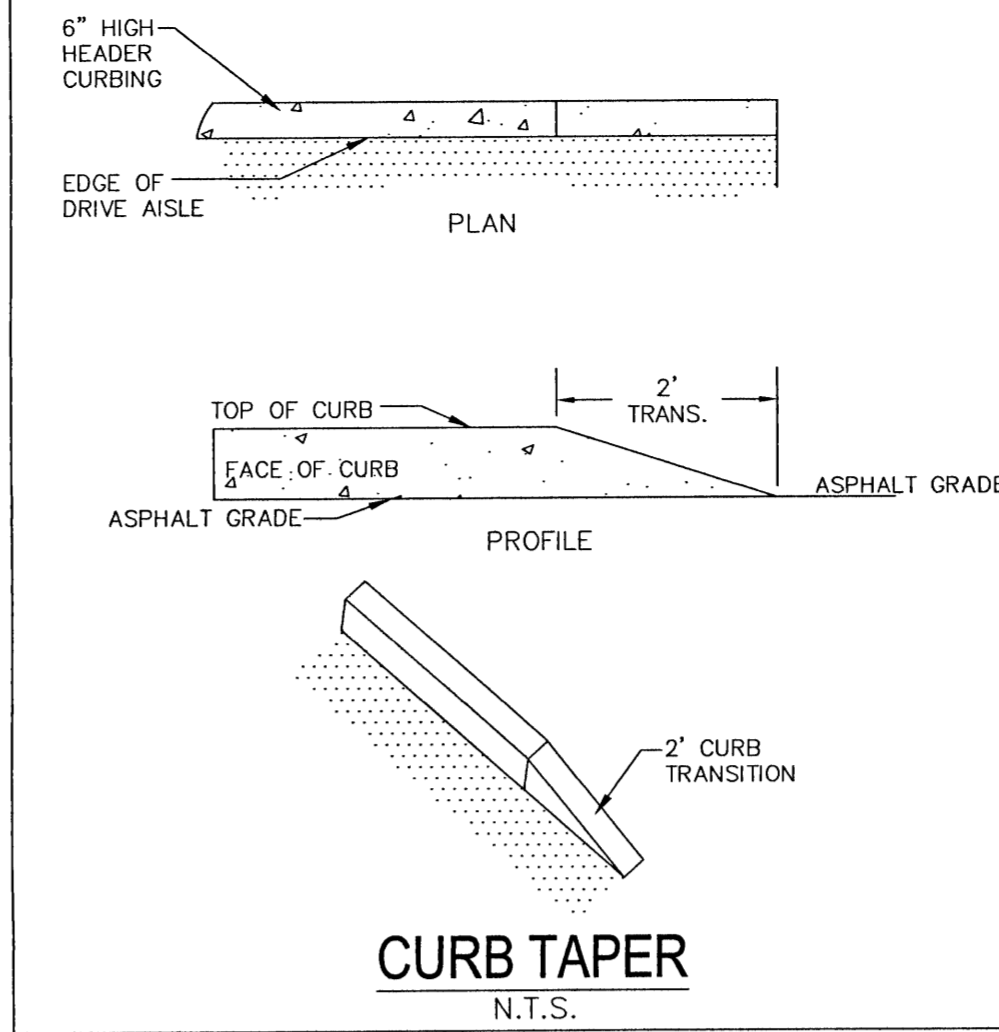
- NOTE:
1. ALL CURB TO HAVE CONTROL JOINT AT 15' ON CENTER & AT ALL PC'S & PT'S. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB.
 3. CONCRETE TO BE 3000 PSI.



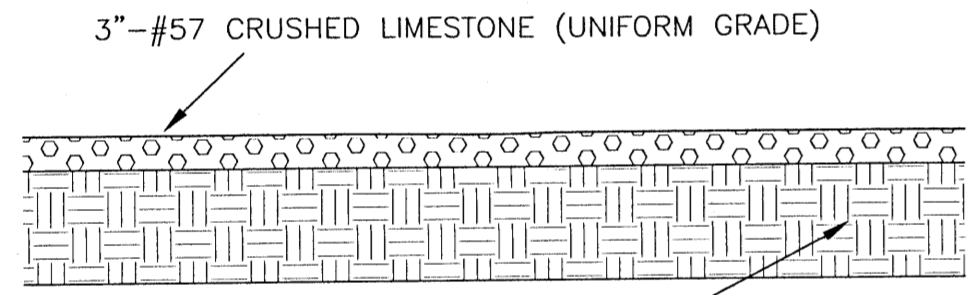
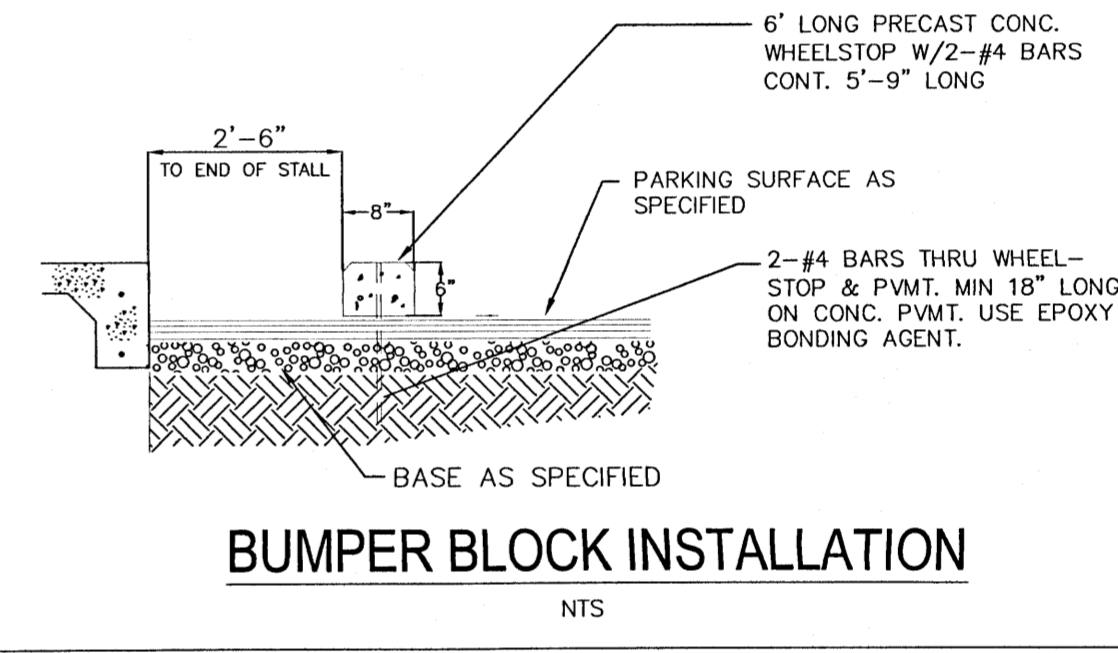
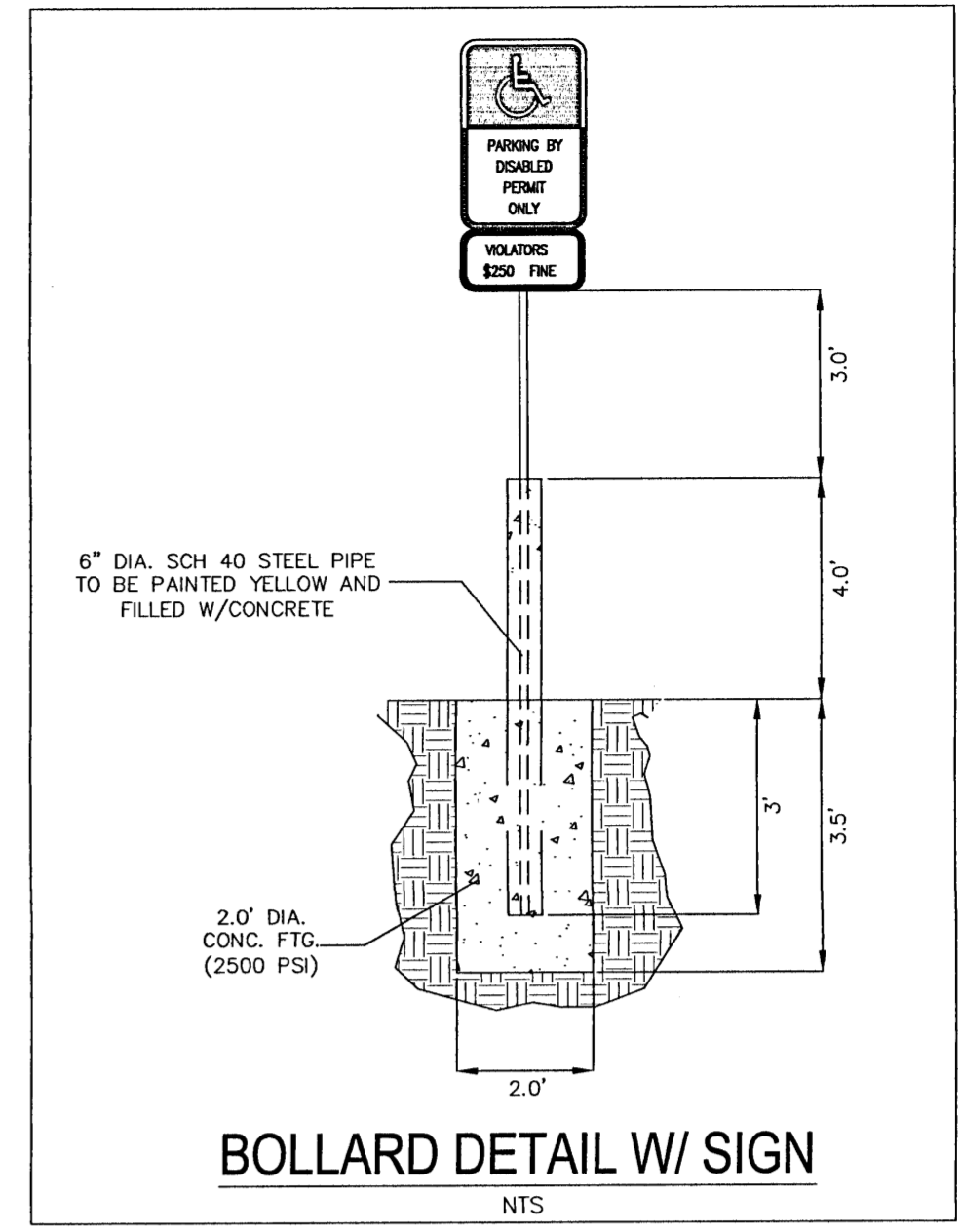
PAINTED TRAFFIC ARROW

NTS

NOTE: TRAFFIC ARROWS SHALL BE PAINTED UTILIZING TRAFFIC TOLERANT PAINT AND SHALL BE WHITE IN COLOR.



- NOTE:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER & AT ALL PC'S & PT'S. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB.
 3. CONCRETE TO BE 3000 PSI.

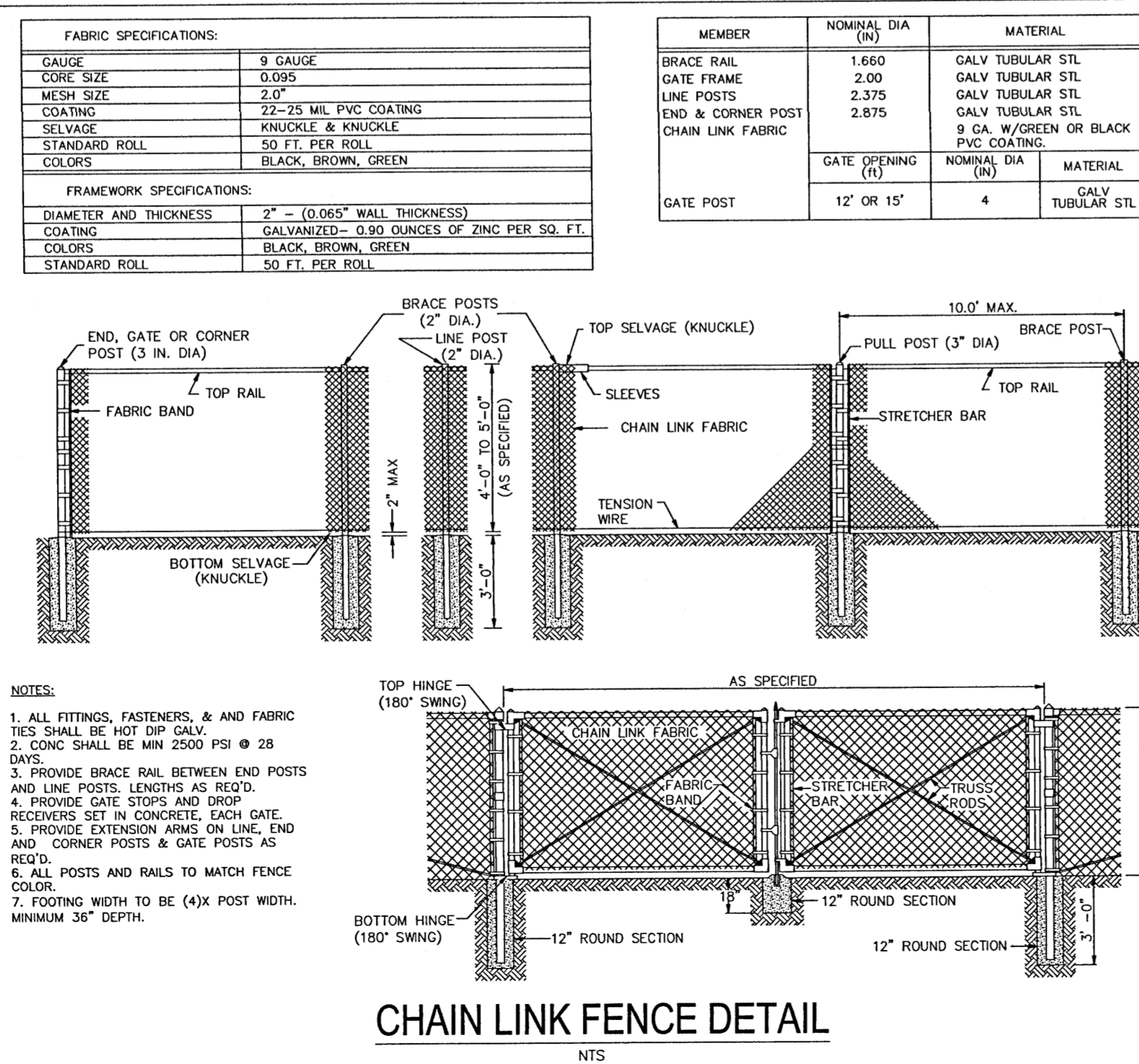


6" SUB GRADE COMPACTED TO 98% PER ASTM D 1557. MIN. LBR 40

TYPICAL ROCK PARKING LOT SECTION

NTS

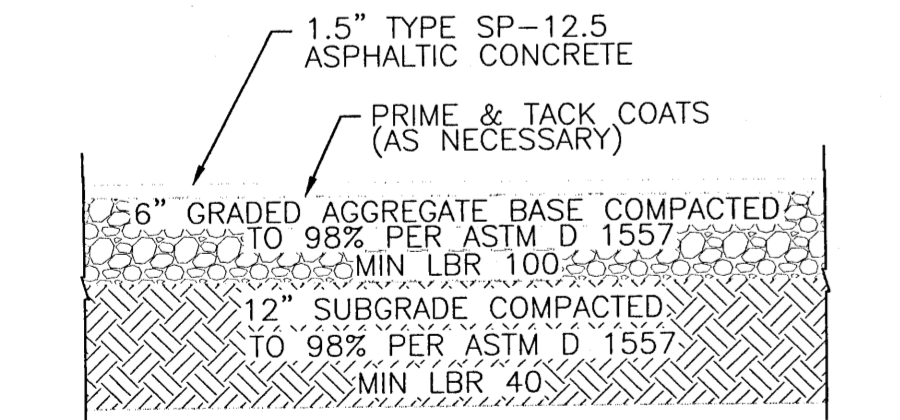
*NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS



- NOTES:
1. ALL FITTINGS, FASTENERS, & AND FABRIC TIES SHALL BE HOT DIP GALV.
 2. CONC SHALL BE MIN 2500 PSI @ 28 DAYS.
 3. PROVIDE BRACE RAIL BETWEEN END POSTS AND LINE POSTS. LENGTHS AS REQ'D.
 4. PROVIDE GATE STOPS AND DROP RECEIVERS SET IN CONCRETE. EACH GATE.
 5. PROVIDE EXTENSION ARMS ON LINE, END AND CORNER POSTS & GATE POSTS AS REQ'D.
 6. ALL POSTS AND RAILS TO MATCH FENCE COLOR.
 7. FOOTING WIDTH TO BE (4)x POST WIDTH. MINIMUM 36" DEPTH.

CHAIN LINK FENCE DETAIL

NTS

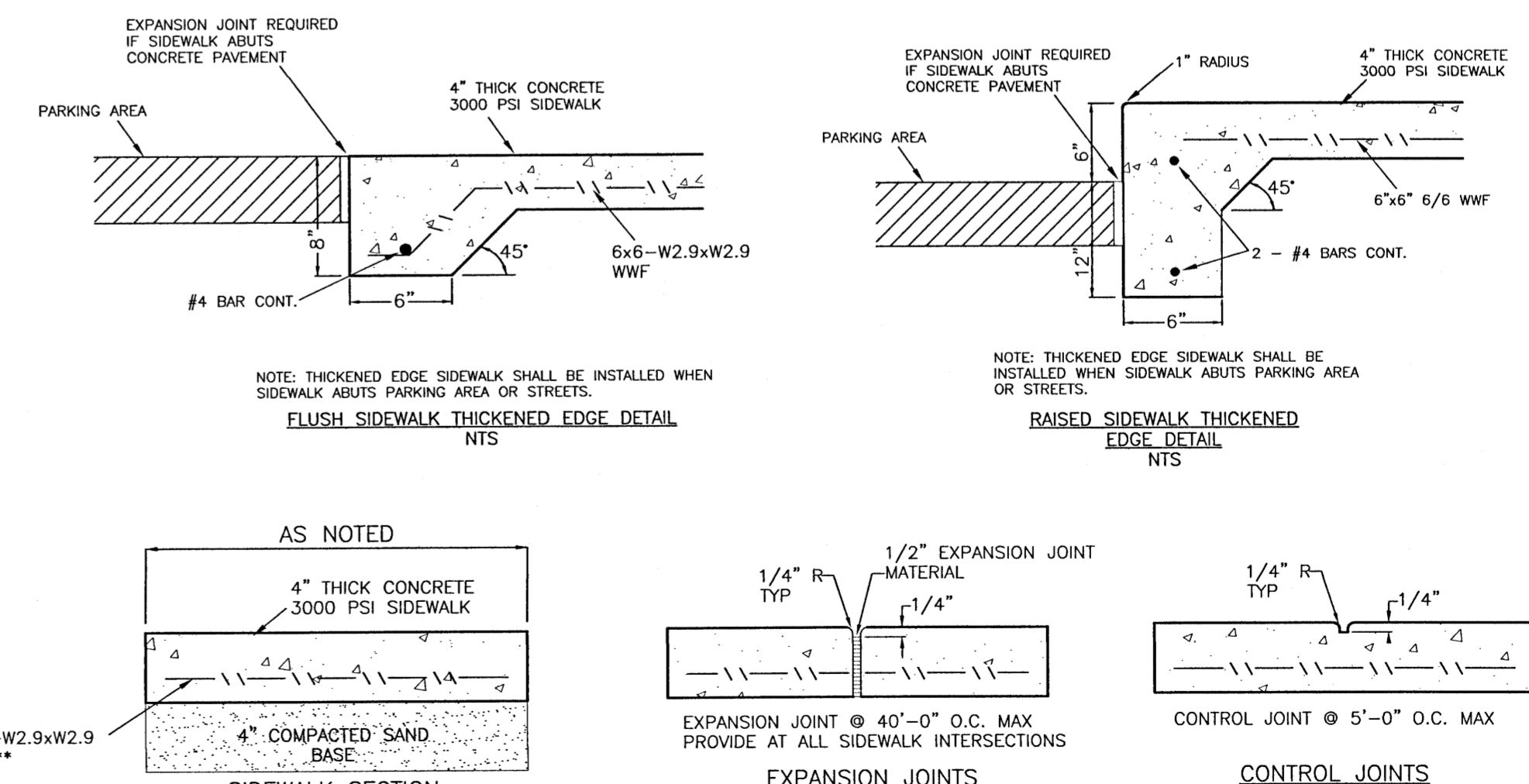


TYPICAL ON-SITE ASPHALT SECTION

NTS

NOTE:
CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH BASE AND SUBGRADE COMPACTION TESTING RESULTS PRIOR TO CONSTRUCTING ANY ASPHALT SURFACE. CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH ASPHALT CORE TESTING RESULTS PRIOR TO FINAL "AS-BUILT" APPROVAL AND SUBMITTAL TO AHJ. CONTRACTOR TO COORDINATE WITH E.O.R. TO DETERMINE TEST LOCATIONS.

NOTE: SIDEWALK CROSS SLOPE NOT TO EXCEED 2%



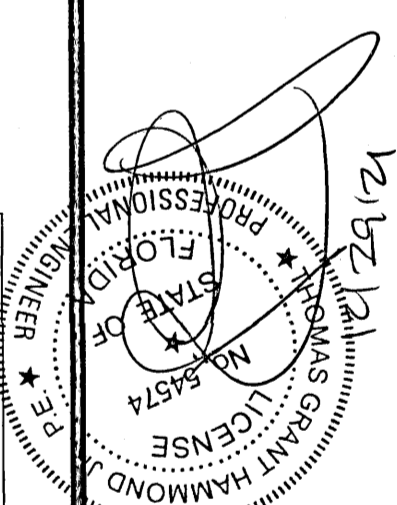
SIDEWALK DETAILS

**FIBER REINFORCED CONCRETE CAN BE USED IN LIEU OF WWF IF DESIRED

REVISIONS

NO.	DATE	REVISIONS
1	08/10/2021	REVISED PLANS AS PER ECIA INITIAL PERMIT REVIEW COMMENTS
2	08/12/2021	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
3	08/26/2021	REVISED PLANS AS PER FOOT ACCESS PERMIT REVIEW COMMENTS
4	08/26/2021	REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS

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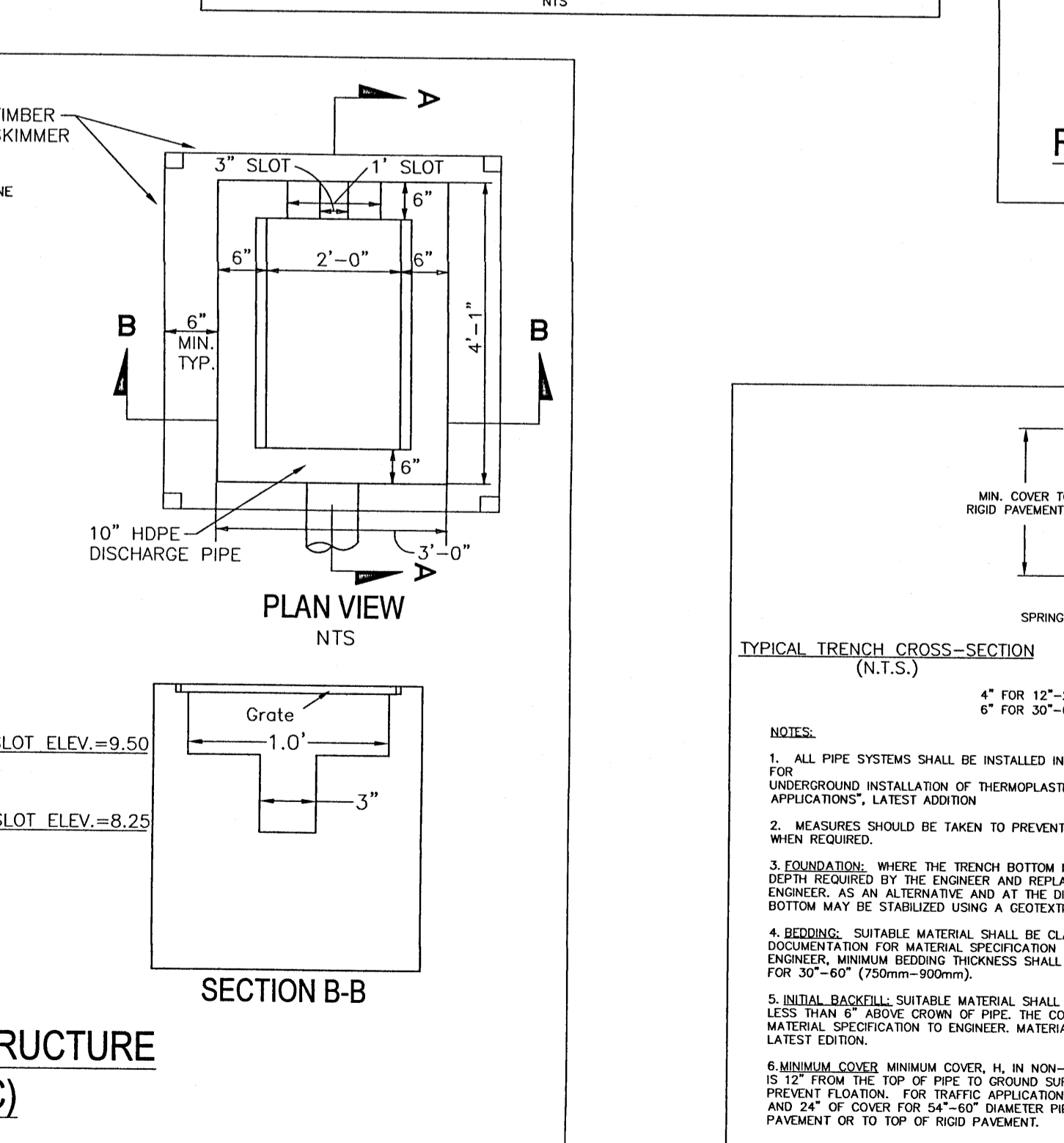
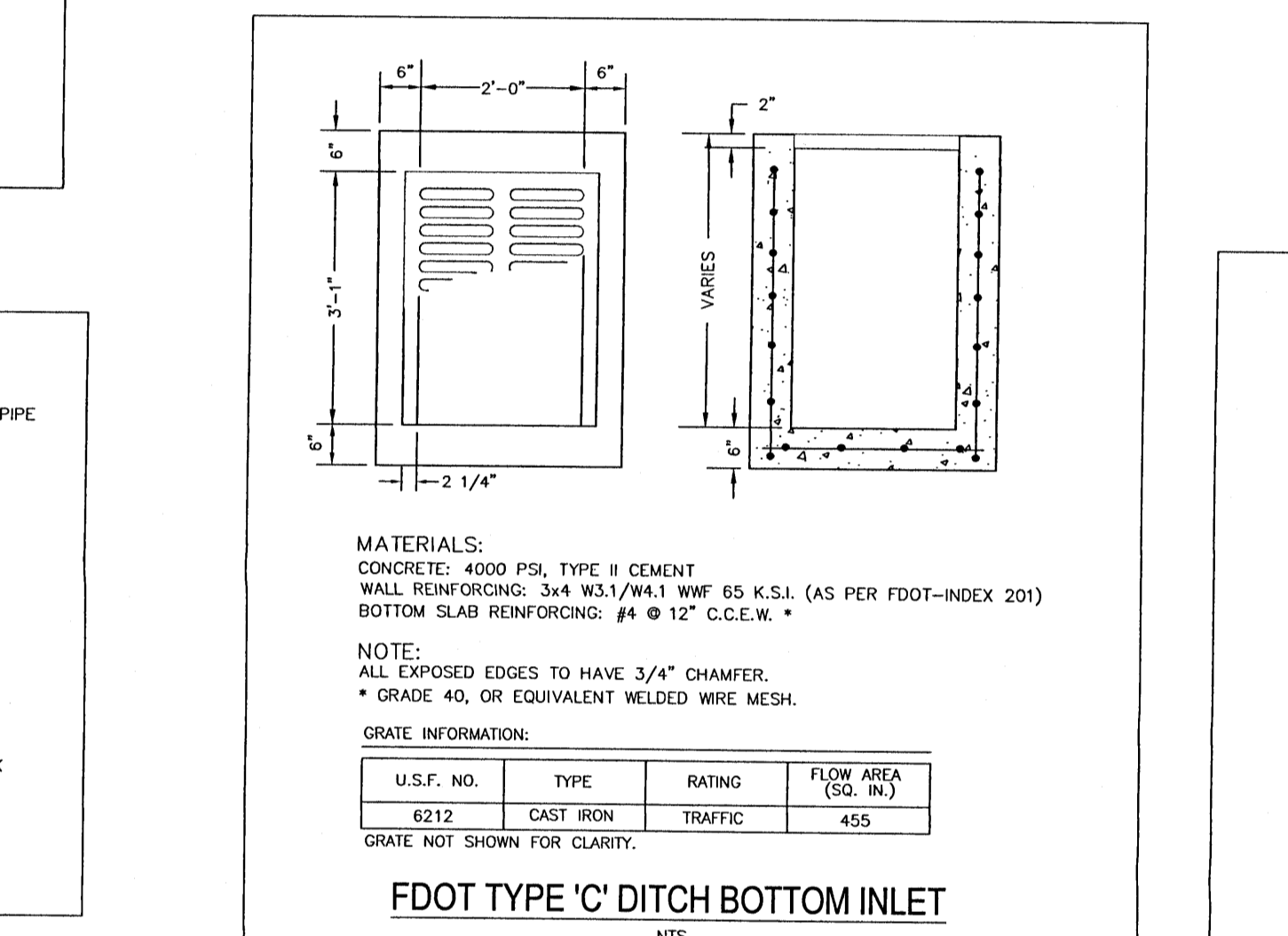
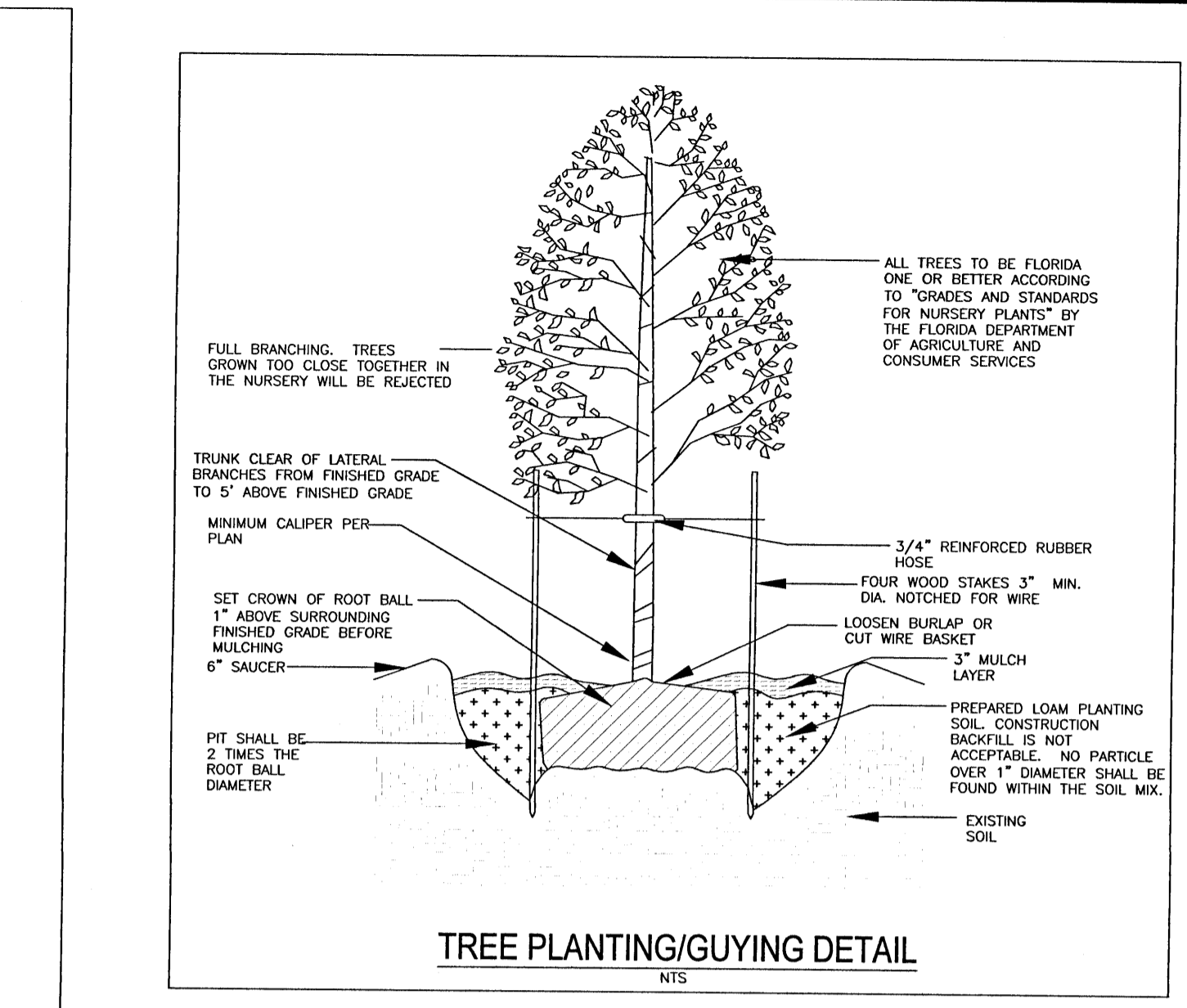
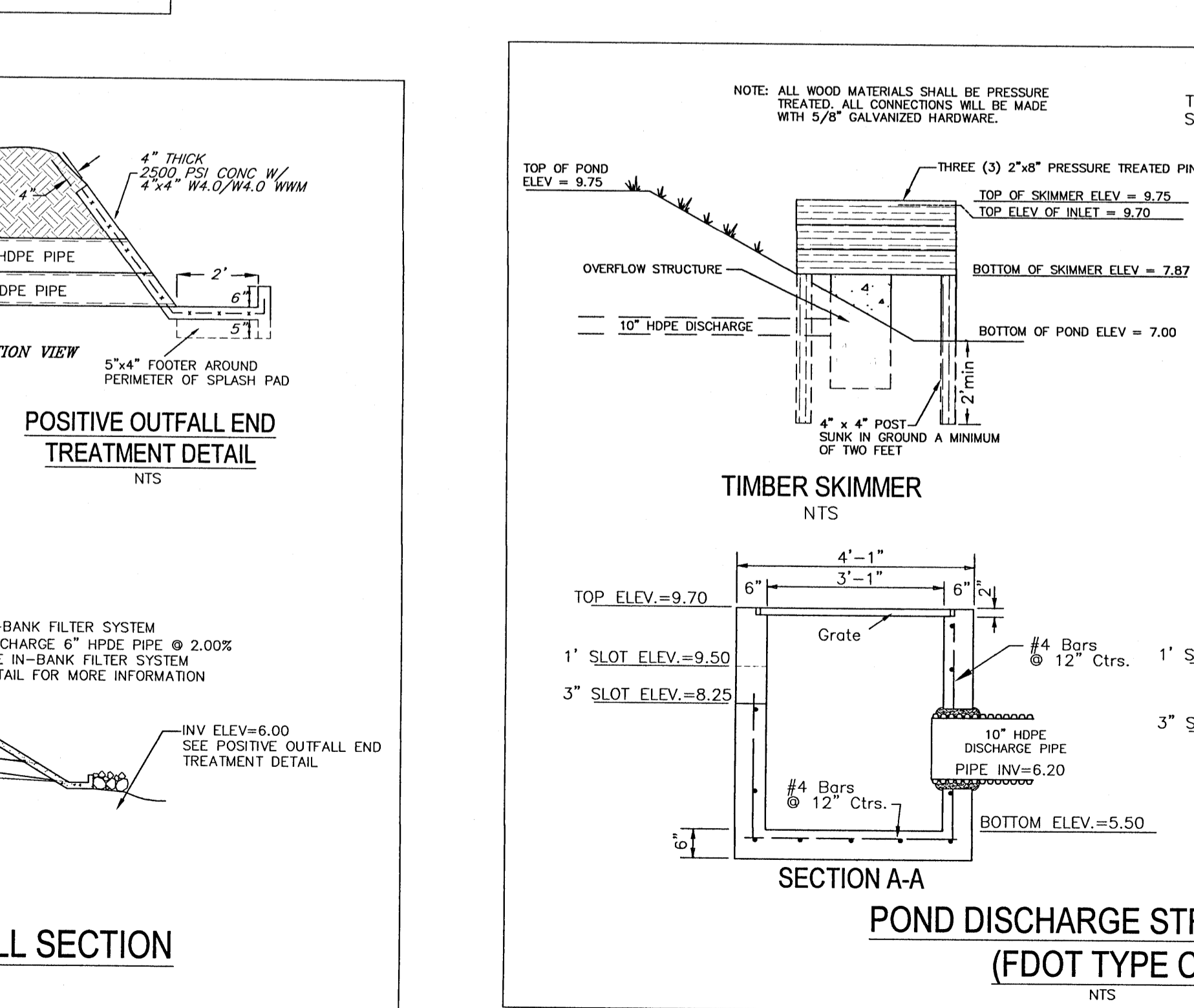
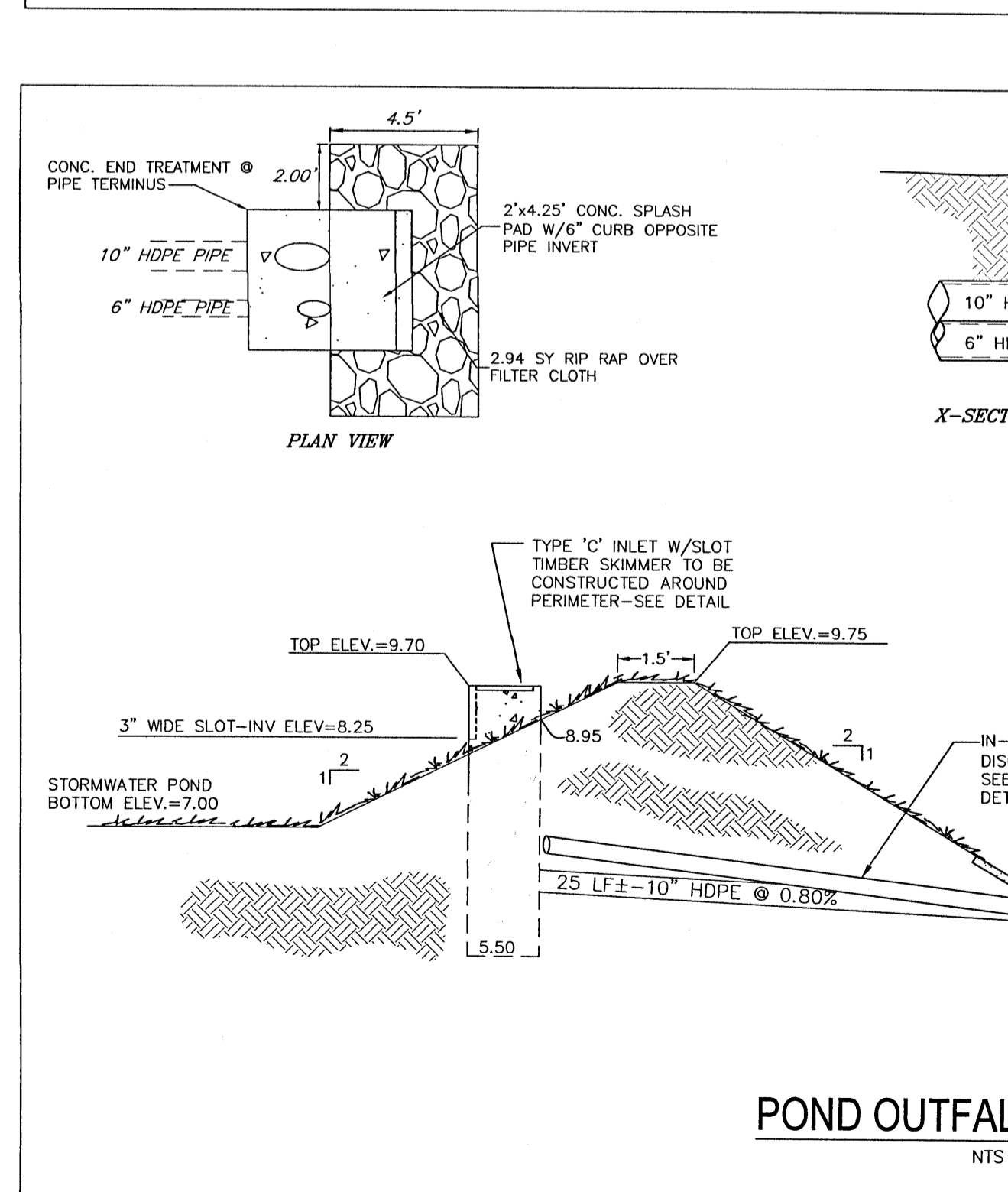
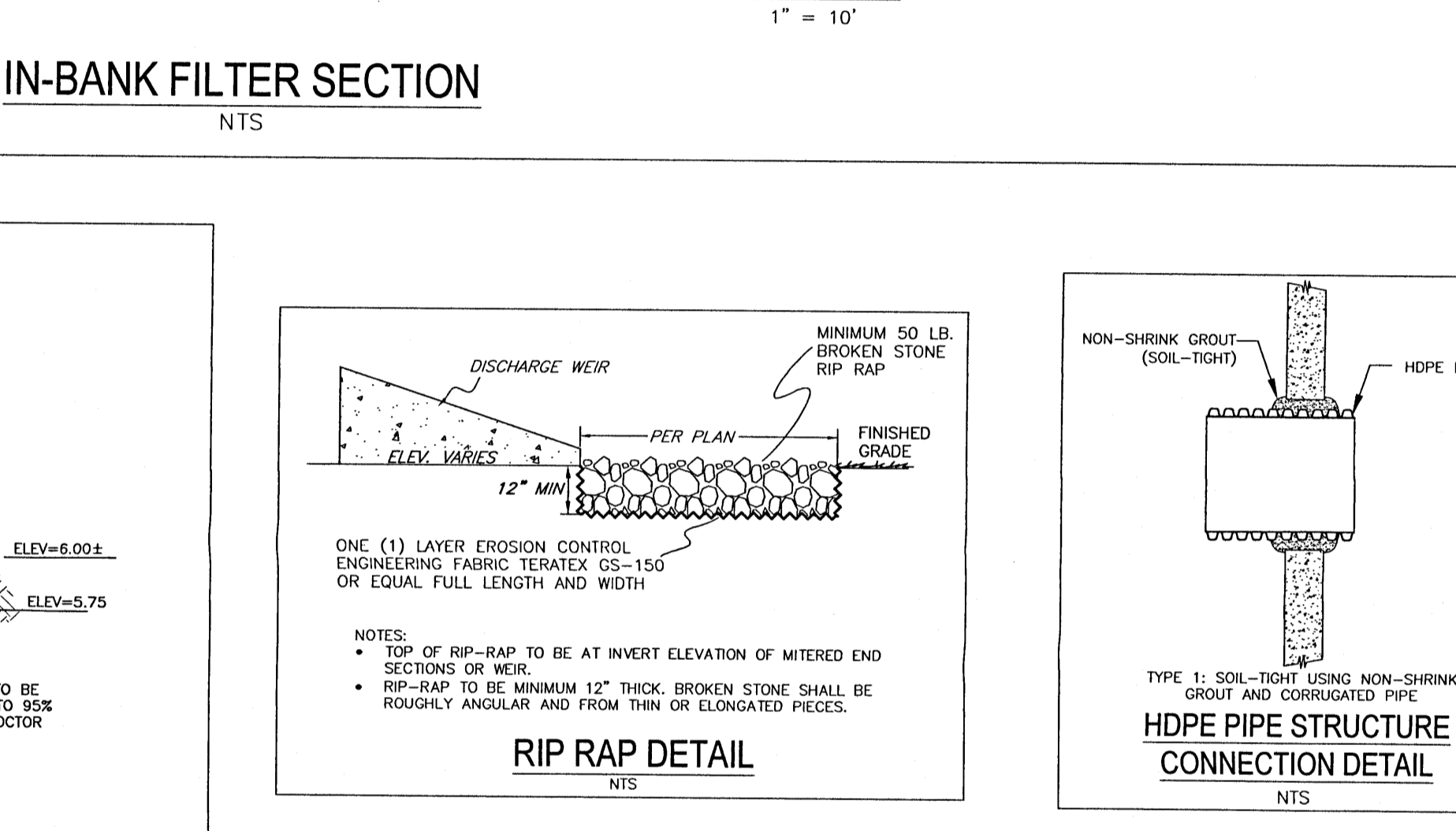
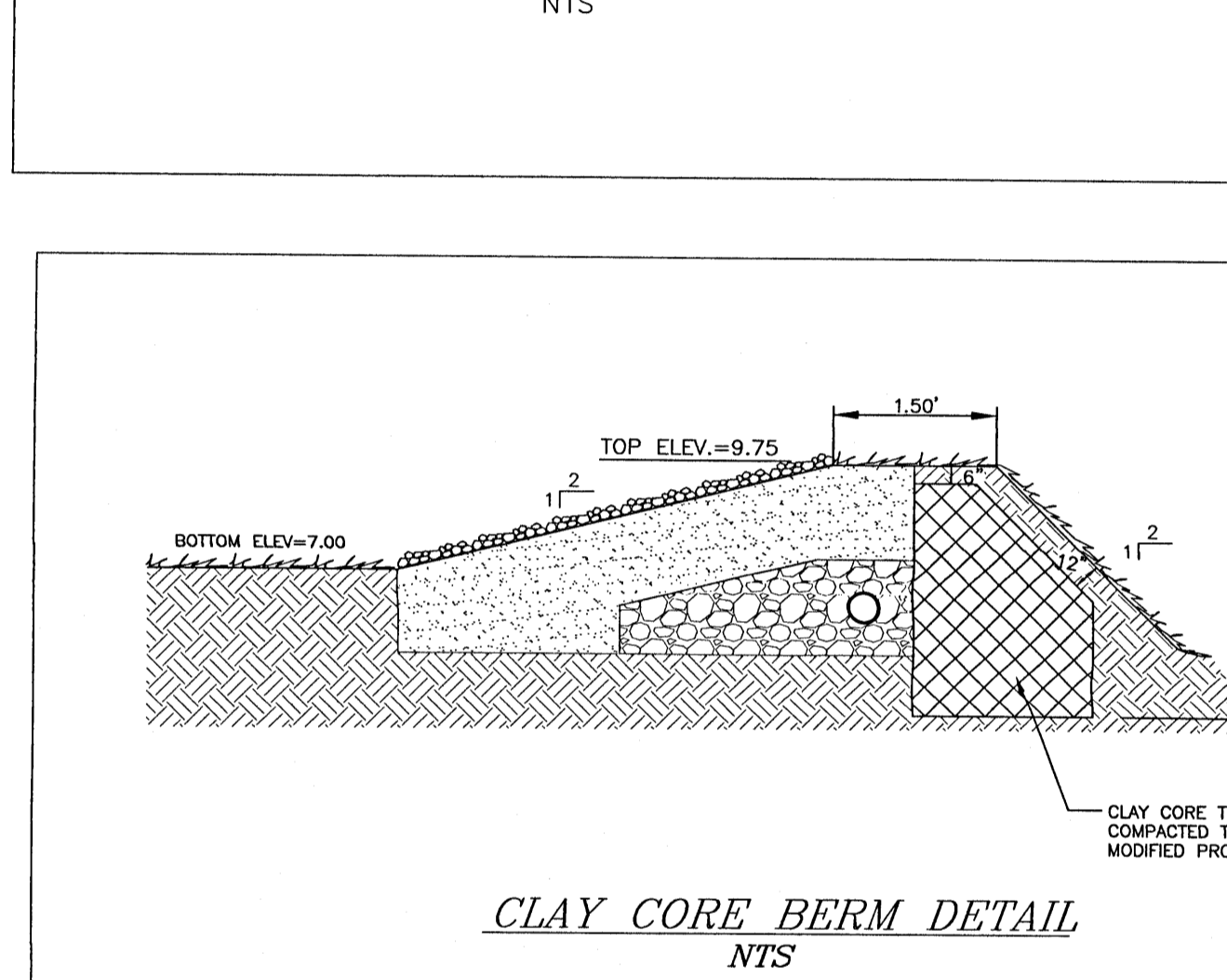
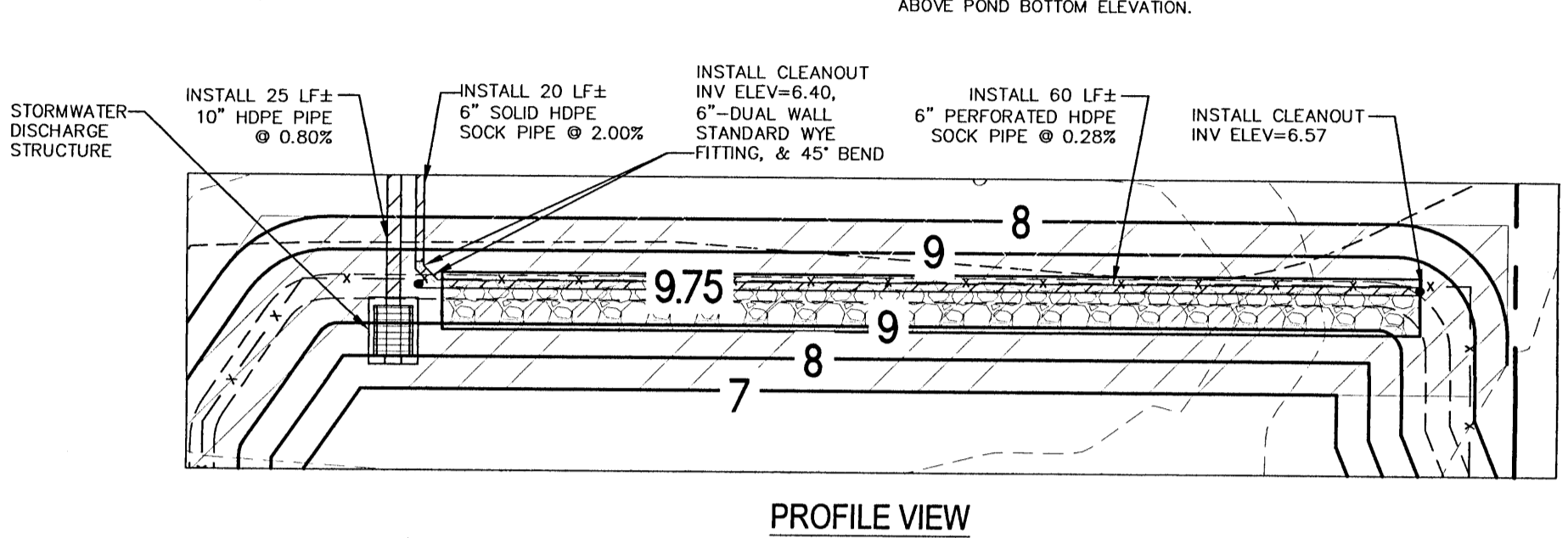
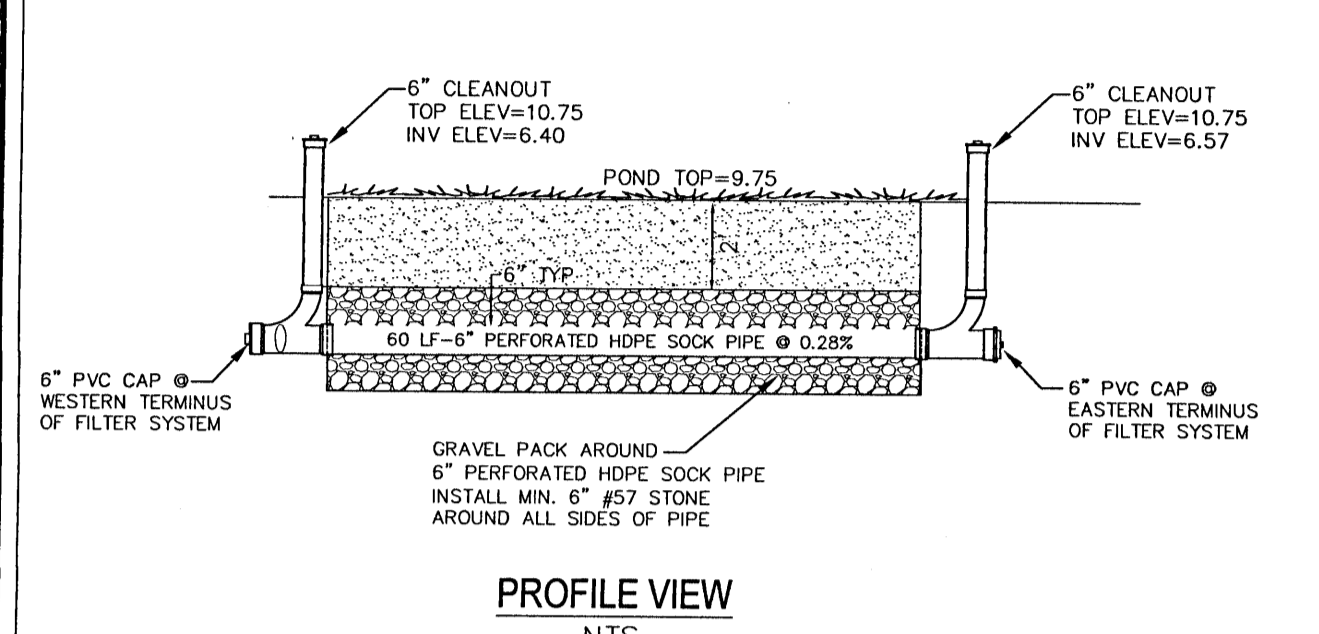
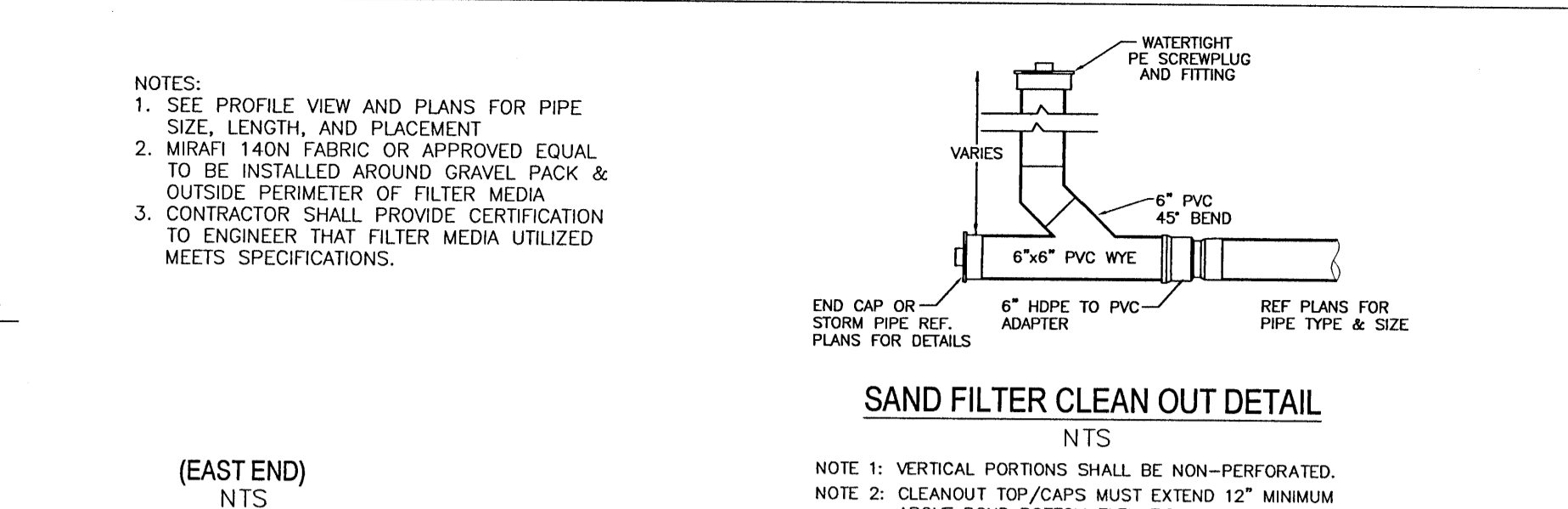
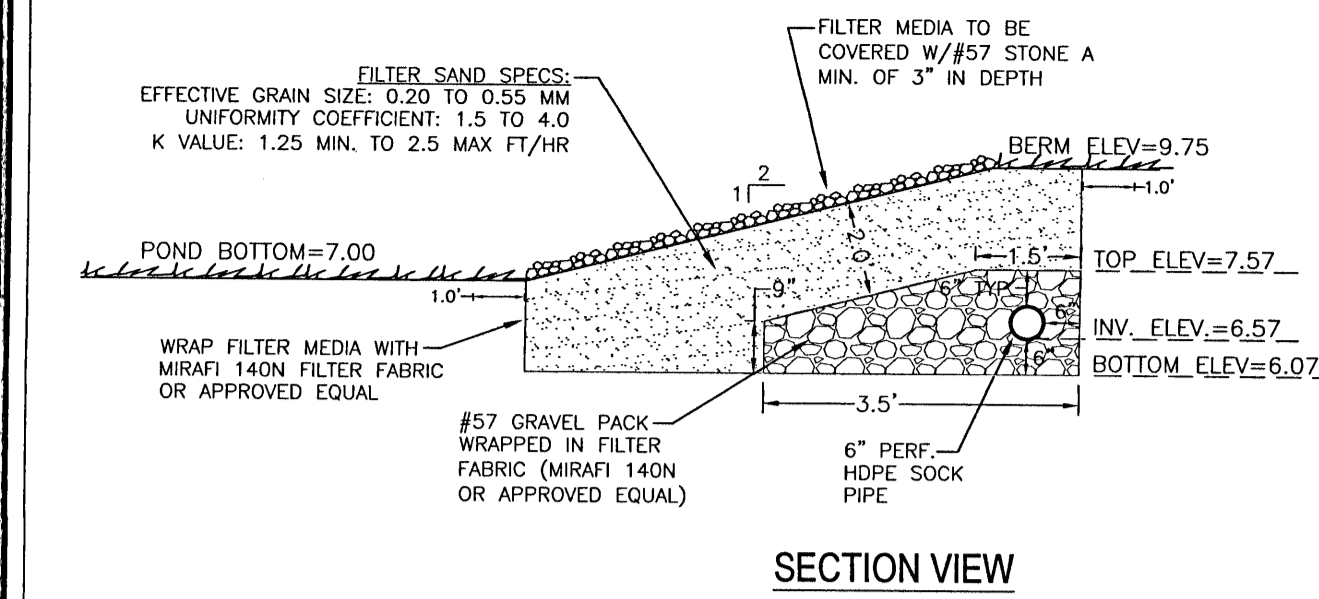


SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
CONSTRUCTION
DETAILS

ESCAMBIA COUNTY FLORIDA

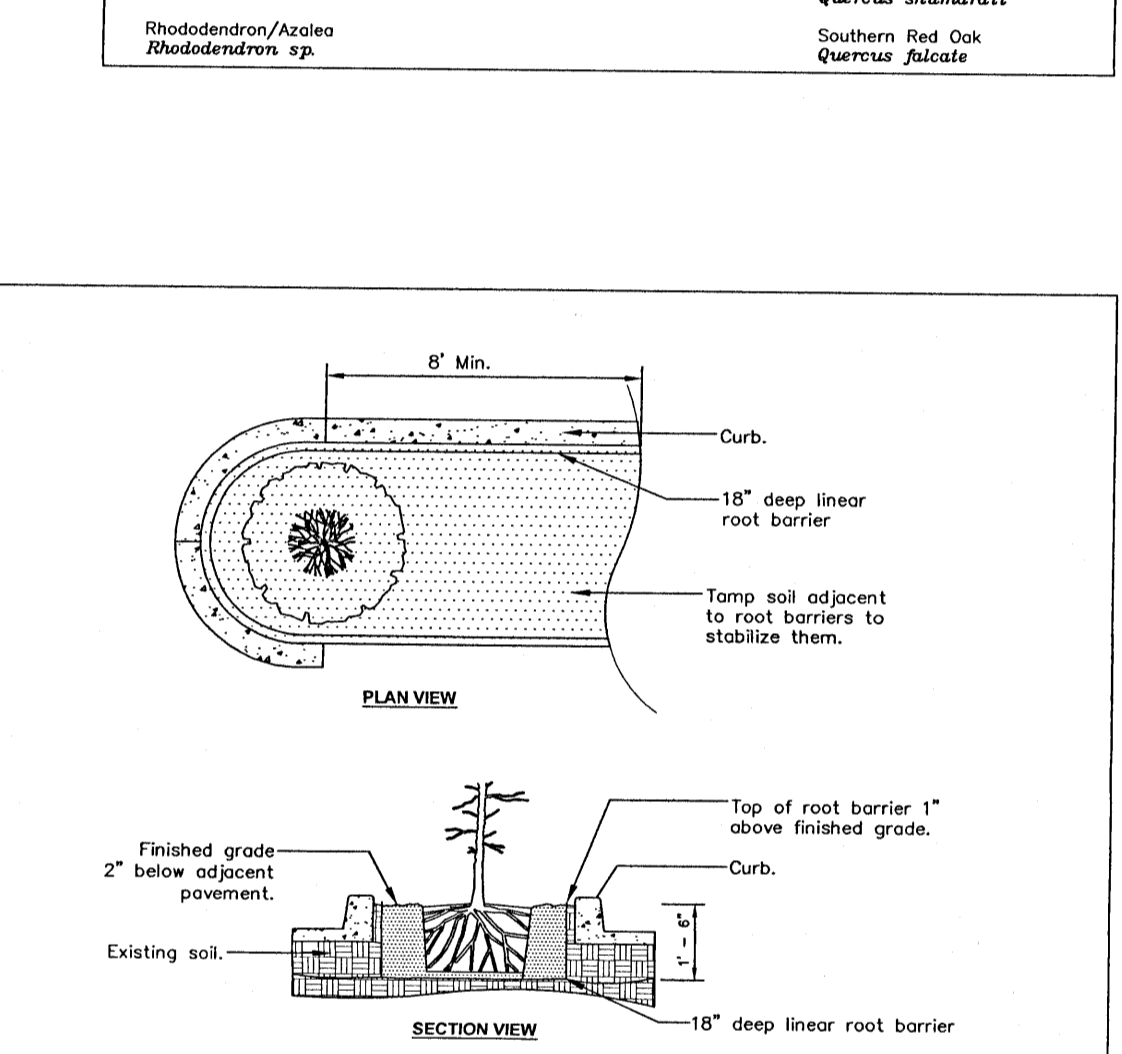
DRAWN BY: CUB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION

PROJECT NO: 20-057
SHEET: C14



List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia	Flowering Dogwood	Red Maple
Abelia grandiflora	Cornus florida	Acer rubrum
Aucuba	Lobelia Bay	Silver Maple
Aucuba japonica	Concordia lasianthus	Acer saccharum
Berberis	American Holly	American Hornbeam
Berberis sp.	Nex opaca	Carpinus caroliniana
Japanese Boxwood	Dahoon Holly	Southern Red Cedar
Thunbergia	Nex castanea	Juniperus silicicola
Beardy Berry	Crope Myrtle	Leyland Cypress
Ostrya americana	Lagerstromia indica	Cupressus leylandii
Cephalotaxus harringtonia	Glossy Privet	River Birch
Silverhorn	Eugenia lucidum	Betula nigra
Saucer Magnolia	Magnolia x soulangeana	Pignut Hickory
Elaeagnus pungens	Sweetbay Magnolia	Carya glabra
Fatsia	Magnolia virginiana	Green Ash
Paspa pumila	Southern Crab Apple	Fraxinus pennsylvanica
Gardenia	Malus angustifolia	Mordenhar Tree
Gardenia jasminoides	Wax Myrtle	Osage (male)
Burford Holly	Myrica cerifera	Sweetgum
Nex cornuta	Brodiaea	Liquidambar styraciflua
Japanese Privet	Pyrus calleryana	Tulip Poplar
Liquidambar japonicum	Yucca filifera	Liriodendron tulipifera
Southern Wax Myrtle	Myrica cerifera	Southern Magnolia
Myrica cerifera	Loquat	Magnolia grandiflora
Firethorn	Eriobotrya japonica	Tupelo/Sour Gum
Pyracantha coccinea	Eastern Redbud	Nyssa sylvatica
Dwarf Japanese Holly	Cercis canadensis	Slash Pine
Nex creata	Fringe Tree	Pinus elliotii
Chinese Holly	Chionodoxa virginicus	Longleaf Pine
Nex cornuta	Hawthorn	Pinus palustris
Dwarf Yaupon Holly	Hamamelis virginica	Sycamore
Nex vomitoria 'Nana'	Silverbell	Platanus occidentalis
Chinese Juniper	Halesia caroliniana	White Oak
Juniperus chinensis		Quercus alba
Indian Hawthorn		Live Oak
Rhododendron sp.		Quercus virginiana
Photinia		Shumard Oak
Rhododendron/Asalea		Quercus shumardii
Rhododendron sp.		Southern Red Oak
		Quercus falcata



RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIA.	MIN. TRENCH WIDTH
4"	23"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIA.	MIN. COVER
12"-48"	12"
54"-60"	12"

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIA.	MIN. COVER
12"-48"	12"
54"-60"	12"

MINIMUM COVER REQUIREMENTS

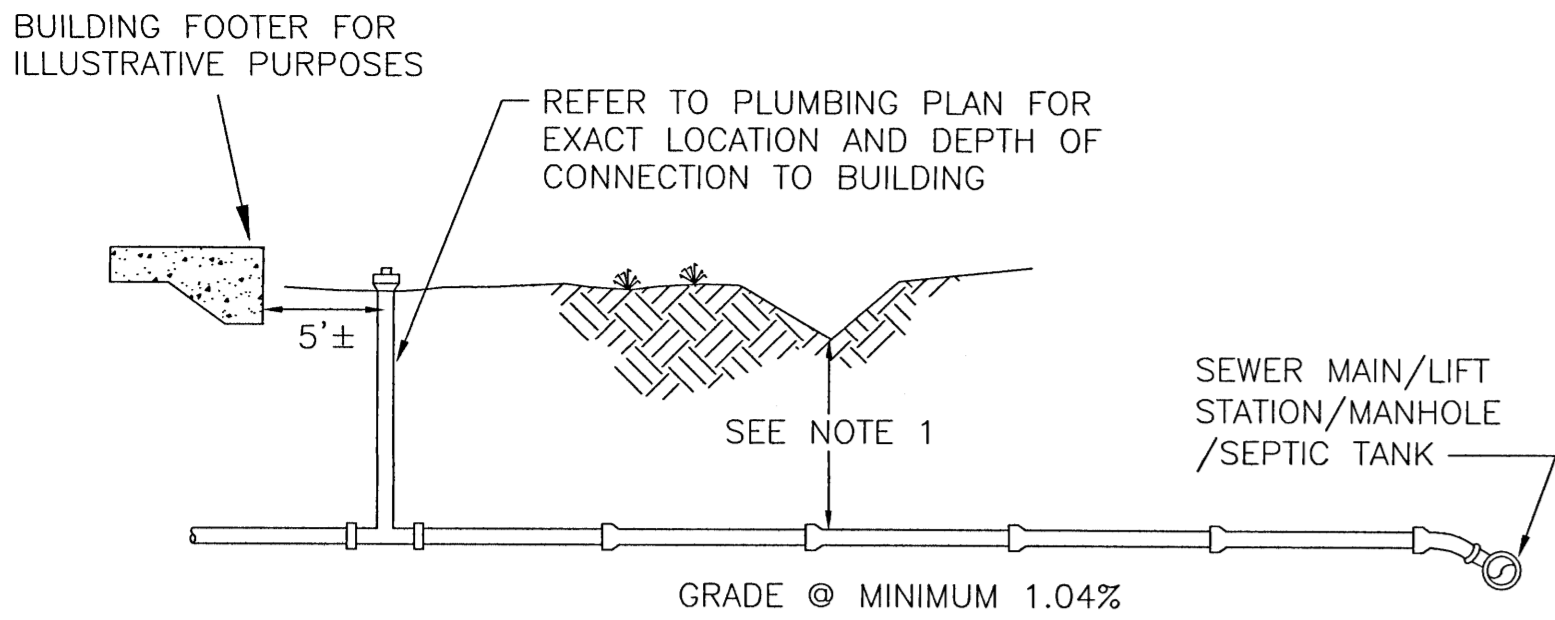
PIPE DIA.	MIN. COVER
12"-48"	12"
54"-60"	12"

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SITE DEVELOPMENT PLANS FOR DROWSY POET SORRENTO ROAD CONSTRUCTION DETAILS

ESCAMBA COUNTY FLORIDA

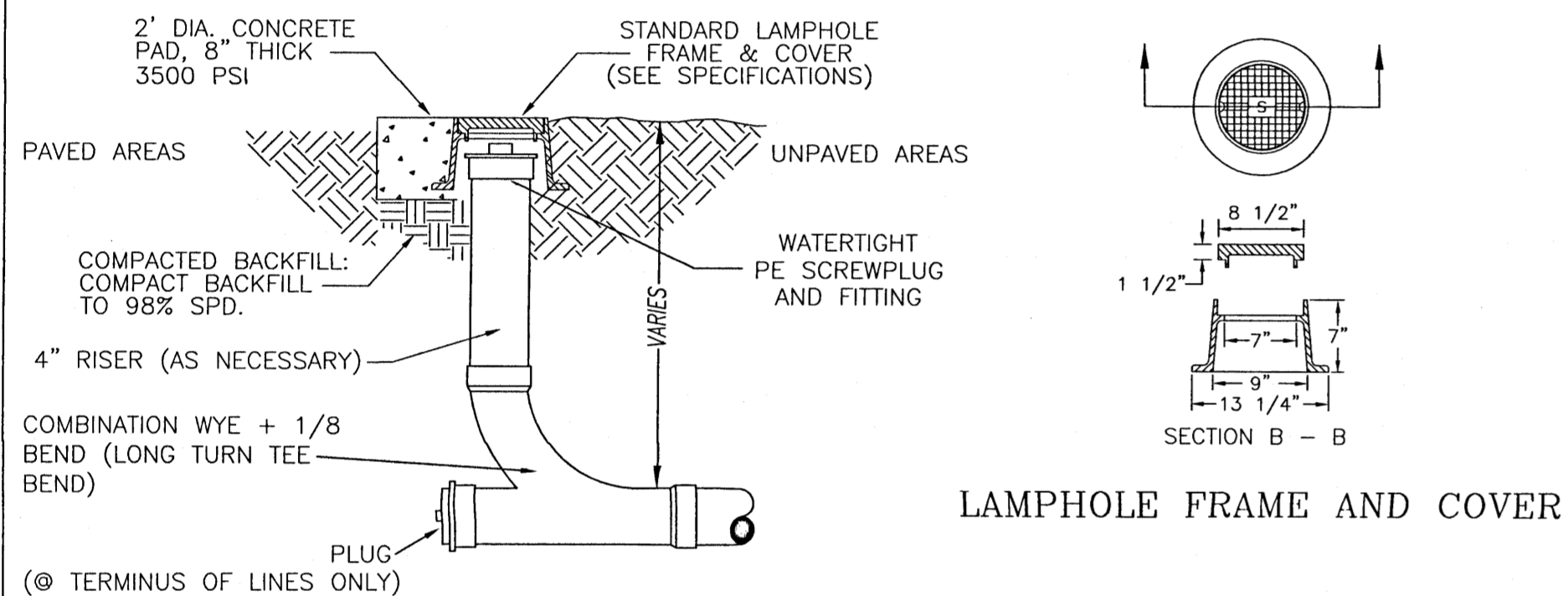
PROJECT NO: 20-057
SHEET: C15



TYPICAL LATERAL SEWER SERVICE

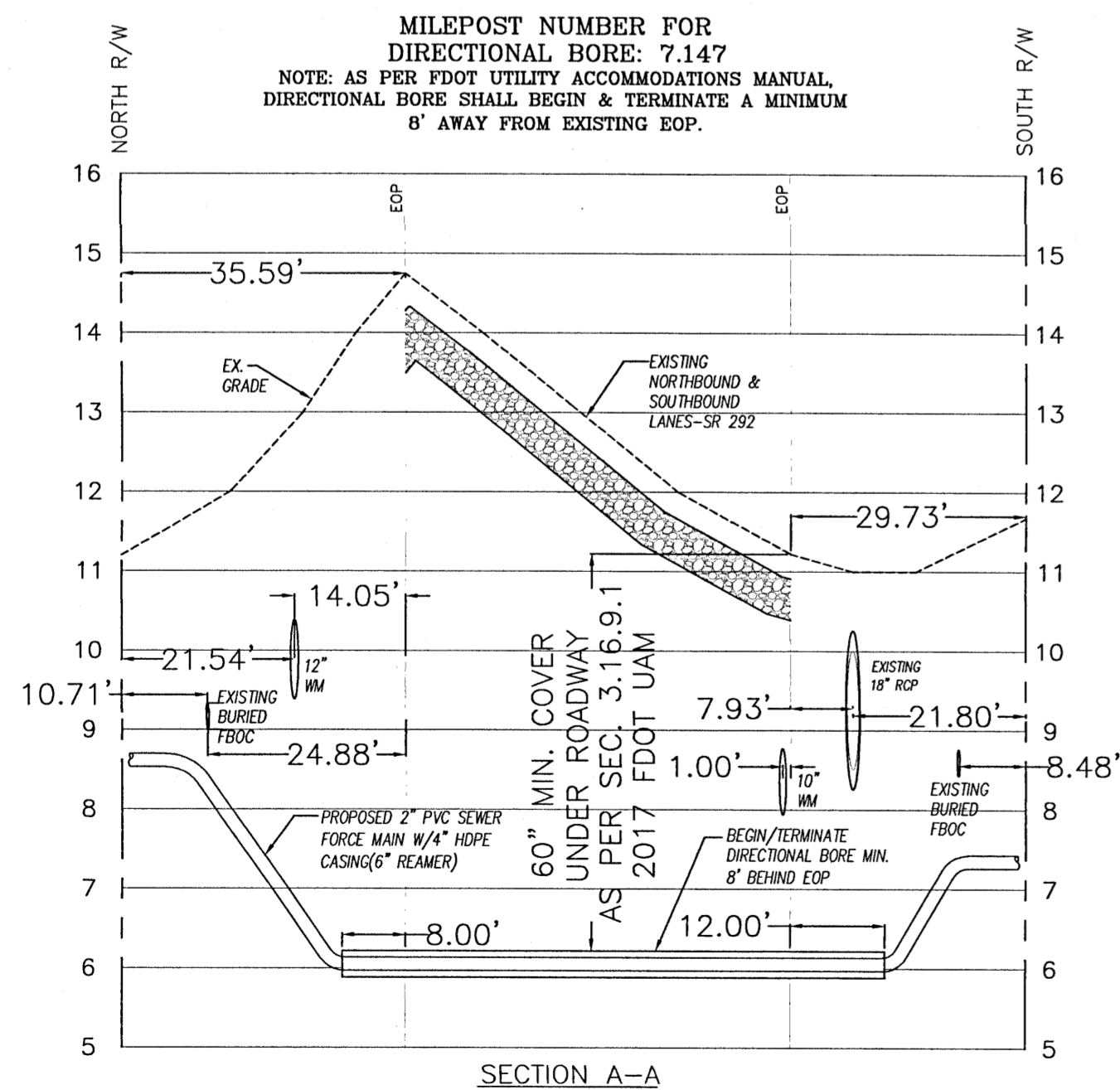
NOTES:

1. MAINTAIN 18" MINIMUM COVER OR USE 6 L.F. CONCRETE ENCASEMENT
2. ALL LATERALS TO BE 4" Ø PVC 3034 DR SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
3. A CLEAN OUT SHALL BE PROVIDED WITHIN 5 FT OF BUILDING WHERE THE SEWER LATERAL EXITS



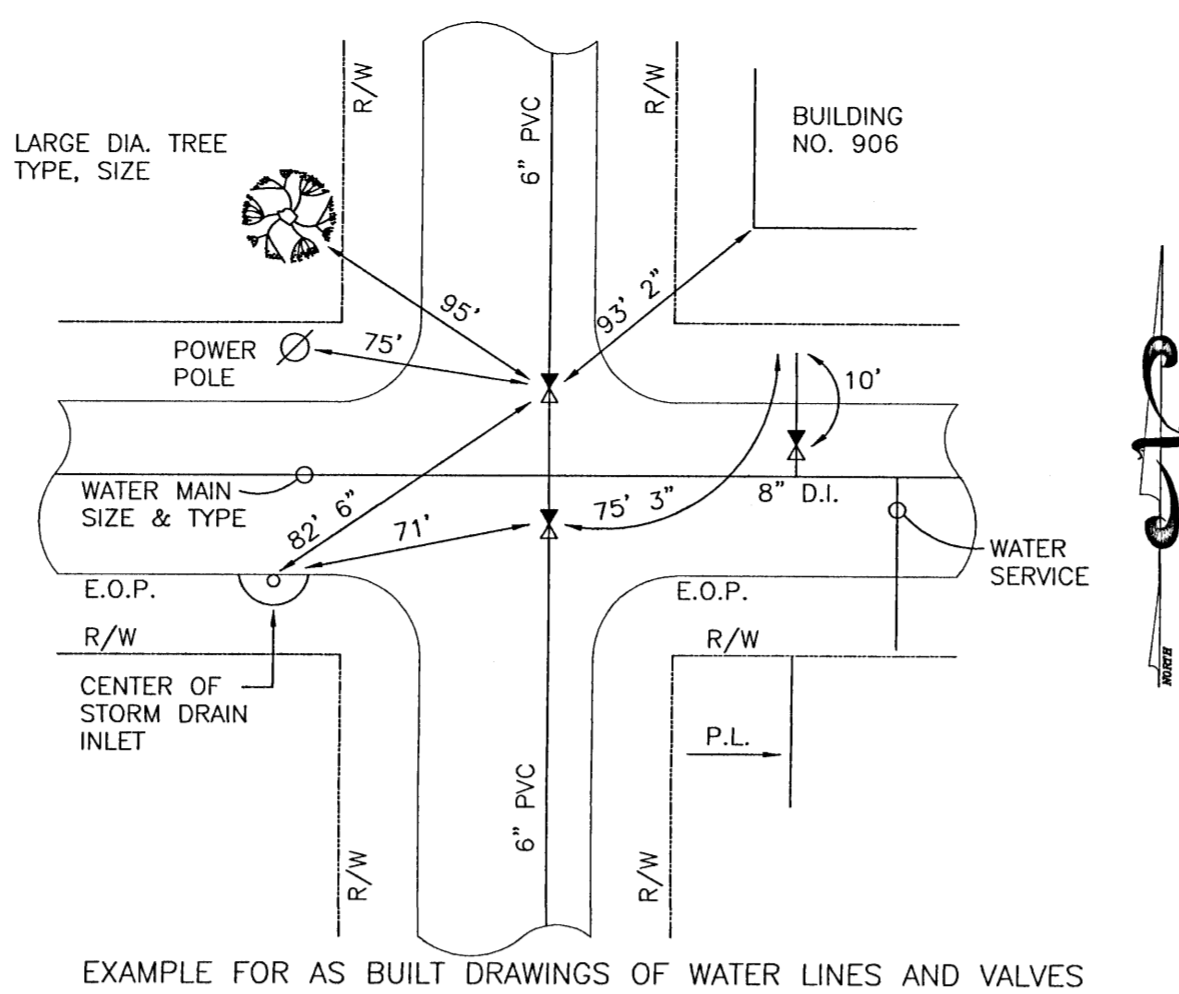
SANITARY CLEANOUT DETAIL

HORIZONTAL SCALE:
22x34: 1" = 20'
11x17: 1" = 40'



NOTE: Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.

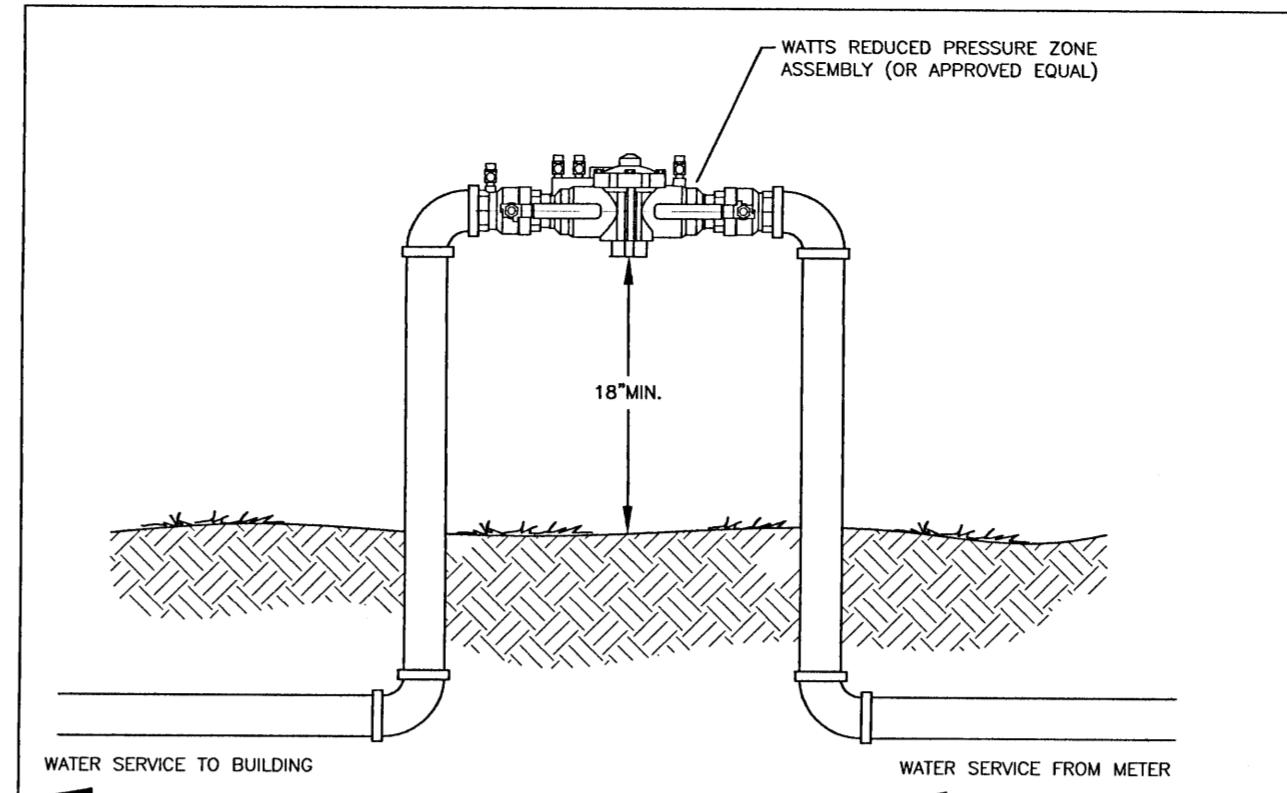
SEWER FORCE MAIN DIRECTIONAL BORE X-SECTION



1. AS BUILT DRAWINGS WILL BE PREPARED INDICATING LOCATIONS OF ALL SERVICES, LOCATIONS AND TYPES OF ALL FITTINGS, WITH RESPECT TO LOT CORNERS, LOCATIONS OF ALL VALVE AND DEAD END RUNS WITH THREE (3) TIES TO PHYSICAL FEATURES (BUILDING CORNERS, MANHOLES, EXISTING STRUCTURES, POWER POLES, STORM DRAIN INLETS, CENTER OF FIRE HYDRANTS, FACE OF LARGE DIAMETER TREES > 18").
2. AS BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE A LETTER OF ACCEPTANCE WILL BE ISSUED.
3. CONTRACTOR SHALL ALSO PROVIDE CERTIFIED AS-BUILTS BY A P.S.M. REGISTERED IN THE STATE OF FLORIDA IN DIGITAL AND HARD COPY SIGNED AND SEALED. THE AS-BUILTS SHALL BE IN STATE PLANE COORDINATES.

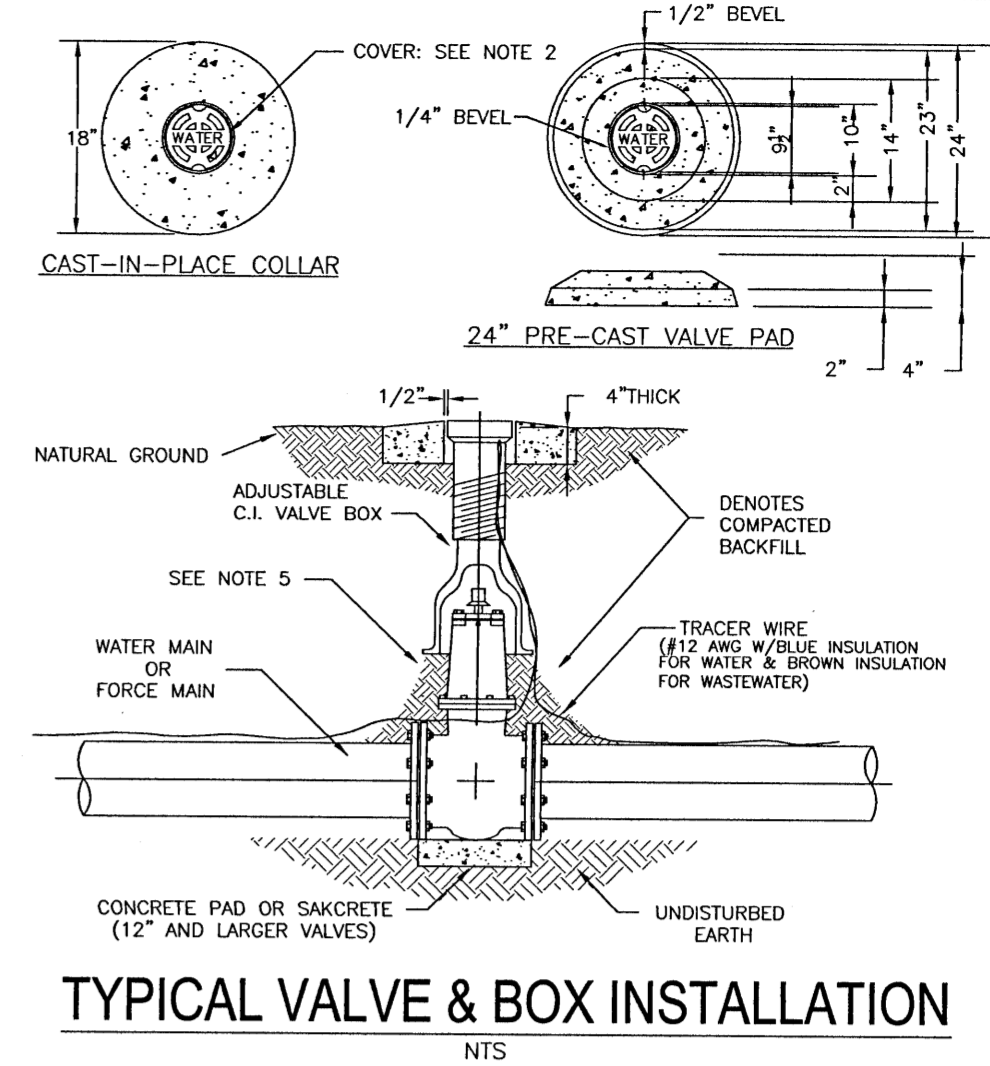
AS-BUILT REQUIREMENTS

N.T.S.

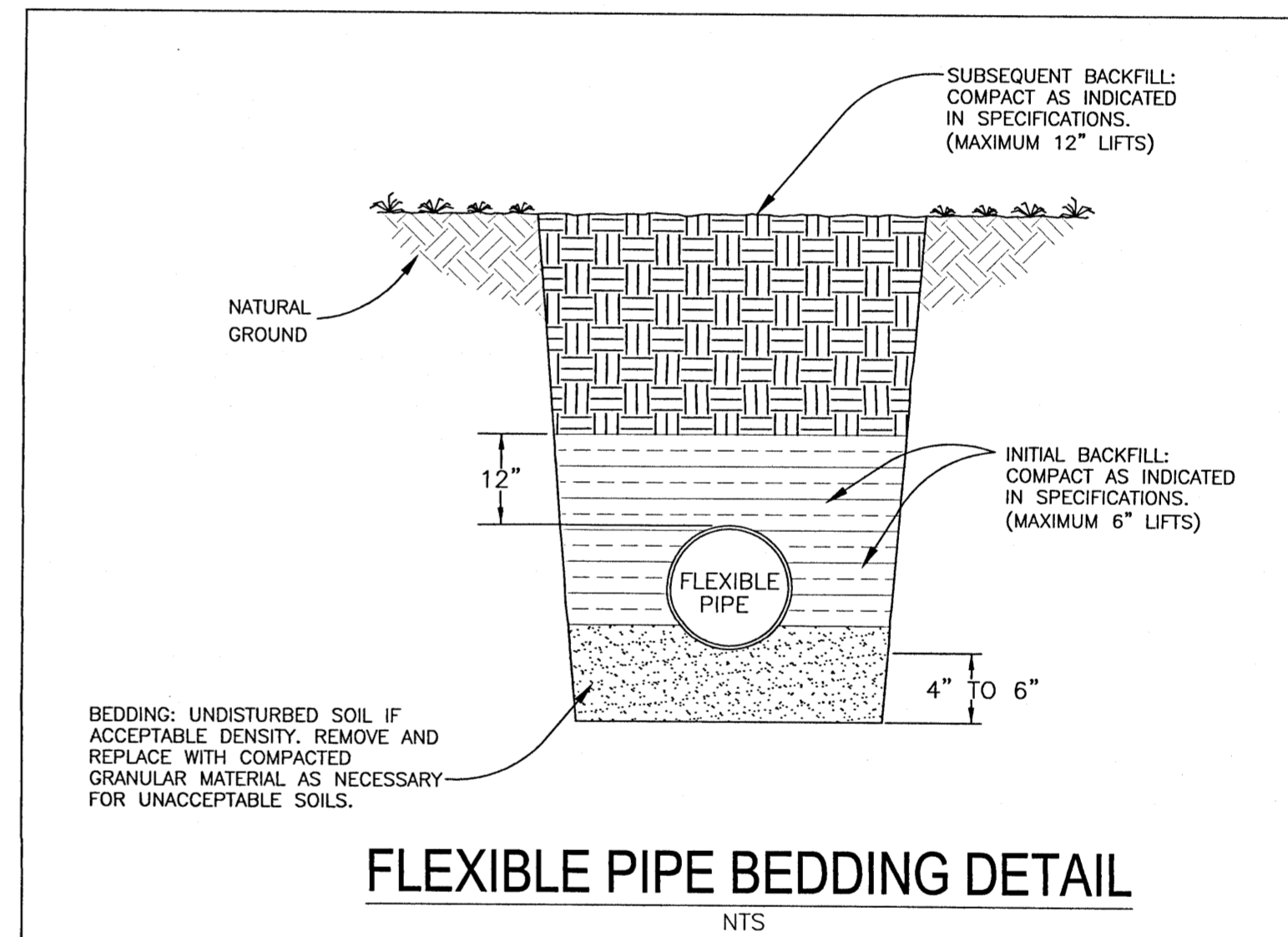


REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE

- NOTES:
1. WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
 - A. INSULATING COVERINGS
 - B. FROSTPROOF CASINGS
 - C. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)
 2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
 3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
 4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
 5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.

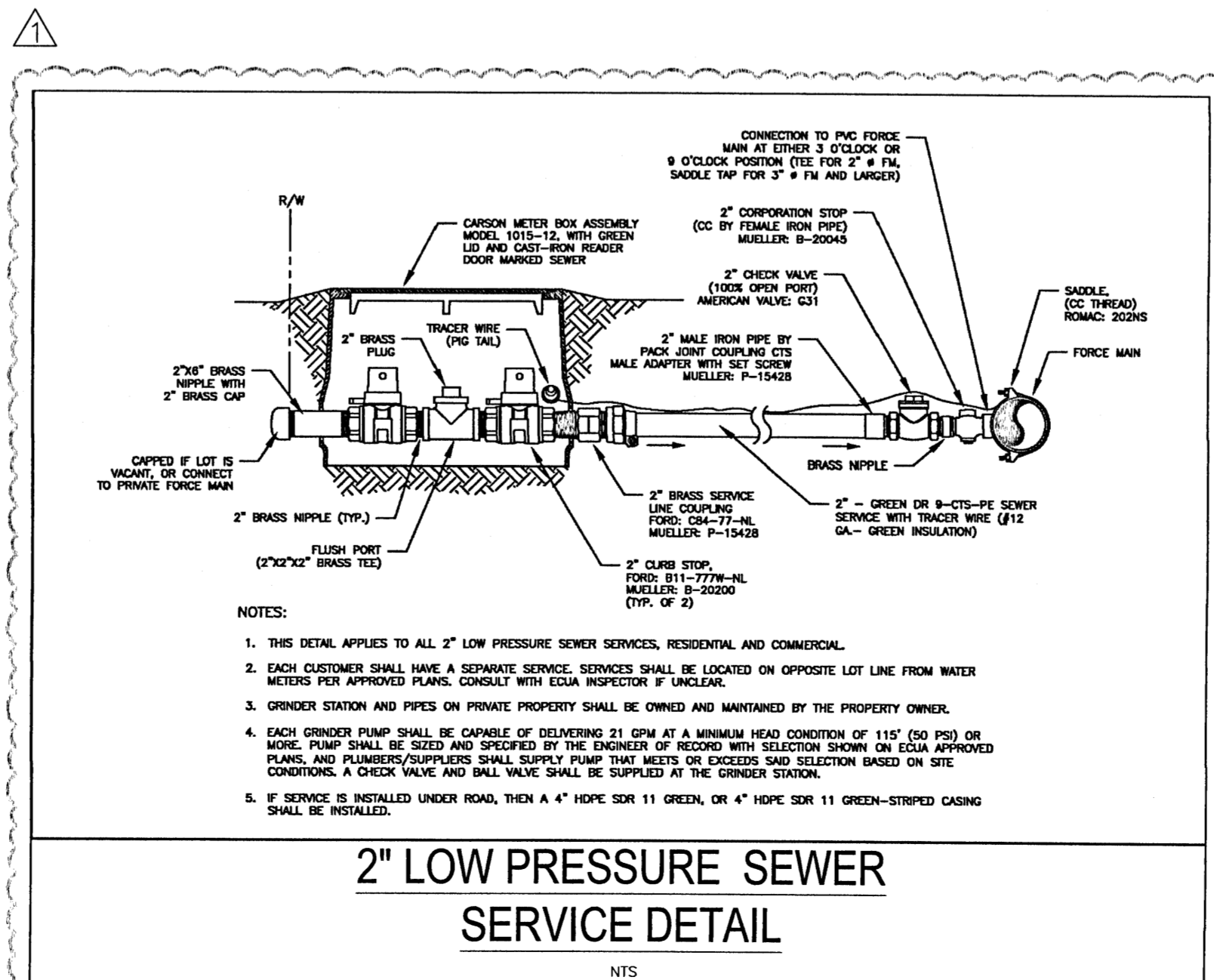


- NOTES:
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
 2. VALVE COVER SHALL BE MARKED "WATER".
 3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
 4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
 5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



FLEXIBLE PIPE BEDDING DETAIL

N.T.S.



2" LOW PRESSURE SEWER SERVICE DETAIL

N.T.S.

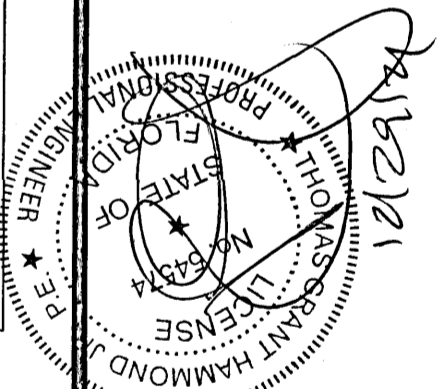
OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN			
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN			

- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

- NOTES:
- A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
 - B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

WATER SEWER/SEPARATION

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3802 NORTH "S" STREET
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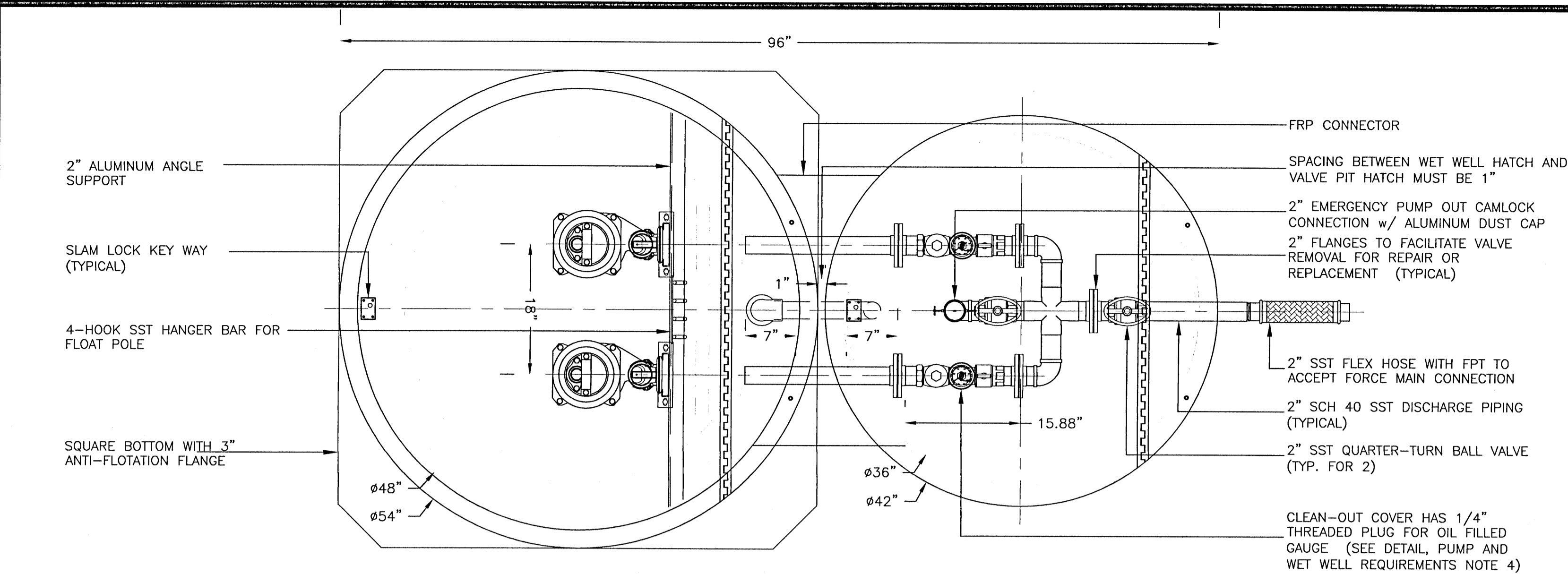


SITE DEVELOPMENT PLANS FOR DROWSY POET SORRENTO ROAD UTILITY DETAILS

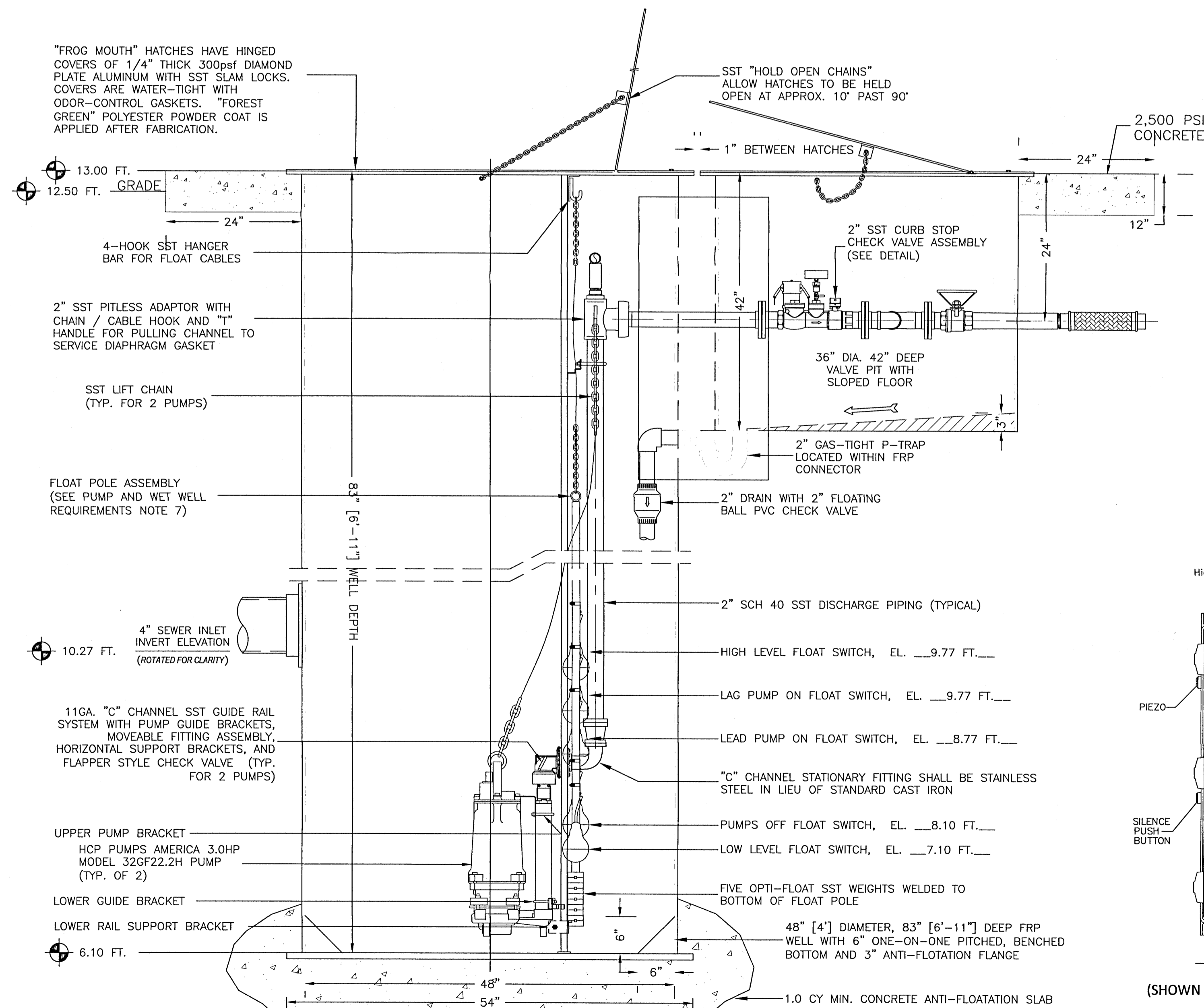
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DESIGNED BY: RLS
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SCALE: AS SHOWN
NOT REBUILT FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-057

SHEET: C16



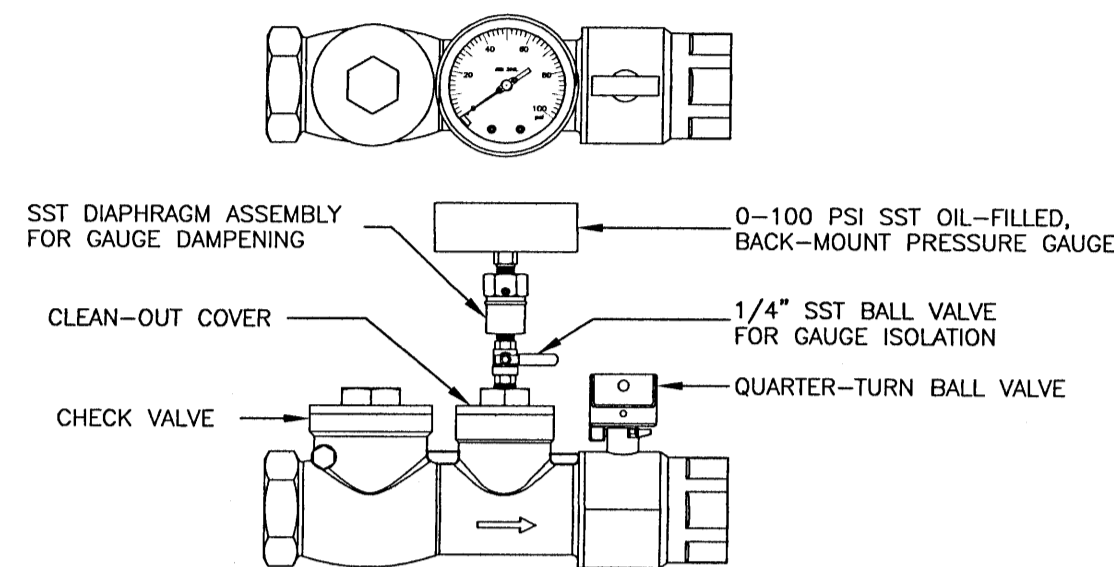
TOP VIEW



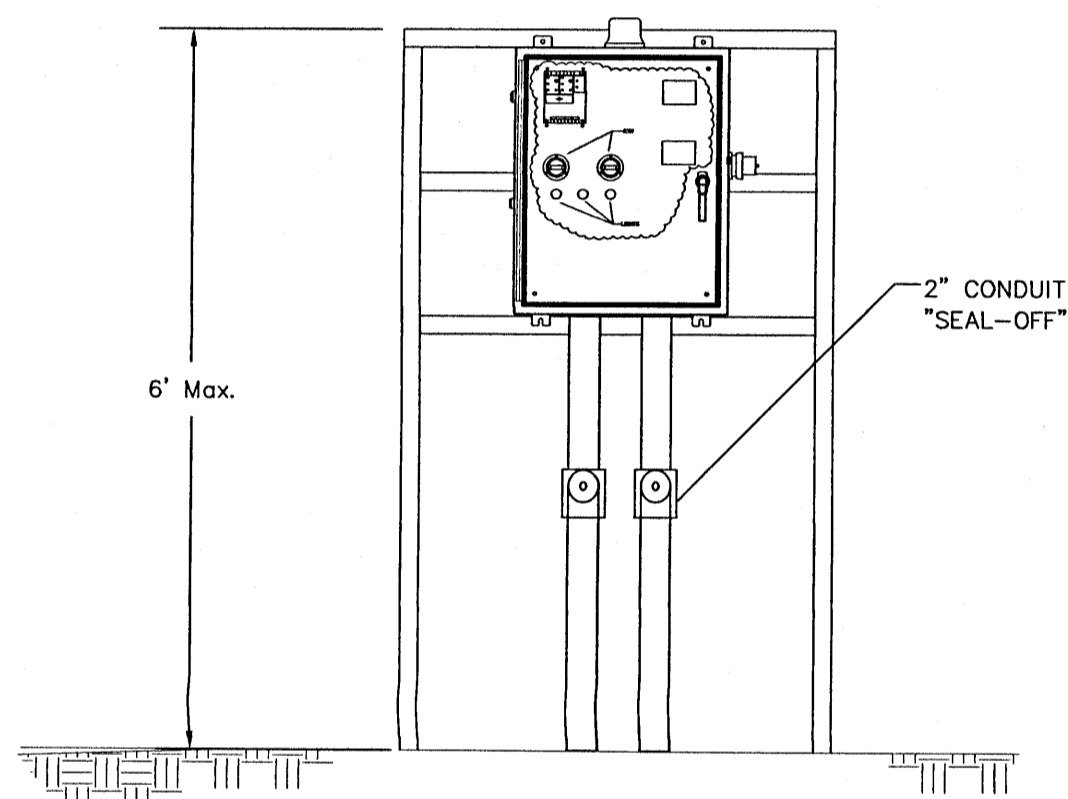
WET WELL ELEVATION

PUMP DATA	
MANUFACTURER	HCP PUMPS AMERICA
PUMP TYPE	GRINDER
MODEL NO.	32GF22.2H
CAPACITY (GPM/TD)	21 GPM/117' TDH
DISCHARGE SIZE	1 1/4"
HP/RATED RPM	3.0/3440
VOLTAGE/PHASE	230/1
FLA	14.2

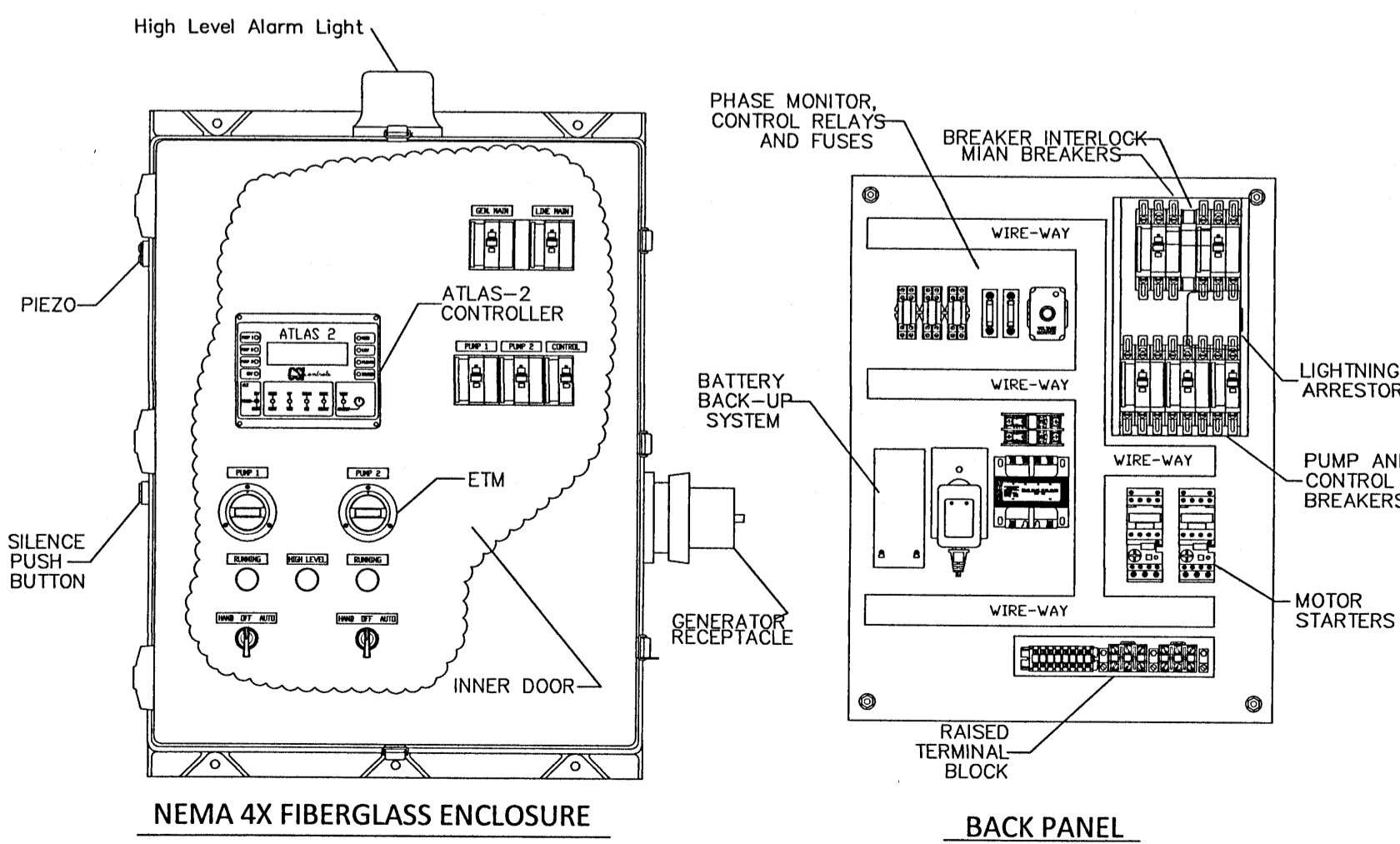
WET WELL DATA	
WET WELL DIAMETER	48"
WET WELL DEPTH	83"
INFLUENT ELEV.	10.27
FORCE MAIN DIAMETER	2"
BOTTOM ELEV.	6.10
LOW LEVEL ELEV.	7.10
ALL PUMPS OFF ELEV.	8.10
PUMP 1 (LEAD) ON ELEV.	8.77
PUMP 2 (LAG) ON ELEV.	9.77
HIGH LEVEL ALARM ELEV.	9.77
TOP ELEV.	13.00



2" SST CURB STOP ASSEMBLY DETAIL



NEMA 4X ENCLOSURE
DEP Approved Control Panel By Pump Supplier
Panel Stand or Wall Mounted



CONTROL PANEL DETAILS
SCALE: NONE

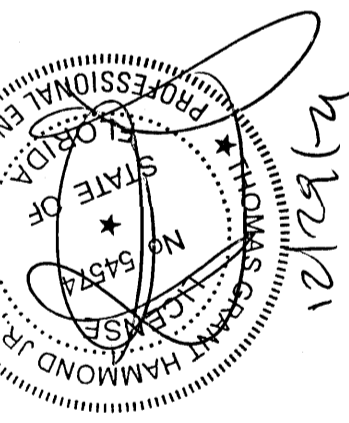
PUMP AND WET WELL REQUIREMENTS:

- PUMPS SHALL BE MODEL 32GF22.2H SUBMERSIBLE GRINDER SEWAGE PUMP AS MANUFACTURED BY HCP PUMPS AMERICA (OR APPROVED EQUAL).
- PUMPS ARE TO BE RATED AT 3.0 HP, 230 VOLT/1-PHASE. PUMPS SHALL DELIVER 21 GPM @ 117 FT. TOTAL DYNAMIC HEAD.
- THE PUMPS MUST HAVE A 5-YEAR 100% REPAIR PARTS AND LABOR WARRANTY AS PROVIDED BY THE PUMP MANUFACTURER.
- PRESSURE GAUGE TO BE SIZED TO READ NO MORE THAN 1-1/2 TIMES THE MAX. PRESSURE PUMP PROVIDES AT DEAD HEAD.
- PUMP "C" CHANNELS SHALL BE 11 GAUGE IN LIEU OF STANDARD 14 GAUGE.
- PUMP "C" CHANNEL STATIONARY FITTING SHALL BE STAINLESS STEEL IN LIEU OF STANDARD CAST IRON.
- FLOAT POLE ASSEMBLY CONSISTS OF A 1-1/4" x 60" SST PIPE WITH SST LIFTING CHAIN MOUNTED TO WELDED EYE. CHAIN SHALL BE LONG ENOUGH TO POSITION THE FLOATS AT THE REQUIRED DEPTH. FIBER OPTIC "OPTI-FLOATS" ARE WEIGHTLESS AND MOUNT TO POLE WITH PIPE CLAMPS. FOUR SST WEIGHTS ARE WELDED TO BOTTOM OF FLOAT POLE FOR STABILITY.
- THE PUMPS SHALL BE MOUNTED IN A 48 INCH BY 83 INCH DEEP FIBERGLASS BASIN. BASIN SHALL BE COMPLETELY ASSEMBLED AND AND SHALL INCLUDE ANTI-FLOTATION FLANGES LOCATED AT THE BASIN BOTTOM AND AS SHOWN.
- BASIN COVER SHALL BE SPLIT HINGED ALUMINUM WITH LOCKING ACCESS DOOR.
- BASIN WILL HAVE DISCHARGE WITH VALVES INSTALLED AND READY TO ACCEPT PUMPS.
- CONTROL PANEL AND ACCESSORIES MUST MEET CURRENT FDEP STANDARDS.
- CONTROL PANEL ENCLOSURE AND "AIR BREAK" BOX TO RECEIVE FOREST GREEN POWDER COAT FINISH AFTER FABRICATION.
- CONTROLLER SHALL AUTOMATICALLY ALTERNATE LEAD/LAG PUMP AND BRING ON THE LAG PUMP WHEN LIQUID LEVEL RISES TO THE LAG PUMP ON SWITCH. ALARM SHALL ALSO ACTIVATE WHEN LIQUID LEVEL RISES TO THE HIGH LEVEL ALARM SWITCH.
- UNDER NORMAL OPERATION THE LEAD PUMP ON SWITCH SHALL ACTIVATE THE LEAD PUMP AND THE PUMPS OFF SWITCH SHALL STOP THE PUMP WHEN THE LEVEL DROPS TO THAT POINT.
- ALL HARDWARE SHALL BE 304 STAINLESS STEEL UNLESS OTHERWISE NOTED.

GENERAL NOTES:

- ALL BREAKS IN WET WELL WALL FOR PIPING, CONDUIT, ETC. SHALL BE SEALED & SLEEVED AS NOTED.
- TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
- PVC FORCE MAIN SHALL MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS.
- LIGHTING ARRESTORS, SURGE CAPACITORS AND PHASE PROTECTION SHALL BE PROVIDED.
- ALL ELECTRICAL COMPONENTS INSTALLED IN WET WELL SHALL COMPLY WITH NATIONAL ELECTRICAL CODE REQUIREMENTS FOR CLASS I GROUP D, DIVISION 1 LOCATIONS.
- ALL ELECTRICAL COMPONENTS INSTALLED IN WET WELL SHALL BE SUITABLE FOR USE UNDER CORROSIVE CONDITIONS.
- ALL FLEXIBLE CABLES SHALL BE PROVIDED WITH A WATER TIGHT SEAL AND STRAIN RELIEF.
- MAIN POWER FEED SHALL BE PROVIDED WITH FUSE DISCONNECT SWITCH LOCATED IN CONTROL PANEL.
- ALL ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL MEET ALL REQUIREMENTS OF WEATHER PROOF EQUIPMENTS, NEMA 3R OR 3.
- A 110 VOLT RECEPTACLE, WITH GROUND FAULT INTERRUPT, SHALL BE PROVIDED IN CONTROL PANEL.
- WET WELL SHALL BE VENTED AND SHALL INCORPORATE BUG SCREEN.
- A DURABLE WEATHER RESISTANT SIGN INDICATING TELEPHONE NUMBER AND POINT OF CONTACT IN CASE OF EMERGENCY SHALL BE INSTALLED ON EXTERIOR OF CONTROL PANEL.
- EACH PUMP SHALL BE PROVIDED WITH ELAPSED TIME METER.
- ALL ELECTRICAL SUPPLY, CONTROL AND ALARM CIRCUITS SHALL BE PROVIDED WITH STRAIN RELIEF AND SHALL ALLOW FOR DISCONNECT FROM OUTSIDE THE WET WELL.
- ALL ELECTRICAL SUPPLY, CONTROL AND ALARM CIRCUITS SHALL BE PROVIDED WITH WATER TIGHT SEALS.
- CONTROL PANEL SHALL BE PROTECTED FROM ATMOSPHERE OF WET WELL BY CONDUIT SEAL MEETING THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.
- ALL PUMP POWER CORDS SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE STANDARDS FOR FLEXIBLE CORDS IN WATER PUMP STATIONS.
- POWER PUMP CORDS SHALL BE PROVIDED WITH GROUND FAULT INTERRUPT PROTECTION TO DE-ENERGIZE THE CIRCUIT IN CASE OF FAILURE.
- POWER CORD TERMINAL FITTINGS SHALL BE CORROSION-RESISTANT AND CONSTRUCTED IN A MANNER TO PREVENT ENTRY OF MOISTURE INTO THE CABLE.
- ALL SHUT-OFF AND CHECK VALVES SHALL BE LOCATED IN SEPARATE VALVE PIT. VALVE PIT SHALL BE PROVIDED WITH DRAIN.
- CONTROL PANEL SHALL BE PROVIDED WITH AUDIO-VISUAL ALARM FOR POWER FAILURE, PUMP FAILURE, UNAUTHORIZED ENTRY, OR OTHER PUMP STATION MALFUNCTION. ALARM TO INCLUDE BATTERY BACKUP.
- LIFT STATION SHALL BE PROVIDED WITH QUICK-DISCONNECT TO ALLOW FOR EMERGENCY PUMPING.
- CONTROL PANEL, VALVE BOX & WET WELL HATCH ALL TO INCLUDE LOCKING MECHANISM TO PREVENT UNAUTHORIZED ACCESS.

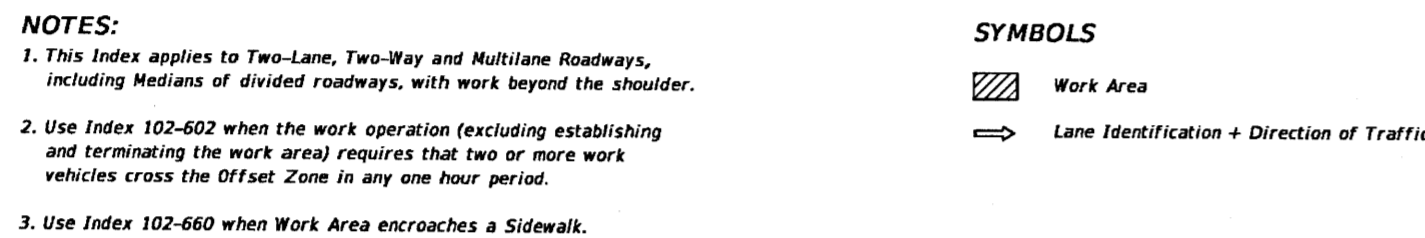
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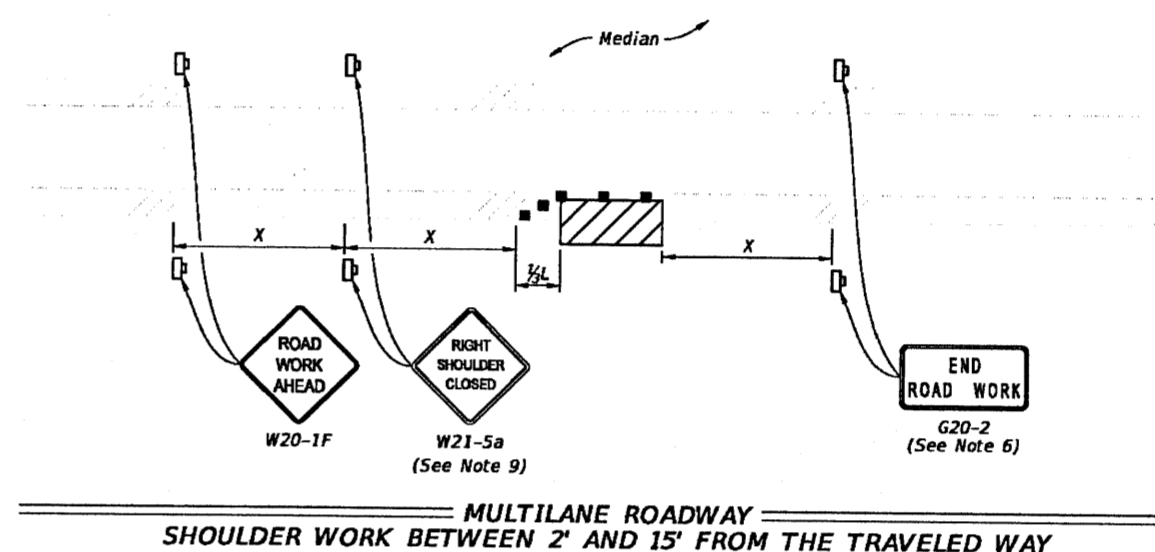
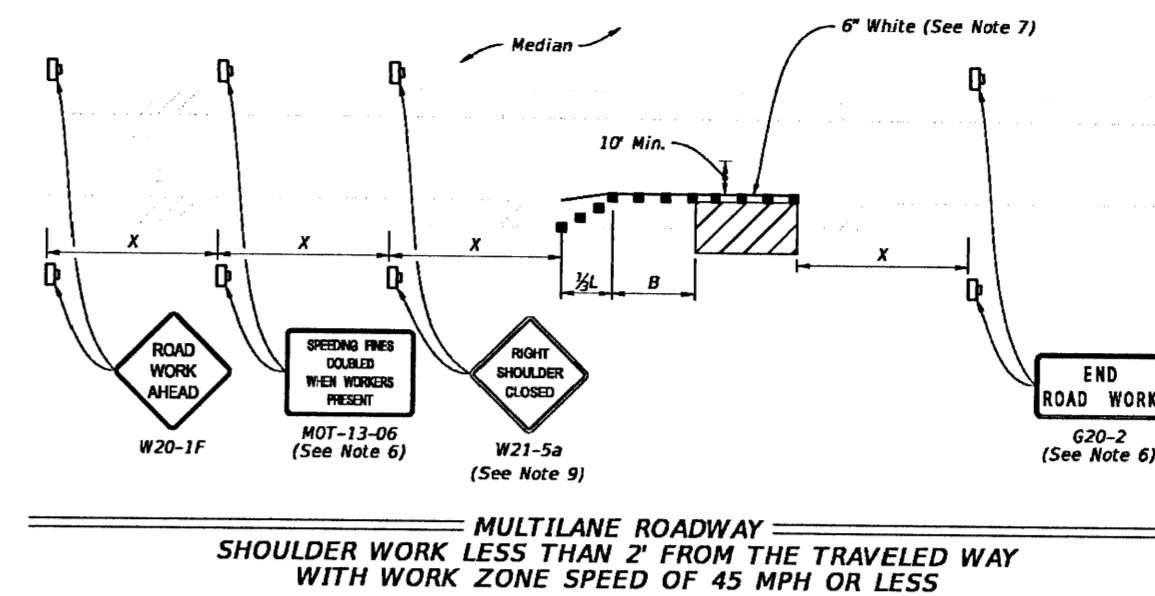
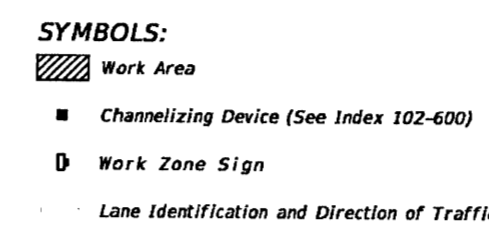
SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
LIFT STATION
DETAILS


DRAWN BY: GJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
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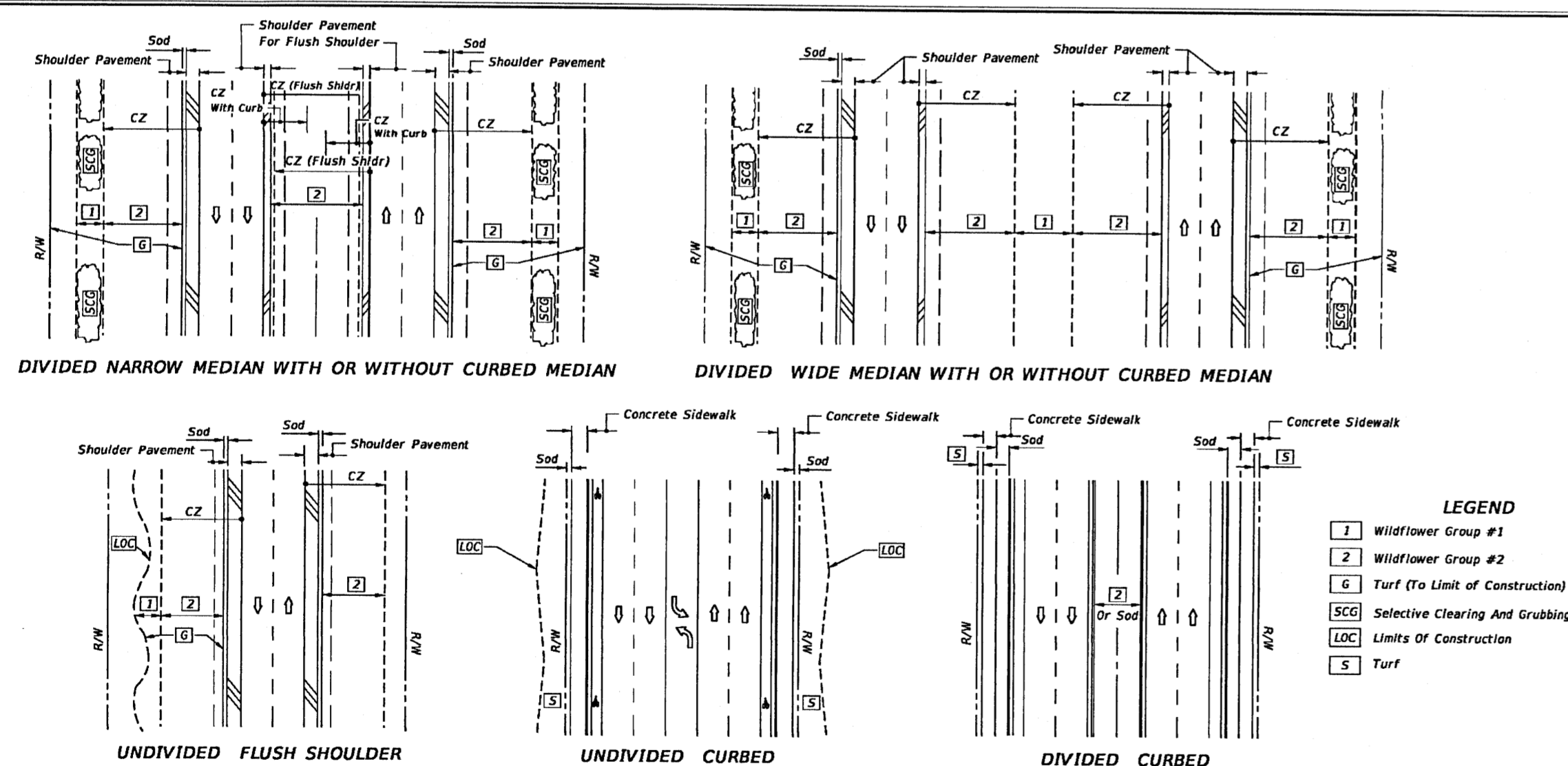
PROJECT NO: 20-057
SHEET: C17



LAST REVISION 11/01/20	DESCRIPTION: 	 FY 2021-22 STANDARD PLANS	TWO-LANE AND MULTILANE ROADWAY, WORK BEYOND THE SHOULDER	INDEX 102-601	SHEET 1 of 1
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LAST REVISION 11/01/20	DESCRIPTION:	 FY 2021-22 STANDARD PLANS	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX 102-602	SHEET 2 of 2
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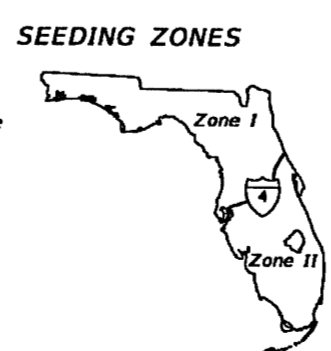



WILDFLOWER SEEDING RATES		
Common Name (Botanical Name)	#1 Group	lbs/s/acre
Black-Eyed Susan (<i>Rudbeckia hirta</i>)	2	1
Lance-Leaf Tickseed (<i>Coreopsis lanceolata</i>)	2	10
Goldenmame Tickseed (<i>Coreopsis basalis</i>)	1	10
Leavenworth's Tickseed (<i>Coreopsis leavenworthii</i>)	1	10
Fire Wheel (<i>Gallardia pulchella</i>)	1	10
Softtail Coneflower (<i>Rudbeckia mollis</i>)	2	10
Crimson Clover (<i>Trifolium incarnatum</i>)	2	15
#2 Group		
Annual Phlox (<i>Phlox drummondii</i>)	1	10
Moss Verbena (<i>Verbena tenuiseta</i>)	1	6
Leavenworth's Tickseed (<i>Coreopsis leavenworthii</i>)	1	10
Fire Wheel (<i>Gallardia pulchella</i>)	1	10
Crimson Clover (<i>Trifolium incarnatum</i>)	2	15

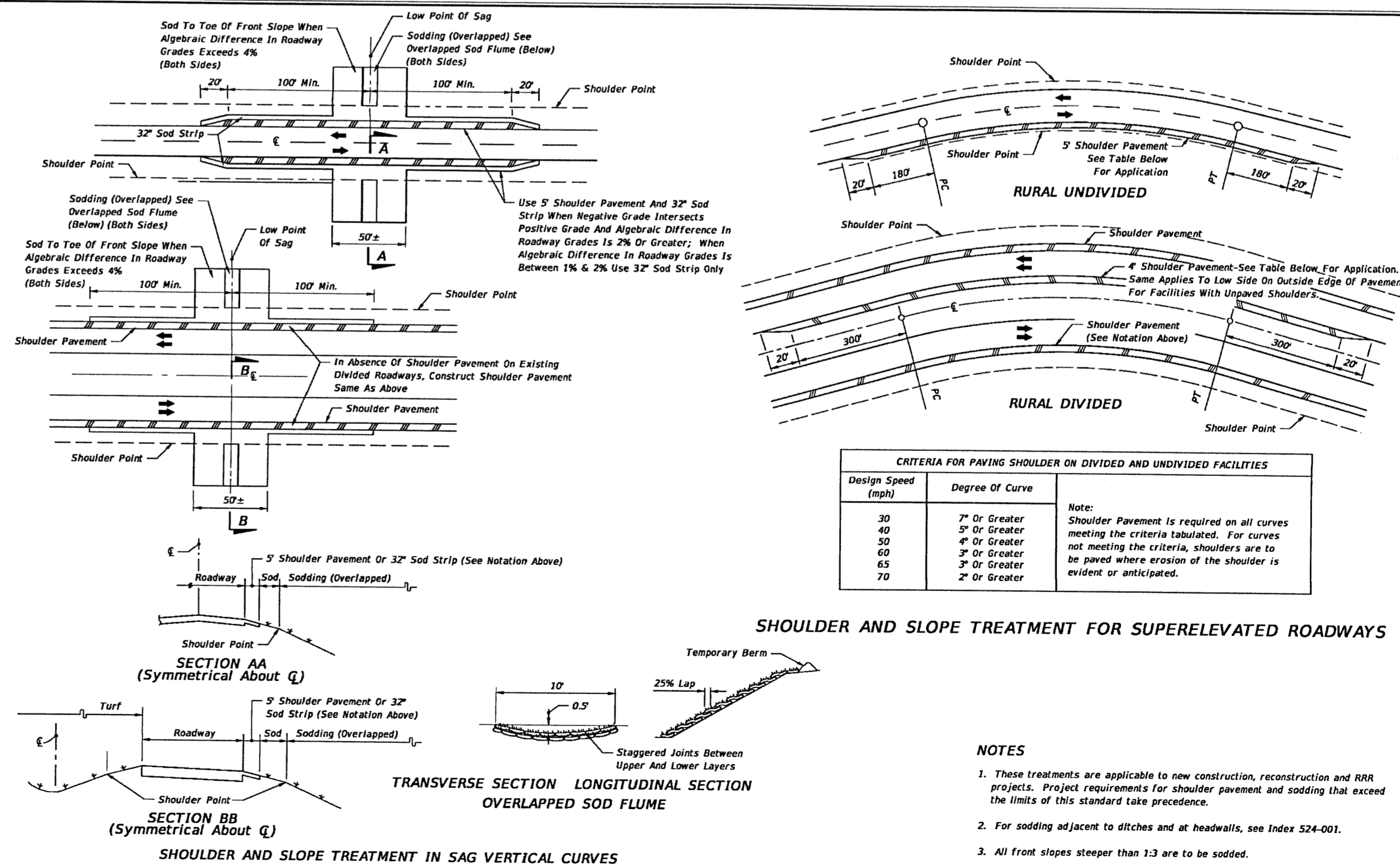
Note: Wildflower seeding rates are for restoring impacted wildflower areas.

GENERAL NOTES

1. All *turf* establishment shall be performed meeting the requirements of Specification 570.
2. Activities such as clearing, grading, and excavating that will disturb one or more acres of land require coverage under the Florida Permit for Stormwater Discharge from Large and Small Construction Activities from the Florida Department of Environmental Protection, and implementation of appropriate pollution prevention measures to minimize erosion and sedimentation and properly manage stormwater.
3. Confirm compatibility of wildflower with Seeding Zones.




LAST REVISION 11/01/19	DESCRIPTION:	 FY 2021-22 STANDARD PLANS	PERMANENT EROSION CONTROL	INDEX 570-001	SHEET 1 of 3
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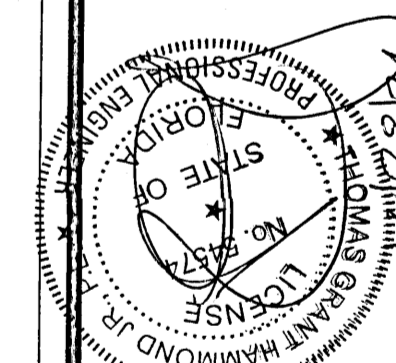
CRITERIA FOR PAVING SHOULDER ON DIVIDED AND UNDIVIDED FACILITIES		
Design Speed (mph)	Degree Of Curve	<p>Note: Shoulder Pavement is required on all curves meeting the criteria tabulated. For curves not meeting the criteria, shoulders are to be paved where erosion of the shoulder is evident or anticipated.</p>
30	7" Or Greater	
40	5" Or Greater	
50	4" Or Greater	
60	3" Or Greater	
65	3" Or Greater	
70	2" Or Greater	

NOTES

1. These treatments are applicable to new construction, reconstruction and RRR projects. Project requirements for shoulder pavement and sodding that exceed the limits of this standard take precedence.
2. For sodding adjacent to ditches and at headwalls, see Index 524-001.
3. All front slopes steeper than 1:3 are to be sodded.

TREATMENTS FOR PROTECTION FROM CONCENTRATED ROADWAY RUNOFF EROSION AND SHOULDER RAVELING	
LAST REVISION 11/01/19	DESCRIPTION: <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  FY 2021-22 STANDARD PLANS </div> <div style="text-align: center; flex-grow: 1;"> PERMANENT EROSION CONTROL </div> <div style="text-align: right;"> INDEX 570.001 SHEET 3-6 </div> </div>

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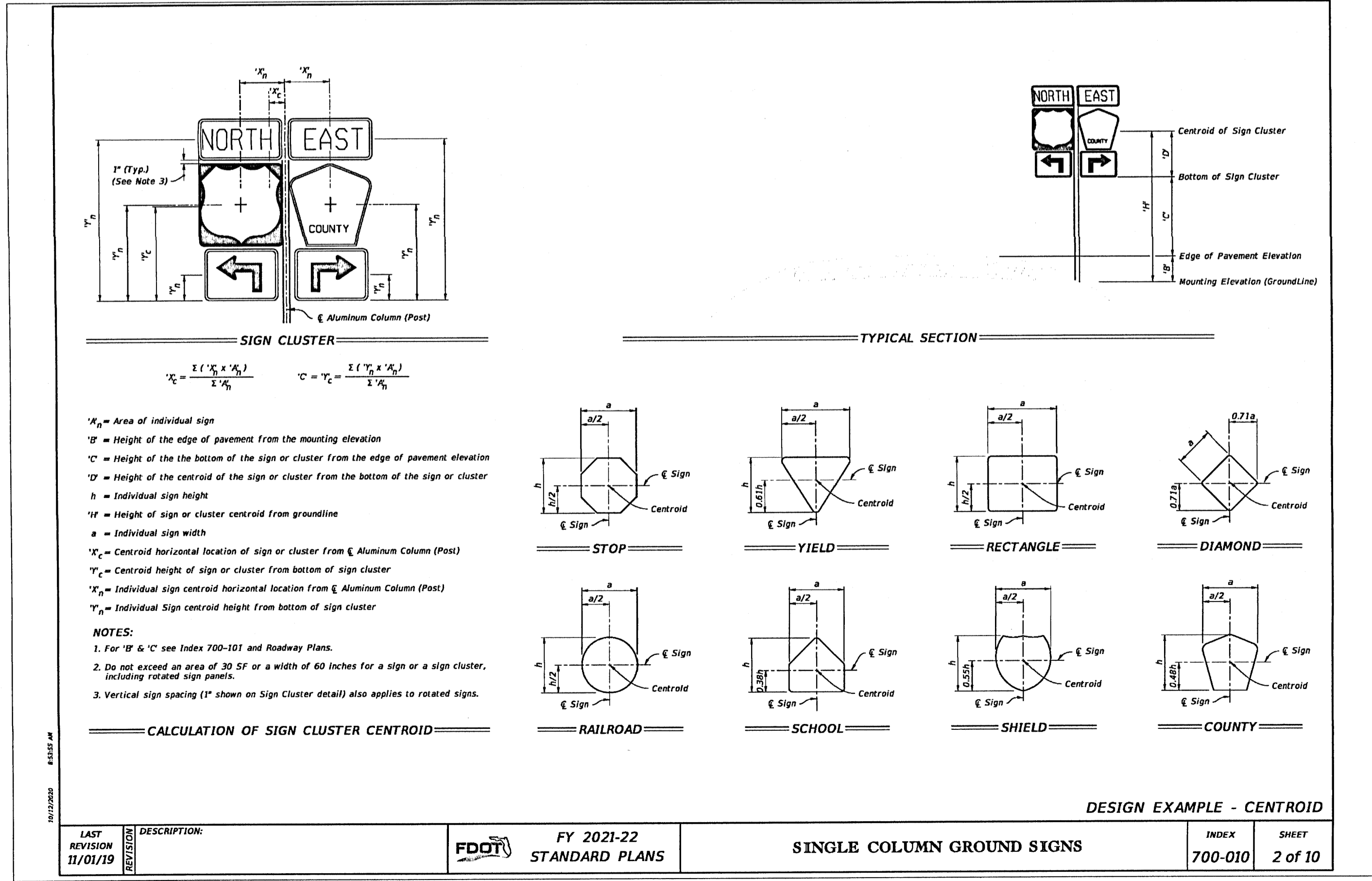
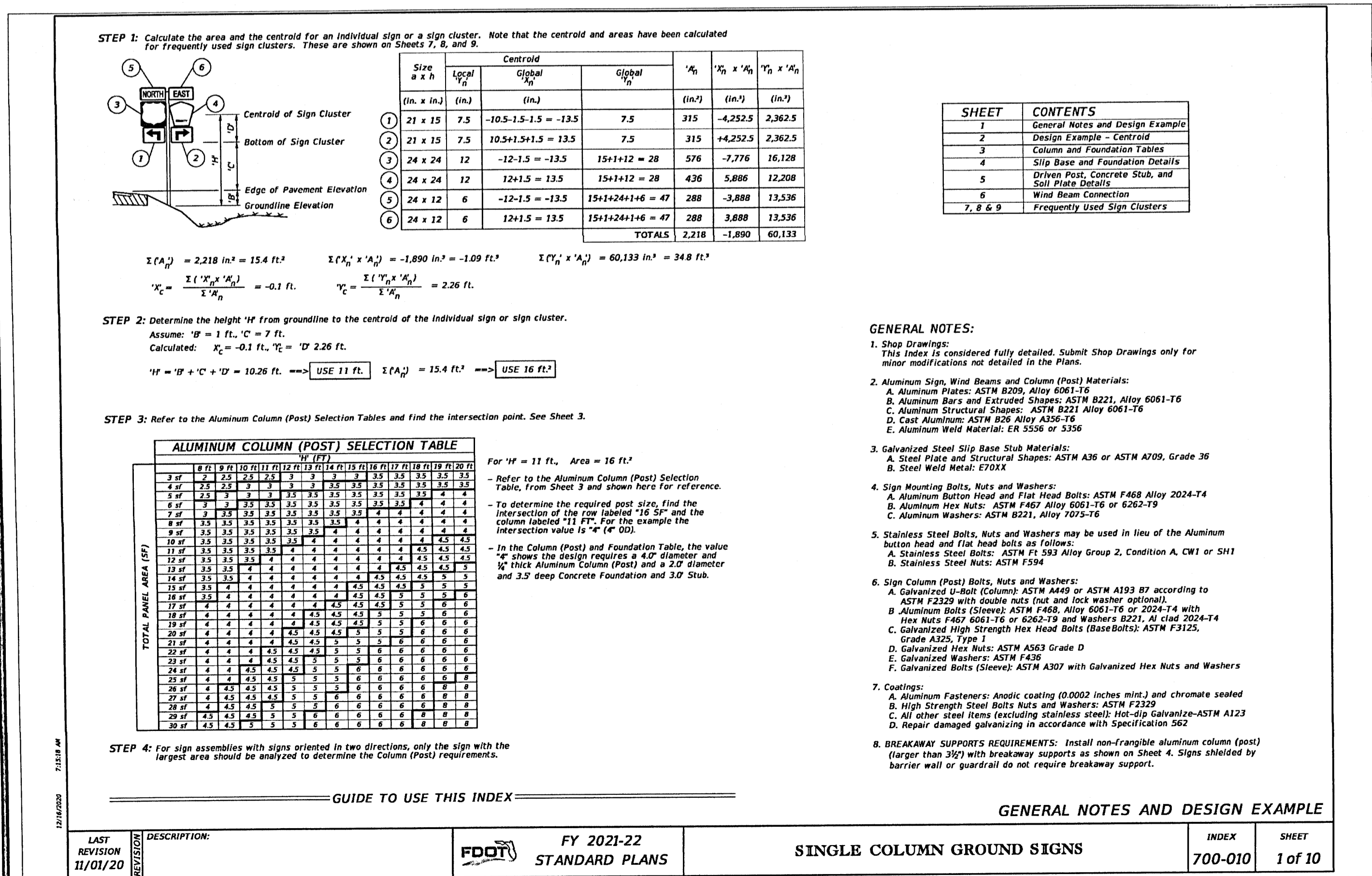
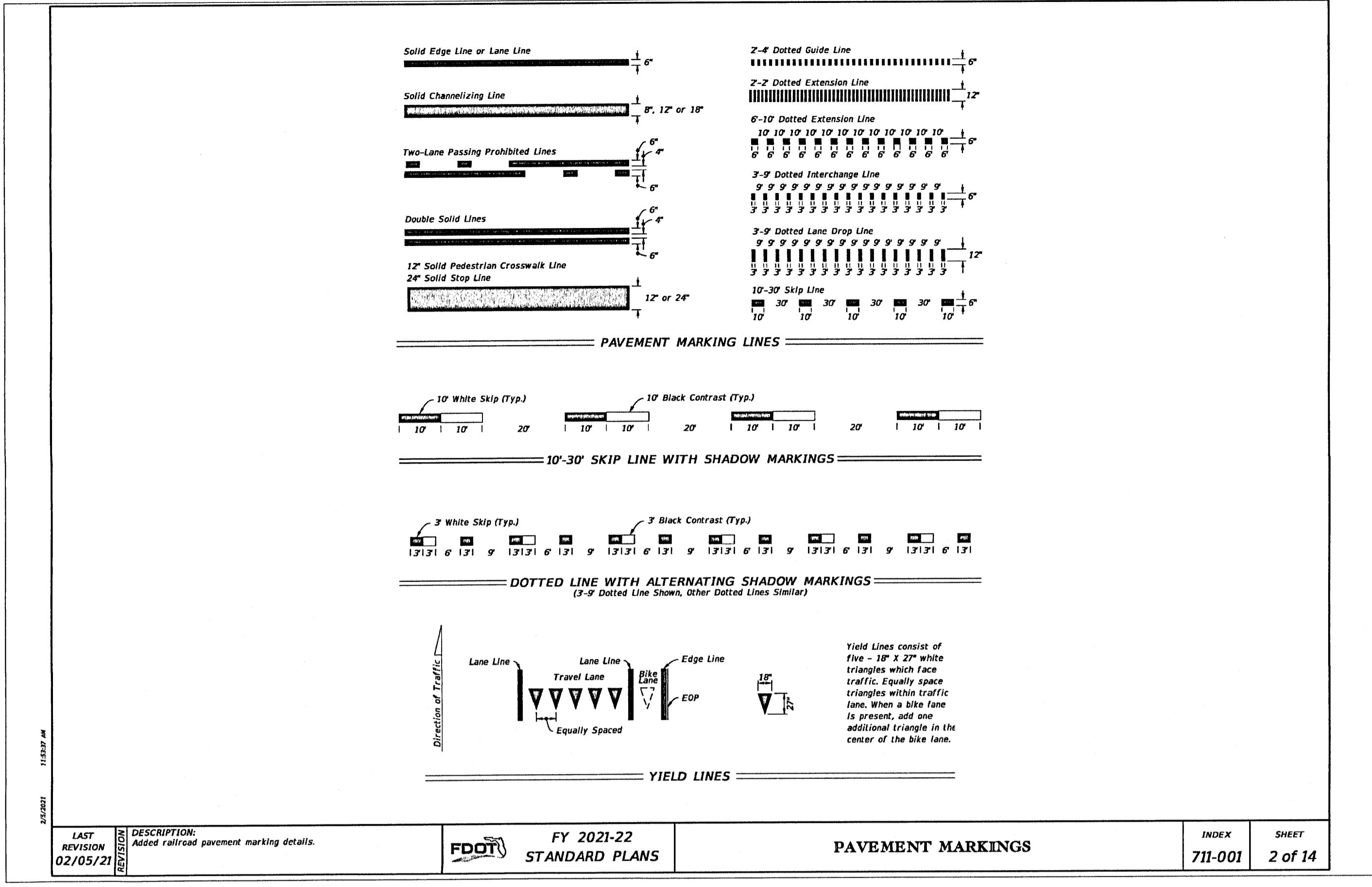
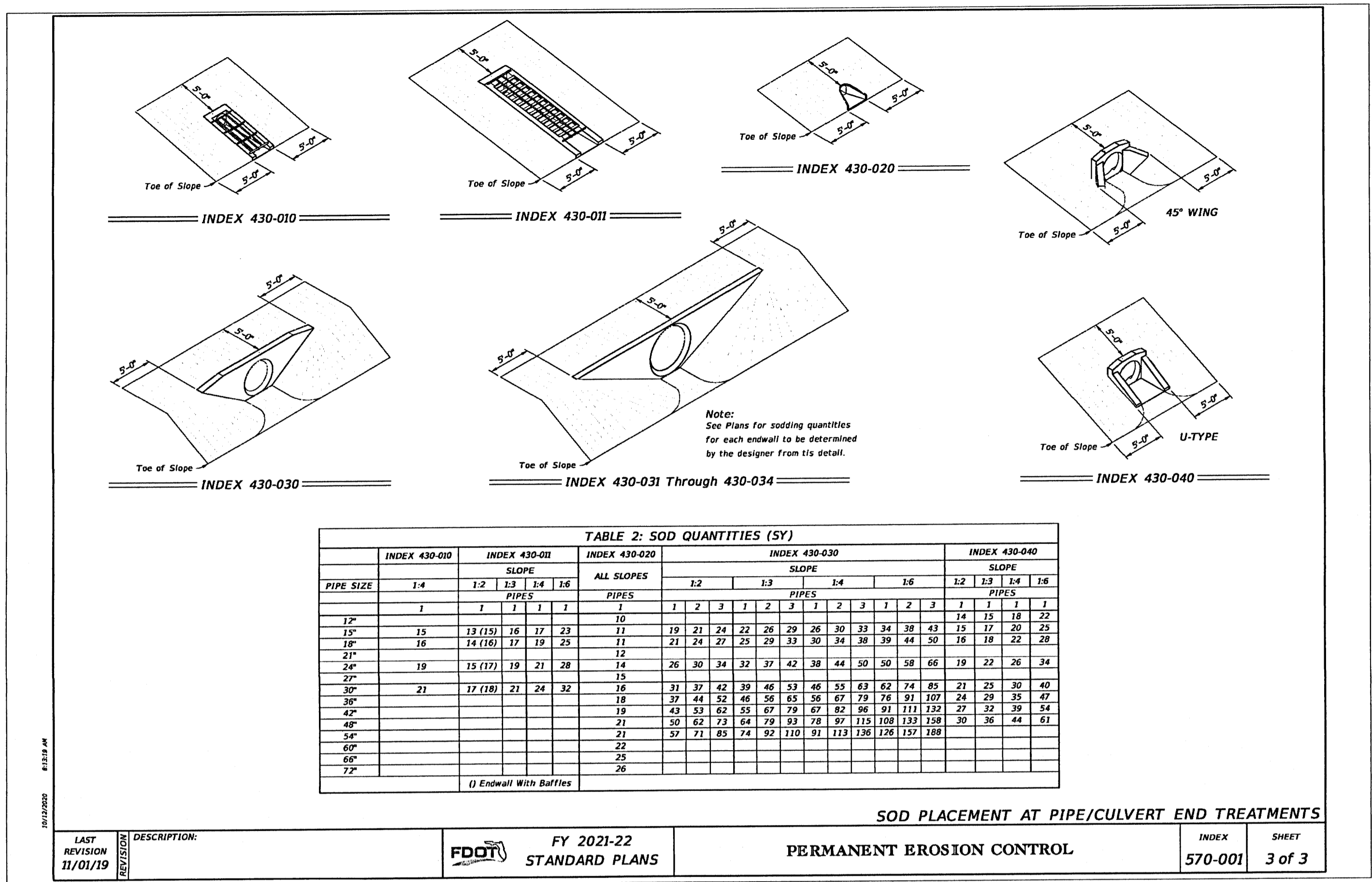
**SITE DEVELOPMENT
PLANS FOR
DROWSY POET
SORRENTO ROAD
FOOT DETAILS**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJGB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 02-26-21
SCALE: AS SHOWN
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PROJECT NO: 20-057

SHEET: C18



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SITE DEVELOPMENT PLANS FOR DROWSY POET SORRENTO ROAD

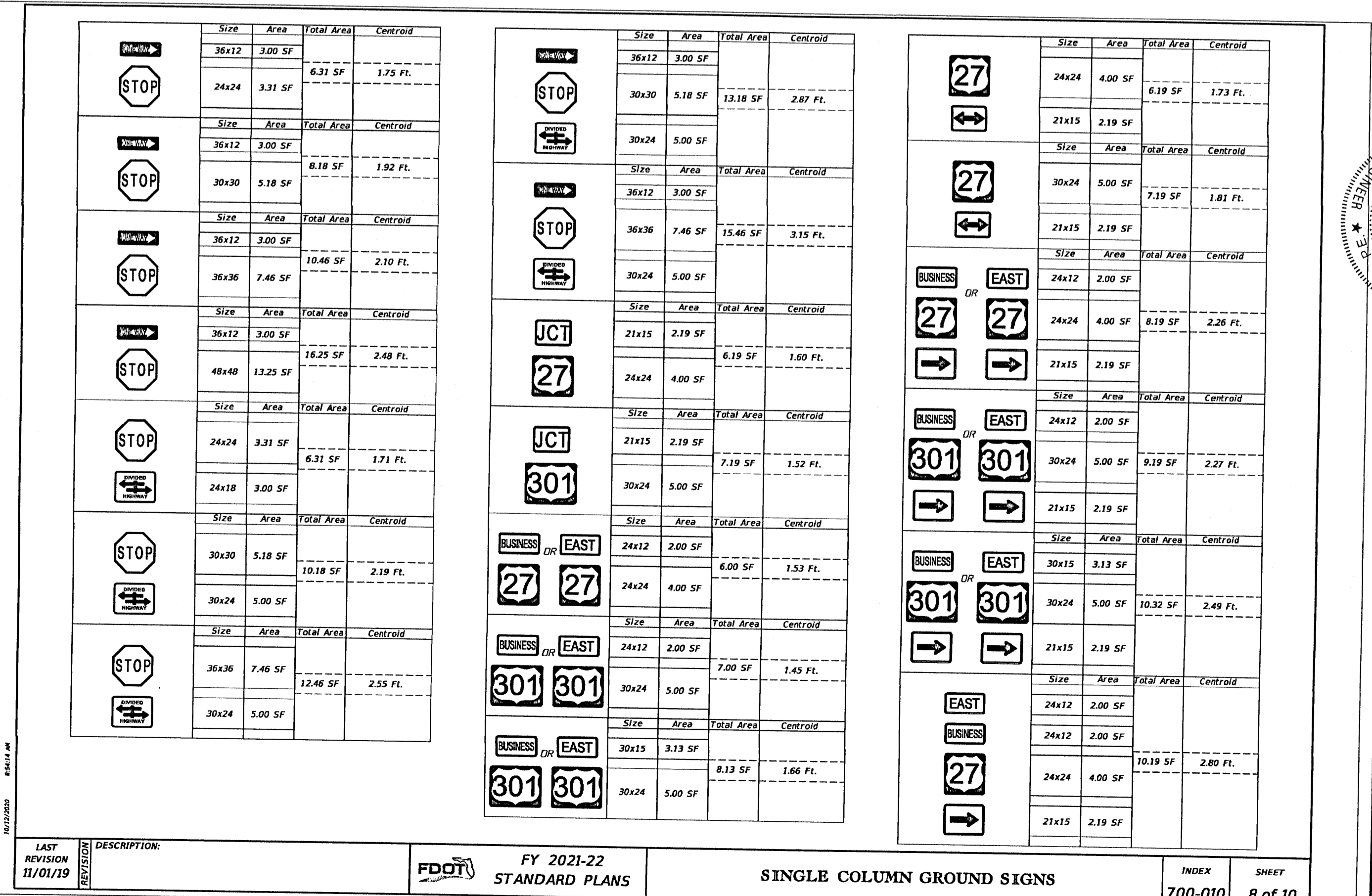
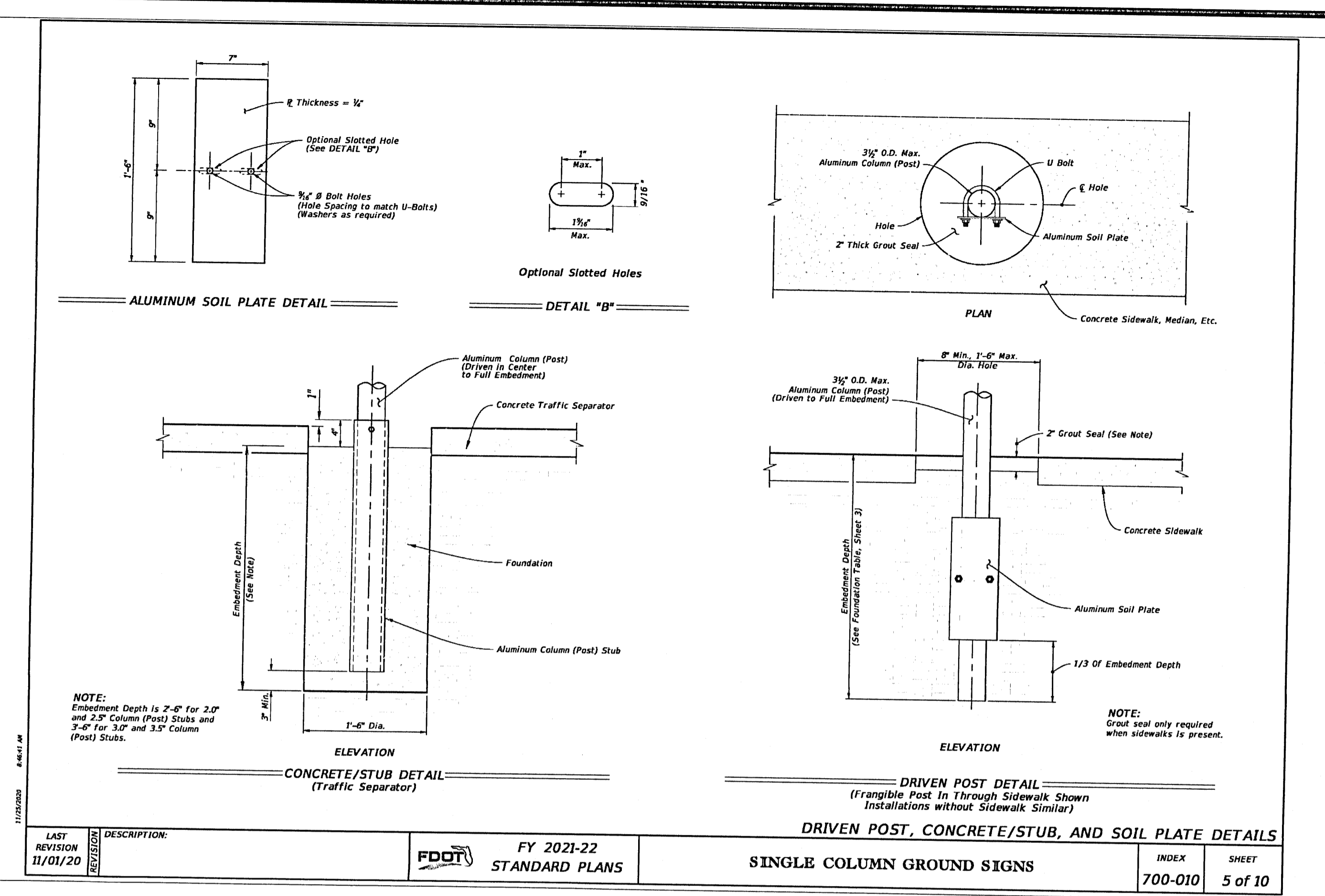
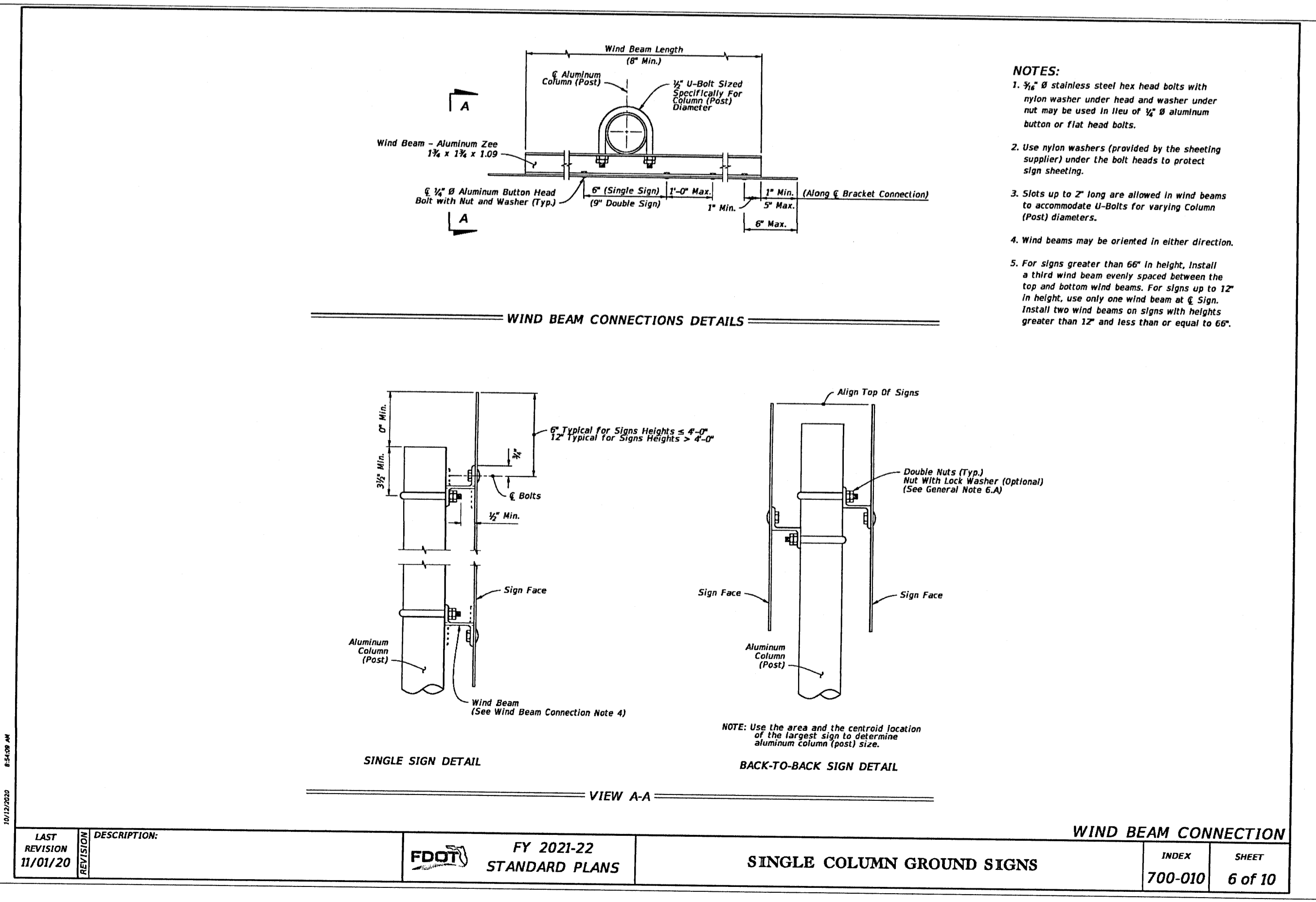
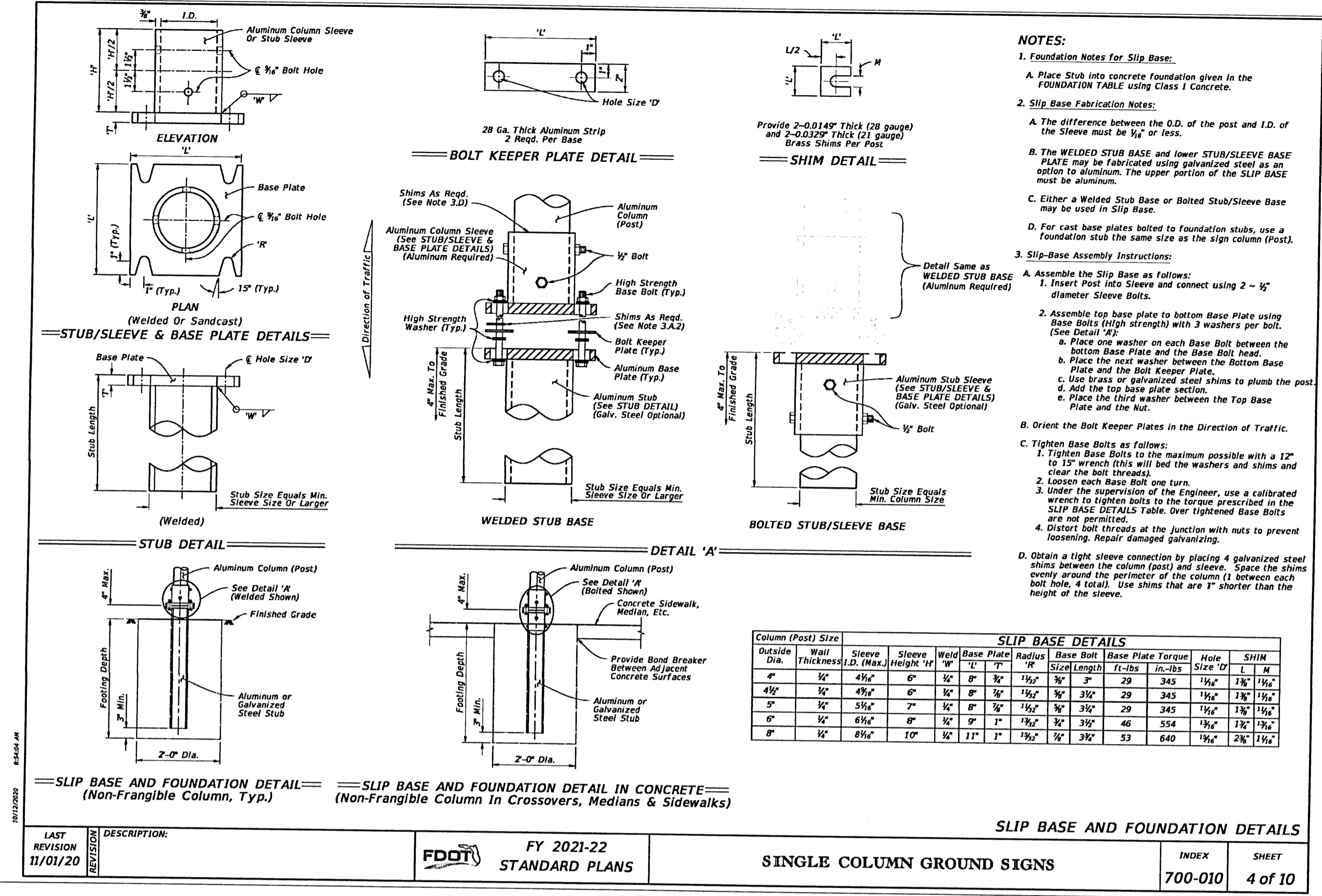
FLORIDA

ESCAMBIA COUNTY

DATE:

PROJECT NO: 20-057

SHEET: C19



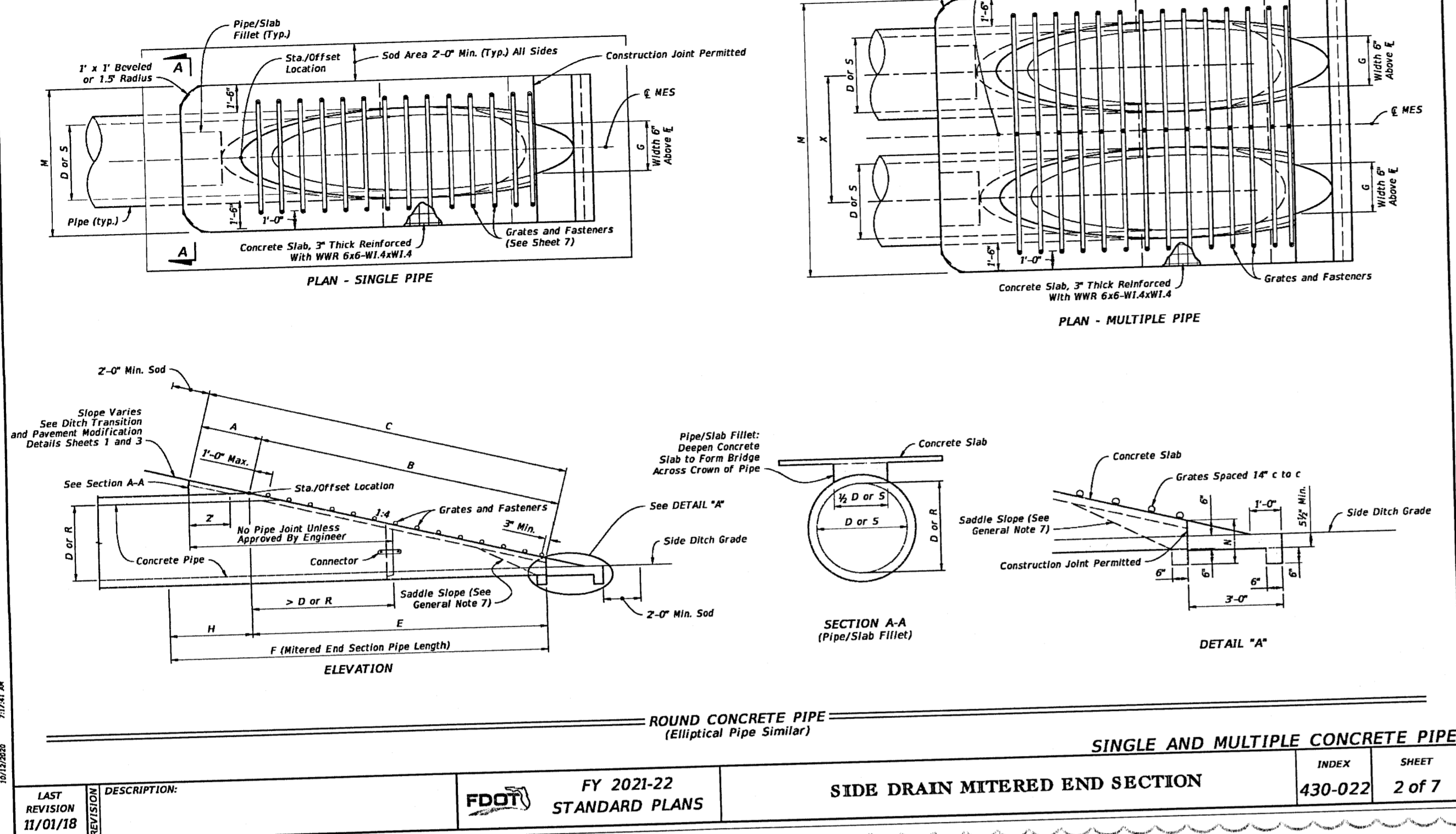
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DATE: 08/10/2021
 REVISIONS: 08/12/2021, 08/26/2021, 08/29/2021
 REVISED PLANS AS PER ECIA INITIAL PERMIT REVIEW COMMENTS
 REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
 REVISED PLANS AS PER FOOT UTILITY PERMIT REVIEW COMMENTS

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PROJECT NO: 20-057
 SHEET: C20



SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES																									
Pipe Dia.	Rise R	Span S	CONCRETE SLAB (CY)														SODDING (SY)								
			X	A	B	C	E	F	G	H	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe							
			GRATE SIZES																						
			STANDARD WEIGHT PIPE														EXTRA STRONG PIPE								
			3" CONC. SLAB (CY)														SODDING (SY)								
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