

BRATT ELEMENTARY SCHOOL  
COVERED PLAY BUILDING  
PROJECT NO. 07615-0010  
AUGUST 2021  
PERMIT SET

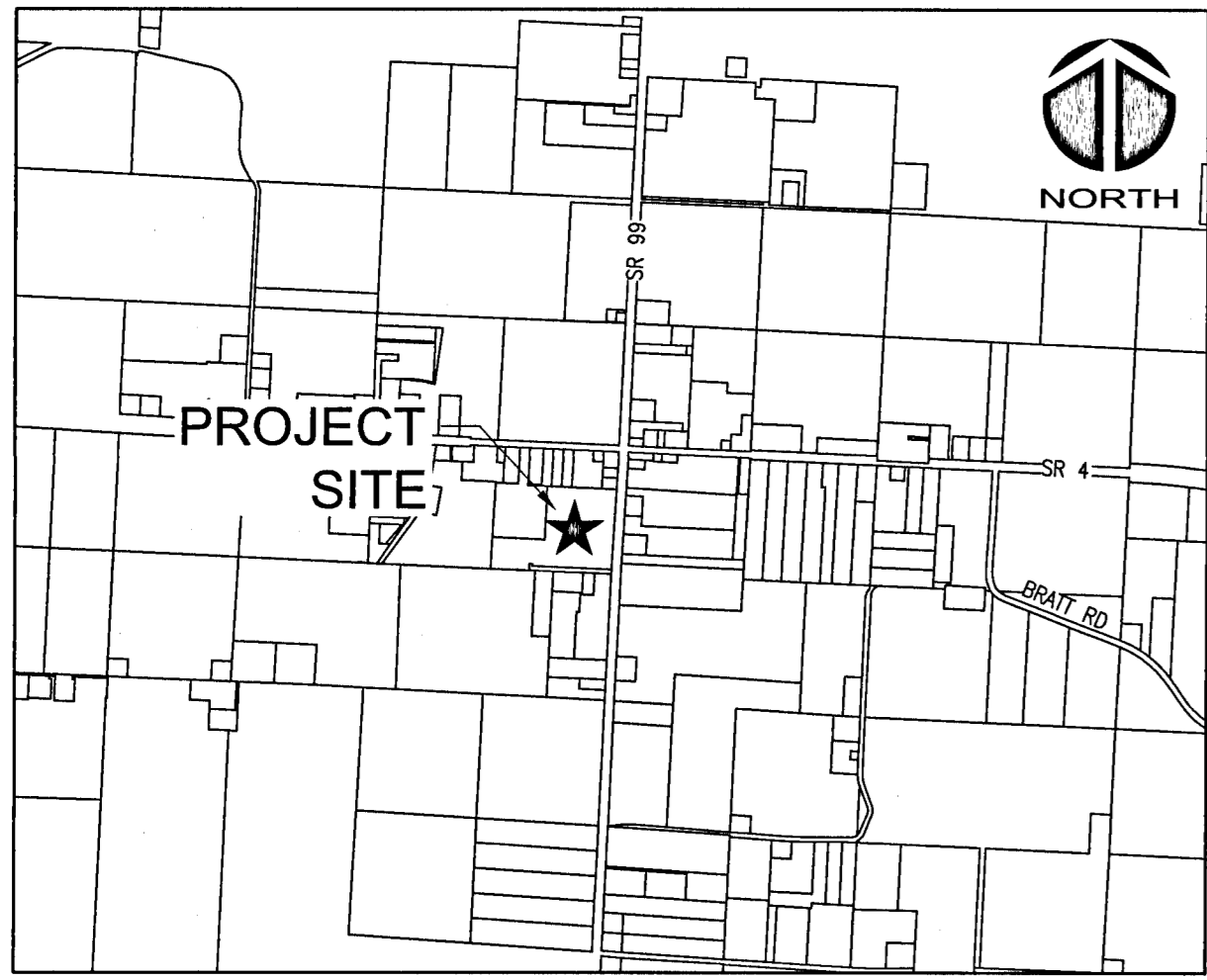
Approved  
ESCAMBIA COUNTY DRG PLAN REVIEW

DRG Chairman Signature: *[Signature]* Date: 8-25-21

Printed Name: *[Signature]*

Development Services Director or Designee: *[Signature]*

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



VICINITY MAP NOT TO SCALE

PROJECT NAME: BRATT ES COVERED PLAY BUILDING, 5721 COUNTY RD 99, CENTURY, FL 32535

OWNER/DEVELOPER:  
SCHOOL BOARD OF ESCAMBIA COUNTY  
75 N PACE BLVD  
PENSACOLA, FL 32505

UTILITY COMPANIES

SEWER, WATER – EMERALD COAST UTILITY AUTHORITY  
BRANDON KNIGHT  
(850)969-6650

POTABLE WATER – EREC WATER SYSTEM  
LAMONT GODWIN  
(850)675-7446

COMMUNICATION LINES, FIBER, TRAFFIC SIGNALS – ESCAMBIA COUNTY TRANSPORTATION AND TRAFFIC  
JIM HAGON  
(850)595-3404

ELECTRIC – ESCAMBIA RIVER ELECTRIC CO-OP, INC.  
ALEX SCANLON  
(850)675-7439

TELEPHONE – FRONTIER COMMUNICATIONS  
RICKEY WASDIN  
(251)368-9635

NATURAL GAS – PENSACOLA ENERGY  
DIANE MOORE  
(850)474-5319

FIBER – UNITI FIBER LLC  
MASON ADKISON  
(251)753-8695

1206 N. Palafox Street  
Pensacola, Florida 32501  
Phone: (850) 994-9503

CA Lic. No. 29588  
www.mckimcreed.com

PROJECT INFORMATION



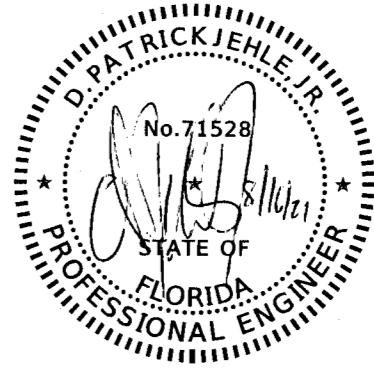
SITE MAP

SCALE: 1" = 100'

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SITE DATA SUMMARY

PROP. REF. #	10-5N-32-3104-000-000
PARCEL AREA	18,043 ACRES (±785,936 SF)
STREET ADDRESS	5721 COUNTY RD 99, CENTURY, FL 32535
ZONING	PUB
CURRENT USE	PUBLIC SCHOOL
FUTURE LAND USE	RC
SETBACKS	
BUILDING	
FRONT	15'
REAR	15'
SIDE	10'
PROPOSED BUILDING USE	PUBLIC SCHOOL
PROPOSED BUILDING AREA	6,765 SF
STORMWATER	
PRE-DEVELOPMENT	
PROJECT AREA	54,914 SF (±1.26 AC)
IMPERVIOUS AREA	23,685 SF (±0.544 AC)
PERVIOUS AREA	31,229 SF (±0.716 AC)
POST-DEVELOPMENT	
PROJECT AREA	54,914 SF (±1.26 AC)
IMPERVIOUS AREA	42,344 SF (±0.972 AC)
PERVIOUS AREA	12,570 SF (±0.288 AC)



Know what's below.  
Call before you dig.

SHEET INDEX

1	GENERAL NOTES
<p>1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.</p> <p>2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, ETC.</p> <p>3. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.</p> <p>5. LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.</p> <p>6. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.</p> <p>7. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FOOT'S ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.</p> <p>8. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).</p> <p>9. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.</p> <p>10. CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.</p> <p>11. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 (F.S. 553.60)) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.</p> <p>12. REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED IN CHAPTERS 400--4 AND 400--40, F.A.C. WHICH CAN RESULT IN A FINE OF UP TO \$10,000 PER VIOLATION WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.</p> <p>13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.</p> <p>14. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.</p> <p>15. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.</p> <p>16. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.</p> <p>17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.</p> <p>18. THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.</p> <p>19. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.</p> <p>20. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.</p> <p>21. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MA RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.</p> <p>22. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS. THE RECORD DRAWINGS SHALL SHOW THE LOCATION, TOP OF, AND BOTTOM OF ALL UTILITY STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.</p> <p>23. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.</p> <p>24. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.</p>	

2	SURVEYOR NOTES
<p>1. NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE GRID BEARING OF N 54°45'17" W ALONG THE SURVEY CONTROL BASE LINE AND IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)--(2011)--(EPOCH 2010.0000) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; A COPY OF A PREVIOUS SURVEY BY SOUTHERN SURVEYING, INC. PROJECT NUMBER 99-574, DATED 01/12/2000; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.</p> <p>2. ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.</p> <p>3. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FEET AND DECIMALS THEREOF.</p> <p>4. VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES).</p> <p>5. THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.</p> <p>6. VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.</p> <p>7. IT IS THE OPINION OF THE SURVEYOR &amp; MAPPER OF RECORD THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C00356, EFFECTIVE DATE OF SEPTEMBER 29, 2006.</p> <p>8. GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSDE SCALE MEASUREMENTS.</p> <p>9. NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.</p> <p>10. THE SURVEYING BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER FOR MCKIM &amp; CREED, INC. IS LB7917.</p> <p>11. THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.</p> <p>12. THIS IS NOT A BOUNDARY SURVEY.</p>	

3	EROSION CONTROL NOTES
<p>1. TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.</p>	

3	EROSION CONTROL NOTES (CONT.)
<p>2. PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.</p> <p>3. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.</p> <p>4. REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:</p> <p>A. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.</p> <p>B. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.</p> <p>C. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.</p> <p>D. SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO ENSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.</p> <p>E. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN REPORTS.</p> <p>G. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.</p> <p>5. THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:</p> <p>A. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.</p> <p>B. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.</p> <p>C. ALL MANUFACTURERS' RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.</p> <p>D. INSPECT DAILY TO ENSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.</p> <p>E. COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.</p> <p>6. CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.</p> <p>7. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.</p> <p>8. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.</p>	

4	SPILL CONTROL NOTES
<p>1. IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:</p> <p>A. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.</p> <p>B. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.</p> <p>C. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL AGENCY IMMEDIATELY.</p> <p>D. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.</p> <p>E. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.</p>	

5	DEMOLITION NOTES
<p>1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND PROVIDE A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.</p> <p>2. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.</p> <p>3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR SEWER SERVICE, SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.</p> <p>4. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGING UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.</p> <p>5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL. DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN WITH TREE PROTECTION BARRICADE.</p> <p>6. CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.</p> <p>7. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.</p> <p>8. CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED AGAINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIAL FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.</p> <p>9. CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, WATER LINES TO THE MAIN LOCATION, LATERALS TO MAIN LOCATION (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.</p> <p>10. UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.</p> <p>11. CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL. PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.</p> <p>12. CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).</p> <p>13. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.</p>	

6	EARTHWORK, GRADING, AND STABILIZATION NOTES
<p>1. INFORMATION CONCERNING SITE SOIL CONDITIONS IS PROVIDED BY THE GEOTECH REPORT.</p> <p>2. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.</p> <p>3. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.</p> <p>4. ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES: STORM WATER PIPES AND MANHOLES, SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND LIFT STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.</p> <p>5. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.</p>	

6	EARTHWORK, GRADING, AND STABILIZATION NOTES (CONT.)
<p>6. UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE. PLANT GRASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.</p> <p>7. THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED FINAL GRADES, AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND STEEPER SHALL BE STAKED.</p> <p>8. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVING THE BARRIERS AT NO TIME SHALL THERE BE ANY OFFSITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62--302 AND 62--4, FAC.</p> <p>9. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.</p>	

7	SIGNING AND MARKING NOTES
<p>1. A SEPARATE PERMIT IS REQUIRED FOR ALL BUSINESS SIGNAGE.</p> <p>2. ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE, ALKYD THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.</p> <p>3. PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINTS (MIN). ALL PAINTED STRIPING SHALL BE WHITE PAINT APPLIED PER MAINTENANCE SPECIFICATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.</p> <p>4. ALL DIRECTIONAL PAVEMENT MARKINGS MUST BE THERMOPLASTIC STRIPING.</p> <p>5. ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.</p> <p>6. SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.</p> <p>7. REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706--001.</p> <p>8. PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.</p> <p>9. CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.</p> <p>10. SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC., MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD AND OWNER.</p> <p>11. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.</p> <p>12. ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE.</p>	

8	PAVING, GRADING, AND DRAINAGE NOTES
<p>1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.</p> <p>2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.</p> <p>3. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.</p> <p>4. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.</p> <p>5. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND CONCRETE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).</p> <p>6. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.</p> <p>7. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.</p> <p>8. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN CONSTRUCTION LIMITS.</p> <p>9. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.</p> <p>10. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, WALKWAYS &amp; PADS.</p> <p>11. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.</p> <p>12. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.</p> <p>13. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL SHALL BE MATERIAL NOTED AS ACCEPTABLE IN THE GEOTECHNICAL REPORT. REPLACEMENT OF ALL FILL/BACKFILL MUST BE PER RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT.</p> <p>14. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.</p> <p>15. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.</p> <p>16. PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.</p> <p>17. CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION.</p> <p>18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.</p> <p>19. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.</p> <p>20. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.</p>	

9	GENERAL UTILITY NOTES
<p>1. ALL UTILITY WORK SHALL CONFORM TO AND BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR FDEP PERMIT.</p> <p>2. WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.</p> <p>3. PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.</p> <p>4. ALL POTABLE WATER MAINS MUST BEAR "NSF" "PW" LOGO.</p> <p>5. UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.</p> <p>6. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 30-INCHES OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.</p> <p>7. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.</p> <p>8. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITY COMPANIES IDENTIFIED BY SUNSHINE ONE--CALL SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.</p> <p>9. LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.</p> <p>10. CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.</p> <p>11. ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.</p> <p>12. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.</p> <p>13. A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.</p> <p>14. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W. 1-800-432-4770.</p> <p><b>TESTING AND INSPECTION</b></p> <p>14. CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.</p> <p>15. CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD. PRIOR TO PLACING IN SERVICE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTION WATER MAINS".</p>	

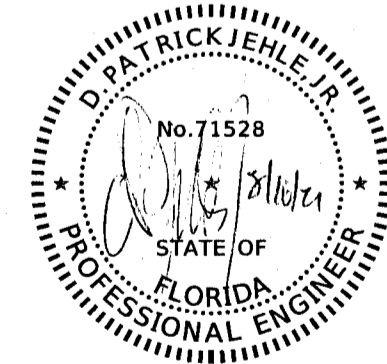
10	UTILITY SEPARATION NOTES PER 62-555.3
<p>1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.</p> <p>1.A. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3- FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62--610, FAC.</p> <p>1.B. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3- FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.</p> <p>1.C. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 6- FEET, AND PREFERABLY 10- FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62--610, FAC. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3- FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6- INCHES ABOVE THE TOP OF THE SEWER.</p> <p>1.D. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 10- FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), FS AND RULE 64E-6.002, FAC.</p> <p>2. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.</p> <p>2.A. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6- INCHES, AND PREFERABLY 12- INCHES, ABOVE OR AT LEAST 12- INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.</p> <p>2.B. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12- INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.</p> <p>2.C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 3- FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62--610, FAC., AND AT LEAST 6- FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62--610, FAC.</p> <p>3. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.</p> <p>3.A. NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.</p>	

## Quina Grundhoefer Architects

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850 433-5575 qga@quinaarchitects.com

## LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	DROP BENCHMARK
	SEWER INLET
	DOWNSPOUT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	BACK FLOW PREVENTER
	FAUCET/HOSE BIBB
	SEWER MANHOLE
	CLEANOUT
	GREASE TRAP
	LIFT STATION VENT PIPE
	ELECTRICAL CONDUIT
	ELECTRICAL BOX
	ELECTRIC PANEL
	AIR CONDITIONER
	GAS PRV
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	WOOD UP W/ METER
	WOOD LIGHT POLE
	WOOD LP WITH METER
	BASKETBALL HOOP
	BOLLARD
	STEEL I-BEAM SUPPORT
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD



D. PATRICK JEHL, JR.  
P.E. 71528

## Project

## Covered Play Area and Multi-Purpose Room Bratt Elementary

Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021  
Project No.  
07615-0010

Sheet No.  
G1



## LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	DOWNSPOUT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	BACK FLOW PREVENTER
	FAUCET/HOSE BIBB
	SEWER MANHOLE
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	GREASE TRAP
	LIFT STATION VENT PIPE
	ELECTRICAL CONDUIT
	ELECTRICAL BOX
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	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	WOOD UP W/ METER
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	BASKETBALL HOOP
	SPOT ELEVATION
	STEEL I-BEAM SUPPORT
	ELEVATION CONTOUR LINE
	AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

## NOTES:

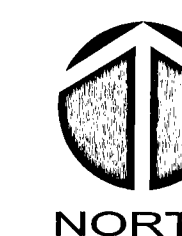
- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE FEATURES ASSOCIATED WITH DEMOLITION AND/OR IMPACTED BY DEMOLITION ACTIVITIES TO BE BOLD/DARKER IN COLOR.
- PROTECT ALL EXISTING ABOVE AND BELOW GROUND IMPROVEMENTS UNLESS OTHERWISE NOTED.
- COORDINATE ELECTRICAL REMOVAL/ALTERATIONS WITH ELECTRICAL PLANS. CONTRACTOR TO COORDINATE DOUBLE SECURITY FENCE AND GATE LOCATION WITH OWNER PRIOR TO CONSTRUCTION.
- ALL WORK COMMENCED DURING THE SCHOOL YEAR MUST BE CONTAINED WITHIN DOUBLE CONSTRUCTION FENCING.
- DURING DRY DAYS, DUST MUST BE CONTROLLED BY WETTING THE SOIL EACH DAY FOR 15 TO 30 MIN. BEFORE CONSTRUCTION ACTIVITIES BEGIN AS WELL AS AFTER CONSTRUCTION ACTIVITIES HAVE ENDED FOR THE DAY.
- THE EXTENT OF SILT FENCE AND TREE PROTECTION MEASURES ARE TO BE DETERMINED BY THE CONTRACTOR IN THE FIELD.
- TREE PRESERVATION: THE MINIMUM PRESERVED AREA IS THE CRITICAL ROOT ZONE (CRZ), DEFINED AS A CIRCULAR AREA CENTERED ON THE TREE WITH A RADIUS OF ONE FOOT PER INCH OF TRUNK DIAMETER. TREE IMPACTS SHOWN WITHIN THE CRZ MUST BE MITIGATED, WHETHER THOSE IMPACTED TREES ARE TO REMOVED OR REMAIN.
- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES MUST BE INSTALLED ADEQUATELY PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE IS STABILIZED.
- ALL INLET PROTECTION MUST BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR TO VERIFY POINTS OF CONNECTION TO EXISTING UTILITIES PRIOR TO INSTALLING UNDERGROUND IMPROVEMENTS.
- ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

## TREE LEGEND:

	OAK
	PINE

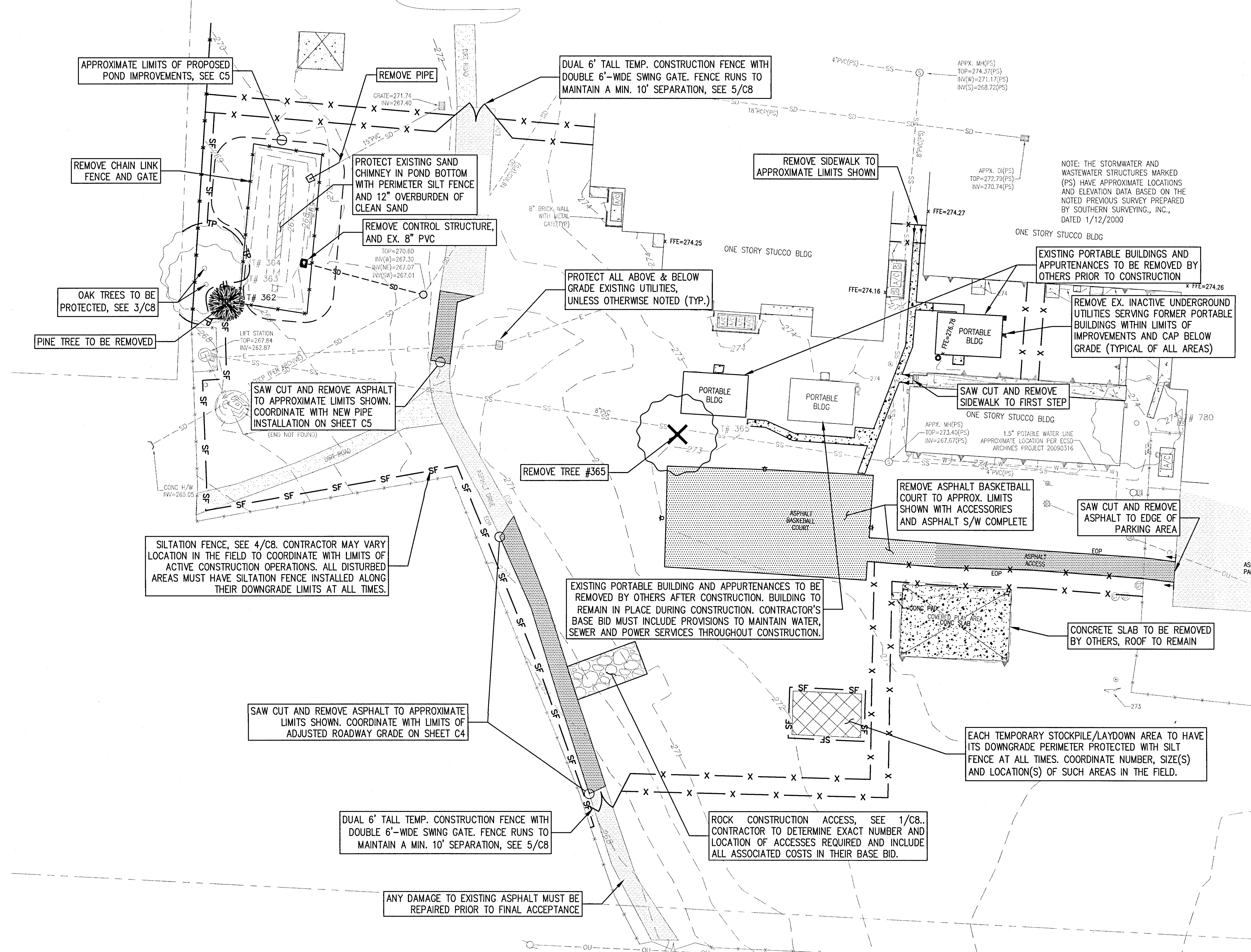
TREE SCHEDULE				
TREE #	SPECIES	CANOPY	DIAMETER	REMOVE
362	PINE	20'	15"	YES
363	OAK	45'	18"	NO
364	OAK	50'	18"	NO
365	OAK	45'	20"	YES
780	OAK	50'	42"	NO

30' 0 30' 60'  
SCALE: 1"=30' (Horiz.)



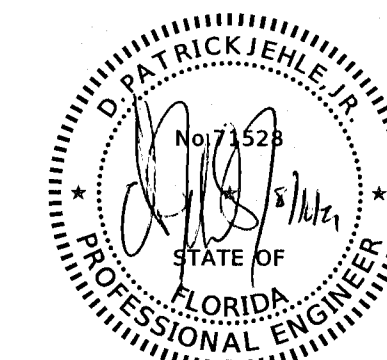
PERMIT SET NOT FOR CONSTRUCTION

## SITE DEMOLITION PLAN



LEGEND:

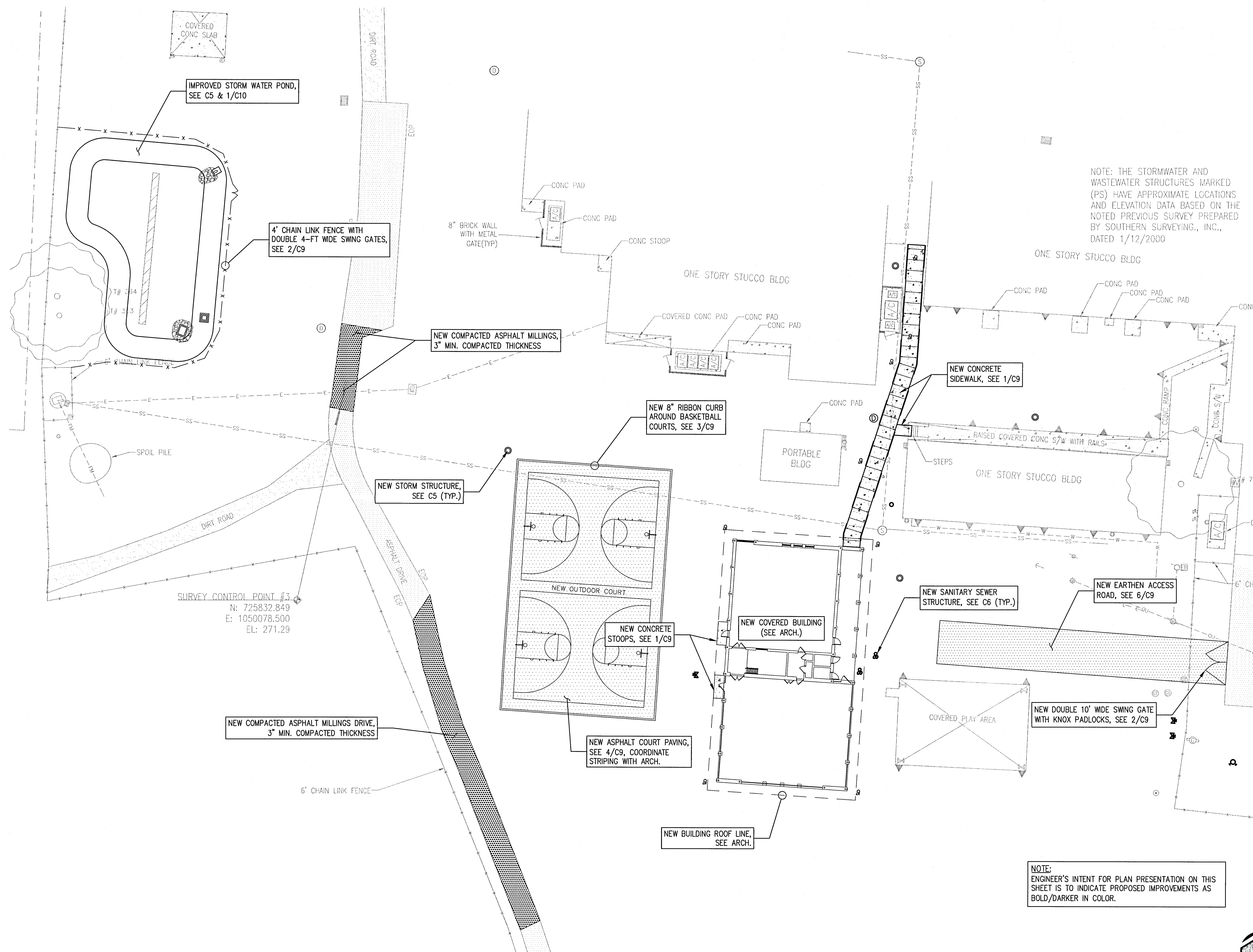
—○—	FENCE GATE
—X—	CHAIN LINK FENCE
—//—	WOOD PANEL FENCE
—X—	MISCELLANEOUS FENCE
—SF—	SILT FENCE
—TP—	TREE PROTECTION
—OHU—	OVERHEAD UTILITIES
—G—	GAS LINE
—W—	WATER LINE
—SS—	SEWER LINE
—FM—	FORCE MAIN
—SD—	STORMWATER LINE
—SB—	SET BENCHMARK
—DI—	DROP INLET
—DS—	DOWNSPOUT
—WM—	WATER METER
—WV—	WATER VALVE
—FH—	FIRE HYDRANT
—BFP—	BACK FLOW PREVENTER
—FHB—	FAUCET/HOSE BIBB
—SM—	SEWER MANHOLE
—CL—	CLEANOUT
—GT—	GREASE TRAP
—LSTV—	LIFT STATION VENT PIPE
—EC—	ELECTRICAL CONDUIT
—EB—	ELECTRICAL BOX
—EP—	ELECTRIC PANEL
—AC—	AIR CONDITIONER
—GPRV—	GAS PRV
—GWA—	GUY WIRE ANCHOR
—WUP—	WOOD UTILITY POLE
—WWM—	WOOD UP W/ METER
—WLP—	WOOD LIGHT POLE
—WLM—	WOOD LP WITH METER
—BH—	BASKETBALL HOOP
—BL—	BOLLARD
—SBS—	STEEL I-BEAM SUPPORT
—SE—	SPOT ELEVATION
—ECL—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
—A—	ASPHALT
—C—	CONCRETE
—SOD—	SOD



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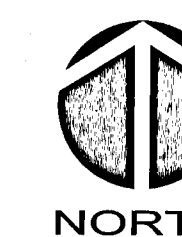
Project  
**Covered Play Area and Multi-Purpose Room**  
Bratt Elementary  
Escambia County School District  
Pensacola, Florida  
Date: 8/16/2021  
Project No. 07615-0010  
Sheet No. **C2**

NOTE: THE STORMWATER AND WASTEWATER STRUCTURES MARKED (PS) HAVE APPROXIMATE LOCATIONS AND ELEVATION DATA BASED ON THE NOTED PREVIOUS SURVEY PREPARED BY SOUTHERN SURVEYING, INC., DATED 1/12/2000



NOTE:  
ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR.

20' 0 20' 40'  
SCALE: 1"=20' (Horiz.)

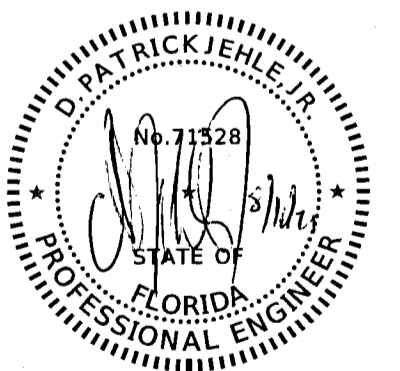


**SITE IMPROVEMENTS PLAN**

PERMIT SET NOT FOR CONSTRUCTION

LEGEND:

—○—	FENCE GATE
—X—	CHAIN LINK FENCE
—//—	WOOD PANEL FENCE
—X—	MISCELLANEOUS FENCE
—SF—	SILT FENCE
—TP—	TREE PROTECTION
—OHU—	OVERHEAD UTILITIES
—G—	GAS LINE
—W—	WATER LINE
—SS—	SEWER LINE
—FM—	FORCE MAIN
—SD—	STORMWATER LINE
—	SET BENCHMARK
—	DROP INLET
—	DOWNSPOUT
—	WATER METER
—	FIRE VALVE
—	FIRE HYDRANT
—	BACK FLOW PREVENTER
—	FAUCET/HOSE BIBB
—	SEWER MANHOLE
—	CLEANOUT
—	GREASE TRAP
—	LIFT STATION VENT PIPE
—	ELECTRICAL CONDUIT
—	ELECTRICAL BOX
—	ELECTRIC PANEL
—	AIR CONDITIONER
—	GAS PRV
—	GUY WIRE ANCHOR
—	WOOD UTILITY POLE
—	WOOD UP W/ METER
—	WOOD LIGHT POLE
—	WOOD UP WITH METER
—	BASKETBALL HOOP
—	BOLLARD
—	STEEL I-BEAM SUPPORT
—	SPOT ELEVATION
—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
—	ASPHALT
—	CONCRETE
—	SOD



D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and  
Multi-Purpose Room**  
Bratt Elementary

Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021  
Project No.  
07615-0010

Sheet No.

**C3**

NOTE: THE STORMWATER AND  
WASTEWATER STRUCTURES MARKED  
(PS) HAVE APPROXIMATE LOCATIONS  
AND ELEVATION DATA BASED ON THE  
NOTED PREVIOUS SURVEY PREPARED  
BY SOUTHERN SURVEYING, INC.,  
DATED 1/12/2000

ONE STORY STUCCO BLDG

ONE STORY STUCCO BLDG

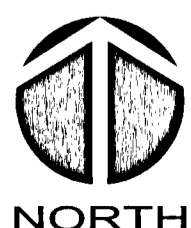
PORTABLE  
BLDG

ONE STORY STUCCO BLDG

COVERED PLAY AREA

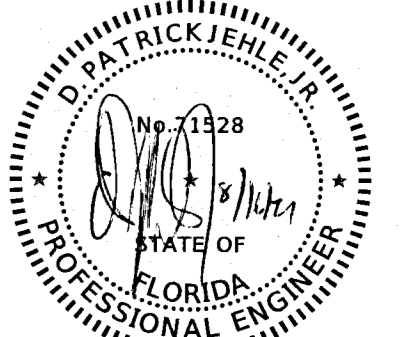
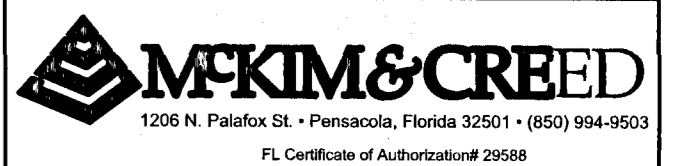
**SITE DIMENSIONING PLAN**

20' 0 20' 40'  
SCALE: 1"=20' (Horiz.)



PERMIT SET NOT FOR CONSTRUCTION

O	FENCE GATE
//	CHAIN LINK FENCE
X	WOOD PANEL FENCE
SP	MISCELLANEOUS FENCE
TF	SILT FENCE
	TREE PROTECTION
OHU	OVERHEAD UTILITIES
G	GAS LINE
W	WATER LINE
SS	SEWER LINE
FM	FORCE MAIN
SD	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	DOWNSPOUT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	BACK FLOW PREVENTER
	FAUCET/HOSE BIBB
	SEWER MANHOLE
	CLEANOUT
	GREASE TRAP
	LIFT STATION VENT PIPE
	ELECTRICAL CONDUIT
	ELECTRICAL BOX
	ELECTRIC PANEL
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	GAS PRV
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	WOOD UP W/ METER
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	WOOD LP WITH METER
	BASKETBALL HOOP
	BOLLARD
	STEEL I-BEAM SUPPORT
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

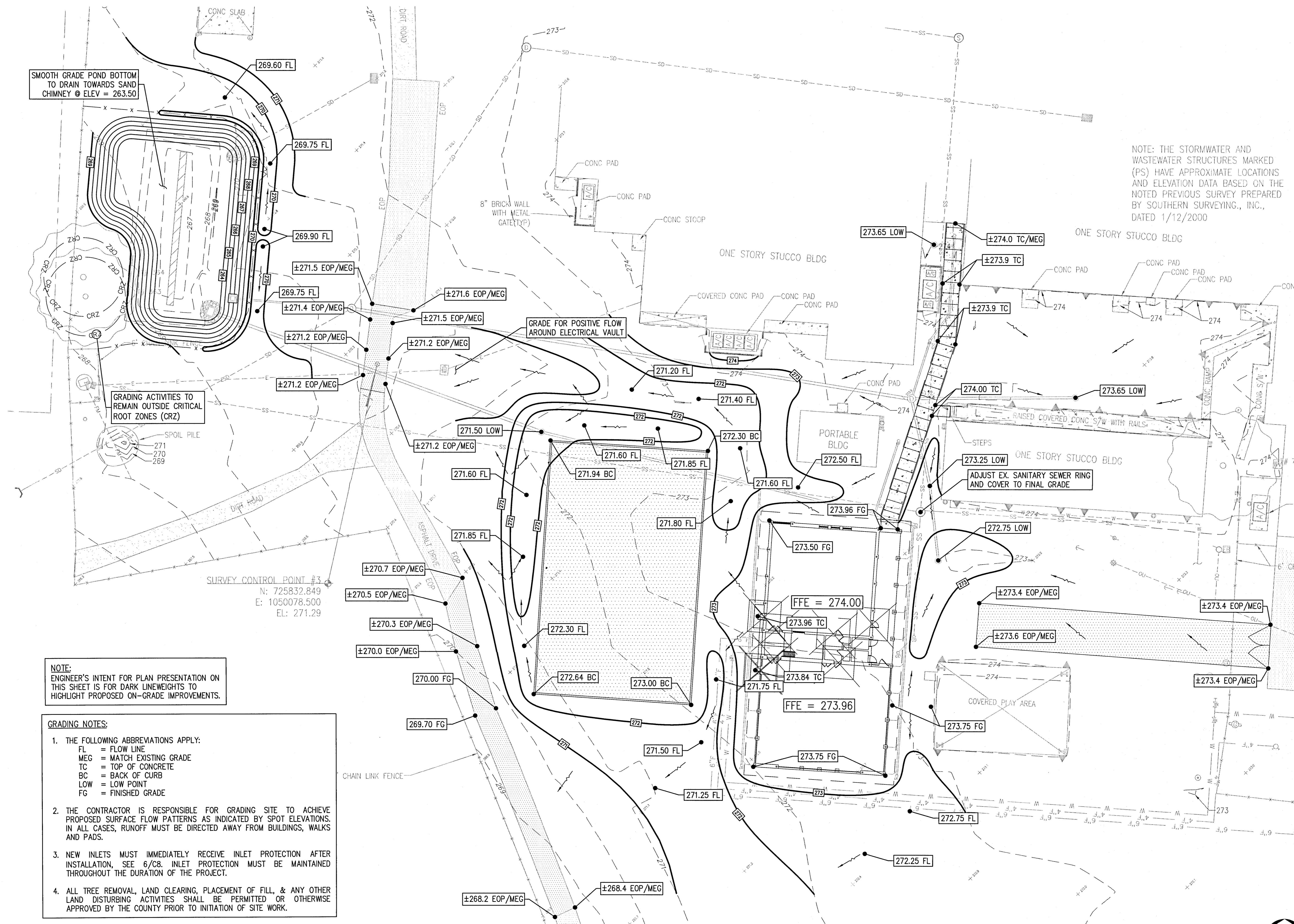


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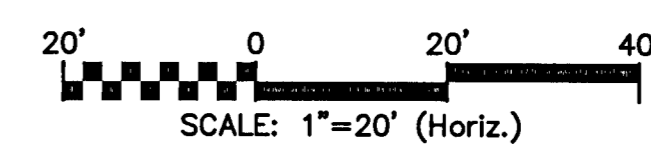
Project  
**Covered Play Area and  
Multi-Purpose Room**  
Bratt Elementary  
Escambia County School District  
Pensacola, Florida

Date: 8/16/2021  
Project No. 07615-0010

Sheet No. C4



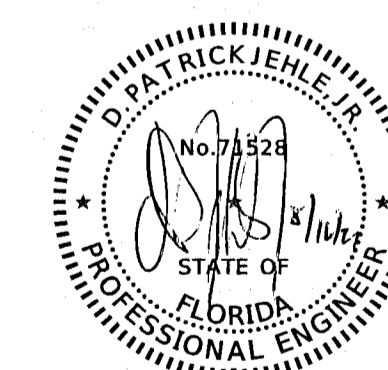
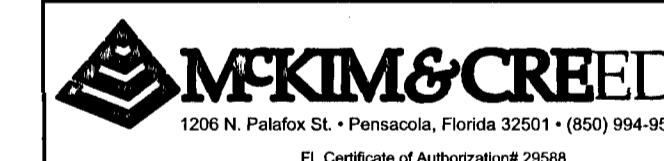
## SITE GRADING PLAN



PERMIT SET NOT FOR CONSTRUCTION

LEGEND:

—○—	FENCE GATE
—X—	CHAIN LINK FENCE
—X—	WOOD PANEL FENCE
—X—	MISCELLANEOUS FENCE
—SF—	SILT FENCE
—TP—	TREE PROTECTION
—OHU—	OVERHEAD UTILITIES
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—SD—	STORMWATER LINE
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—	CLEANOUT
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—	STEEL I-BEAM SUPPORT
—	SPOT ELEVATION
—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
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—	CONCRETE
—	SOD



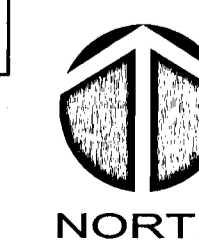
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Project  
**Covered Play Area and Multi-Purpose Room**  
Bratt Elementary  
Escambia County School District  
Pensacola, Florida  
Date: 8/16/2021  
Project No. 07615-0010  
Sheet No. C5

NOTE: THE STORMWATER AND WASTEWATER STRUCTURES MAP (PS) HAVE APPROXIMATE LOCATION AND ELEVATION DATA BASED ON NOTED PREVIOUS SURVEY PREPARED BY SOUTHERN SURVEYING, INC. DATED 1/12/2000

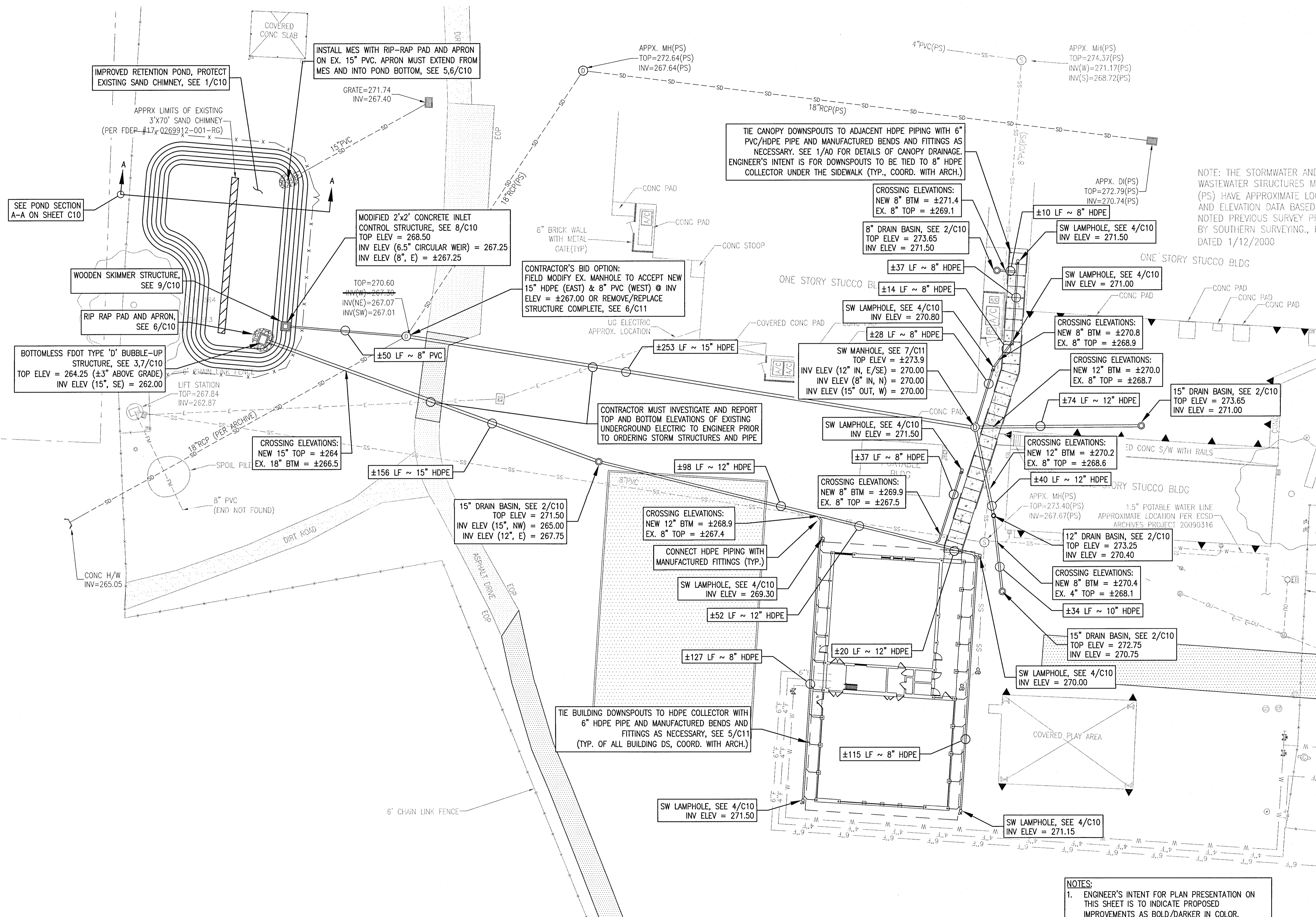
- NOTES:
- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR.
  - ALL NEW STORM STRUCTURES MUST BE PROTECTED WITH INLET PROTECTION MEASURES FROM THE TIME THEY ARE INSTALLED, WITH MEASURES MAINTAINED THROUGHOUT CONSTRUCTION. SEE 6/C8.

SCALE: 1"=20' (Horiz.)



PERMIT SET NOT FOR CONSTRUCTION

SITE STORM WATER PLAN



	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	DOWNSPOUT
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	BACK FLOW PREVENTER
	FAUCET/HOSE BIBB
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	WOOD LP W/ METER
	BASKETBALL HOOP
	BOLLARD
	STEEL I-BEAM SUPPORT
	SPOT ELEVATION
	ELEVATION CONTOUR LINE

4. CONCRET

SOD



Escambia County School District  
Pensacola, Florida

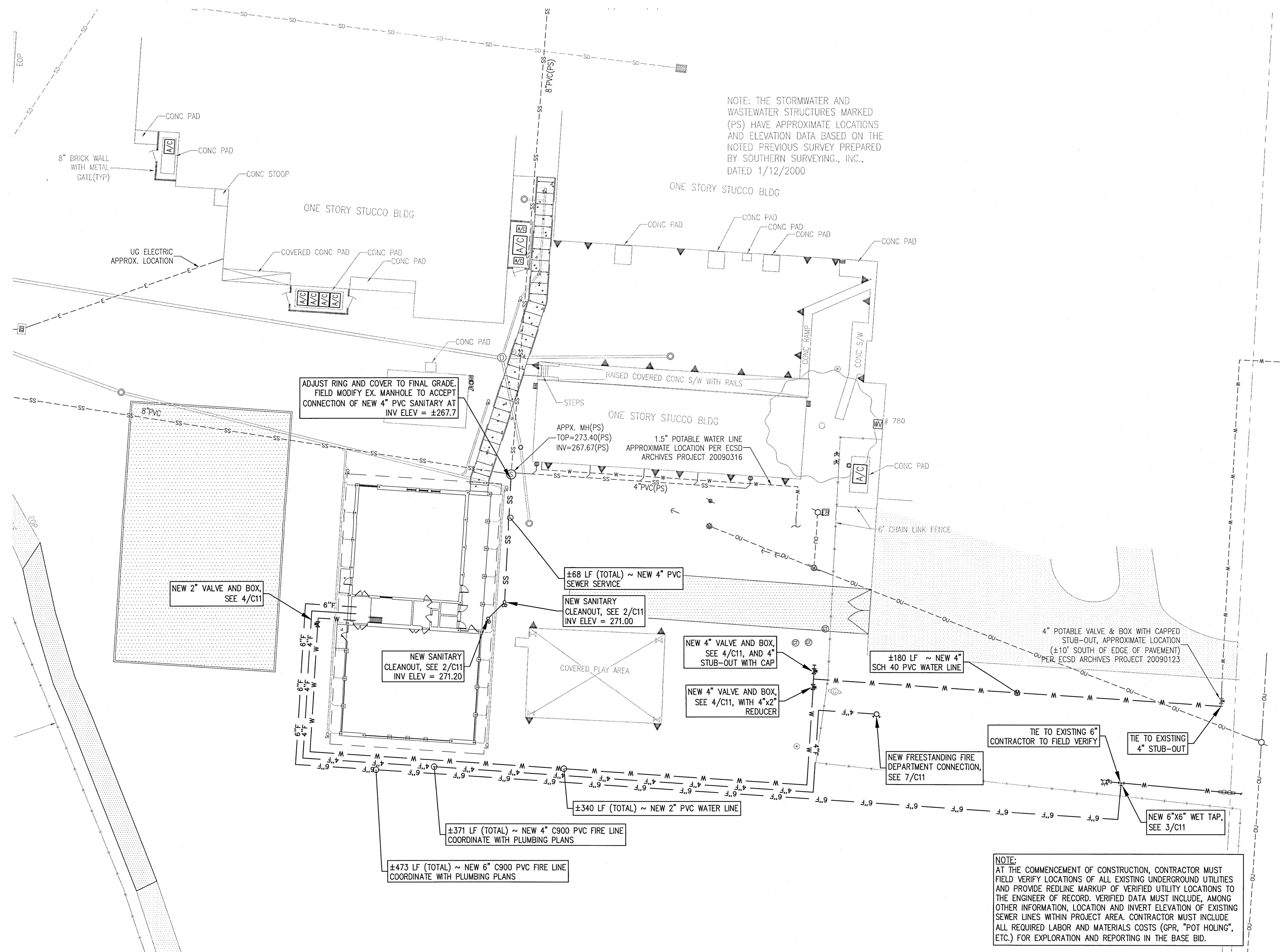
Date: 8/16/2021  
Project No. 07615-0010

Sheet No. C6

Sheet No.

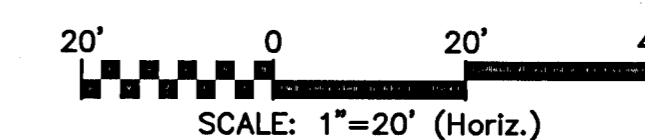
Date:  
8/16/2021  
Project No.  
07615-001

C6



**NOTE:**  
AT THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR MUST FIELD VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND PROVIDE REDLINE MARKUP OF VERIFIED UTILITY LOCATIONS TO THE ENGINEER OF RECORD. VERIFIED DATA MUST INCLUDE, AMONG OTHER INFORMATION, LOCATION AND INVERT ELEVATION OF EXISTING SEWER LINES WITHIN PROJECT AREA. CONTRACTOR MUST INCLUDE ALL REQUIRED LABOR AND MATERIALS COSTS (GPR, "POT HOLING", ETC.) FOR EXPLORATION AND REPORTING IN THE BASE BID.

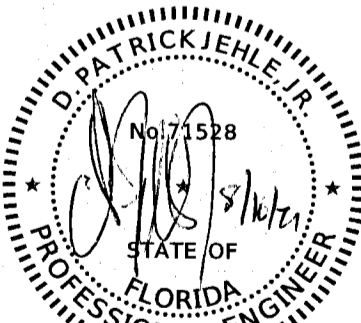
## SITE UTILITY PLAN



**PERMIT SET NOT FOR CONSTRUCTION**

## LEGEND:

—○—	FENCE GATE
—X—	CHAIN LINK FENCE
—//—	WOOD PANEL FENCE
—SF—	MISCELLANEOUS FENCE
—TP—	SILT FENCE
—OHU—	TREE PROTECTION
—C—	OVERHEAD UTILITIES
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—	SPOT ELEVATION
—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
—	ASPHALT
—	CONCRETE
—	SOD

D. PATRICK JEHL, JR.  
P.E. 71528

Project

**Covered Play Area and  
Multi-Purpose Room**  
 Bratt Elementary
Escambia County School District  
Pensacola, FloridaDate:  
8/16/2021  
Project No.  
07615-0010

Sheet No.

C7

NOTE: THE STORMWATER AND WASTEWATER STRUCTURES MARKED (PS) HAVE APPROXIMATE LOCATIONS AND ELEVATION DATA BASED ON THE NOTED PREVIOUS SURVEY PREPARED BY SOUTHERN SURVEYING, INC., DATED 1/12/2000

ONE STORY STUCCO BLDG

ONE STORY STUCCO BLDG

ONE STORY STUCCO BLDG

PORTABLE BLDG

COVERED PLAY AREA

NEW CANOPY TREE (LIVE OAK OR SIMILAR),  
SEE 7/C8. MINIMUM 2.5" CALIPER REQUIRED  
AT THE TIME OF PLANTING. (TYPICAL)

APPROXIMATE LIMITS OF NEW SOLID PINNED PENSACOLA BAHIA SOD,  
SEE 2/C8 AND NOTE 2 BELOW. DEPICTED LIMITS INCLUDE BASE BID  
ACCEPTANCE AND ARE APPROXIMATE. AT A MINIMUM, ALL DISTURBED AREAS  
MUST BE GRADED SMOOTH AND FULLY STABILIZED WITH SOLID PINNED SOD.

SPOIL PILE

DIRT ROAD

ASPHALT DRIVE

## TREE SCHEDULE

TREE #	SPECIES	CANOPY	DIAMETER	REMOVE	MITIGATION	PROVIDED
362	PINE	20'	15"	YES	---	---
363	OAK	45'	18"	NO	---	---
364	OAK	50'	18"	NO	---	---
365	OAK	45'	20"	YES	10"	4 - 2.5" TREES
780	OAK	50'	42"	NO	---	---

## NOTES:

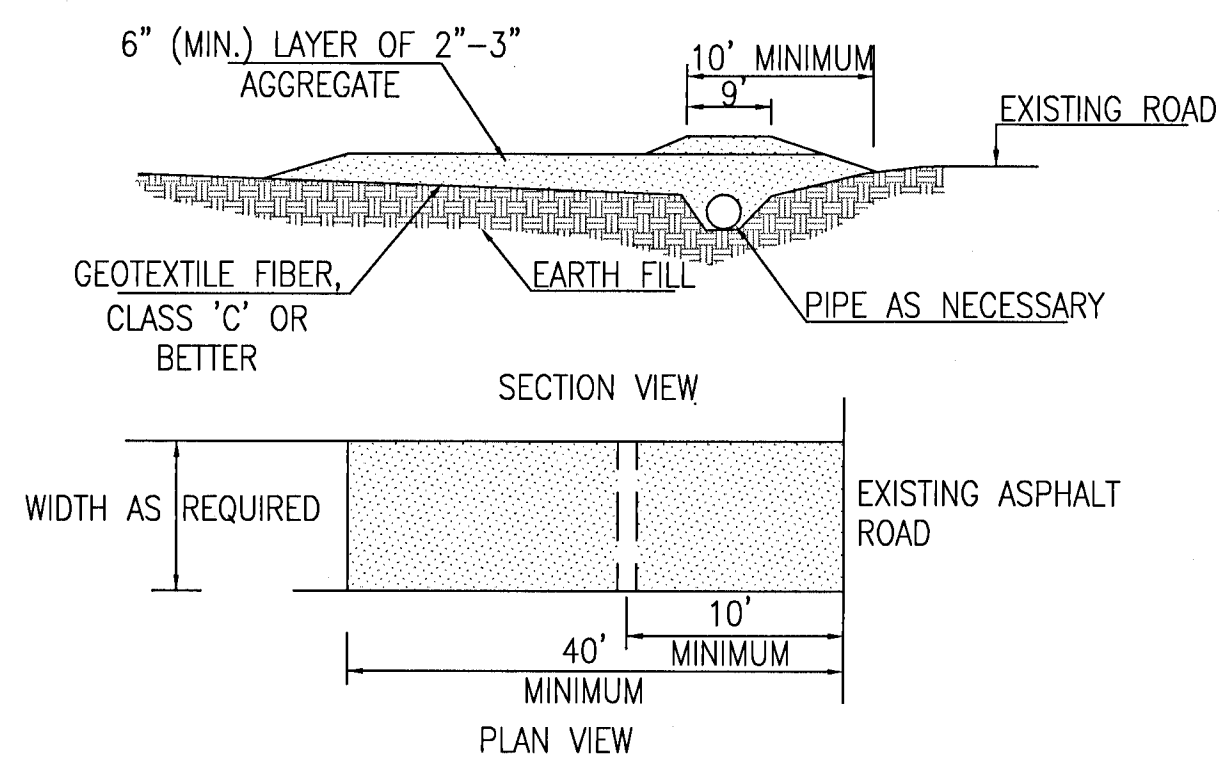
- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS FOR DARK LINEWEIGHTS TO HIGHLIGHT PROPOSED ON-GRADE IMPROVEMENTS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT. TREES NOT BEING REMOVED MUST BE PROTECTED PER DETAILS PRESENTED IN THE PLANS.
- ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER LAND DISTURBING ACTIVITIES WILL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.
- ALL TREE PLANTINGS MUST BE NATIVE CANOPY TREE SPECIES.
- TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS PLAN MUST NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
  - NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
  - THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE MUST COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE: 5-19 TREES = MAX 67% OF ANY ONE SPECIES PLANTED
- EACH NEW TREE MUST BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA MUST BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA MUST CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.
- EACH NEW CANOPY AND UNDERSTORY TREE MUST BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.
- WHERE OVERHEAD UTILITIES EXIST, ONLY PLANTS THAT WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE INSTALLED. TO PREVENT TREES FROM BECOMING ENERGIZED OR DISRUPTING ELECTRICAL SERVICE, TREE PLANTING DIRECTLY BELOW POWER LINES MUST BE AVOIDED AND ONLY UNDERSTORY TREES PLANTED NEAR POWER LINES. WITHIN AN ESTABLISHED ELECTRIC UTILITY RIGHT-OF-WAY NO VEGETATION MUST BE PLANTED THAT WILL ACHIEVE A HEIGHT GREATER THAN 14 FEET OR INTRUDE FROM THE SIDE CLOSER THAN TEN FEET TO POWER LINES, OR EXCEED CLEARANCES OTHERWISE REQUIRED BY APPLICABLE ANSI STANDARDS. ANY CANOPY TREES PLANTED MUST BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.

## SITE LANDSCAPING PLAN

20' 0 20' 40'  
SCALE: 1"=20' (Horiz.)



PERMIT SET NOT FOR CONSTRUCTION



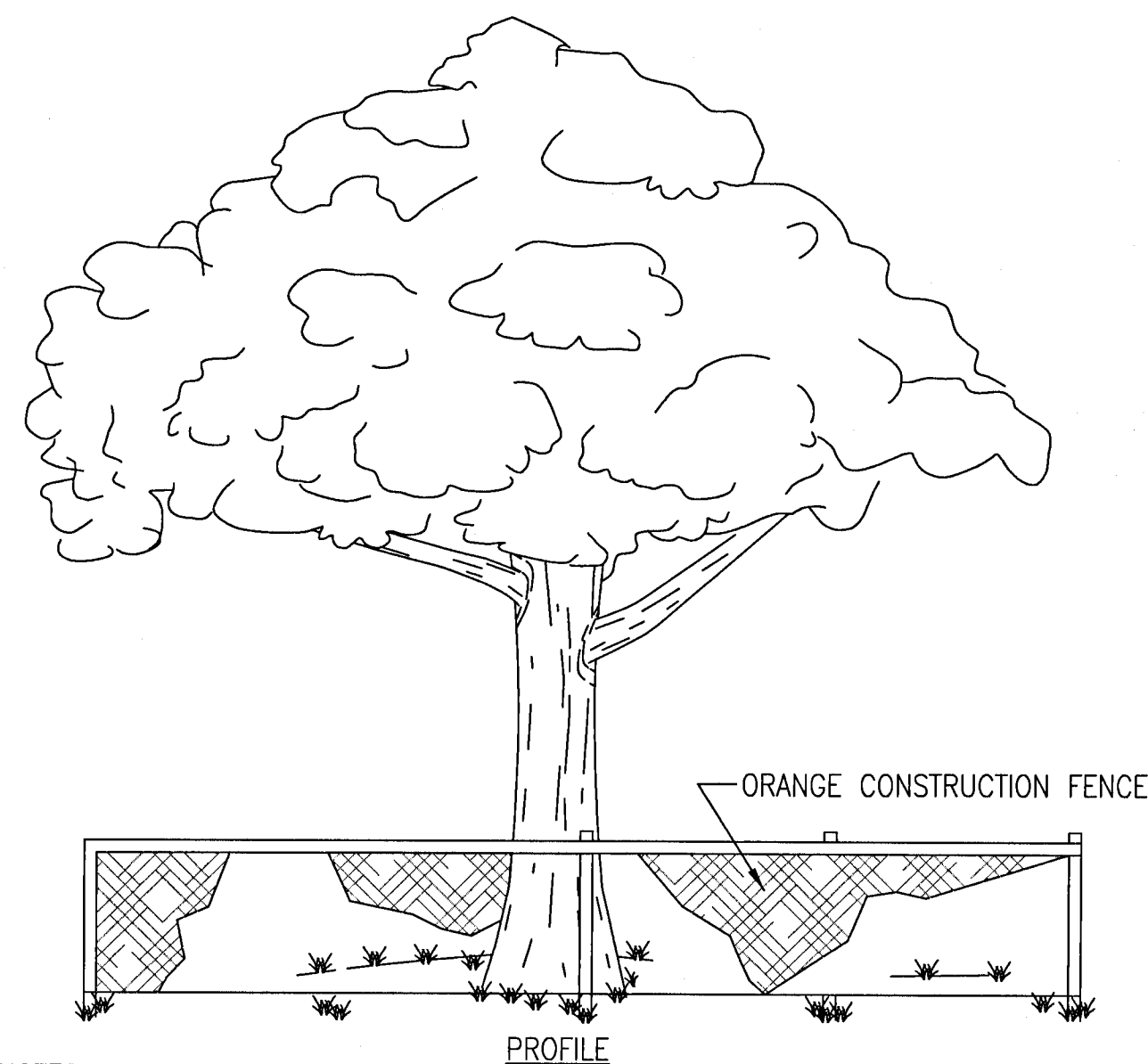
#### NOTES:

1. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL CONSTRUCTION MATERIAL DISLODGE CAKED MUD.
2. IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLODGE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.
3. UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.

### ROCK CONSTRUCTION ACCESS 1

NOT TO SCALE

C8



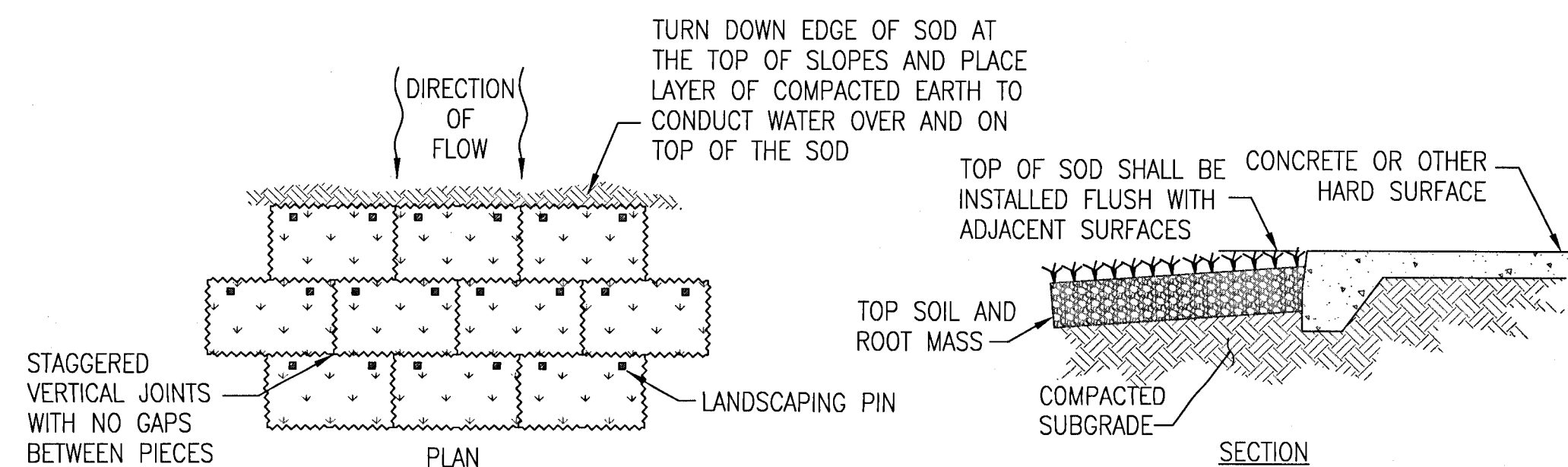
#### NOTES:

1. FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE.
2. NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING OR ANY OTHER LAND DISTURBANCE ACTIVITIES AS DEFINED IN THE LDC.

### TREE PROTECTION 3

NOT TO SCALE

C8



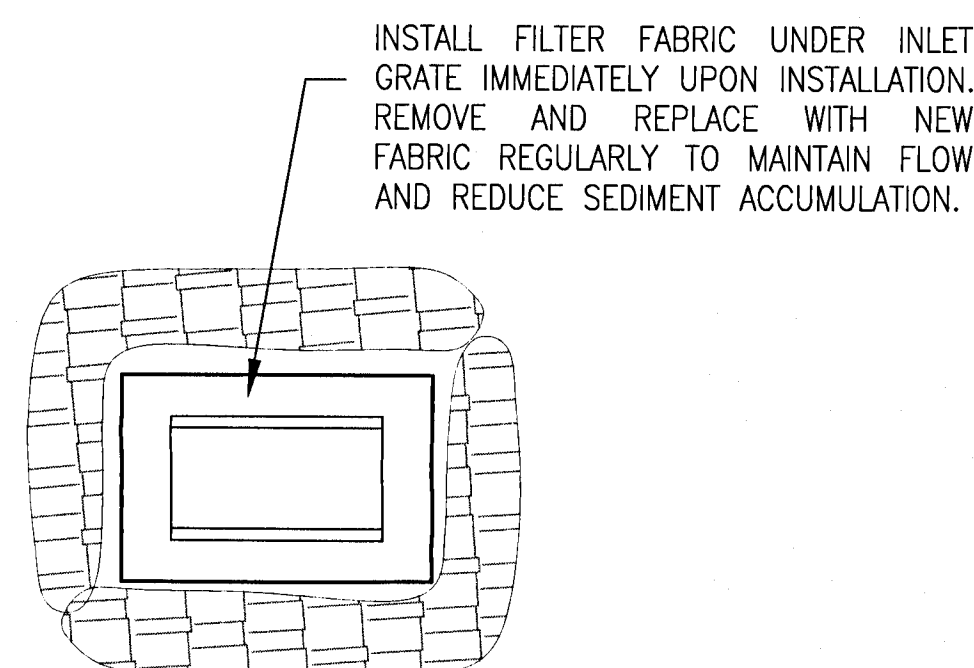
#### NOTES:

1. SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
2. ALL SOD SHALL BE PENSACOLA BAHIA.
3. PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
4. SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
5. INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

### SODDING DETAIL 2

NOT TO SCALE

C8

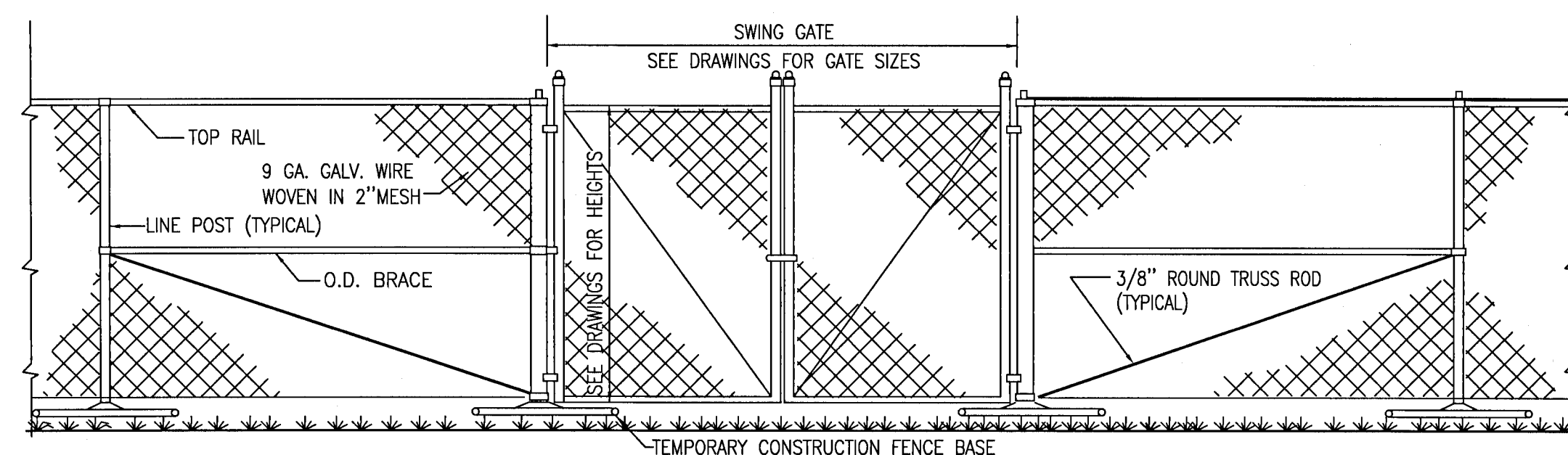


SYNTHETIC BALES OR SEDIMENT LOG SHALL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

### STORM WATER INLET PROTECTION 6

NOT TO SCALE

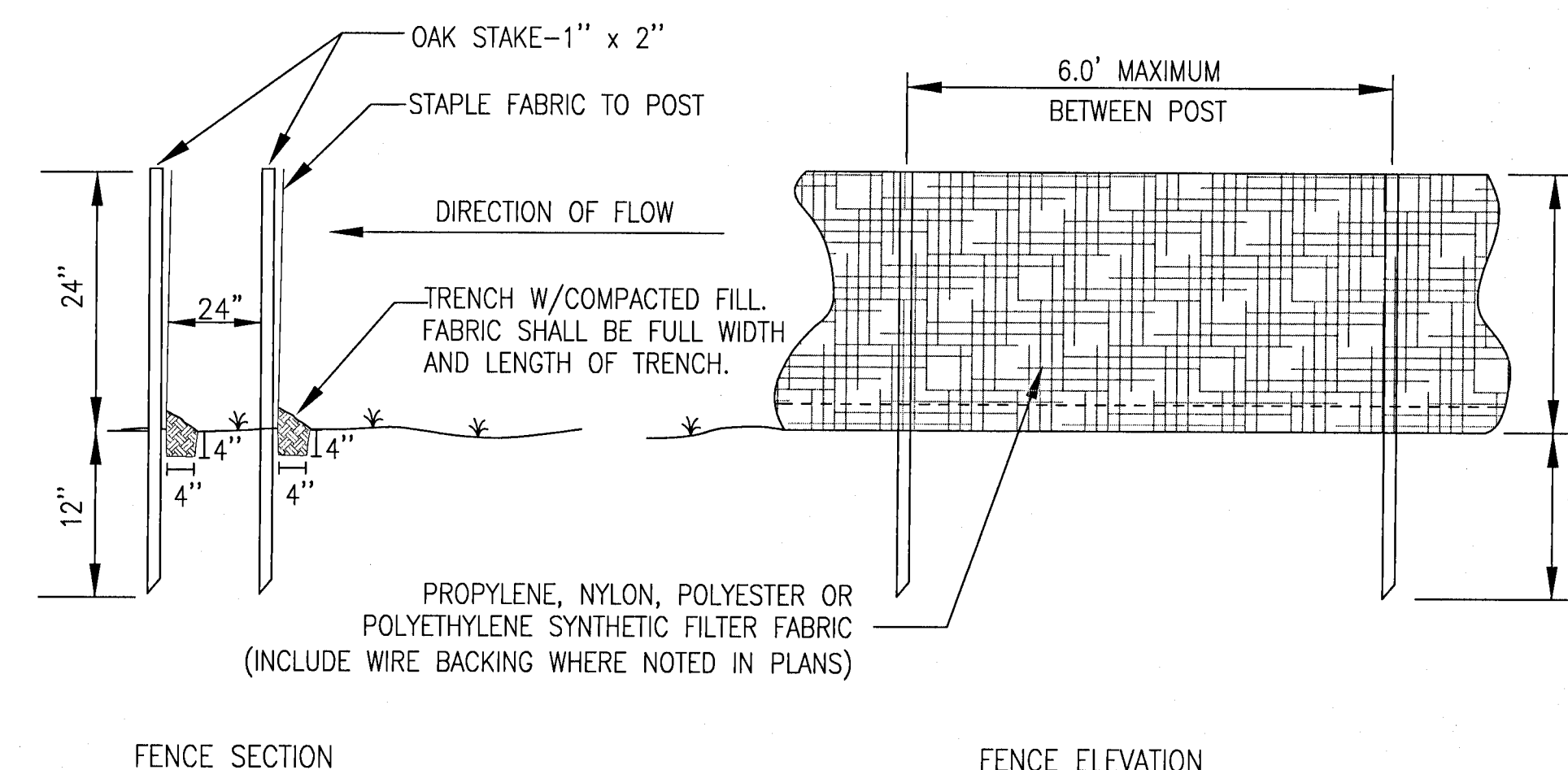
C8



### TEMPORARY CHAIN LINK FENCE AND GATES 5

NOT TO SCALE

C8



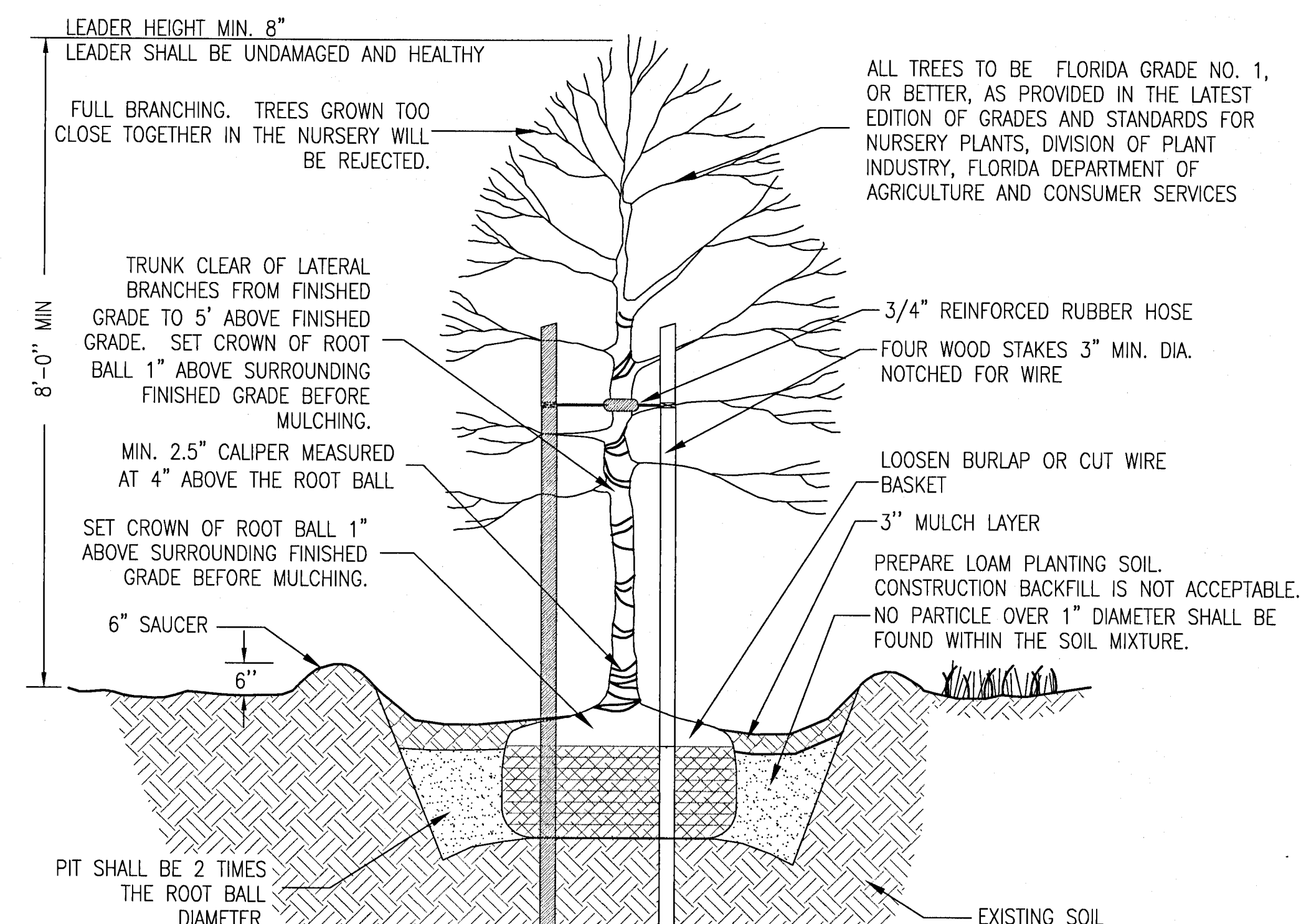
FENCE SECTION

FENCE ELEVATION

### SILTATION FENCE 4

NOT TO SCALE

C8



### CANOPY TREE 7

NOT TO SCALE

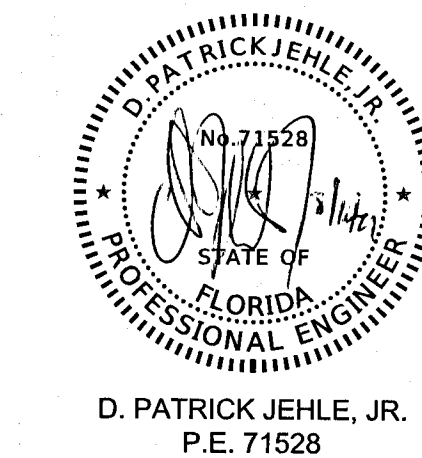
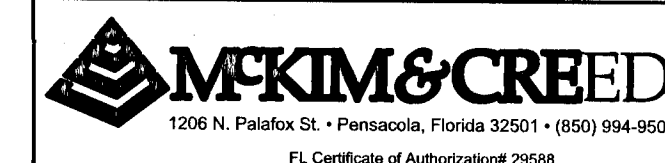
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Quina Grundhoefer Architects

400 West Romana Street Pensacola, FL 32502  
850 433-5575 qq@qgarchitects.com

#### LEGEND:

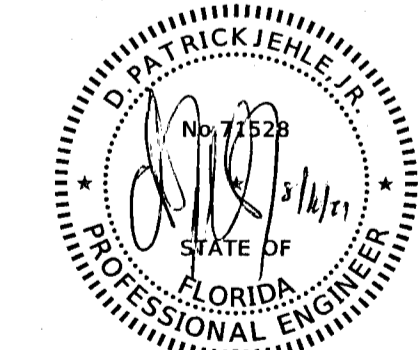
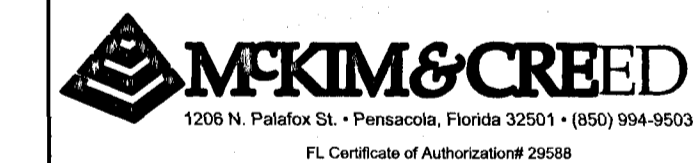
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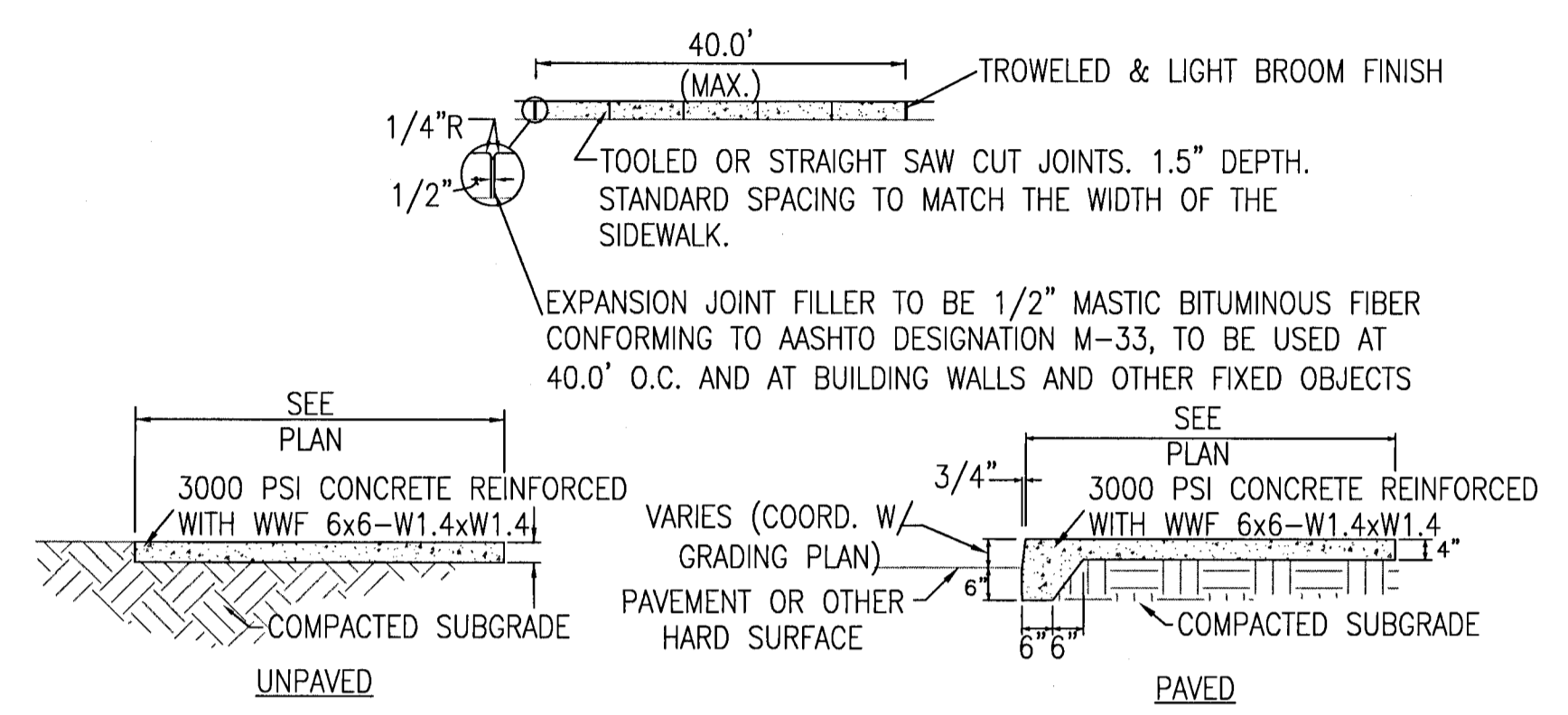
LEGEND:

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	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
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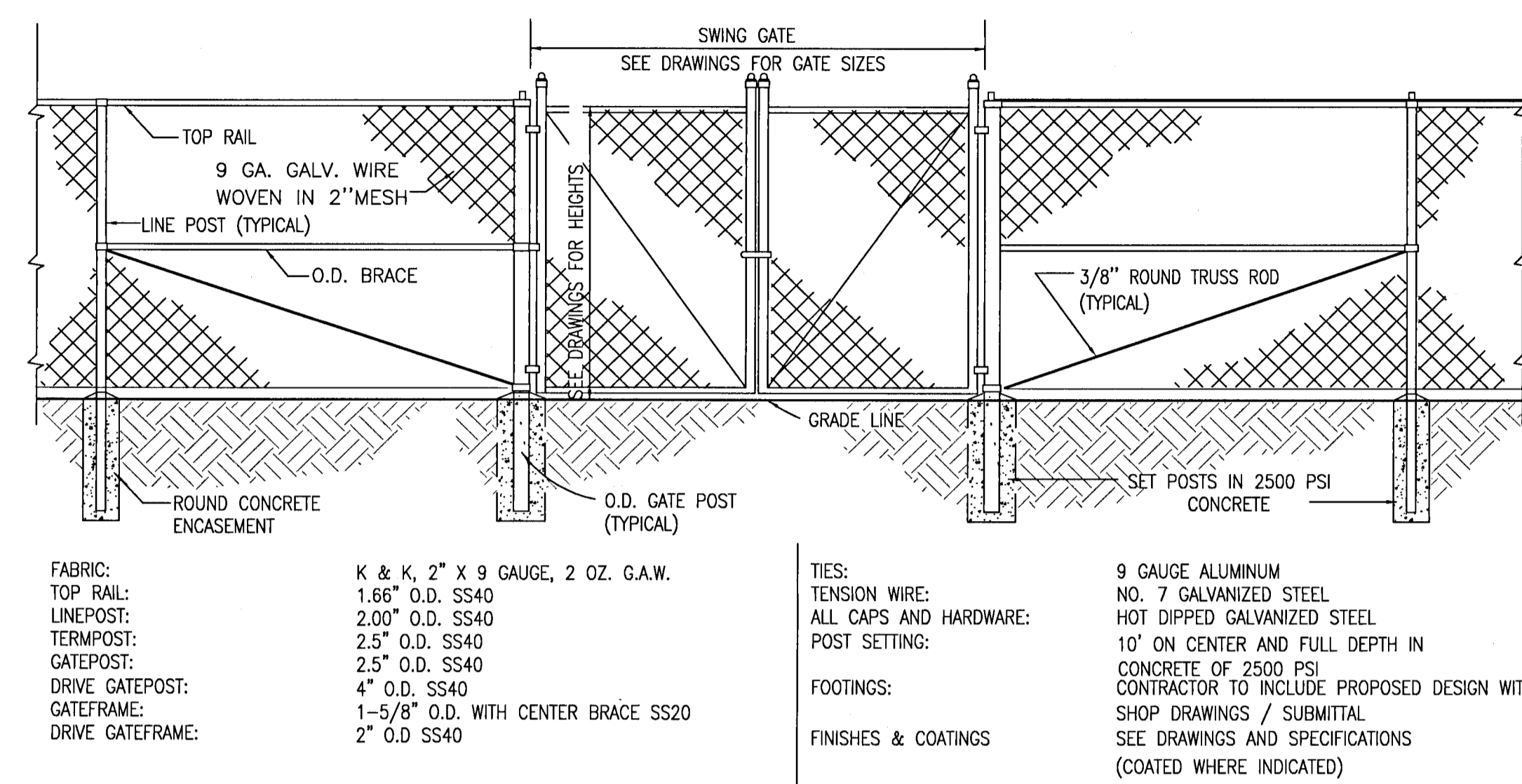
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Project No.  
07615-0010  
Sheet No.  
**C9**

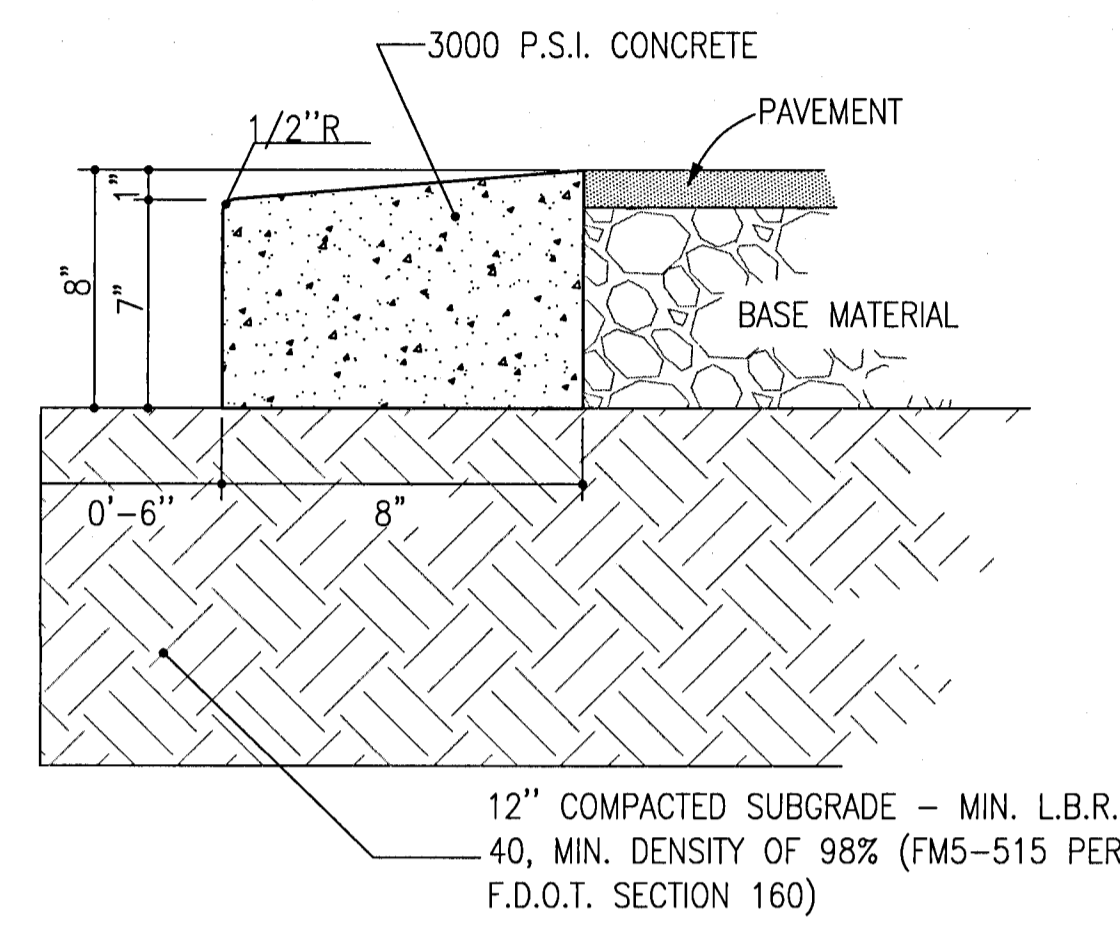


1. MAXIMUM CROSS SLOPE OF 2%.
2. MAXIMUM SURROUNDING GRADES 3% IN FIRST 5 FEET.
3. SEE SECTION 02750 CONCRETE PAVING FOR DETAILED REINFORCEMENT AND JOINT REQUIREMENTS.

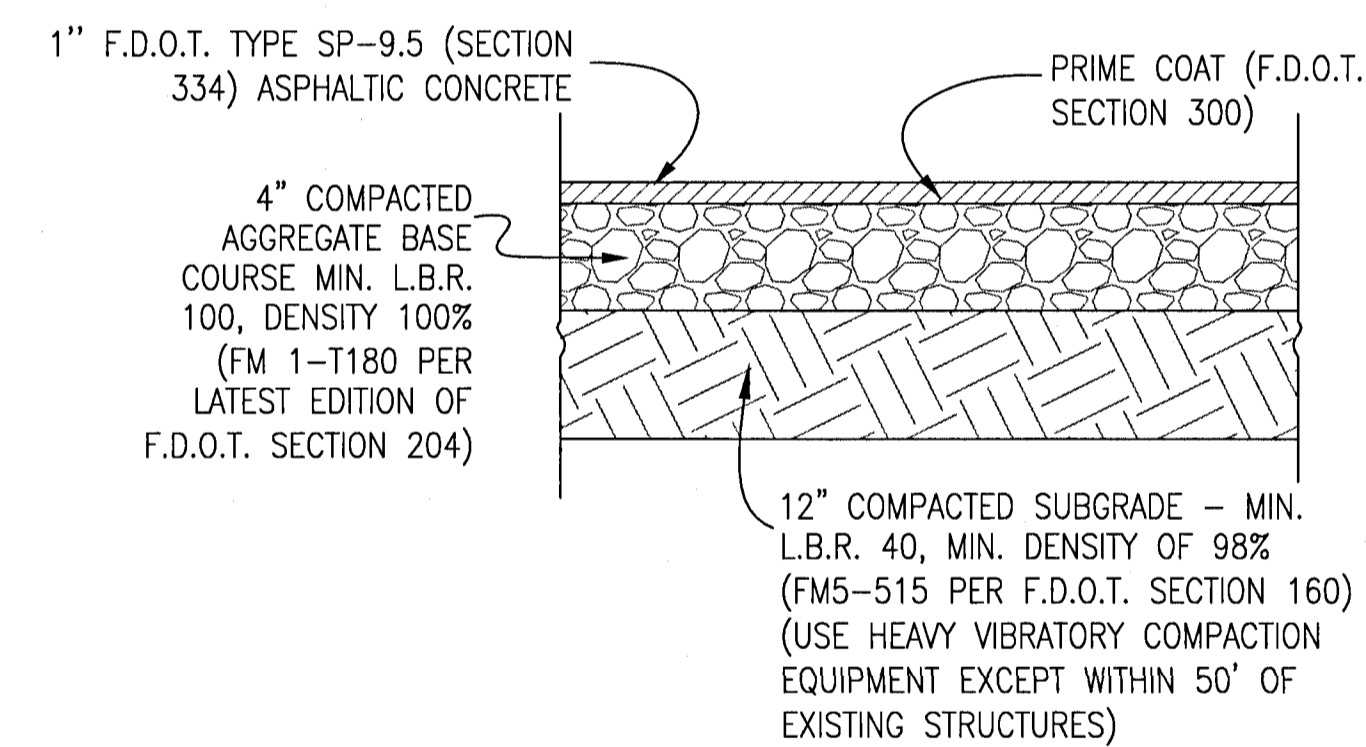
CONCRETE SIDEWALK **1**  
NOT TO SCALE C9



CHAIN LINK FENCE AND GATES **2**  
NOT TO SCALE C9



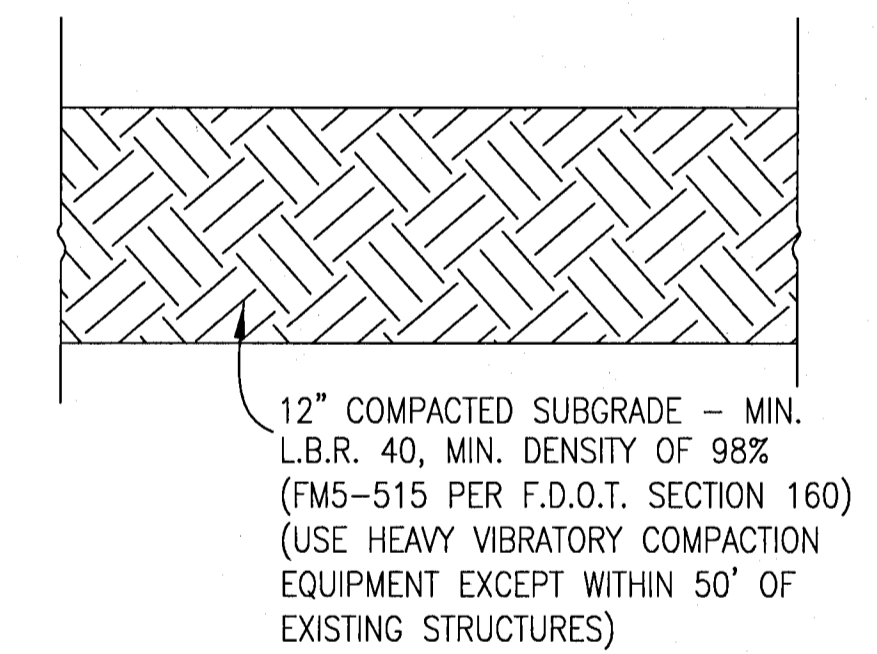
CONCRETE RIBBON CURB **3**  
NOT TO SCALE C9



ASPHALT COURT PAVING SECTION **4**  
NOT TO SCALE C9

DETAIL NOT IN USE  
NOT TO SCALE

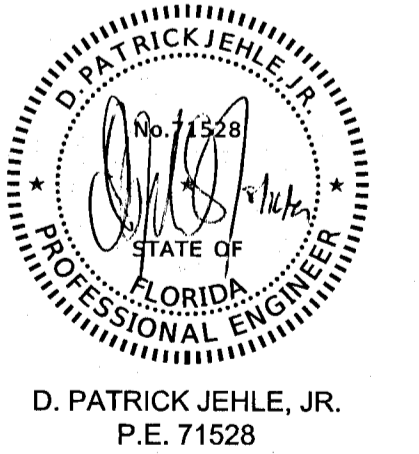
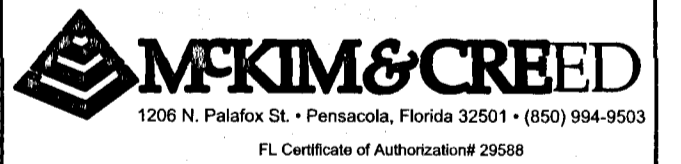
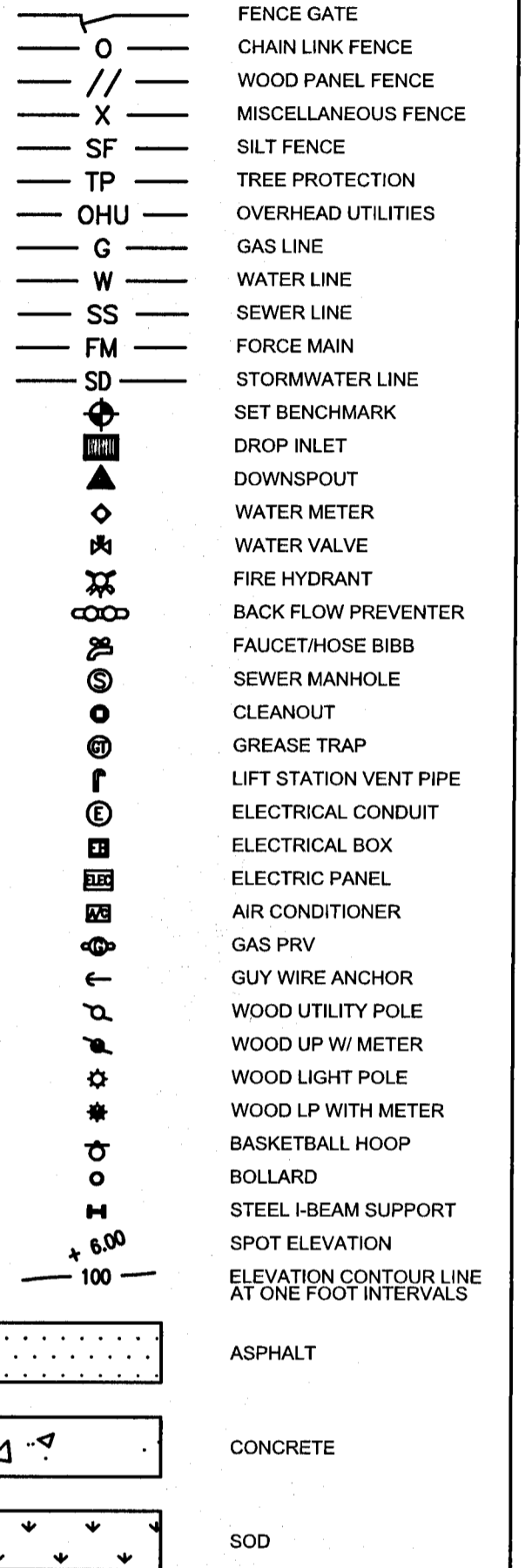
**5**  
C9



EARTHEN ROAD SECTION **6**  
NOT TO SCALE C9

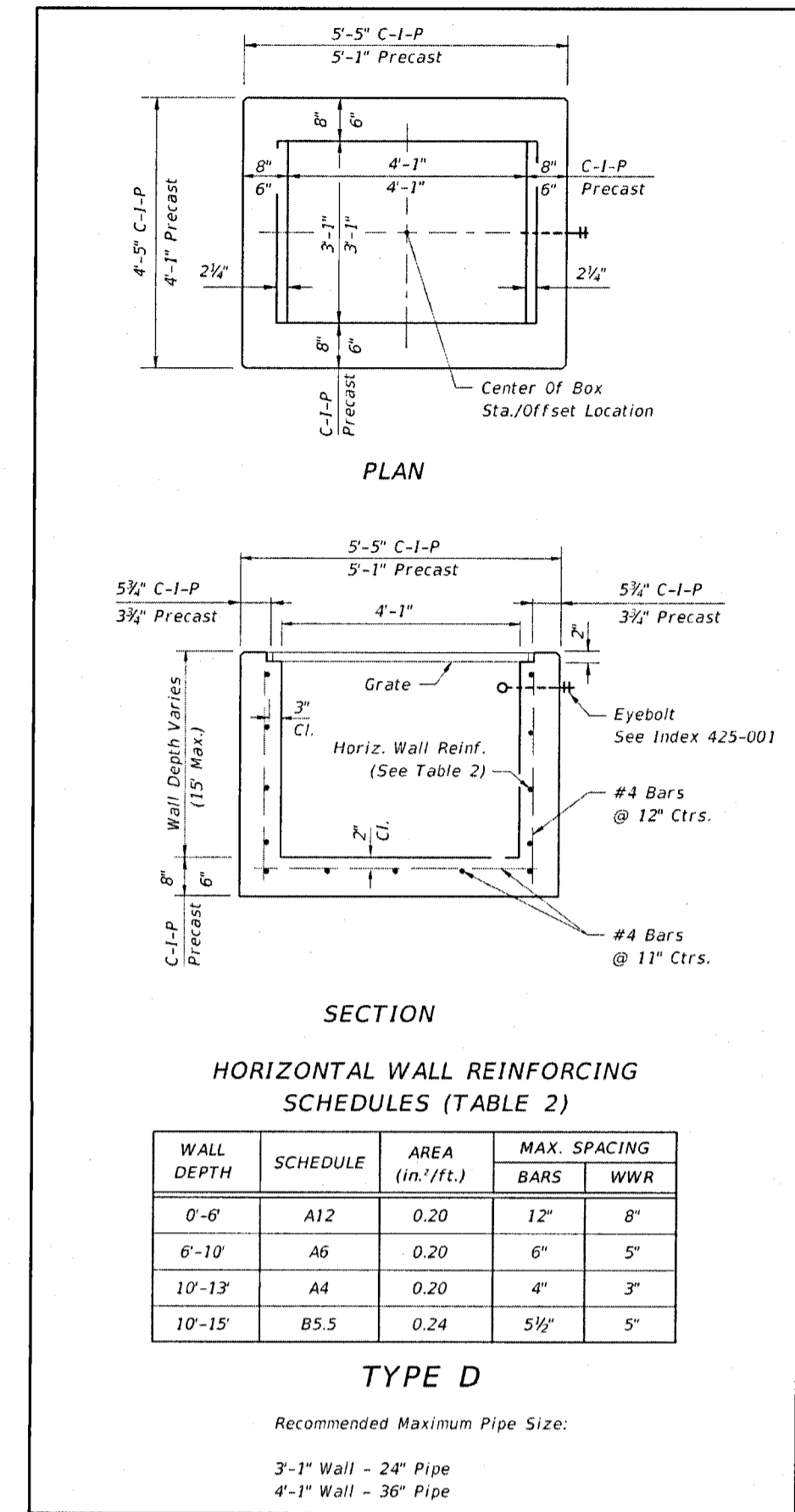
CONSTRUCTION DETAILS

LEGEND:

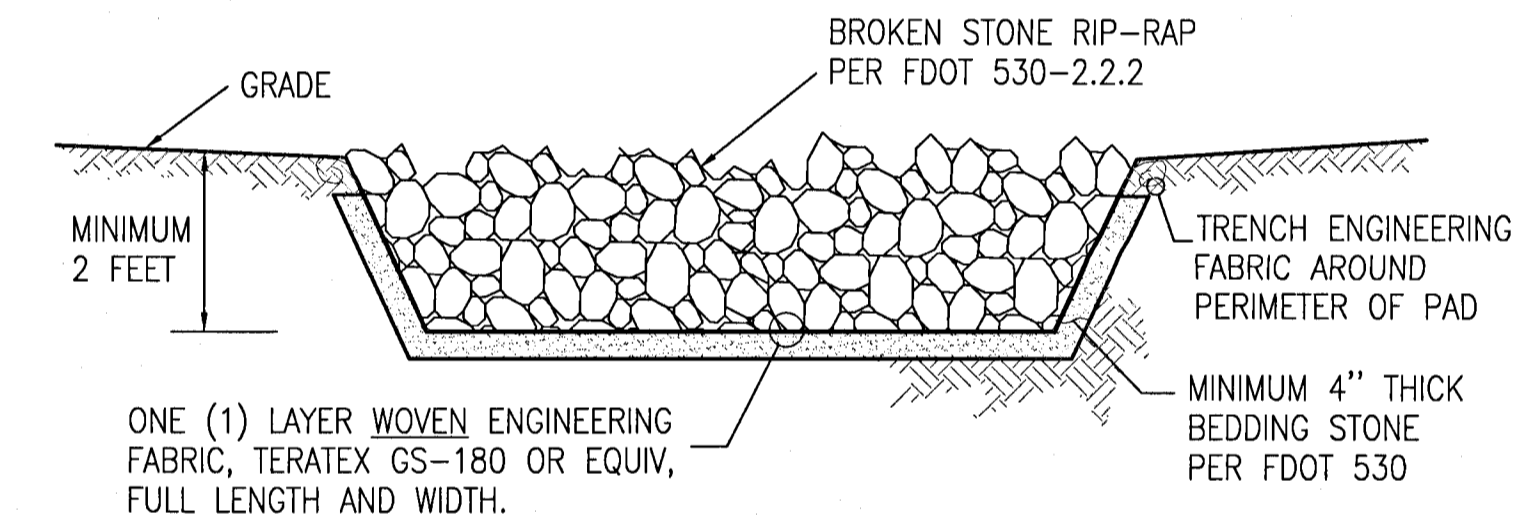


Project  
**Covered Play Area and  
Multi-Purpose Room**  
Bratt Elementary  
Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021  
Project No.  
07615-0010  
Sheet No.  
**C10**

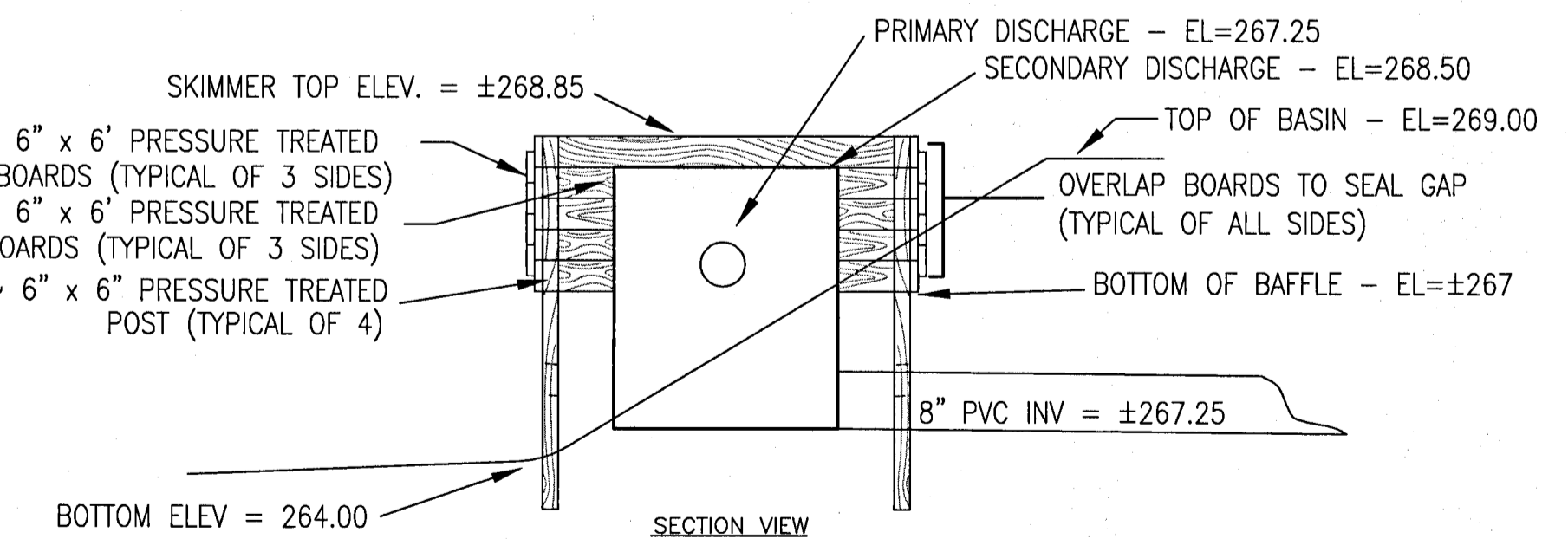


**FDOT TYPE 'D' INLET** (3)  
NOT TO SCALE  
C10

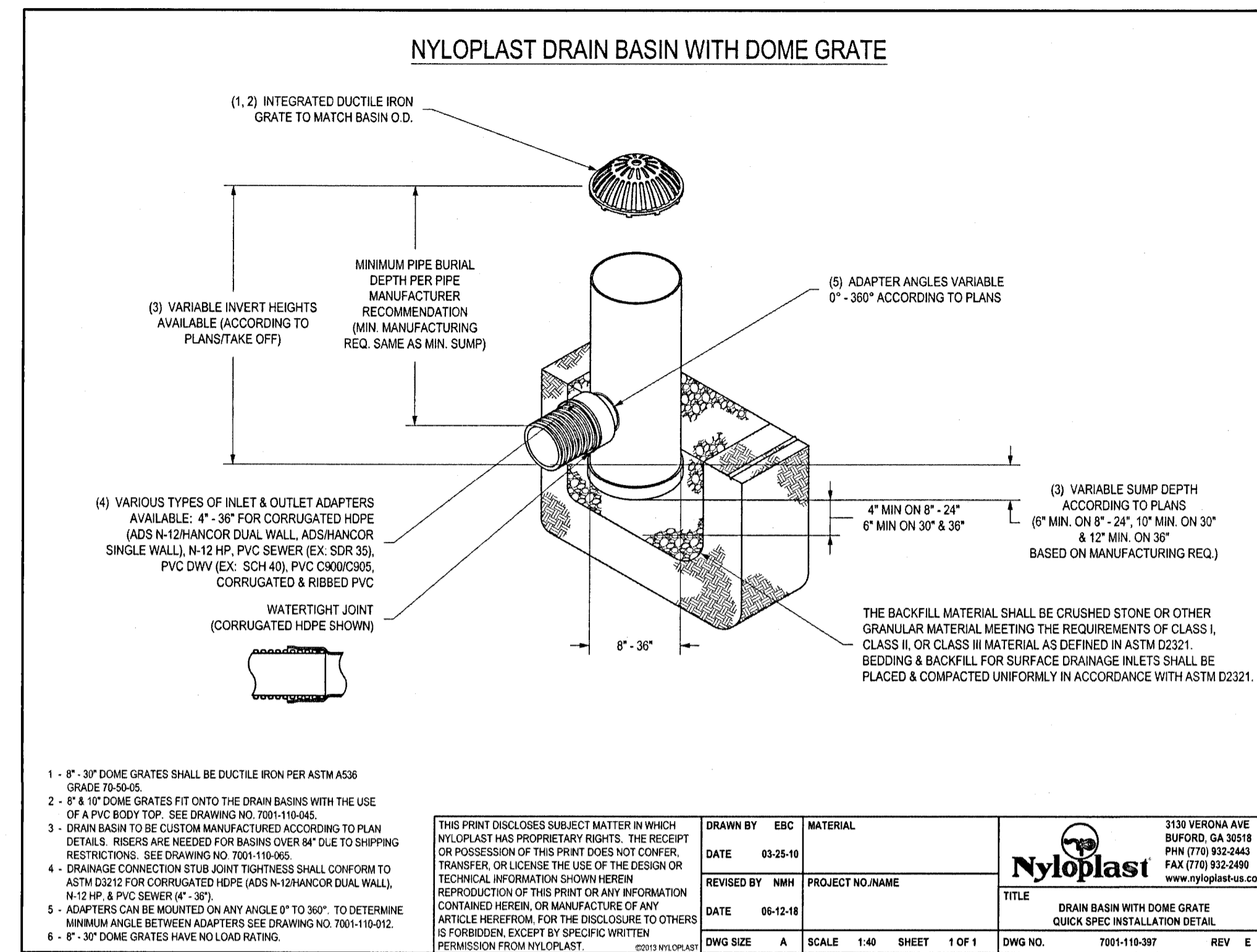


- NOTES:
- RIP-RAP TO EXTEND UP POND EMBANKMENT TO FORM APRON AROUND CONCRETE END SECTIONS AT PIPE INPUT LOCATIONS.
  - RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
  - TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

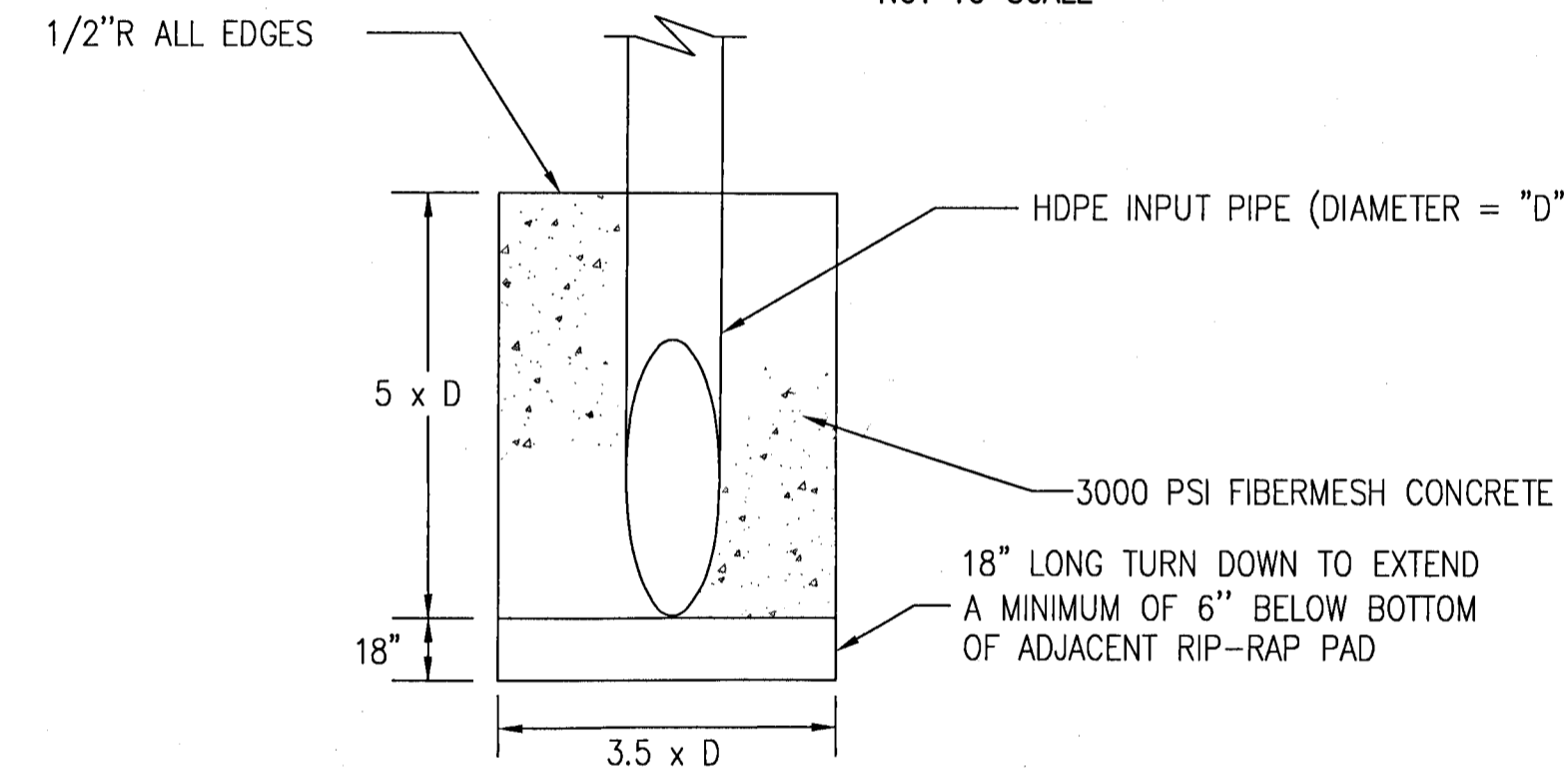
**RIP-RAP PAD** (6)  
NOT TO SCALE  
C10



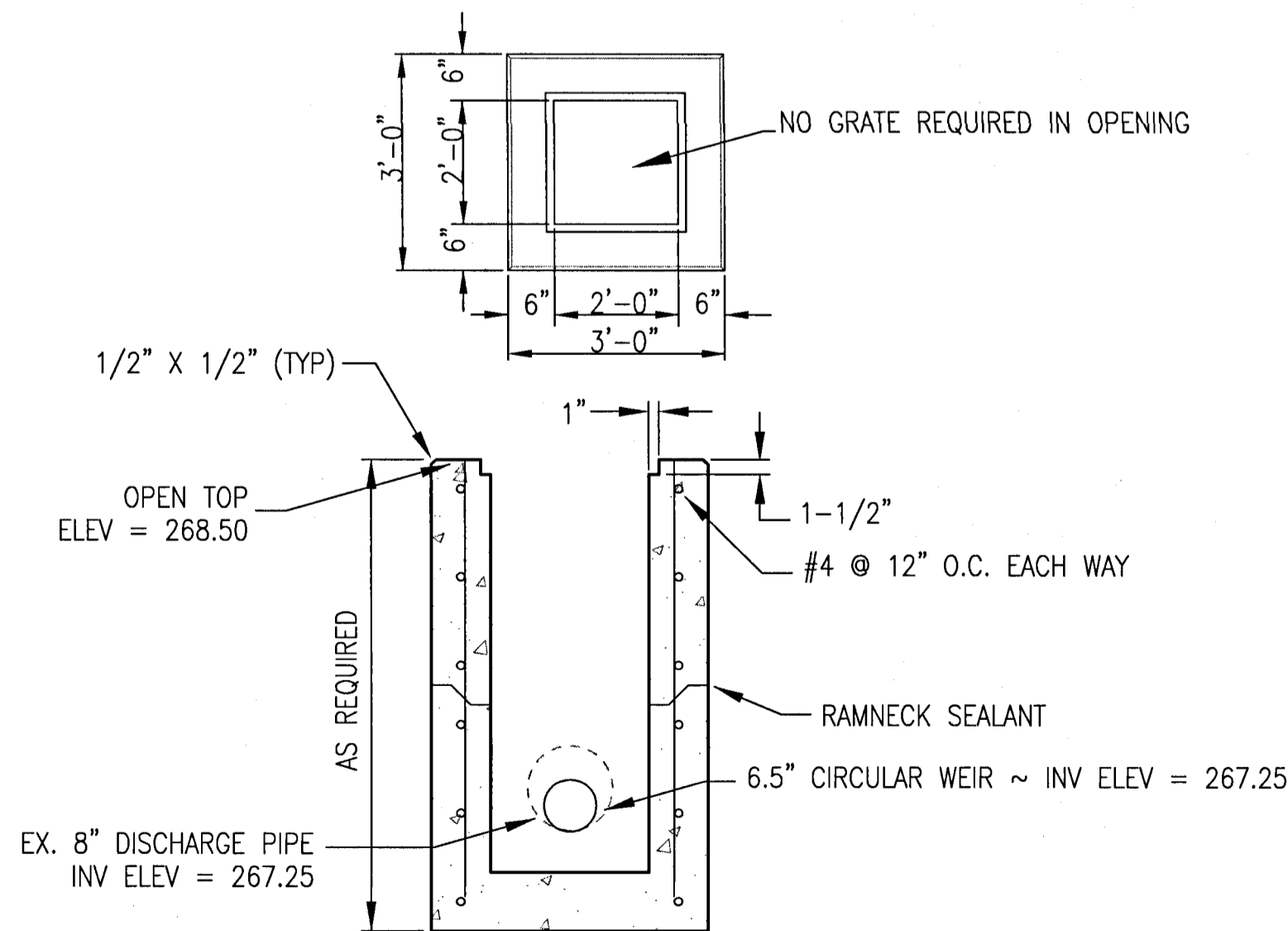
**SKIMMER STRUCTURE DETAIL** (9)  
NOT TO SCALE  
C10



**DRAIN BASIN W/ DOME GRATE** (2)  
NOT TO SCALE  
C10

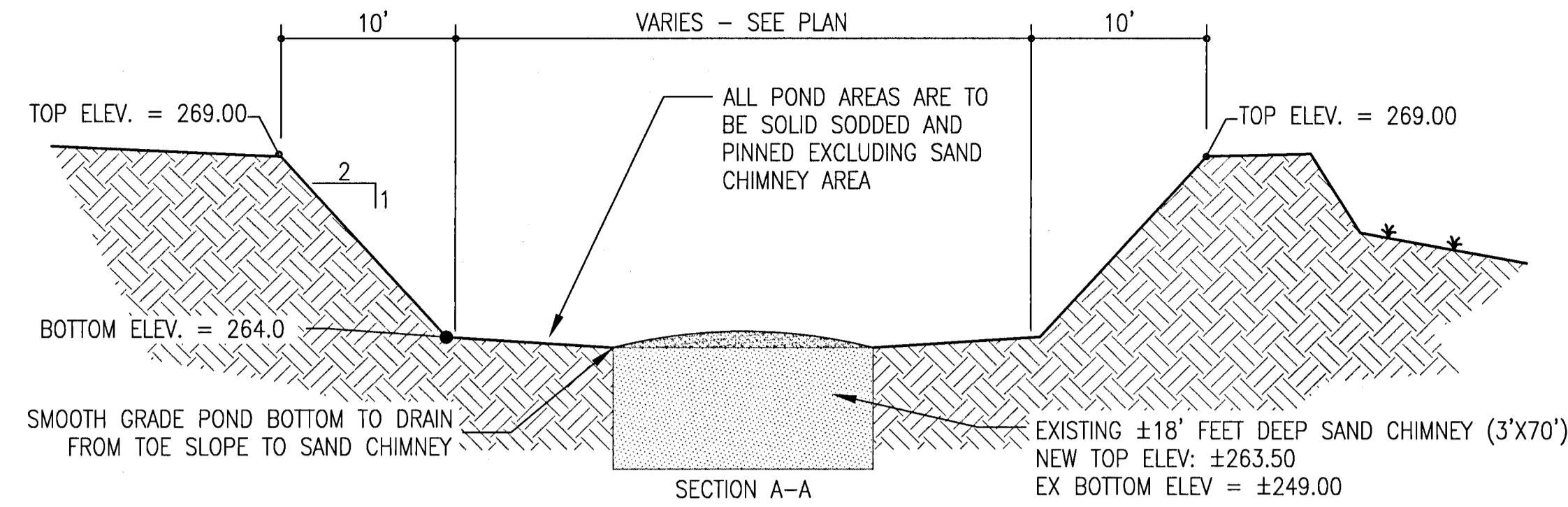


**CONCRETE MITERED END SECTION** (5)  
NOT TO SCALE  
C10



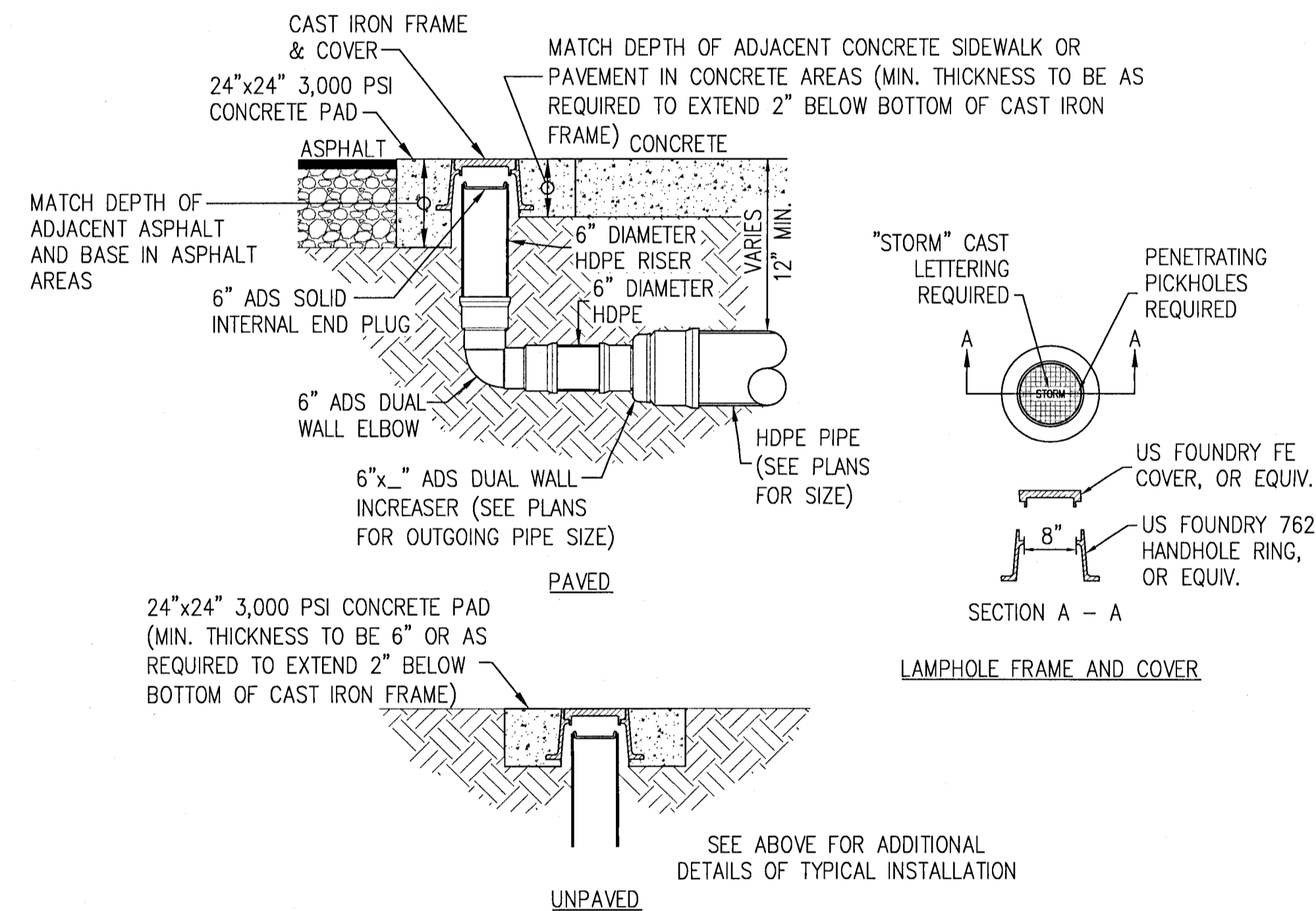
**2'x2' MODIFIED CONCRETE INLET** (8)  
NOT TO SCALE  
C10

**STORM WATER DETAILS**



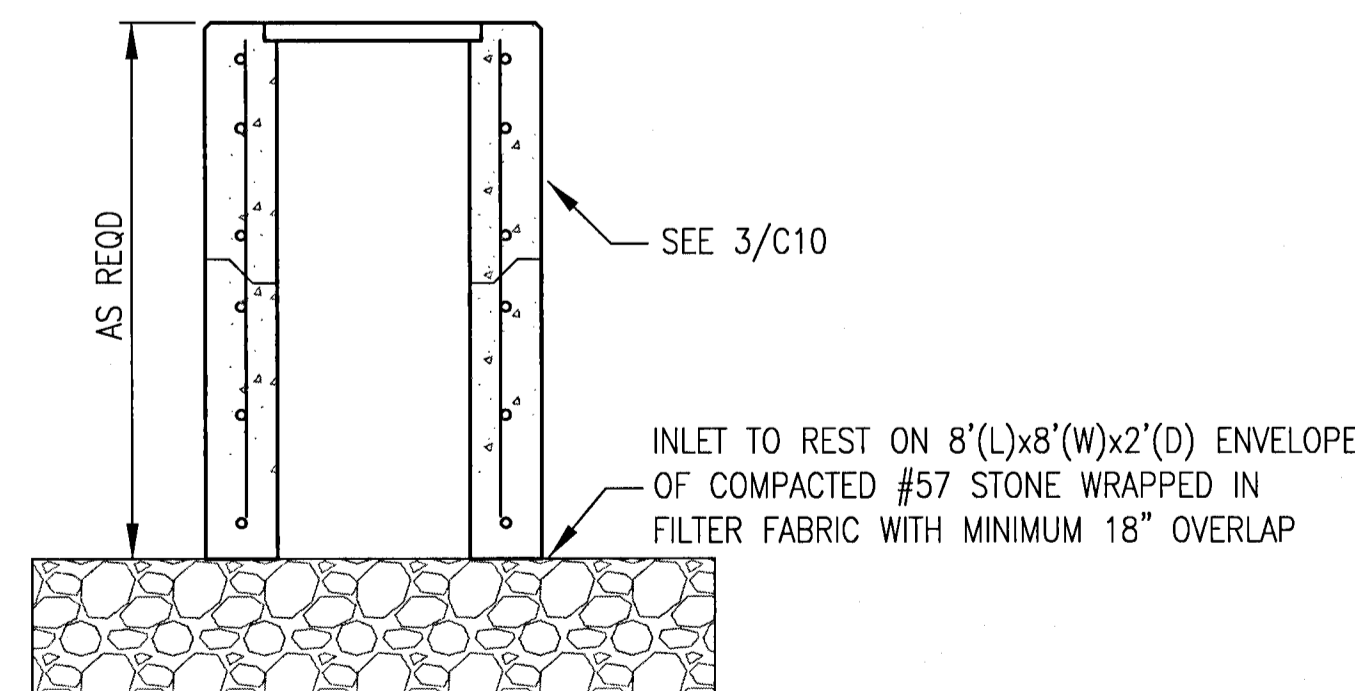
- NOTES:
- RETENTION/DETENTION AREAS MUST BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR MUST CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS ACCUMULATION.
  - SIDES AND BOTTOM OF STORM WATER POND MUST BE IMMEDIATELY STABILIZED UPON CONSTRUCTION.
  - UPON FINAL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, POND MUST BE RE-SHAPED AS NECESSARY TO REMOVE ACCUMULATED SEDIMENT AND TO MATCH THE PROPOSED GRADING ON THE PLANS. ALL DISTURBED AREAS MUST BE RE-STABILIZED.
  - EXISTING SAND CHIMNEY MUST BE PROTECTED AT ALL TIMES. AT A MINIMUM, CONTRACTOR MUST INSTALL PERIMETER SILT FENCE AND A 12" OVERBURDEN OF CLEAN SAND. AT THE END OF CONSTRUCTION, ANY ACCUMULATED SEDIMENT IS TO BE REMOVED FROM OVERBURDEN SUCH THAT CLEAN CHIMNEY SANDS ARE LEFT EXPOSED.

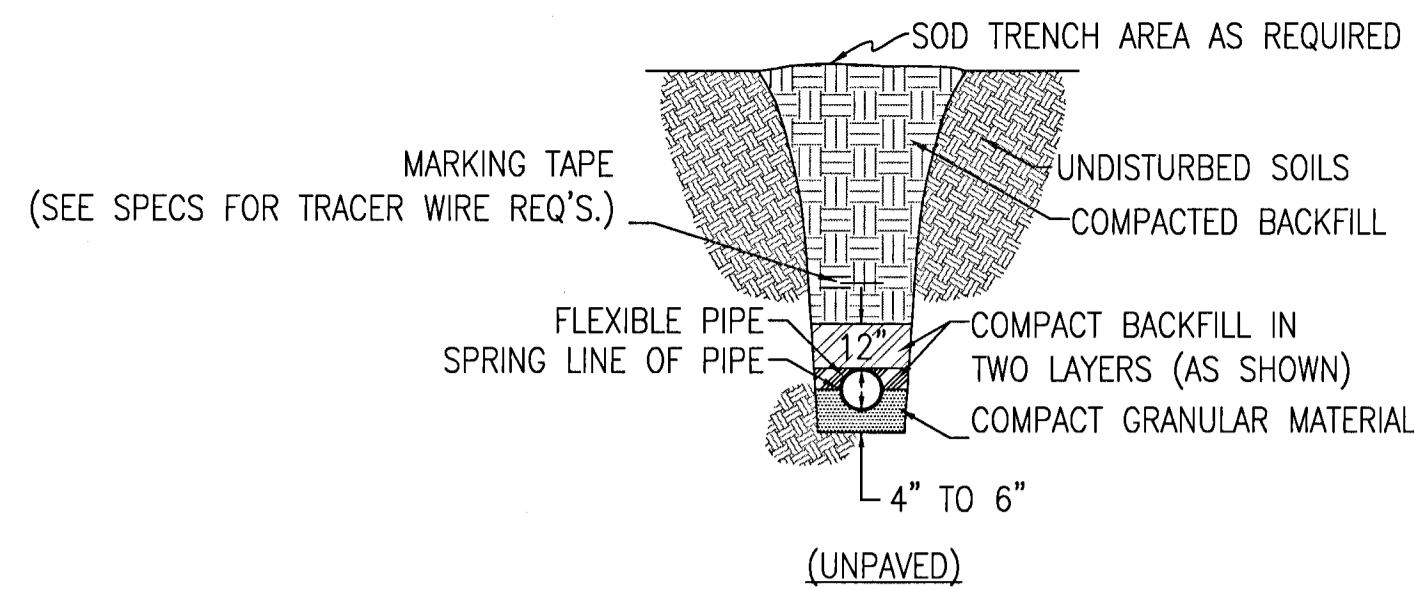
**STORM WATER POND** (1)  
NOT TO SCALE  
C10



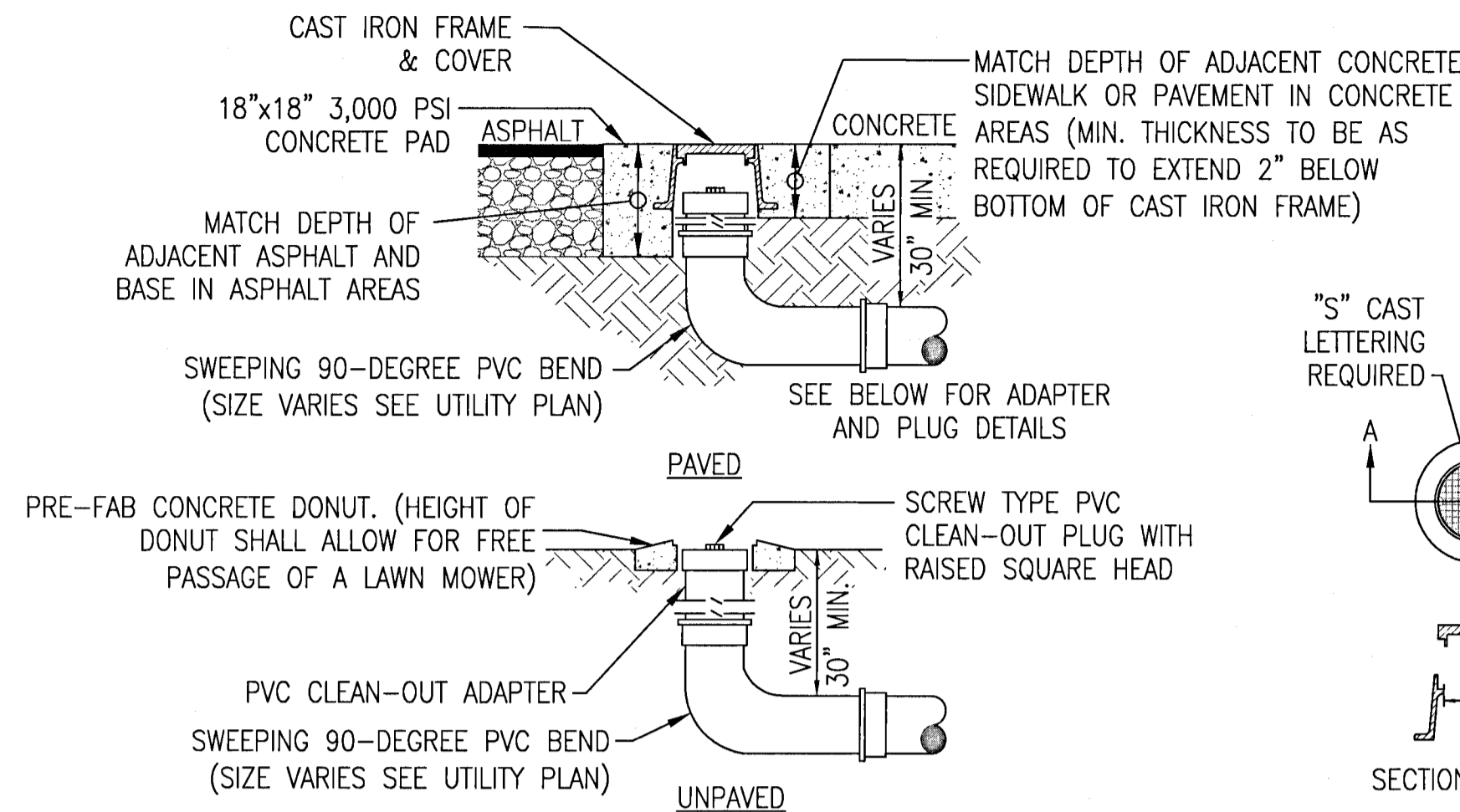
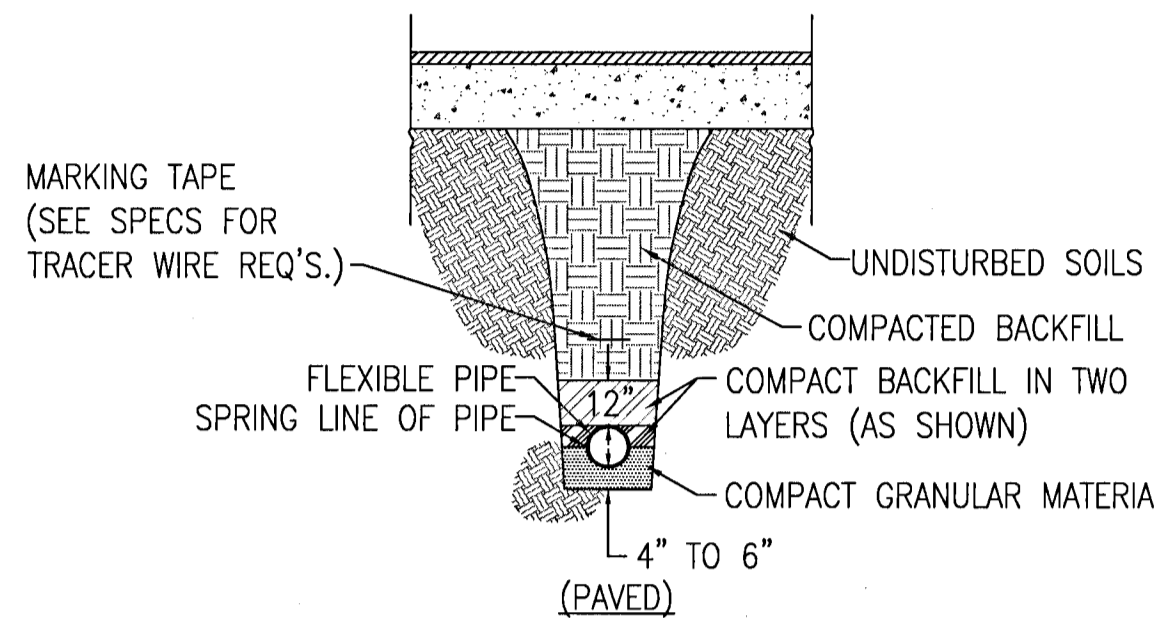
**STORM WATER LAMPHOLE** (4)  
NOT TO SCALE  
C10

**BOTTOMLESS CONCRETE INLET** (7)  
NOT TO SCALE  
C10

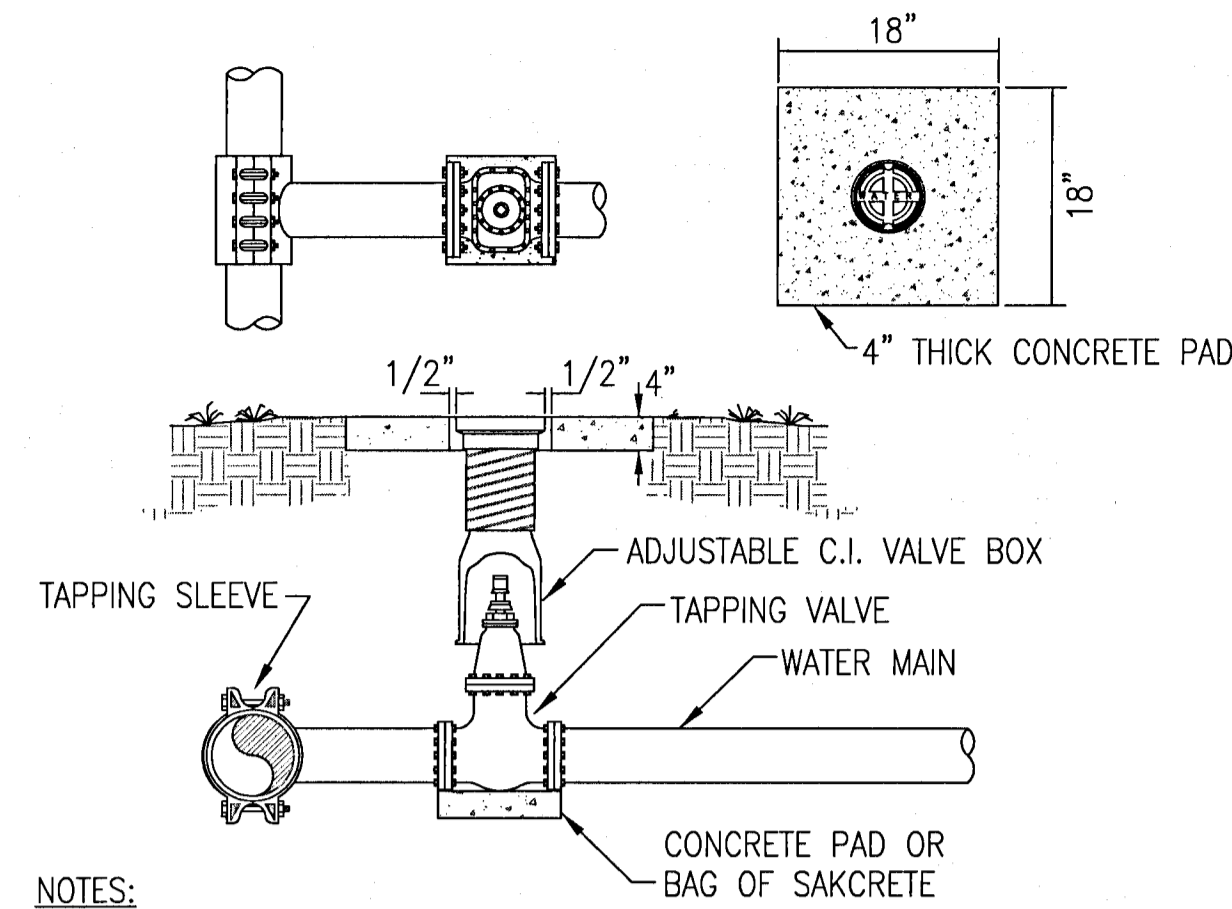




**TYPICAL PIPE BEDDING** 1  
NOT TO SCALE C11

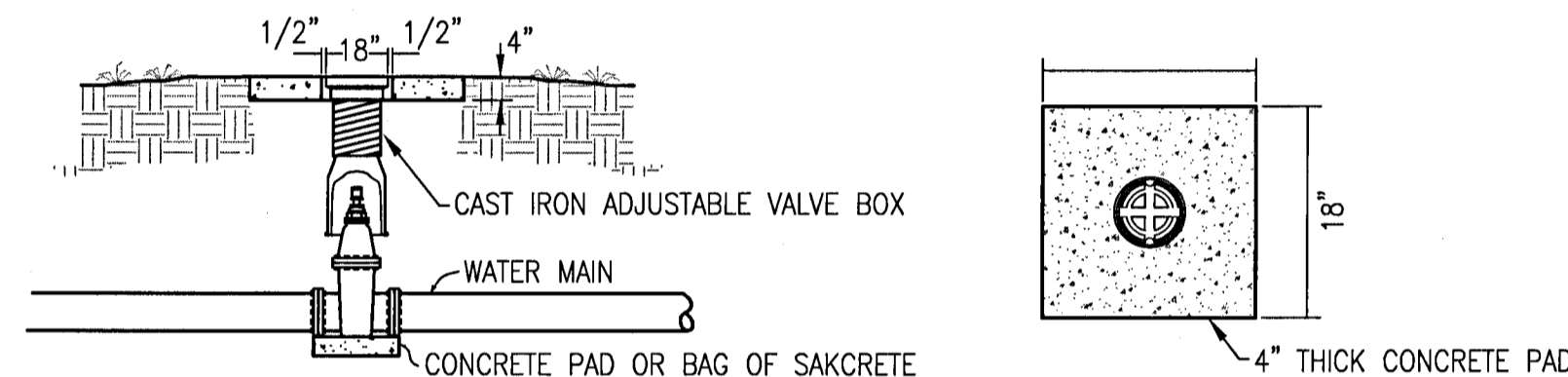


**SANITARY CLEAN-OUT** 2  
NOT TO SCALE C11



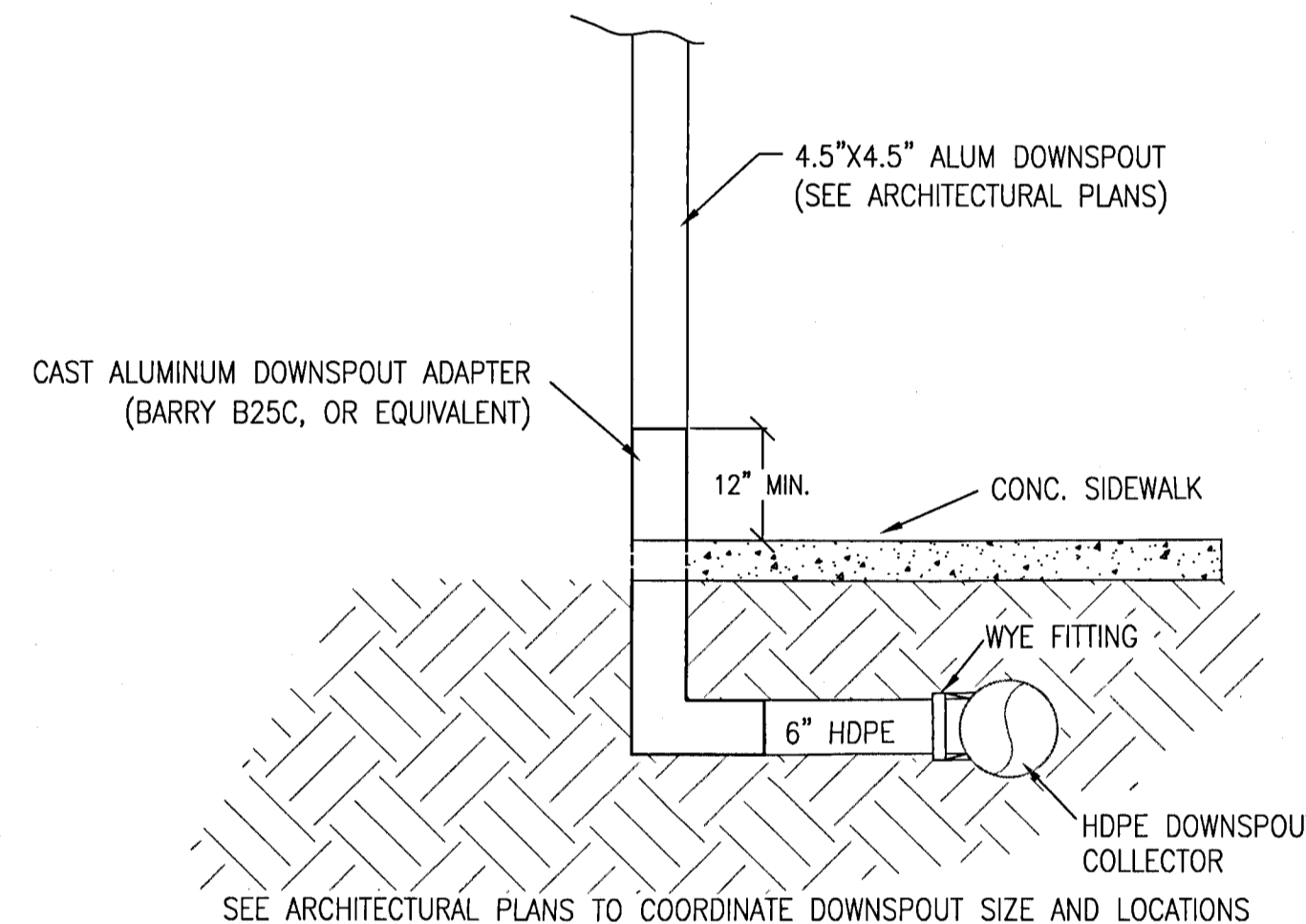
- NOTES:**
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
  2. VALVE COVER SHALL BE MARKED "WATER."
  3. VALVE TOP SHALL BE FLUSH WITH FINISHED GRADE OF NATURAL GROUND.
  4. GATE VALVE SHALL BE RESILIENT SEATED VALVE WITH RING-TITE ENDS
  5. EARTH UNDER FLANGE TO BE FIRM AND WELL TAMPED TO INSURE AGAINST VALVE BOX SETTING.
  6. PROVIDE THRUST BLOCKS (NOT SHOWN) AS DETAILED AND SPECIFIED

**TAPPING SLEEVE AND VALVE** 3  
NOT TO SCALE C11

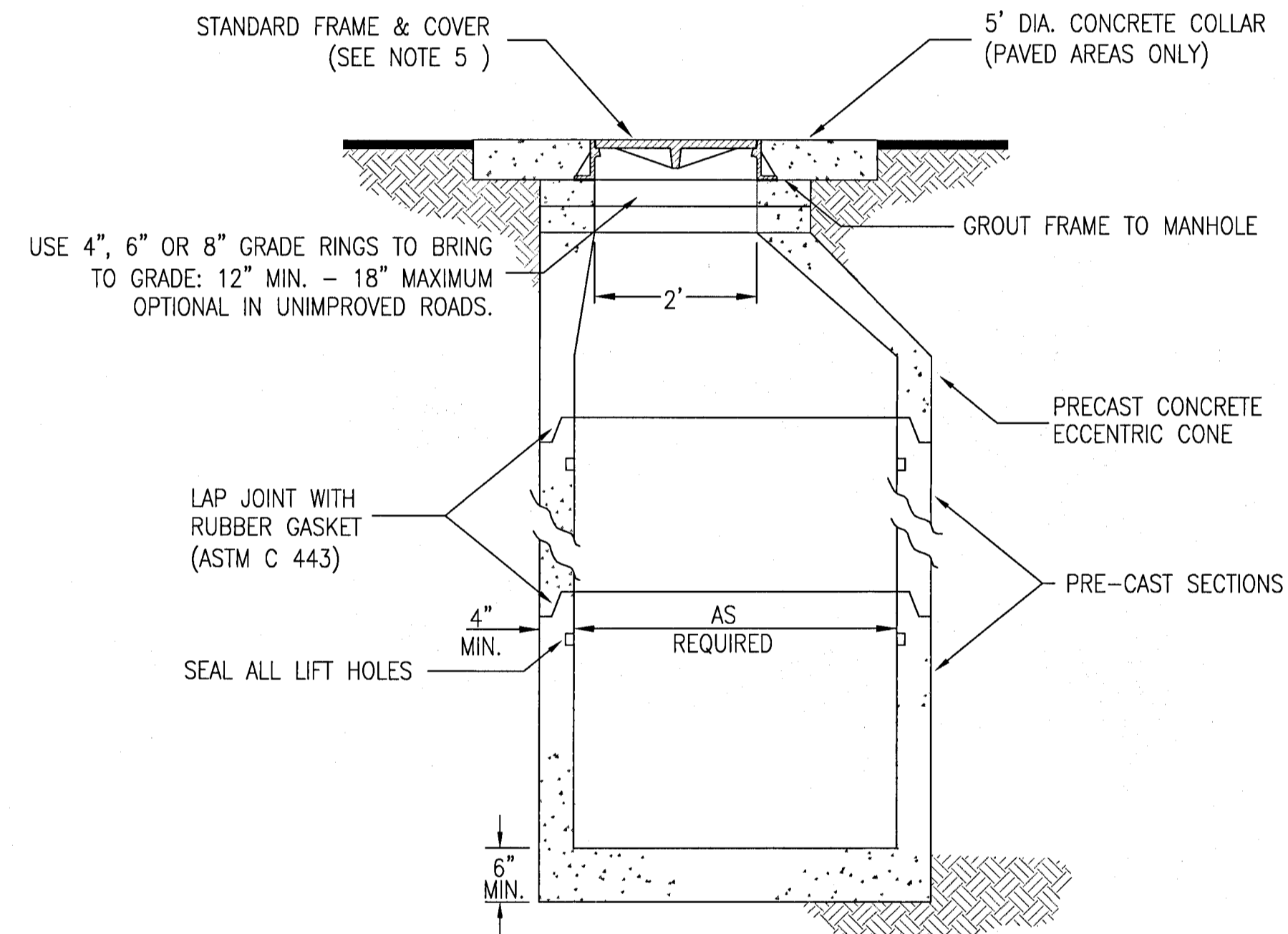


- NOTES:**
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
  2. VALVE COVER SHALL BE MARKED "WATER."
  3. VALVE TOP SHALL BE FLUSH WITH FINISHED GRADE OF NATURAL GROUND.
  4. GATE VALVE SHALL BE RESILIENT SEATED VALVE WITH RING-TITE ENDS
  5. EARTH UNDER FLANGE TO BE FIRM AND WELL TAMPED TO INSURE AGAINST VALVE BOX SETTING.

**TYPICAL VALVE AND BOX** 4  
NOT TO SCALE C11

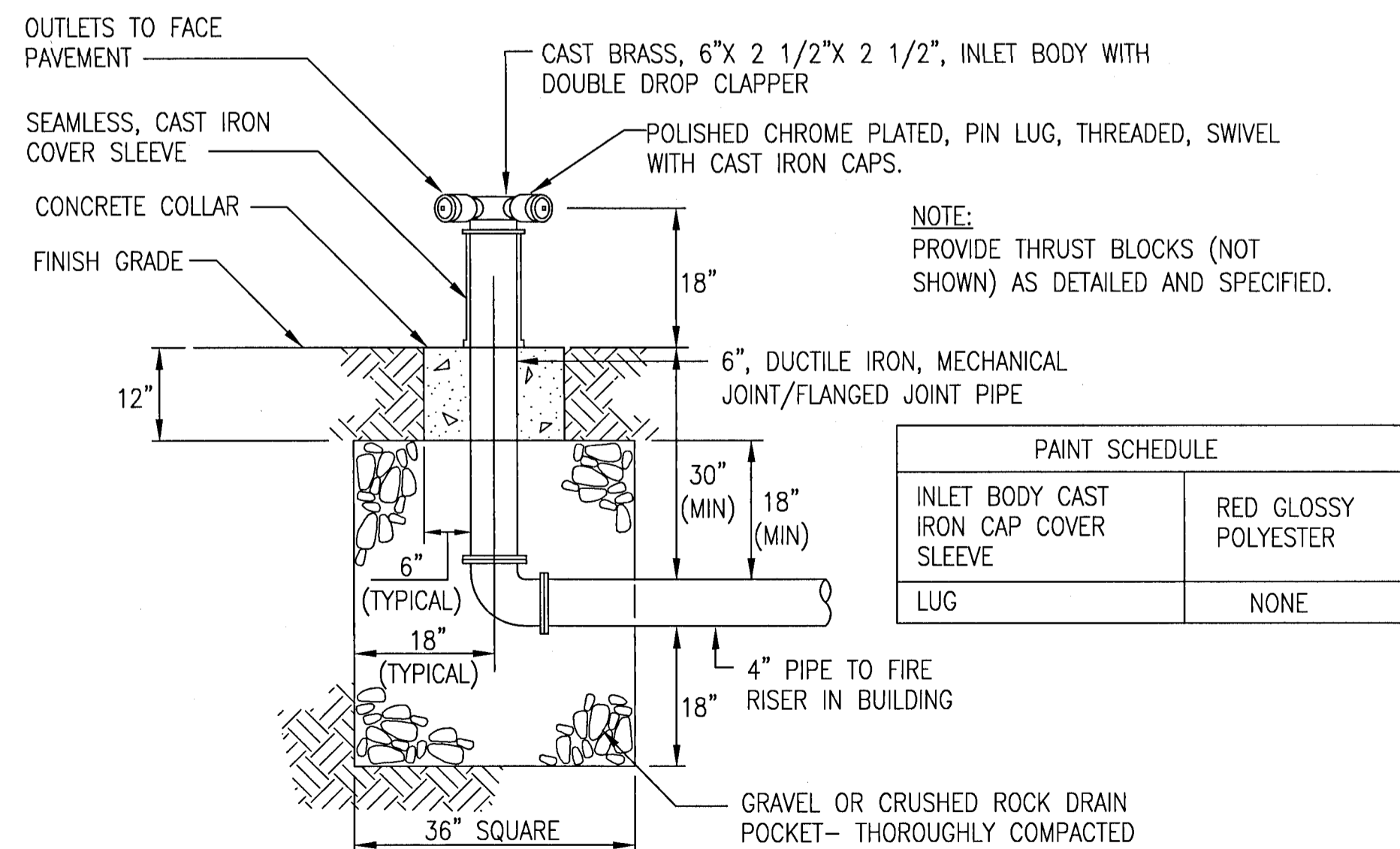


**DOWNSPOUT CONNECTION** 5  
NOT TO SCALE C11



1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS.
2. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC CONCRETE TO BE 3000 P.S.I., REINFORCING STEEL TO BE A.S.T.M.
3. SEAL WITH A-LOK, KORE-N-SEAL OR LOCK-JOINT PER SPECIFICATIONS.
4. FRAME AND COVER SHALL BE U.S. FOUNDRY MODEL 170, TYPE 'E', WITH "STORM SEWER" CAST INTO COVER, (ASTM A 48, CLASS 30 CAST IRON) OR APPROVED EQUAL.

**STORM WATER MANHOLE** 6  
NOT TO SCALE C11



PAINT SCHEDULE	
INLET BODY CAST IRON CAP COVER SLEEVE	RED GLOSSY POLYESTER
LUG	NONE

**FREESTANDING FIRE DEPARTMENT CONNECTION** 7  
NOT TO SCALE C11

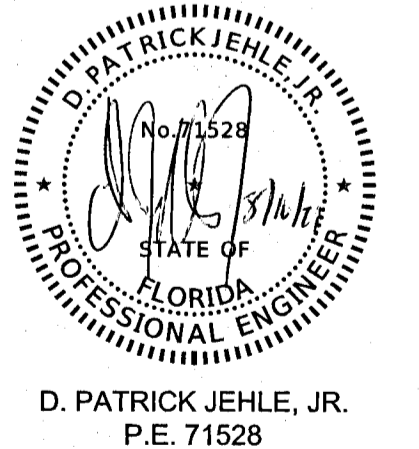
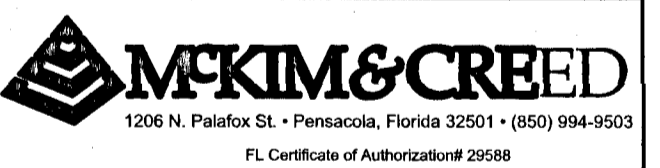
## UTILITY DETAILS

Quina Grundhoefer Architects

400 West Romana Street Pensacola, FL 32502  
850 433-5575 qg@quinaarchitects.com

### LEGEND:

—	FENCE GATE
—	CHAIN LINK FENCE
—	WOOD PANEL FENCE
—	MISCELLANEOUS FENCE
—	SILT FENCE
—	TREE PROTECTION
—	OVERHEAD UTILITIES
—	GAS LINE
—	WATER LINE
—	SEWER LINE
—	FORCE MAIN
—	STORMWATER LINE
—	SET BENCHMARK
—	DROP INLET
—	DOWNSPOUT
—	WATER METER
—	WATER VALVE
—	FIRE HYDRANT
—	BACK FLOW PREVENTER
—	FAUCET/HOSE BIBB
—	SEWER MANHOLE
—	CLEANOUT
—	GREASE TRAP
—	LIFT STATION VENT PIPE
—	ELECTRICAL CONDUIT
—	ELECTRICAL BOX
—	ELECTRIC PANEL
—	AIR CONDITIONER
—	GAS PRV
—	GUY WIRE ANCHOR
—	WOOD UTILITY POLE
—	WOOD UP W/ METER
—	WOOD LIGHT POLE
—	WOOD LP WITH METER
—	BASKETBALL HOOP
—	BOLLARD
—	STEEL I-BEAM SUPPORT
—	SPOT ELEVATION
—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
—	ASPHALT
—	CONCRETE
—	SOD



D. PATRICK JEHL, JR.  
P.E. 71528

Project

**Covered Play Area and Multi-Purpose Room**  
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Escambia County School District  
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