

OWNER/DEVELOPER:
SINE QUA NON HOLDINGS, LLC
C/O: PAUL SILVOS
17 EAST MAIN STREET, SUITE 200
PENSACOLA, FL 32502
PHONE: (850) 637-1880

ENGINEER:
GECI & ASSOCIATES ENGINEERS, INC.
CONTACT: CLINT GECI, P.E.
2950 NORTH 12th AVENUE
PENSACOLA, FLORIDA 32503
PHONE: (850) 432-2929

SURVEYOR:
360 SURVEYING SERVICES, INC.
C/O: JOSH MILLER
213A SOUTH BAYLEN STREET
PENSACOLA, FL 32502
PHONE: (850) 857-4400

UTILITY COMPANIES:
UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND
INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.

TELEPHONE - AT & T, INC., 605 WEST GARDEN STREET,
PENSACOLA, FLORIDA 32501; (850) 436-1616

ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD,
PENSACOLA, FLORIDA 32534; (850) 484-5770

SANITARY SEWER - EMERALD COAST UTILITY AUTHORITY, ELLYSON
INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110

WATER - PEOPLE'S WATER SERVICE COMPANY,
905 LOWNDE AVENUE, PENSACOLA, FLORIDA; (850) 455-8552

NATURAL GAS - PENSACOLA ENERGY, 16 SOUTH PALAFOX
STREET, PENSACOLA, FLORIDA; (850) 474-5322

SITework CONSTRUCTION PLANS FOR DAVIS RUN 40 LOT SINGLE-FAMILY SUBDIVISION IN ESCAMBIA COUNTY, FLORIDA G&A REFERENCE NO. 28806

Approved *J. Hampton 3-2-20*

Defence Date

This document has been reviewed in accordance with
requirements of applicable Escambia County
Regulations and Ordinances and does not in any way
relieve the submitting Architect, Engineer, Surveyor, or
other signatory from responsibility of details as drawn.

DRAINAGE FEE

Imperv. Surf. 63950.0 Sq ft

Stormwater Ret. 0.73 % (F)

Total Drainage Fee \$ 2,334.18

Pond Maint. Fee: MSBU

SITE NOTES:
a. SITE AREA: 24.16 AC
b. TOTAL LOTS: 40
c. PARCEL ID: 33-2S-31-2000-371-026
d. LATITUDE & LONGITUDE: 30°22'07"N, 87°20'32"W
e. ZONING: MDR & HC/LI
f. AIRPORT ZONING: APZ-1 & APZ-2
g. FLU: MU-S & C
h. PROJECT ADDRESS: 9106 GULF BEACH HWY, PENSACOLA, FLORIDA 32507
i. BUILDING SETBACK REQUIREMENTS: 20' FRONT, 20' REAR, & 5' SIDE.
j. MAX. BUILDING HEIGHT: 45'
k. LOT COVERAGE: 70% MAXIMUM LOT COVERAGE AS PER ZONING
REGULATIONS, OR THE LOT COVERAGE SHOWN ON THIS LOT GRADING
PLAN, WHICHEVER IS LESS.

SURVEYOR'S NOTES:
1. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 06-02-2021.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY
FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE
MARKED.
3. ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS
KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO
INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD,
ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR
ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY
DISCLOSE.
4. THE SURVEYOR HAS MADE NO SEARCH TO DETERMINE THE CURRENT
BUILDING SET BACK REQUIREMENTS FOR THE SUBJECT PROPERTY BEYOND
THE CURRENT SUBDIVISION PLAT OF RECORD, CONTACT THE LOCAL
CITY/COUNTY LAND DEVELOPMENT CODE OFFICIAL FOR THE APPROPRIATE
BUILDING SET BACK DISTANCES.
5. BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE WEST PROPERTY
LINE OF THE SUBJECT PROPERTY AS IT RELATES TO THE STATE PLANE
COORDINATE SYSTEM, FLORIDA NORTH ZONE, NORTH AMERICAN DATUM OF
1983 (RE-ADJUSTED IN 2011).
6. FENCE LINES ARE EXAGGERATED FOR CLARITY.
7. ENCROACHMENTS ARE AS SHOWN.
8. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN
VERTICAL DATUM OF 1988 (NAV88) BASED ON BENCHMARK K 770, HAVING
A PUBLISHED ELEVATION OF 20.18 FEET.

BENCHMARKS:
T.B.M. #1 - NAIL IN E. SIDE OF POLE, ELEVATION = 18.93
T.B.M. #2 - NAIL IN N. FACE OF POLE, ELEVATION = 22.09

SURVEYOR'S LEGEND:

● FIBER OPTIC CABLE MARKER
● FIRE HYDRANT
■ BACKFLOW PREVENTER
■ SEWER LATERAL
■ WATER METER
■ GAS SIGN
⊗ A.T. & T. MANHOLE
⊗ WIRE PULL BOX
⊗ SIGN
⊗ WATER VALVE
⊗ SEWER VALVE
⊗ GUY ANCHOR
⊗ POWER POLE
⊗ TEMPORARY BENCHMARK
RCP = REINFORCED CONCRETE PIPE
T.B.M. = TEMPORARY BENCHMARK
MES = MITRED END SECTION
(F) = FIELD MEASUREMENT
(D) = DEED MEASUREMENT
(C) = CALCULATED
(P) = PLAT MEASUREMENT
R/W = RIGHT-OF-WAY
O.R. = OFFICIAL RECORD
PG. = PAGE
TYP. = TYPICAL
S.F. = SQUARE FOOT
— W — = WATER LINE
— OU — = OVERHEAD UTILITY
— US — = UNDERGROUND GAS LINE
— LFO — = UNDERGROUND FIBER OPTIC
— SS — = SANITARY SEWER
— XX — = 6" CHAINLINK FENCE
— X — = 4" CHAINLINK FENCE
— — — = 4" WIRE FENCE
— — — = CONCRETE
— — — = ASPHALT
— — — = GRAVEL
--- 100 --- = MAJOR CONTOUR
--- 50 --- = MINOR CONTOUR

SURVEYOR'S CORNER LEGEND:

● 1/2" IRON ROD
● 1/2" CAPPED IRON ROD #7612
○ 1" IRON PIPE
● 1/2" CAPPED IRON ROD #6679
● NAIL & DISC "HAMILTON"
● 4" X 4" CONCRETE MONUMENT
● 1/2" CAPPED IRON ROD # 7107
● SET 1/2" CAPPED IRON ROD #7612

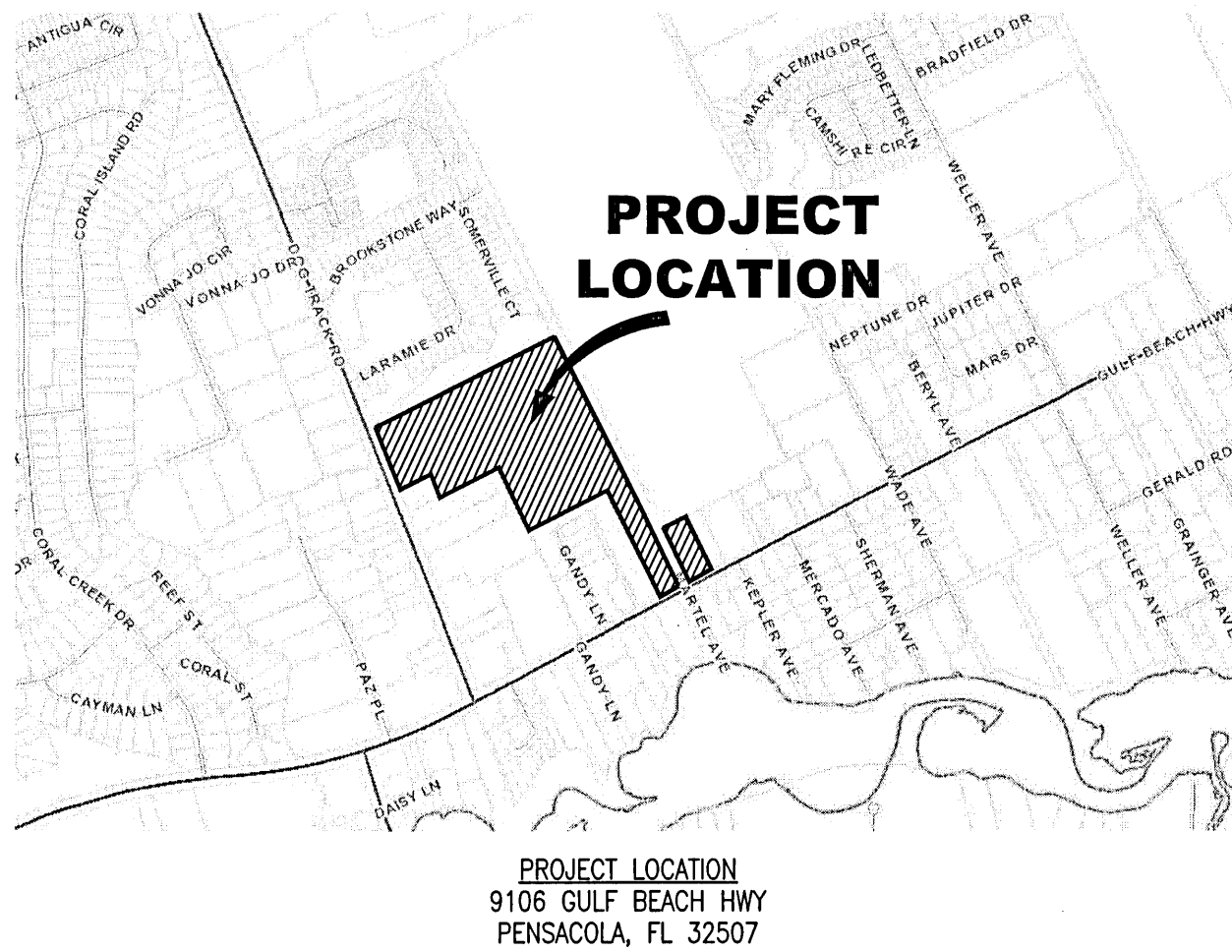
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X & A	120080	12033C0527G	0527	G	9/29/2006

COUNTY INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF
CONSTRUCTION (981-7100). THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING
COUNTY THE PROJECT HAS STARTED.

INDEX OF DRAWING	
SHEET	DESCRIPTION
C000	COVER SHEET
C100	OVERALL PLAN
C110	EXISTING CONDITIONS, EROSION CONTROL, & DEMOLITION PLAN
C130	LOT GRADING PLAN
C135	STORMWATER STRUCTURE PLAN
C200	MARTEL AVENUE PLAN & PROFILE
C210	ALVA STREET PLAN & PROFILE 1
C220	ALVA STREET PLAN & PROFILE 2
C300	UTILITY PLAN
C310	TRAFFIC PLAN
C330	STORMWATER PONDS
C340	OFFSITE DRAINAGE STORMWATER PIPE PLAN & PROFILE
C350	ONSITE STORMWATER PIPE PLANS & PROFILES
C400	CROSS-SECTIONS
C500	DETAILS
C510	DETAILS 2
C520	FDOT DETAILS

GENERAL NOTES:

- DATUM PLAN USED IS NAVD 88.
- BOUNDARY SURVEY & LEGAL DESCRIPTION PROVIDED BY 360 SURVEYING SERVICES, DATED JUNE 2021.
- ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF CURB GRADES, UNLESS SHOWN OTHERWISE.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT
BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF
ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT
BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND
UNDERGROUND UTILITIES.
- ALL SANITARY SEWER AND POTABLE WATER CONSTRUCTION TO CONFORM TO THE CURRENT EMERALD COAST UTILITY
AUTHORITY STANDARDS.
- ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND F.D.O.T.
STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
CONSTRUCTION.
- WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALES SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO
REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY
RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE
BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
- THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY, F.D.O.T., NWFWD, AND EMERALD COAST UTILITIES AUTHORITY AT
LEAST THREE WORKING DAYS (72 HOURS MIN.) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH OFF THE SITE.
- THE CONTRACTOR SHALL HAVE A COMPACTION TEST MADE BY AN INDEPENDENT TESTING LAB AT INTERVALS NOT TO
EXCEED 300 LINEAR FEET, AND THESE TESTS SHALL INDICATE THAT THE BASE CONSTRUCTION IS IN ACCORDANCE WITH
SECTION 240 OF THE D.O.T. SPECIFICATIONS. COPIES OF THESE SHALL BE FURNISHED TO THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST TWO WEEKS PRIOR TO THE PLACING OF THE BASE MATERIAL TO
HELP THE ENGINEER COORDINATE THE OTHER UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL GRASS AND MULCH ALL THE RIGHT-OF-WAY AND DISTURBED AREAS UNLESS AT A SLOPE OF 5
TO 1 OR GREATER AND THESE SHALL BE SODDED AND PINNED.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES,
RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN
AND VEHICULAR TRAFFIC.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING
CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
- SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES IN PROJECT PLANS OR ON FIELD CONDITIONS THE CONTRACTOR
SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- NO DERIVATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL
FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN THE COUNTY
ACCEPTANCE OF IMPROVEMENTS.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL
WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS,
GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL
INSPECTION.
- NOTIFY SUNSHINE STATE ONE CALL 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE
COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- ROUGH GRADE OF RIGHT-OF-WAYS MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE
UTILITIES ARE INSTALLED AT MINIMUM AND MAXIMUM DEPTHS.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS
FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR
PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND
SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A
REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY
INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF
CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BUNTING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING , FERTILIZER AND MULCH, HYDROSEED
AND/OR MULCH (UNLESS SOD IS REQUIRED). SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED
GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD 105.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY UNUSABLE, QUESTIONABLE MATERIAL, OR ANY THAT
HAS A PUMPING ACTION OR PERCHED GROUNDWATER. THESE AREAS WILL BE EXCAVATED, REMOVED FROM THE PROJECT
AND BACK FILL WITH CLEAN SAND.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT
UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT PLANS AND CERTIFICATION ARE
REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- GECI & ASSOCIATES WILL BE RESPONSIBLE FOR MONITORING CONSTRUCTION, SUBMITTING NOTICE OF CONSTRUCTION
COMMENCEMENT, AND SUBMITTING AS-BUILT CERTIFICATIONS.
- CONSTRUCTION WILL BEGIN WITHIN 6 MONTHS OF OBTAINING PERMITS AND WILL BE COMPLETED WITHIN 12 MONTHS OF
COMMENCEMENT.
- LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING
REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPERS
RESPONSIBILITY.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO
RETENTION/DETENTION AREAS.
- ALL PERMITS FROM LOCAL, STATE AND FEDERAL AGENCIES PERTAINING TO THIS PROJECT COVER ONLY THOSE
CONSTRUCTION ACTIVITIES CONTAINED WITHIN THESE PLANS. UNLESS SPECIFICALLY NOTED OTHERWISE, CONSTRUCTION
ACTIVITIES WITHIN THE LOTS OF THE SUBDIVISION ARE NOT CONSIDERED PART OF THESE CONSTRUCTION PLANS. THE LOT
GRADING PLAN IS TO SERVE ONLY AS A GUIDE IN THE EVALUATION OF THE DRAINAGE PLAN FOR THE INDIVIDUAL
HOMES/LOTS.
- ELECTRIC/PHONE/CABLE/GAS STRUCTURE INSTALLED WITHIN DRAINAGE EASEMENT SHALL BE LOCATED ALONG BOUNDARY
OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
- A MINIMUM ONE-FOOT GROUND COVER IS REQUIRED FOR ALL STORMWATER PIPES AND 30" COVER FOR ALL OTHER
UTILITIES.
- SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.
- THE CONTRACTOR SHALL HAVE A GEOTECH ENGINEER DETERMINE THE NEED FOR ROADWAY UNDERDRAINS (AS SHOWN IN
THE DETAIL HEREIN) AFTER ROADBEDS HAVE BEEN CUT.
- ALL PVC SANITARY SEWER PIPE TO BE SDR 26.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING
CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIL ALL SEDIMENTS ON THE SITE. IMPROPER
SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT
ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED
AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE
RIGHT-OF-WAY.
- ALL UNDERGROUND UTILITY CONSTRUCTION MUST BE SEQUENCED BEFORE PAVEMENT. THE ROADWAYS SHALL NOT BE
OPEN CUT OR BORED/DRILLED WITHIN THE 2 YEAR WARRANTY PERIOD.



A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supercede the Manual listed above? ☒ Yes ☐ No. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
D-20	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on the Project.

ENGINEER'S CERTIFICATE:
I HEREBY CERTIFY THAT I AM THE ENGINEER OF RECORD FOR DAVIS
RUN SUBDIVISION AND ALL PROPOSED ROADWAY, DRAINAGE, AND
OTHER IMPROVEMENTS UNDER MY RESPONSIBILITY ARE DESIGNED TO
COMPLY WITH ALL FEDERAL, STATE, AND LOCAL DEVELOPMENT
REQUIREMENTS.

CLINT A. GECI, P.E., VICE PRESIDENT
GECI & ASSOCIATES ENGINEERS, INC.
FLORIDA P.E. NO. 73924

COUNTY INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY INSPECTOR 48 HOURS BEFORE BEGINNING OF EVERY PHASE OF
CONSTRUCTION (595-3434). THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING
COUNTY THE PROJECT HAS STARTED.

UTILITY NOTE:
THE ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE EASEMENT SHALL BE LOCATED ALONG THE
BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE
INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE
OPEN-CUT, OR JACK-AND-BORED, TO ACCOMPLISH THIS REQUIREMENT. COMMON TRENCHING IS REQUIRED WHENEVER
POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE
UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL
BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO
ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. ALL UNDERGROUND UTILITIES MUST MAINTAIN AT LEAST 30" OF
GROUND COVER (AFTER ROUGH GRADING OF R/W)

CONTRACTOR NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING STORMWATER
DISCHARGE AND SOLELY RESPONSIBLE FOR ANY DAMAGES CAUSED BY EROSION ONTO PROPERTY OWNED BY OTHERS
AND INDEMNIFIES THE OWNER AGAINST ANY CLAIMS OR REGULATORY PENALTIES DURING DEVELOPMENT.

RETENTION / DETENTION POND NOTE:
DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT
ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL
DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

LEGAL DESCRIPTION:
(FROM OFFICIAL RECORD BOOK 4638, PAGE 1231)
THE WEST 151 FEET OF LOT 84, BLOCK, 27 AND LOTS 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50,
53, 54, 55, 56, 61 AND 62, INCLUSIVE, OF BLOCK 26, LESS THE WEST 200 FEET OF THE NORTH 161.5 FEET OF
THE SOUTH 1281 FEET OF SAID BLOCK 26 IN GULF BEACH MAJOR, A SUBDIVISION OF A PORTION OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 31 WEST AND SECTION 4, TOWNSHIP 3 SOUTH, RANGE 31 WEST, ACCORDING TO THE
PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 1, PAGES 16 AND 16A OF THE PUBLIC RECORDS OF ESCAMBIA
COUNTY, FLORIDA.

NOT RELEASED FOR CONSTRUCTION

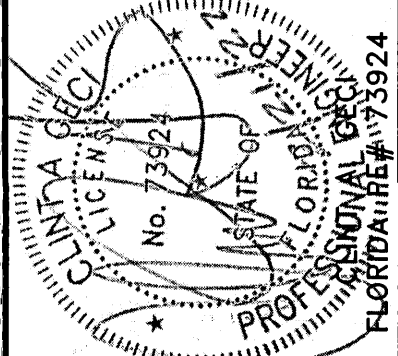
SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRQ CHECKED: SAG DATE: 01/18/22

CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geciengineering.com

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875

DAVIS RUN
COVER SHEET

28806 C000



STEWART CONSTRUCTION PLANS
FOR
DAVIS RUN
COVER SHEET

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

- b. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
- c. THE LOT GRADING PLAN INCLUDED IN THESE PLANS ONLY SERVES AS A GUIDE FOR THE CONSTRUCTION OF THE LOT.
- d. THERE SHALL BE NO ADVERSE IMPACTS TO EXISTING DRAINAGE DUE TO THE STORMWATER RUNOFF OF THIS PROJECT. THIS PROJECT WILL NOT CAUSE FLOODING ON ADJACENT PROPERTIES IN A 100-YR STORM EVENT.
- e. NO HERITAGE TREES EXIST ON PROJECT SITE.
- f. EACH HOME BUILDER SHALL BE REQUIRED TO CONTROL ALL EROSION AND SEDIMENTATION ON EACH INDIVIDUAL LOT.
- g. SIGN NOTE: A SEPARATE SIGN PERMIT WILL BE NEEDED FOR SIGNS FROM THE BUILDING INSPECTION OFFICE.
- h. EROSION CONTROL NOTES:
 1. FINISHED BUILDINGS SHALL COMPLY WITH ESCAMBA COUNTY BUILDING CODES WHICH INCLUDE:
 - a) THAT ALL FINISHED FLOOR ELEVATIONS (INCLUDING BASEMENT) SHALL BE A MINIMUM OF .8' ABOVE ADJACENT TOP OF CURB OR, WHEN APPLICABLE, .6' ABOVE TOP OF REAR YARD DRIVEWAY CONCRETE UNDERLAYMENT UNLESS OTHERWISE SPECIFIED.
 - b) FINISHED GRADE, ALSO, THE MINIMUM FINISHED HABITABLE FLOOR ELEVATION FOR LOTS SHALL TYPICALLY BE .6' (SLOPED AROUND BUILDING) OR 1.0' (UNSHOVED) ABOVE FINISHED GRADES OF LOT.
 2. HOME BUILDERS WILL BE REQUIRED TO CONSTRUCT AND MAINTAIN, AT ALL TIMES DURING CONSTRUCTION, APPROPRIATE EROSION CONTROL MEASURES (SLIT FENCE, HAY BALES, ETC.) TO PREVENT SOIL EROSION AND SEDIMENTATION FROM ENTERING INTO CONSTRUCTION OR THE RIGHT-OF-WAY ADJACENT TO THE LOT UNDER CONSTRUCTION.
- i. EROSION AND SEDIMENTATION CONTROL NOTES:
 1. EROSION CONTROL

- 1.2. ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS. ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. STRAW BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES (IN ORDER TO PREVENT DETERIORATION OF THE BINDINGS).
- 1.3. THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE

1.4. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

1.7. BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT
LEAST DAILY DURING PROLONGED RAINFALL.
1.8. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND
UNDERCUTTING BENEATH BALES.
1.9. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED

1.10. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

1.11. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE. PREPARED AND

2. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM ~ CURB & GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAPEMENT, COUNTY OR STATE RESERVE, THE RUNOFF BEING THE RESULT OF PRECIPITATION AND NOT A DISCHARGE FROM A POINT SOURCE.

3. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOO. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOO AND SOO AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.

4. DISTURBED AREAS NOT PAVED SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS.
5. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
6. THE HOMEBUILDER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY THE NPDES PERMITS WITH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONSITE FOR REVIEW DURING ALL PHASES

7. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
8. PROVIDE EROSION CONTROL MEASURE TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.

9. WETLAND SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS AS NECESSARY).

h. STORMWATER CONVEYANCE NOTES:

1. THE CONVEYANCE SWALES SHALL BE BUILT BY CONTRACTOR AND TREATMENT OR SIDE YARD SWALES SHALL BE BUILT BY THE HOMEOWNER
2. ALL INFLW ROOF RUNOFF, DOWNSPOUTS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL

STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.

3. HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTIONING OF THE SIDE YARD SWALES.

4. FENCES INSTALLED SHALL BE INSTALLED NOT TO IMPED STORMWATER FLOW

5. LOTS WILL NOT UTILIZE RETAINING WALLS OR OTHER METHODS OF FILL IN THE REAR THAT WILL

SUBDIVISION GENERAL NOTES:

1. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY

2. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLANTING APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDING/MULCHED/FERTILIZED WILL BE ACCEPTANCE. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105.

3. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD.
4. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE & SMALL CONSTRUCTION SITES, SPECIFICALLY THE NDEP'S PERMIT WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONSITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.

5. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
6. ON INDIVIDUAL SUBDIVISION LOTS, ALL LAND CLEARING & TREE REMOVAL SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING OR A SEPARATE LAND DISTURBANCE PERMIT.

OR TREE REMOVAL PERMIT, PER ESCAMBUCA COUNTY LDC, THIS SHOULD REMAIN IN THEIR NATURAL STATE UNTIL FURTHER PERMITTING ALLOWS FOR DEVELOPMENT, SITE DISTURBANCE &/OR TREE REMOVAL.

7. NO HERITAGE TREES EXIST ON-SITE.

8. CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE, INCLUDING LAND CLEARING & REMOVAL OF PROTECTED TREES ONSITE WITHIN R/W OR POND PARCELS/AREAS WILL BE ALLOWED AT THE TIME OF CONSTRUCTION PLAN APPROVAL.

UTILITY NARRATIVE:
POTABLE WATER IS PROVIDED BY NEW 6" WATER MAINS LOCATED IN THE RIGHT-OF-WAYS AND SIZED FOR FIRE PROTECTION. THE WATER CONNECTION IS TO PEOPLE'S WATER SYSTEM LOCATED SOUTH SIDE OF GULF BEACH HWY (EXISTING 12" MAIN). SANITARY SEWER IS PROVIDED BY A NEW LOW-PRESSURE FORCE MAIN LOCATED IN THE RIGHT-OF-WAYS. THE FORCE MAIN CONNECTION IS TO AN EXISTING 24" FORCE MAIN.

LOCATED ON THE NORTH SIDE OF GULF BEACH HWY. ECUA IS TO ACCEPT SANITARY SEWER FORCE MAIN FOR OWNERSHIP, OPERATION & MAINTENANCE UPON COMPLETION OF CONSTRUCTION. GRINDER PUMPS & SERVICE LINES LOCATED ON EACH LOT SHALL BE HOMEOWNERS RESPONSIBILITY. THE NEW STORMWATER SYSTEM INCLUDES STORM PIPE & INLETS LOCATED IN THE RIGHT-OF-WAYS WHICH DRAIN TO THE NEW STORMWATER PONDS. IT IS PROPOSED THAT ESCAMBIA COUNTY ACCEPT THIS STORMWATER SYSTEM FOR OWNERSHIP, OPERATION & MAINTENANCE AFTER THE 2-YR WARRANTY PERIOD.

SITE NOTES:
1. SITE AREA: 24.16 AC
2. TOTAL LOTS: 40
3. PARCEL ID: 33-2S-31-2000-371-026

4. PROJECT ADDRESS: 9106 GULF BEACH HWY, PENSACOLA, FLORIDA 32507
5. ZONING: MDR & HC/LI
6. AIRPORT ZONING: APZ-1 & APZ-2
7. FLU: MU-S & C
8. BUILDING SETBACK LINES:

FRONT = 20'
REAR = 20'
SIDE = 5' MINIMUM OR 10% OF LOT WIDTH, WHICHEVER IS GREATER

PARCEL TABULATION:			
NAME	DESCRIPTION	OWNER	ACREAGE
A	WET STORMWATER POND	PUBLIC	0.54
B	COMMON AREA / WETLANDS	HOMEOWNER'S ASSOCIATION	0.63
C	WET STORMWATER POND	PUBLIC	1.89
D	COMMON AREA / WETLANDS	HOMEOWNER'S ASSOCIATION	12.92
E	DRAINAGE WAY	PUBLIC	0.34
F	COMMON AREA	HOMEOWNER'S ASSOCIATION	0.12
	ALVA STREET	PUBLIC	1.63

WETLAND BUFFER CALCULATIONS:

POND NORTH
LENGTH OF WETLAND BUFFER LINE = 1,029 FT
AREA ENCLOSED BY WETLAND & BUFFER LINES = 27,191 SF
AVERAGE WETLAND BUFFER WIDTH = $27,191 / 1,029 = 26.42$ FT
MINIMUM WETLAND BUFFER WIDTH = 15 FT

POND SOUTH
LENGTH OF WETLAND BUFFER LINE = 290 FT
AREA ENCLOSED BY WETLAND & BUFFER LINES = 7,719 SF
AVERAGE WETLAND BUFFER WIDTH = $7,719 / 290 = 26.62$ FT
MINIMUM WETLAND BUFFER WIDTH = 15 FT

ENVIRONMENTAL TABLE	
NOTES:	
1. WETLAND DELINEATIONS BY BIOMÉ CONSULTING GROUP, NOVEMBER 4, 2019.	
2. WETLAND DELINEATIONS SURVEYED BY 360 SURVIVING SERVICES AS SHOWN ON THE SURVEY DATED JUNE 9, 2021	
3. JURISDICTIONS INCLUDE FED, ESCABIA COUNTY, & NFWMD	
NFWMD PERMIT # HD-033-301033-1	
TOTAL WETLAND AREA = 11.53 ACRES	TOTAL TEMPORARY WETLAND IMPACT = 0.124 ACRES
TOTAL JURISDICTIONAL IMPACT = 0.00 ACRES	TOTAL BUFFER IMPACT = 0.00 ACRES
TOTAL JURISDICTIONAL WETLAND IMPACT = 0.00 ACRES	REMAINING BUFFER AREA = 0.80 ACRES
SPECIAL ENVIRONMENTAL NOTE:	
NO DRAINING OR GRADING OF ANY LAND WITH ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS SHALL BE PERMITTED AND LAND AND LAND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL VEGETATED STATE UNLESS OTHERWISE PERMITTED BY ALL JURISDICTIONS AGENCIES IN THE FUTURE. IN ADDITION, NO STRUCTURES OR ACCESSORY STRUCTURES ARE ALLOWED TO BE CONSTRUCTED OR PLACED ON ANY OF THE ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS.	

20' DRAINAGE / ACCESS
EASEMENT (PUBLIC)

10' 10' 5' PRIVATE DRAINAGE EASEMENT TO THE HOMEOWNER ASSOCIATION ON ALL SIDE AND REAR LOT LINES

Diagram illustrating the minimum depth of a storm drain pipe below the finished ground surface, labeled as 6' MIN.

TYPICAL 20' DRAINAGE / ACCESS EASEMENT (PUBLIC)

N.T.S.

20' SIGHT TRIANGLE
(SEE SIGHT
TRIANGLE NOTE)

SIGHT TRIANGLE NOTE:
NO SIGNAGE, LANDSCAPING, OR FENCING SHALL BE INSTALLED WITHIN THE 35' SIGHT TRIANGLE THAT MAY RESTRICT THE VISUAL FIELD OF TRAVEL.

Diagram illustrating a typical sight triangle detail. The diagram shows a road with a sight triangle defined by a 35' clearance set forth by the current version of the Land Development Code. The diagram is labeled "TYPICAL SIGHT TRIANGLE DETAIL" and "N.T.S." (Not To Scale).

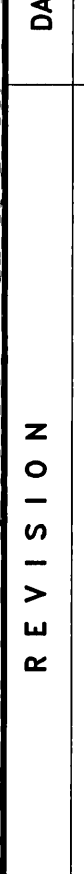

[illegible]

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.O.D.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARDS. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.


ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

BENCHMARKS:
T.B.M. #1 - NAIL IN E. SIDE OF POLE, ELEVATION = 18.93
T.B.M. #2 - NAIL IN N. FACE OF POLE, ELEVATION = 22.09

SITWORK CONSTRUCTION PLANS FOR						GECI & ASSOCIATES, INC. ENGINEERING 2950 N. 12th Ave. PENSACOLA, FL 32503 Phone (850) 432-2929 - Fax (850) 432 2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail - geci@geciengineering.com		NO. REVISION		DATE		APPR.	
DAVIS RUN OVERALL PLAN		POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS		NOT RELEASED FOR CONSTRUCTION		SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 01/18/22		1		01/18/22		CAG	
								2				CAG	
								3					
								4					
								5					
PROJECT NO. 28806		SHEET NO. C100											

GECI & ASSOCIATES, INC.
E N G I N E E R S
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432 2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - geci@gecitingeering.com



A circular professional seal for Clinton C. Cici, a Professional Engineer in the State of Florida. The seal features the text "CLINTON C. CICI" around the top inner edge, "LICENSED" on the left, "No. 73924" in the center, "STATE OF FLORIDA" on the right, and "PROFESSIONAL ENGINEER" around the bottom inner edge. The words "MECHANICAL ENGINEERING" are written vertically along the right outer edge. The seal is stamped over a document with a date of 12/2/2011 and a time of 11:39:24.

DRAINAGE PLANS

DAVIS RUN

PROJECT NO.	SHE
28806	

- NOTES:
- CONTRACTOR SHALL REFER TO BOUNDARY & TOPO SURVEY PROVIDED BY 360 SURVEYING, DATED JUNE 07, 2021 FOR ALL EXISTING CONDITIONS.
 - LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
 - ALL AREAS REQUIRED FOR CONSTRUCTION OF ROADS, PONDS, LAY DOWN AREAS, STOCKPILE AREAS, UTILITIES, AND INFRASTRUCTURE REQUIRED TO CONSTRUCT THE DEVELOPMENT TO BE CLEARED & GRUBBED.
 - ALL EXISTING IMPROVEMENTS LOCATED INSIDE INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVEMENT, FENCES AND UTILITIES TO BE DEMOLISHED & HAULED OFF SITE.
 - ALL EXISTING STRUCTURES WILL REQUIRE SEPARATE DEMO PERMITS FROM BUILDING INSPECTIONS AT TIME OF DEMOLITION.
 - NO HERITAGE TREES EXIST ON PROJECT SITE.
 - THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - CONSTRUCTION ENTRANCE TO BE MAINTAINED DURING ALL EARTH DISTURBING ACTIVITIES.

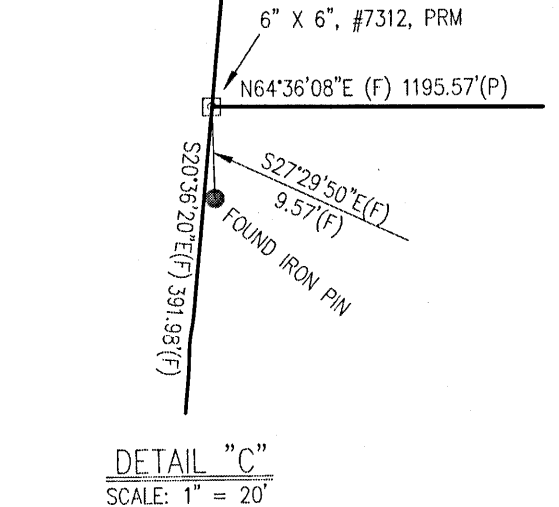
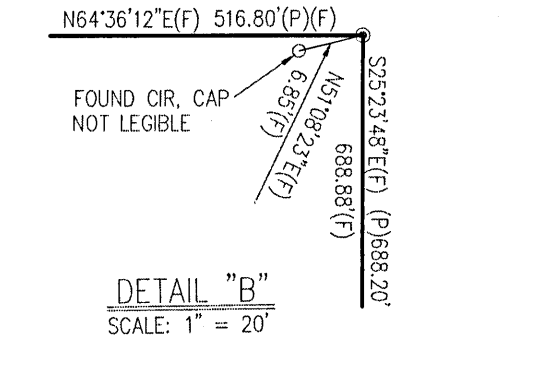
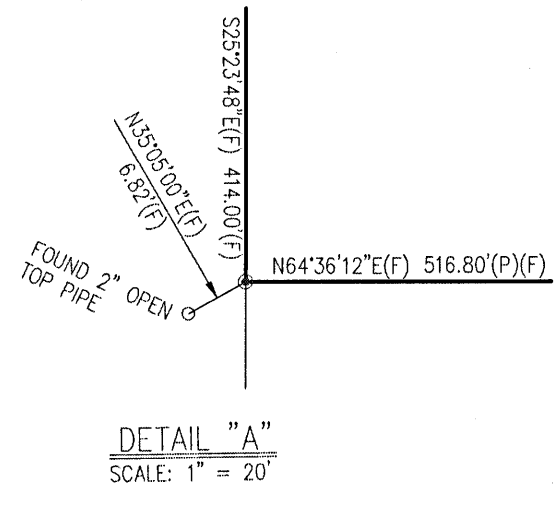
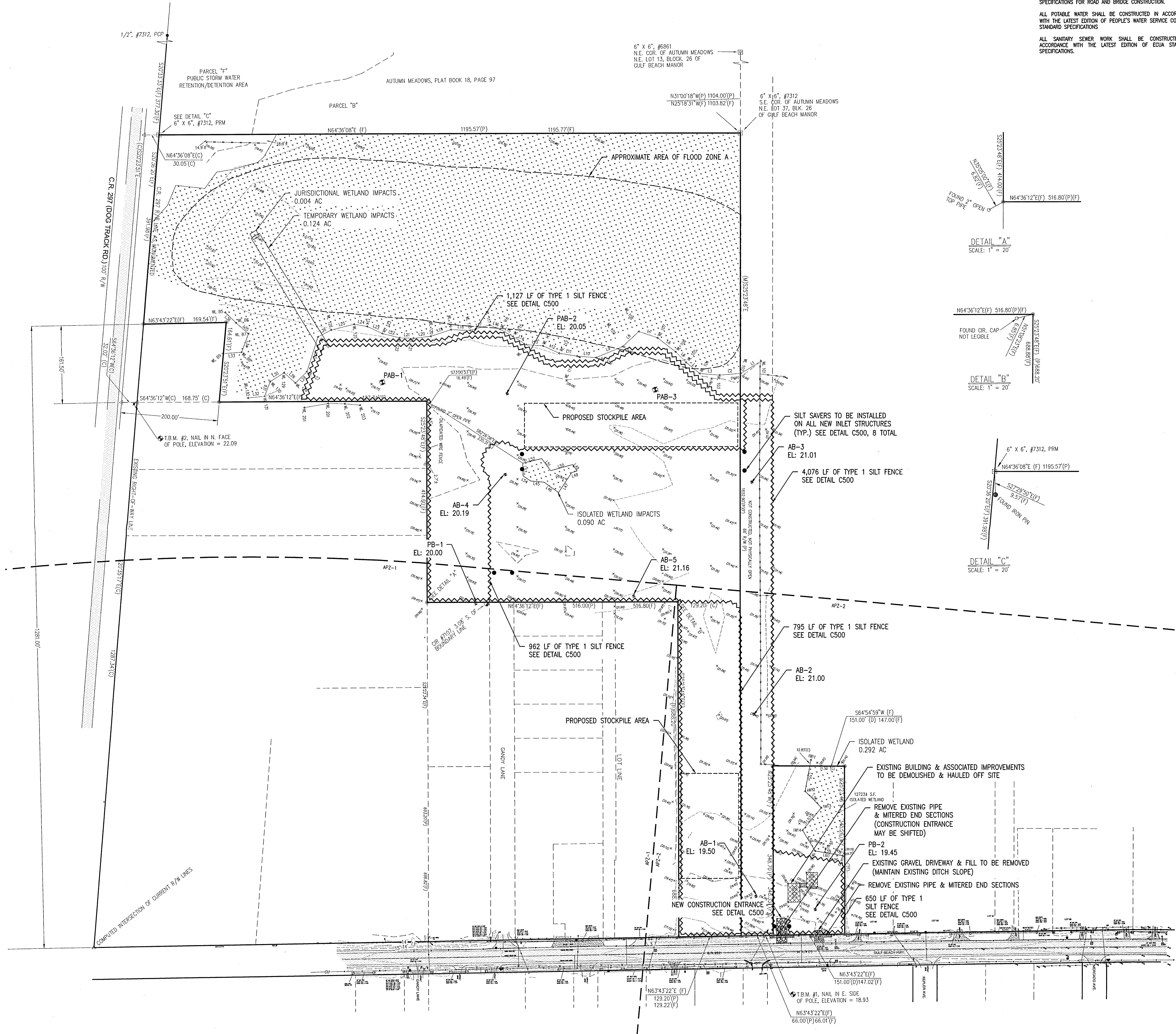
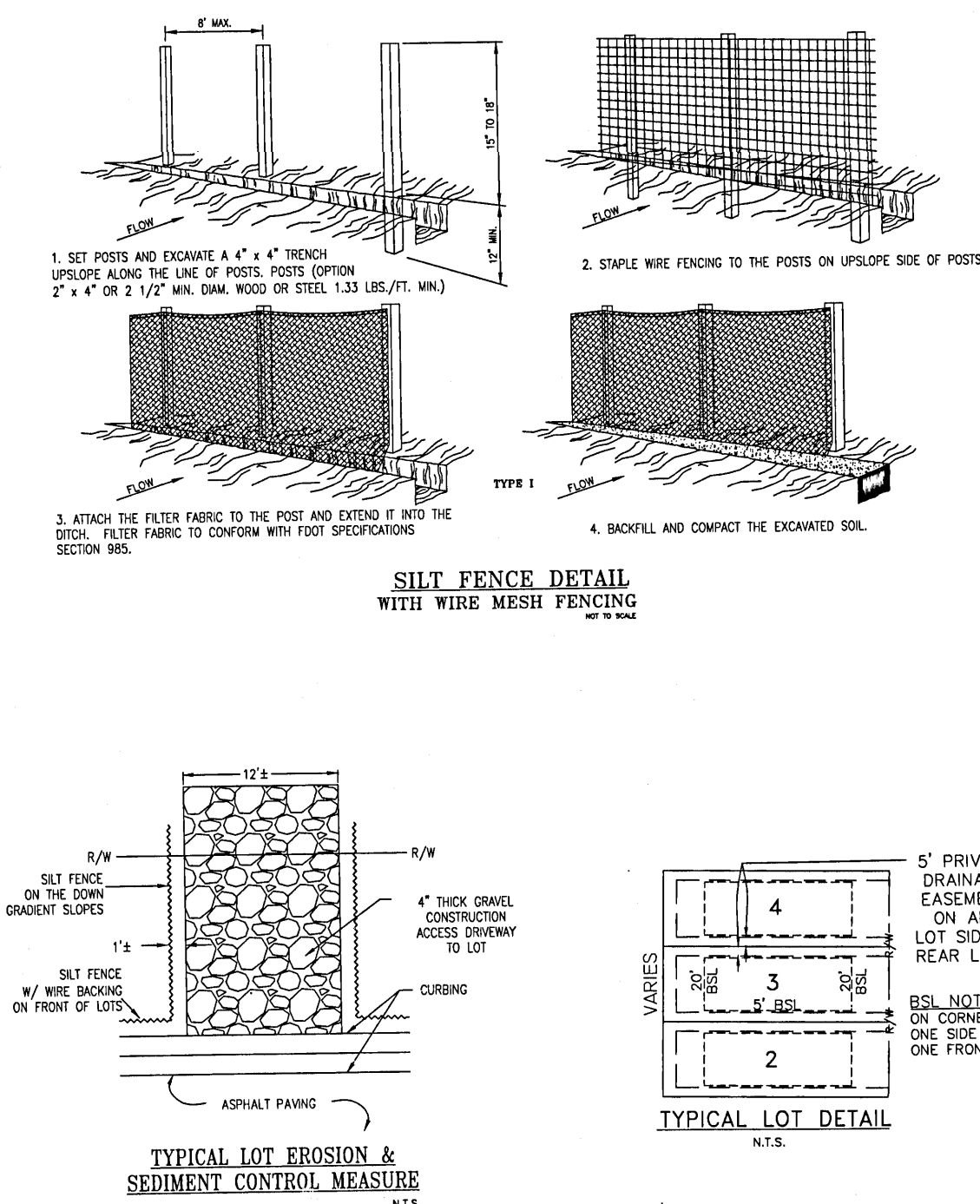
ALL PROPOSED STORMWATER STRUCTURES TO BE INSTALLED WITH SILT SAVERS (SEE DETAIL C500)

WETLAND BUFFER CALCULATIONS:

POND NORTH
LENGTH OF WETLAND BUFFER LINE = 1,029 FT
AREA ENCLOSED BY WETLAND & BUFFER LINES = 27,191 SF
AVERAGE WETLAND BUFFER WIDTH = $27,191 / 1,029 = 26.42$ FT
MINIMUM WETLAND BUFFER WIDTH = 15 FT

POND SOUTH
LENGTH OF WETLAND BUFFER LINE = 290 FT
AREA ENCLOSED BY WETLAND & BUFFER LINES = 7,719 SF
AVERAGE WETLAND BUFFER WIDTH = $7,719 / 290 = 26.62$ FT
MINIMUM WETLAND BUFFER WIDTH = 15 FT

ENVIRONMENTAL TABLE	
NOTES: 1. WETLANDS DELINEATIONS BY BOME CONSULTING GROUP, NOVEMBER 4, 2019. 2. WETLAND DELINEATIONS SURVEYED BY 360 SURVEYING SERVICES AS SHOWN ON THE SURVEY DATED JUNE 9, 2021. 3. JURISDICTIONS INCLUDE FDEP, ESCAMBA COUNTY, & NWFWMD.	
NWFWMD PERMIT # IND-033-301033-1 TOTAL WETLAND AREA = 11.53 ACRES TOTAL ISOLATED IMPACT = 0.09 ACRES TOTAL JURISDICTIONAL WETLAND IMPACT = 0.004 ACRES	TOTAL TEMPORARY WETLAND IMPACT = 0.124 ACRES TOTAL BUFFER IMPACT = 0.00 ACRES REMAINING BUFFER AREA = 0.00 ACRES
SPECIAL ENVIRONMENTAL NOTE: NO CLEARING OR DISTURBANCE OF ANY LAND WITHIN ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS SHALL BE PERMITTED. WETLAND AND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL VEGETATED STATE UNLESS OTHERWISE PERMITTED BY ALL JURISDICTIONAL AGENCIES IN THE FUTURE. IN ADDITION, NO STRUCTURES OR ACCESSORY STRUCTURES ARE ALLOWED WITHIN WETLANDS, BUFFERS, OR ANY OTHER ENVIRONMENTALLY SENSITIVE LAND.	



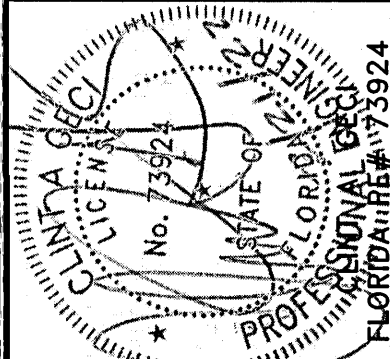
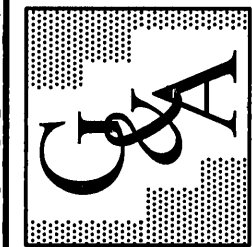
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EQUA STANDARD SPECIFICATIONS.

GECL & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gecl@geclinc.com

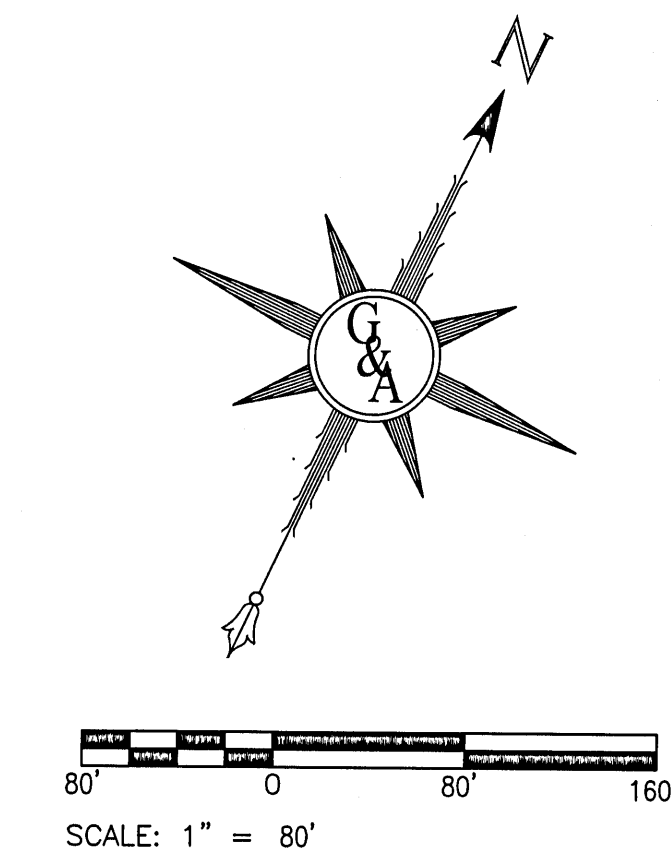


STEWART CONSTRUCTION PLANS FOR
DAVIS RUN
EXISTING CONDITIONS, EROSION CONTROL, & DEMOLITION PLAN
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C110

REVISION		DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

NOT RELEASED FOR CONSTRUCTION



SITE FILL NOTES:

1. THE CONTRACTOR SHALL CLEAR ALL TRASH, VEGETATION AND ORGANIC OR UNSUITABLE MATERIALS IN THE FILL AREAS.
2. THE CONTRACTOR SHALL GRUB, GRADE AND SCARIFY, TO A DEPTH OF AT LEAST 4", THE FILL AREA BEFORE PLACING FILL IN ORDER TO ENSURE PROPER BOND AND PREVENT SLIPPING BETWEEN THE TWO LAYERS.
3. THE CONTRACTOR SHALL PLACE THE FILL IN 6" LAYERS COMPACTED CONTINUOUSLY UNTIL THE REQUIRED MAXIMUM DENSITY IS ACHIEVED.
4. FILL MATERIAL SHALL BE CLEAN OF ALL VEGETATION AND FREE ROOTS AND ROCKS.
5. THE CONTRACTOR SHALL GRASS AND MULCH ALL AREAS CLEARED, FILLED OR DISTURBED UNLESS AT A SLOPE OF 3:1 OR GREATER AND THESE SHALL BE SODDED AND PINNED.
6. NO HERITAGE TREES EXIST ON PROJECT SITE.

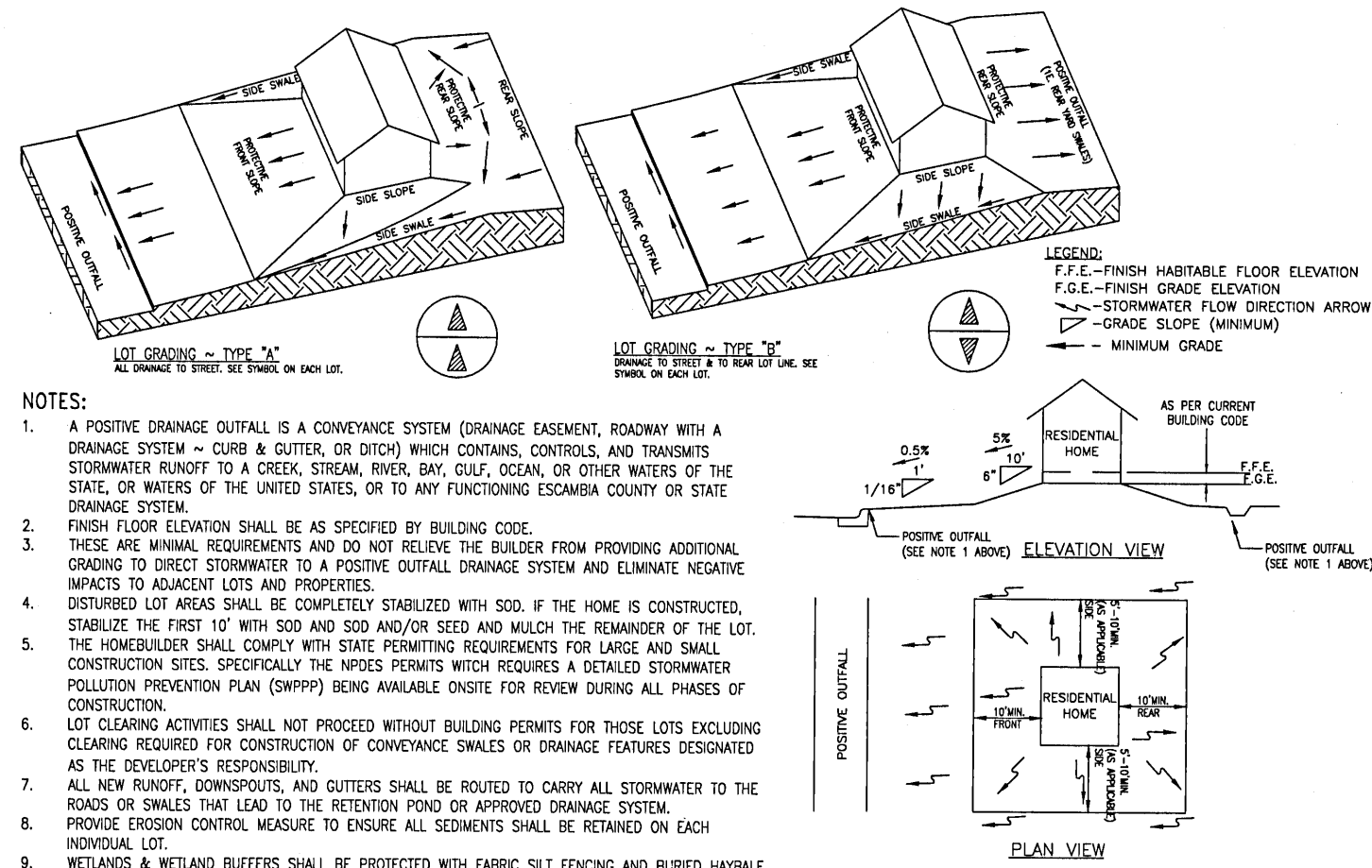
GENERAL NOTES:

1. DRAINAGE EASEMENTS TO REMAIN UNOBTSTRUCTED BY FENCES.
2. CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR. SIDE YARD SWALES SHALL BE BUILT BY THE HOMEOWNER.
3. HOME EQUIPMENT (e.g. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND / OR FUNCTION OF THE SIDE YARD SWALES.
4. THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE A (AREAS SUBJECT TO INUNDATION BY THE 1-PERCENT ANNUAL-CHANCE FLOOD EVENT, BECAUSE DETAILED HYDRAULIC ANALYSES HAVE NOT BEEN PERFORMED, NO BASE FLOOD ELEVATIONS (BFEs) OR FLOOD DEPTHS ARE SHOWN), AND FLOOD ZONE X, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBA COUNTY, FLORIDA, COMMUNITY 120000, FIRM MAP PANEL NUMBERS 12033020705 AND 05266, MAP REVISION DATED SEPTEMBER 29, 2006.
5. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.

LOT	MIN.
1	23.80
2	23.80
3	23.80
4	23.80
5	23.80
6	23.80
7	23.80
8	23.80
9	23.80
10	23.80
11	23.80
12	23.80
13	23.80
14	23.80
15	23.80
16	23.80
17	23.80
18	23.80
19	23.80
20	23.80
21	23.80
22	23.80
23	23.80
24	23.80
25	23.80
26	23.80
27	23.80
28	23.80
29	23.80
30	23.80
31	23.80
32	23.80
33	23.80
34	23.80
35	23.93
36	23.80
37	23.80
38	23.80
39	23.80
40	23.80

MINIMUM FINISHED FLOOR ELEVATIONS

THE HOME BUILDER IS RESPONSIBLE FOR SETTING ACTUAL FINISHED FLOOR ELEVATIONS ACCORDING COUNTY STANDARDS. THE MINIMUM FFE'S LISTED ABOVE ARE SET TO BE ABOVE FLOOD LEVELS. OTHER FACTORS SUCH AS LOT GRADING, DRIVEWAYS, RETAINING WALLS, & ETC ARE NOT CONSIDERED. THESE REQUIREMENTS ARE THE RESPONSIBILITY OF THE HOMEOWNER.



NOTES:

1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM) - CURB & GUTTER, OR DITCH WHICH CONTAINS CONTROLS AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBA COUNTY OR STATE DRAINAGE SYSTEM.
2. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
3. THESE ARE MINIMUM REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
4. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
5. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY THE APPLICABLE PERMITS REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
6. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE HOMEOWNER'S RESPONSIBILITY.
7. ALL NEW RUNOFF, COMPOUNDS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROAD OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
8. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SLOPES SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
9. WETLANDS & WETLAND BUFFERS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS AS NECESSARY).

MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN

IMPERVIOUS AREAS:

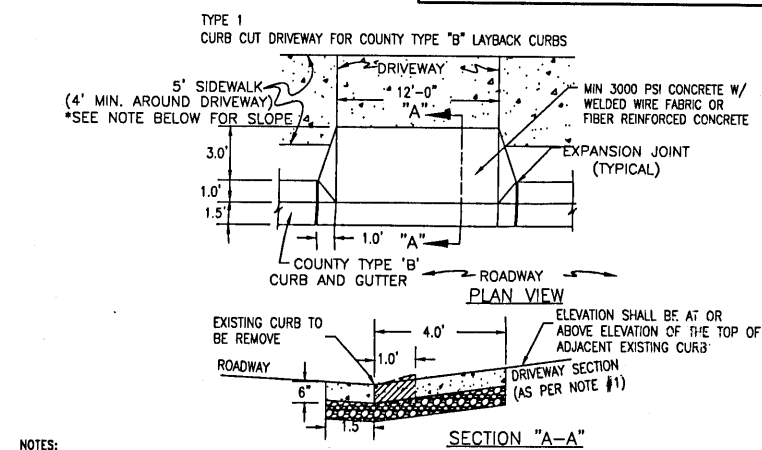
1. (AVERAGE) MAXIMUM ALLOWABLE LOT COVERAGE = 2,950 SF (BUILDINGS, DRIVEWAYS, & ASSOCIATED STRUCTURES)
2. TOTAL IMPERVIOUS ON ALL LOTS = 118,320 SF
3. TOTAL NEW IMPERVIOUS INFRASTRUCTURE, POST DEVELOPMENT = 63,950 SF (ROADWAY, SIDEWALK, & CURB)
4. MAXIMUM TOTAL IMPERVIOUS SURFACE OF LOTS & INFRASTRUCTURE = 182,270 SF

ENVIRONMENTAL TABLE

1. WETLANDS DELINEATIONS BY BIOME CONSULTING GROUP, NOVEMBER 4, 2019.
2. WETLAND DELINEATIONS SURVEYED BY 360 SURVEYING SERVICES AS SHOWN ON THE SURVEY DATED JUNE 9, 2021.
3. JURISDICTIONS INCLUDE FDEP, ESCAMBA COUNTY, NFWMD, & ACOS.

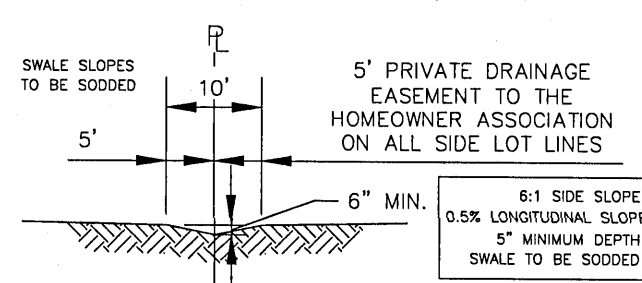
TOTAL WETLAND AREA = 11.53 ACRES
TOTAL TEMPORARY WETLAND IMPACT = 0.124 ACRES
TOTAL ISOLATED IMPACT = 0.001 ACRES
TOTAL BUFFER IMPACT = 0.001 ACRES
TOTAL JURISDICTIONAL WETLAND IMPACT = 0.004 ACRES
REMAINING BUFFER AREA = 0.80 ACRES

SPECIAL ENVIRONMENTAL NOTE:
NO CLEARING OR DISTURBANCE OF ANY LAND WITHIN ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS SHALL BE PERMITTED. WETLANDS AND WETLAND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE UNLESS OTHERWISE PERMITTED BY ALL JURISDICTIONAL AGENCIES IN THE FUTURE. IN ADDITION, NO STRUCTURES OR ACCESSORY STRUCTURES ARE ALLOWED WITHIN WETLANDS, BUFFERS, OR ANY OTHER ENVIRONMENTALLY SENSITIVE LAND.



1. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
2. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
3. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
4. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
5. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
6. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
7. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
8. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
9. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
10. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
11. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
12. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
13. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
14. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
15. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
16. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
17. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
18. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
19. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
20. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
21. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
22. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
23. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
24. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
25. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
26. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
27. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
28. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
29. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
30. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
31. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
32. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
33. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
34. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
35. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
36. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
37. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
38. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
39. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.
40. DRIVEWAY SECTION ABUTTING CURB OR CURB CUT SHALL BE 4" CONCRETE WITH 4" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE.

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR NEW SUBDIVISION (CURB & GUTTER) ROADWAY CONDITIONS



LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

LOT LINE DRAINAGE NOTE:

IN ADDITION TO THE EASEMENTS PROVIDED ON THE PLAN, THERE IS A 5 FOOT WIDE PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES TO THE HOMEOWNER ASSOCIATION.

ROADWAY SPOT ELEVATIONS SHOWN ON THIS SHEET ARE TOP OF CURB.

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. F.W. SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

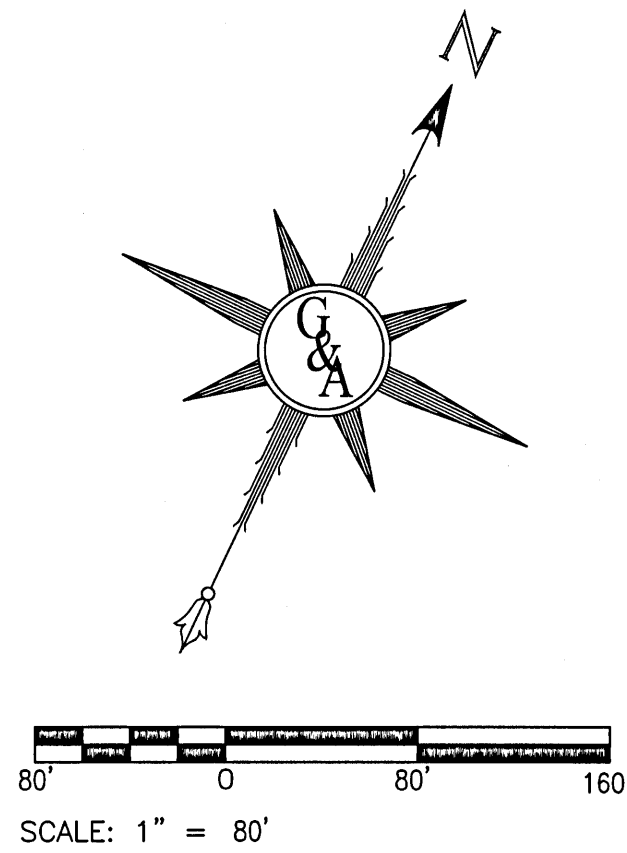
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPROVED
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.		E N G I N E E R S	
2950 N. 12th Ave. Pensacola, FL 32503		Phone (850) 432-2929 Fax (850) 432-2925	
CERTIFICATE OF AUTHORIZATION NUMBER 00005149		E-Mail: gec@geciengineering.com	
SCALE AS SHOWN	DESIGNED: CAG	DRAWN: KRD	CHECKED: SAG
NOT RELEASED FOR CONSTRUCTION		DATE: 01/18/22	

STEWART CONSTRUCTION PLANS FOR		DAVIS RUN	
		LOT GRADING PLAN	
PROJECT NO. 28806		SHEET NO. C130	



NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.

Structure Table	
Structure Name	Structure Details
DISCHARGE STRUCTURE 00	TOP EL. = 20.10 NW INV OUT = 16.60
DISCHARGE STRUCTURE 02	TOP EL. = 19.26 SE INV OUT = 16.51
ST BUBBLE UP 01	TOP EL. = 17.60 SE INV IN = 14.60
ST BUBBLE UP 018	TOP EL. = 17.60 SE INV IN = 12.80
ST INLET 000	TOP EL. = 20.82 SW INV OUT = 17.65
ST INLET 010	TOP EL. = 20.78 NE INV IN = 17.36 NW INV OUT = 17.26
ST INLET 012	TOP EL. = 20.04 SE INV IN = 16.38 NW INV OUT = 15.38
ST INLET 110	TOP EL. = 20.98 SE INV IN = 16.30 NW INV OUT = 15.80
ST INLET 120	TOP EL. = 21.10 SW INV IN = 16.48 NW INV OUT = 16.38
ST INLET 140	TOP EL. = 20.95 SW INV IN = 17.38 NE INV IN = 17.38 NW INV OUT = 16.88
ST INLET 150	TOP EL. = 20.95 NE INV OUT = 17.45
ST INLET 160	TOP EL. = 21.62 SW INV OUT = 18.12
ST INLET 220	TOP EL. = 21.91 SE INV IN = 18.30 NW INV OUT = 18.20
ST INLET 230	TOP EL. = 21.91 NW INV OUT = 18.37
ST INLET 310	TOP EL. = 19.57 SW INV IN = 15.84
ST INLET 320	TOP EL. = 19.57 NE INV OUT = 15.90
ST MES 100	TOP EL. = 20.04 SE INV IN = 15.57
ST MES 200	TOP EL. = 20.25 E INV IN = 17.57
ST MES 300	TOP EL. = 20.08 SW INV IN = 14.10
ST MES 400	TOP EL. = 18.25 NW INV IN = 16.45
ST MES 500	TOP EL. = 18.35 SW INV OUT = 15.70
ST MES 600	TOP EL. = 18.25 NE INV IN = 15.60
ST MH 014	TOP EL. = 20.07 SE INV IN = 15.38 SW INV OUT = 15.38
ST MH 016	TOP EL. = 20.00 NE INV IN = 15.38 N INV OUT = 14.88
ST MH 017	TOP EL. = 21.00 S INV IN = 14.88 NW INV OUT = 14.78
ST MH 130	TOP EL. = 21.28 SE INV IN = 16.62 NE INV OUT = 16.52
ST MH 210	TOP EL. = 20.38 SE INV IN = 17.88 W INV OUT = 17.78
ST MH 302	TOP EL. = 20.36 SE INV IN = 15.40 NE INV OUT = 14.30

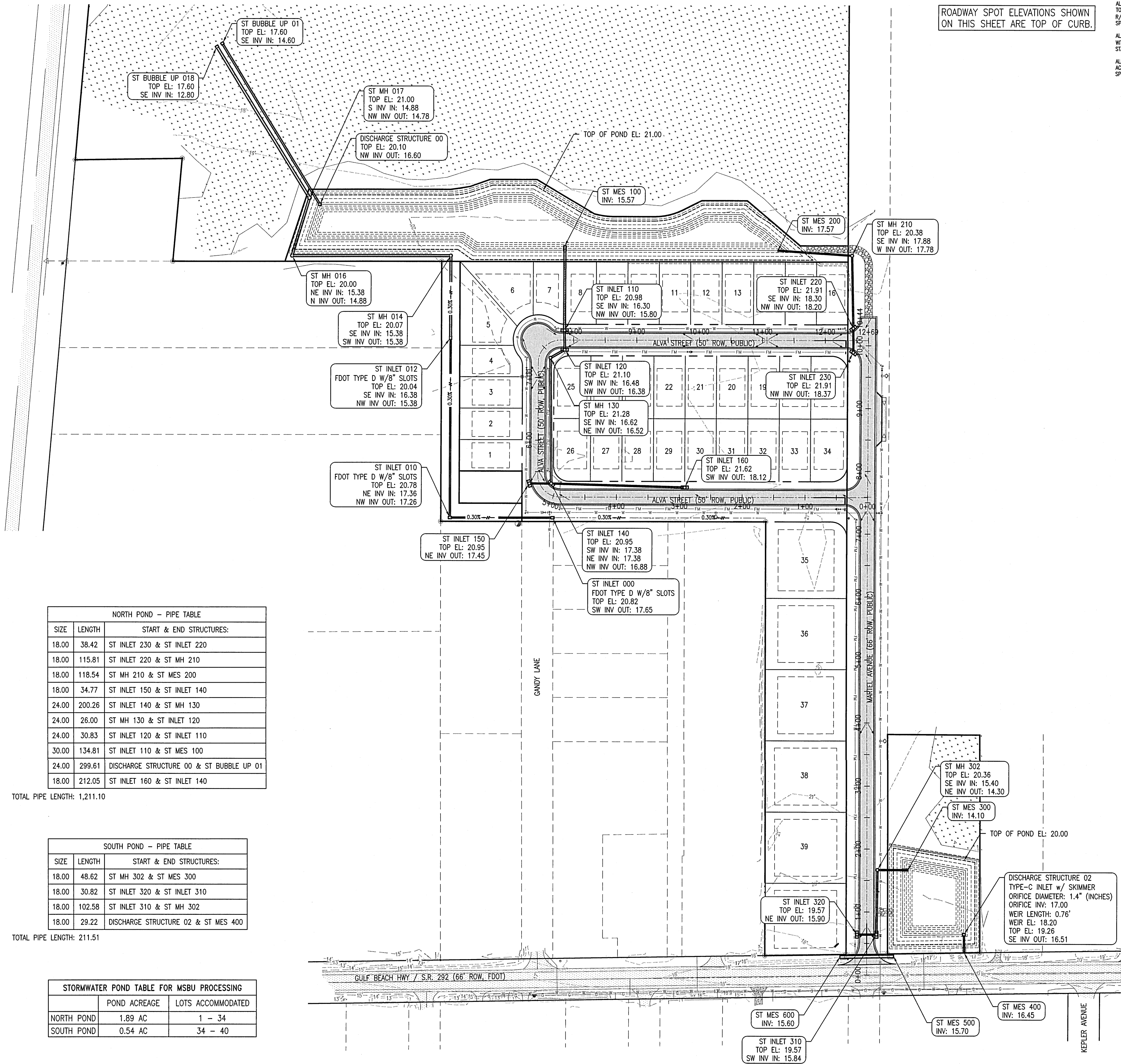
NORTH POND - PIPE TABLE		
SIZE	LENGTH	START & END STRUCTURES:
18.00	38.42	ST INLET 230 & ST INLET 220
18.00	115.81	ST INLET 220 & ST MH 210
18.00	118.54	ST MH 210 & ST MES 200
18.00	34.77	ST INLET 150 & ST INLET 140
24.00	200.26	ST INLET 140 & ST MH 130
24.00	26.00	ST MH 130 & ST INLET 120
24.00	30.83	ST INLET 120 & ST INLET 110
30.00	134.81	ST INLET 110 & ST MES 100
24.00	299.61	DISCHARGE STRUCTURE 00 & ST BUBBLE UP 01
18.00	212.05	ST INLET 160 & ST INLET 140

TOTAL PIPE LENGTH: 1,211.10

SOUTH POND - PIPE TABLE		
SIZE	LENGTH	START & END STRUCTURES:
18.00	48.62	ST MH 302 & ST MES 300
18.00	30.82	ST INLET 320 & ST INLET 310
18.00	102.58	ST INLET 310 & ST MH 302
18.00	29.22	DISCHARGE STRUCTURE 02 & ST MES 400

TOTAL PIPE LENGTH: 211.51

STORMWATER POND TABLE FOR MSBU PROCESSING		
	POND ACREAGE	LOTS ACCOMMODATED
NORTH POND	1.89 AC	1 - 34
SOUTH POND	0.54 AC	34 - 40



ROADWAY SPOT ELEVATIONS SHOWN
ON THIS SHEET ARE TOP OF CURB.

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM
TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD
SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

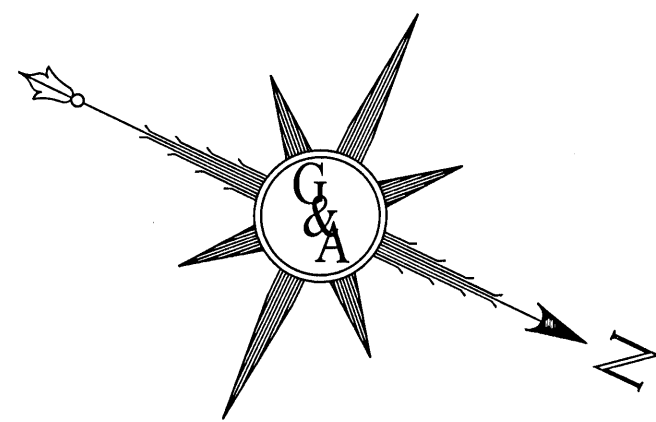
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE
WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY
STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN
ACCORDANCE WITH THE LATEST EDITION OF EGWA STANDARD
SPECIFICATIONS.

REVISION		DATE		APPR.	
1	BID SET	01/18/22	CAG		
2	PERMITTING REVISIONS	01/31/22	CAG		
3					
4					
5					

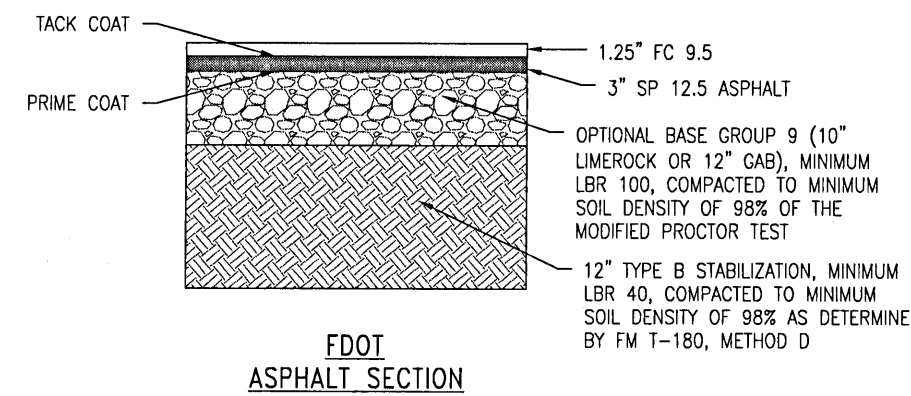
GECI & ASSOCIATES, INC.		E N G I N E E R S	
2950 N. 12th Ave. PENSACOLA, FL 32503		Phone (850) 452-2929 - Fax (850) 432-2875	
CERTIFICATE OF AUTHORIZATION NUMBER 00005149		E-Mail: geci@geciengineering.com	
SCALE: AS SHOWN	DESIGNED: CAG	DRAWN: KRJ	CHECKED: SAG
NOT RELEASED FOR CONSTRUCTION		DATE: 01/18/22	

SITEWORK CONSTRUCTION PLANS FOR		DAVIS RUN	
		STORMWATER STRUCTURE PLAN	
		POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS	
PROJECT NO.	28806	SHEET NO.	C135

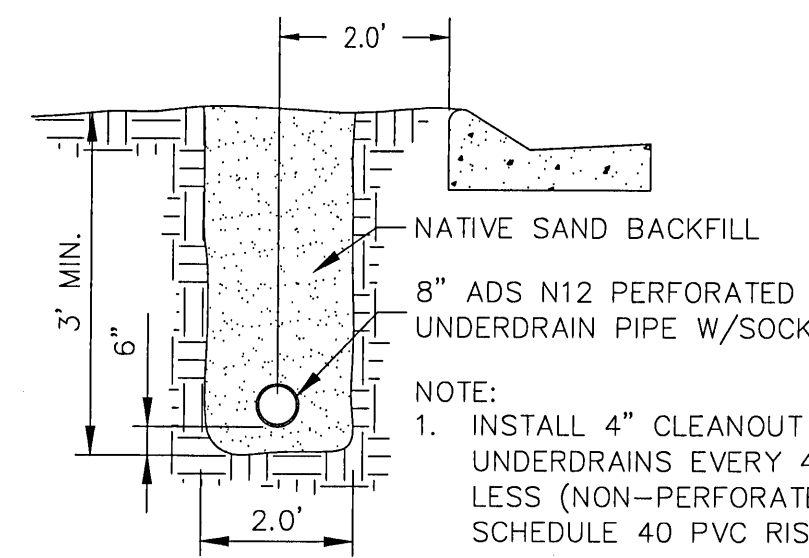


SCALE: 1" = 40'

NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.



NOTE: THIS ASPHALT SECTION IS TO BE USED WITHIN ALL FDOT
RIGHTS-OF-WAY

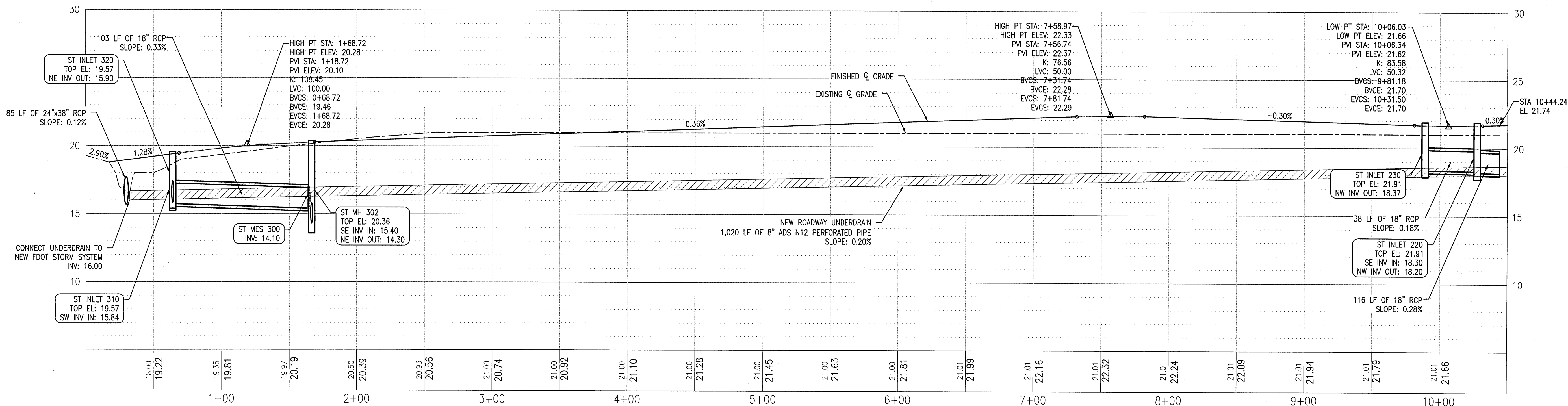
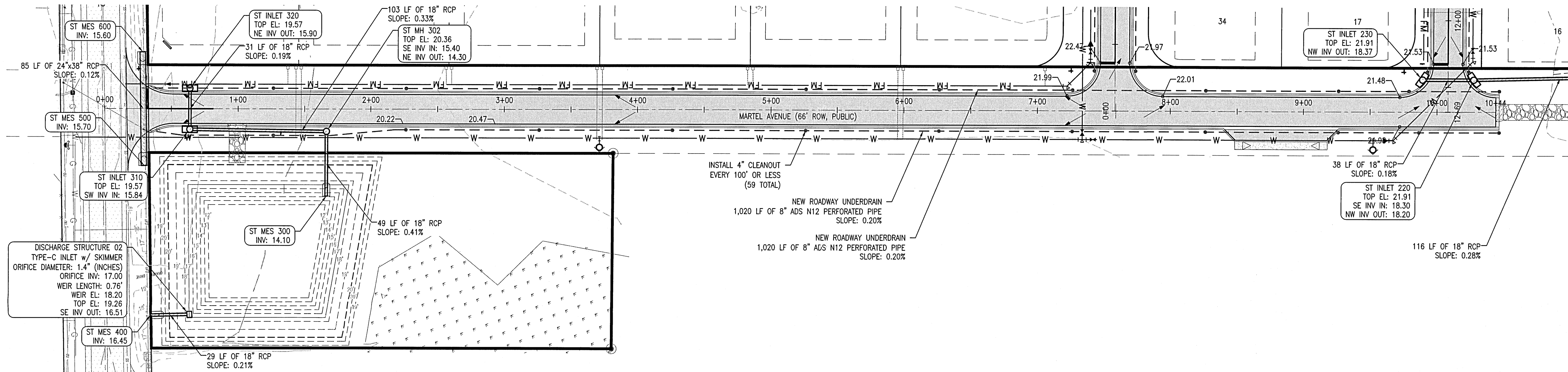


ROADWAY UNDERDRAIN
DETAIL
N.T.S.

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM
TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD
SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE
WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY
STANDARD SPECIFICATIONS

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN
ACCORDANCE WITH THE LATEST EDITION OF EQUA STANDARD
SPECIFICATIONS.



MARTEL AVENUE
STA 0+00 - STA 10+50
VERT. EXAG. = 10

REVISION		DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

NO.	DESIGNED	DRAWN	CHECKED	DATE
1	CAG	KRD	SAG	01/18/22

NOT RELEASED FOR CONSTRUCTION

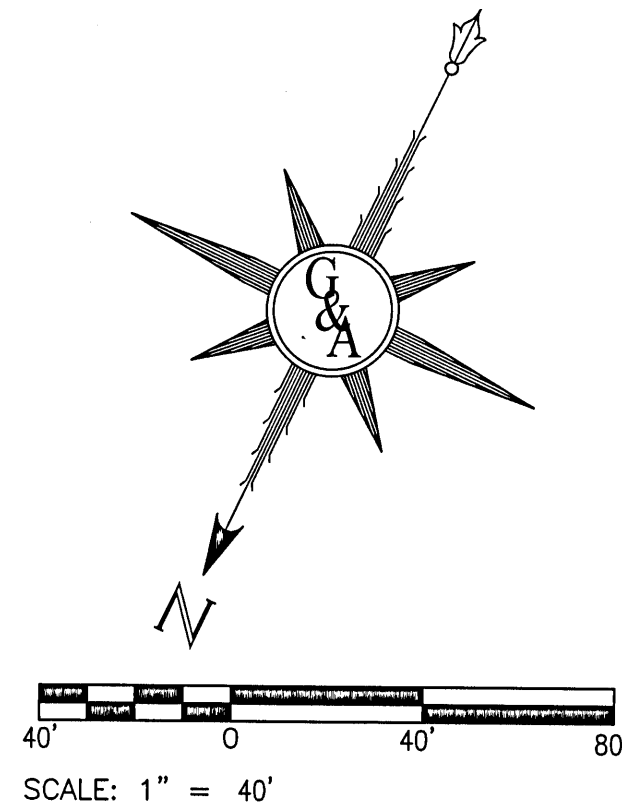
SCALE: AS SHOWN

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
Email: gecigec@geciengineering.com

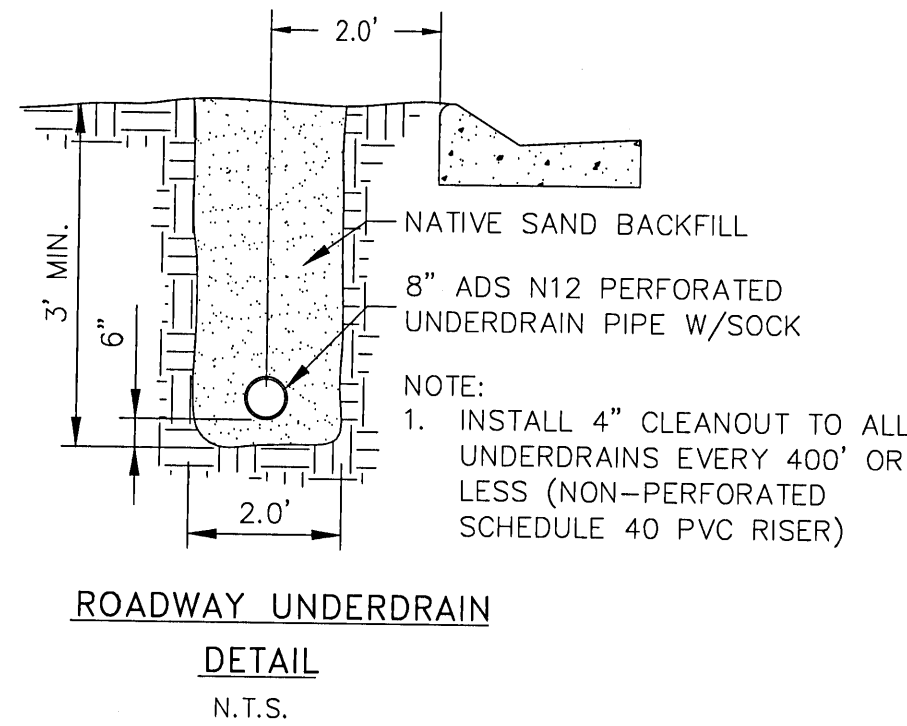
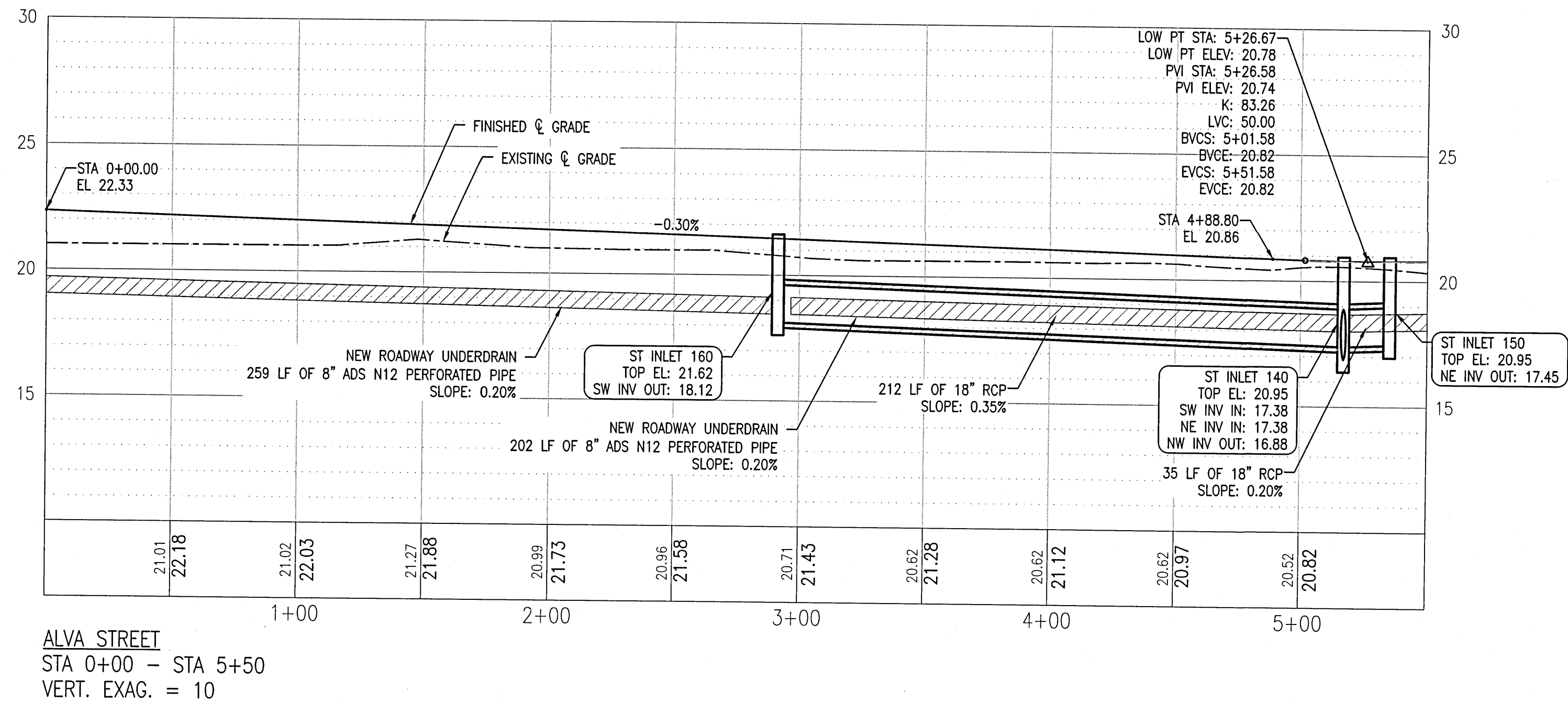
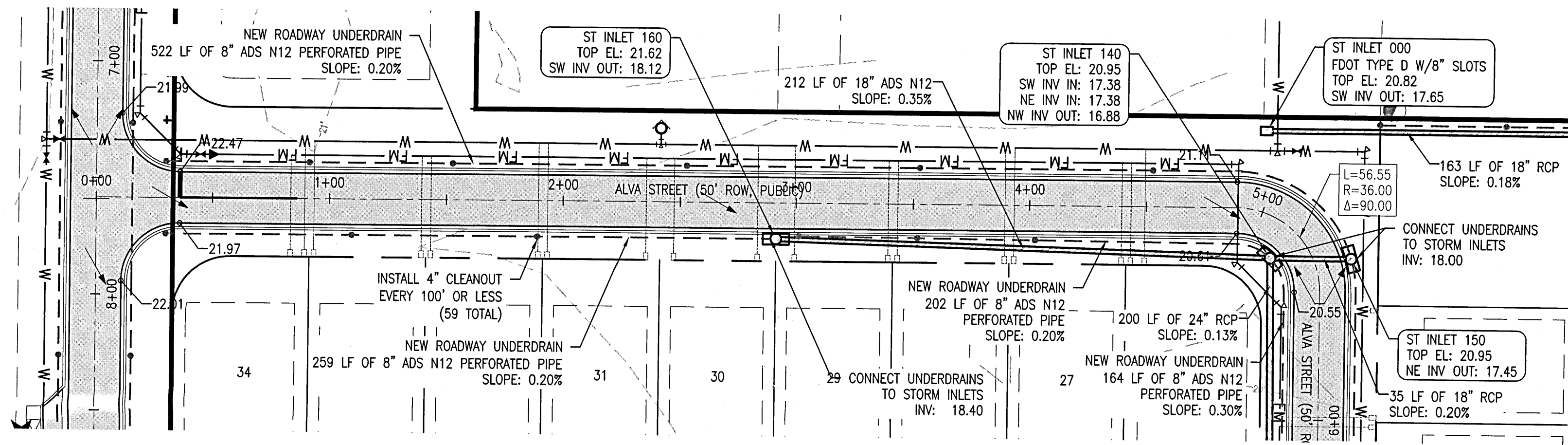
DAVIS RUN
MARTEL AVENUE PLAN & PROFILE
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

SITework CONSTRUCTION PLANS FOR

PROJECT NO. SHEET NO.
28806 C200



NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.

REVISION		DATE		APPR.	
NO.	DESCRIPTION	DATE	APPR.	NO.	DESCRIPTION
1	BID SET	01/18/22	CAG	1	BID SET
2	PERMITTING REVISIONS	01/31/22	CAG	2	PERMITTING REVISIONS
3				3	
4				4	
5				5	

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com
CERTIFICATE OF AUTHORIZATION NUMBER 00005149

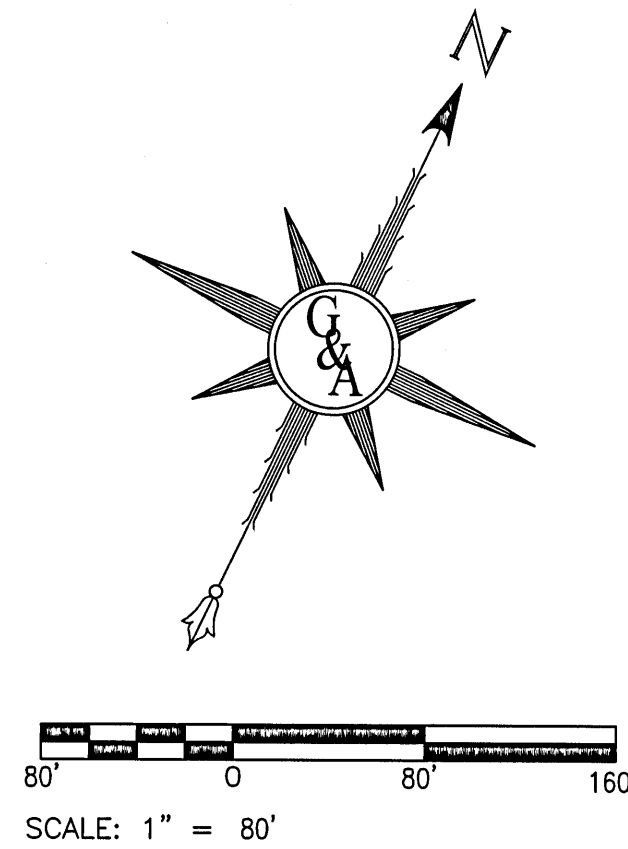
SCALE: AS SHOWN
DESIGNED: CAG
DRAWN: KRD
CHECKED: SAG
DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION

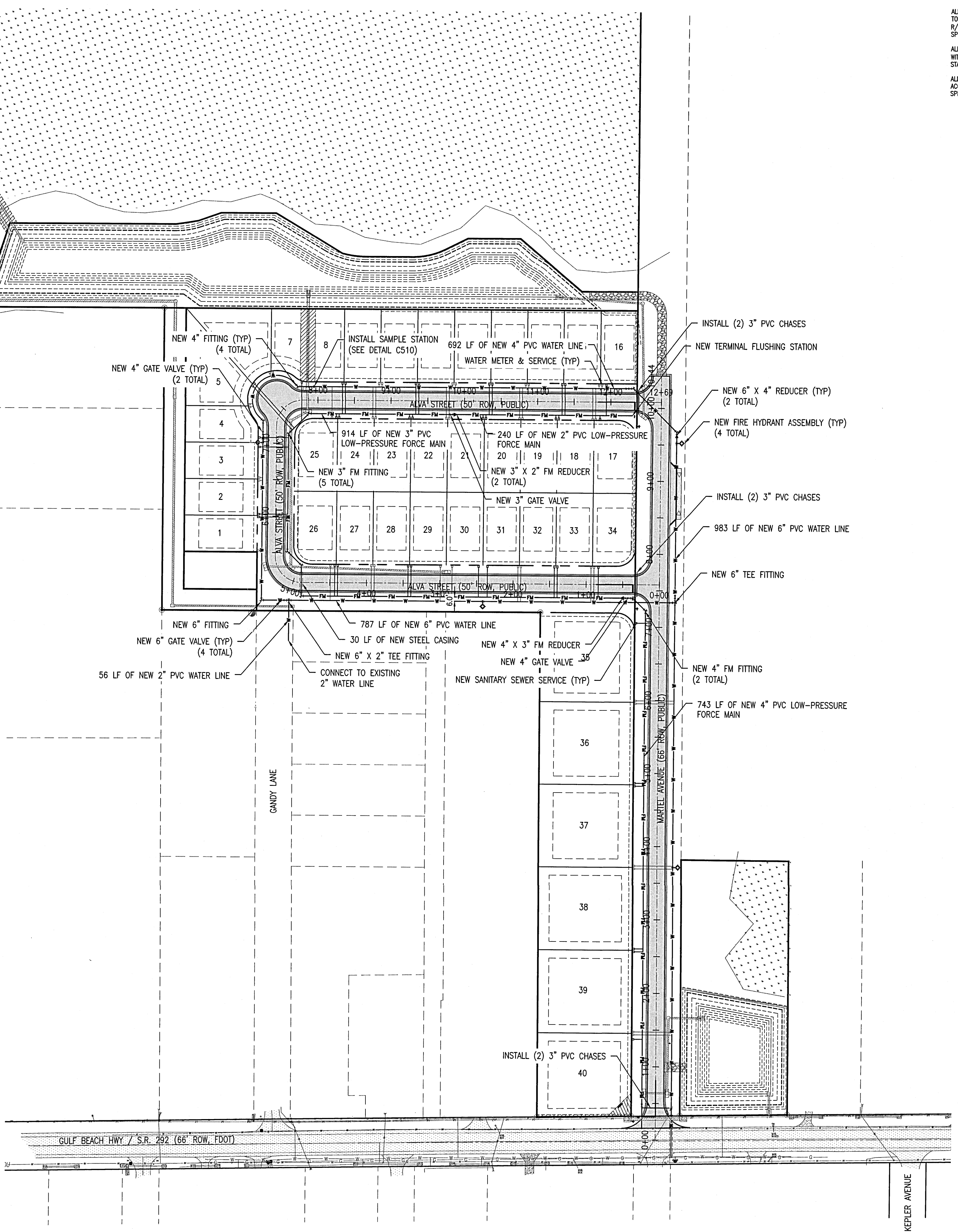
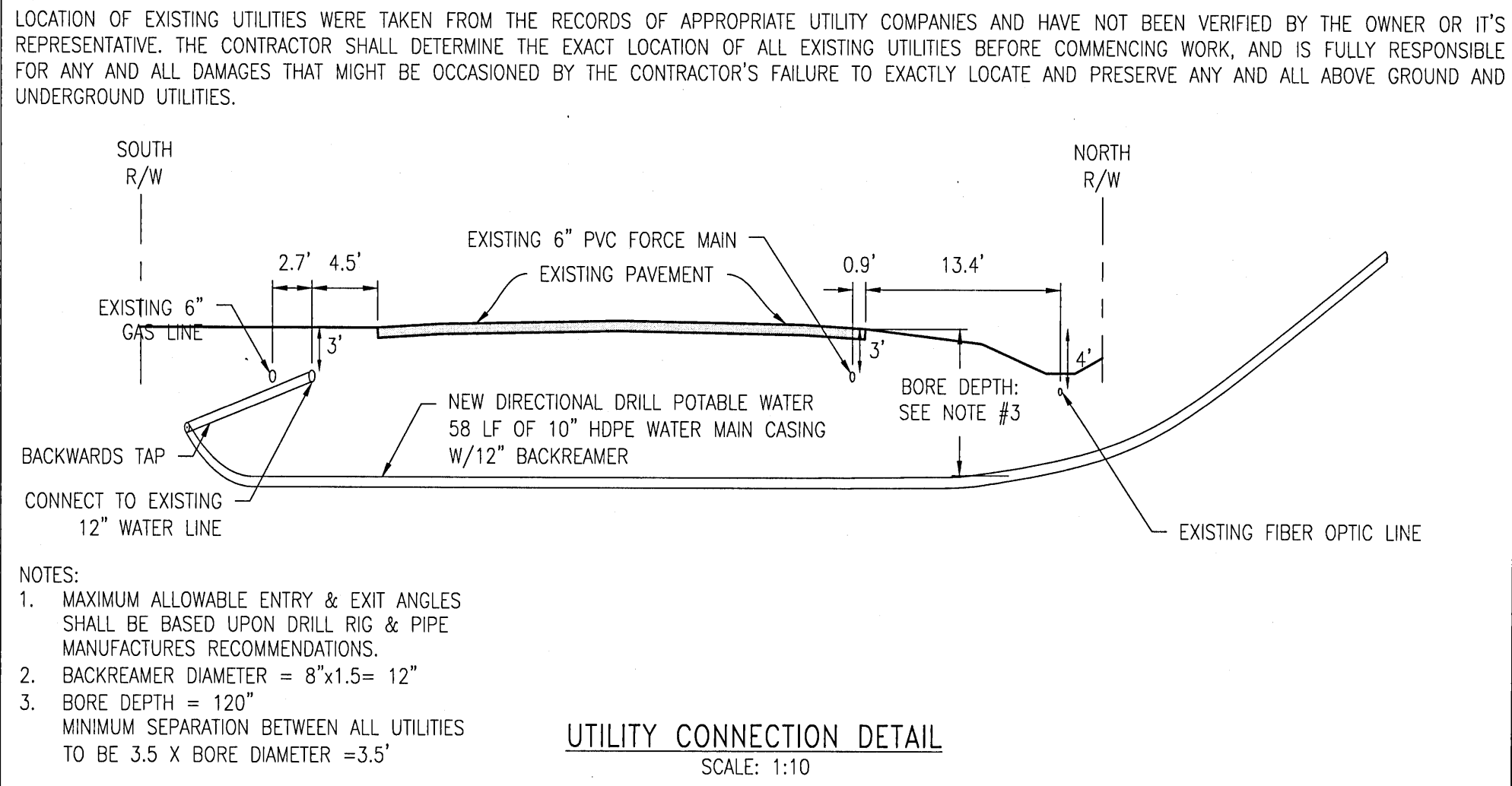
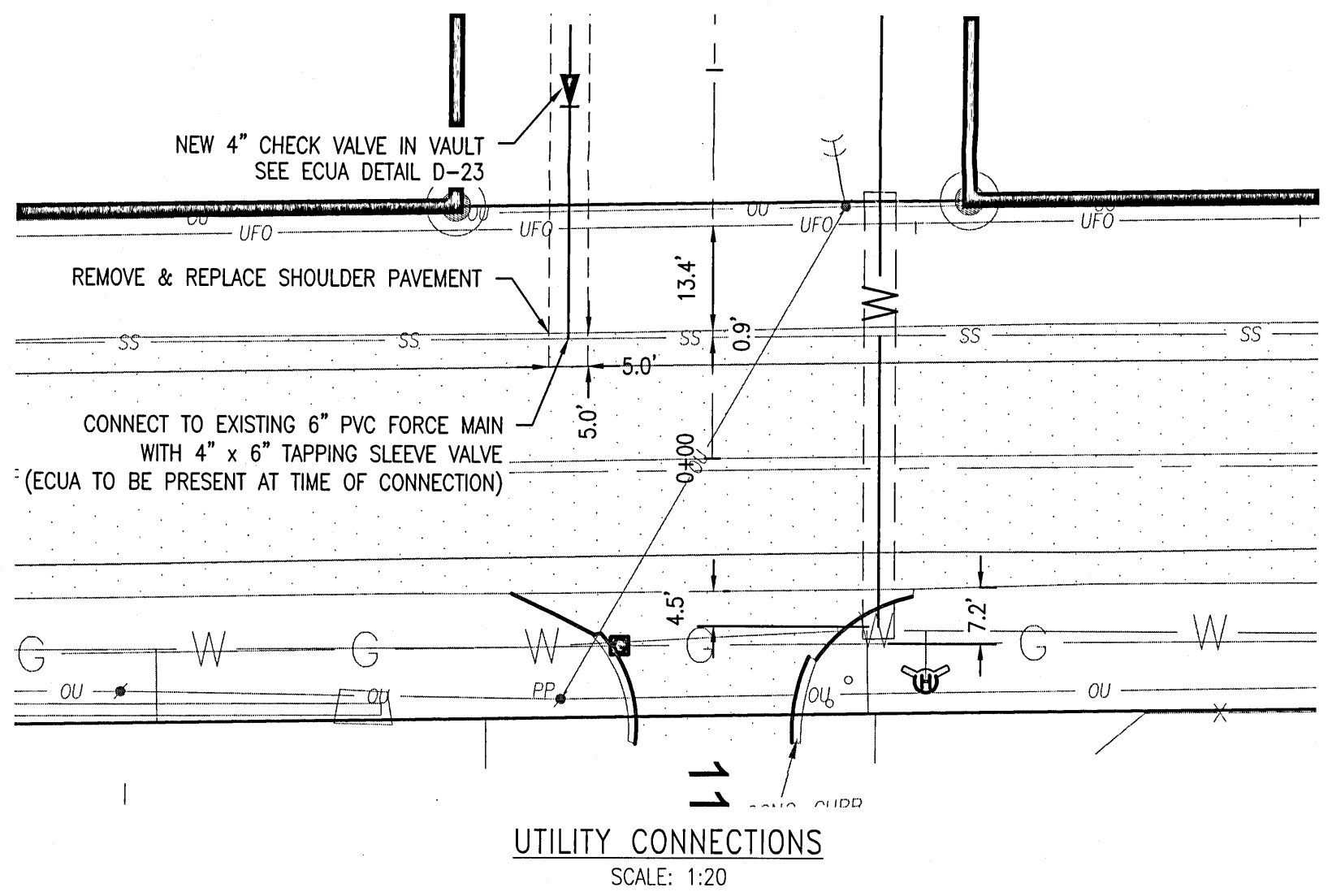
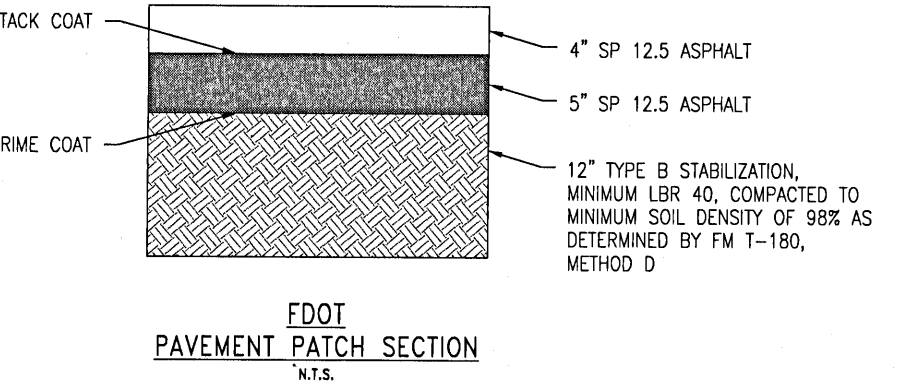
STATIONING CONSTRUCTION PLANS FOR
DAVIS RUN
ALVA STREET PLAN & PROFILE 1
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C210

28806 CONSTRUCTION PLANS.DWG. 2/21/22_1055



- GENERAL NOTES:
1. ALL STRIPING MUST BE THERMOPLASTIC PAINT. NO PRE-MANUFACTURED STRIPING (TAPE) APPLICATION ALLOWED.
 2. SIGN LETTERING HEIGHTS AND RETRO REFLECTIVITY SHALL BE IN ACCORDANCE WITH THE MUTCD, LATEST EDITION.
 3. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND FDOT STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EDIA STANDARD SPECIFICATIONS.

REVISION		DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave., Ft. Pierce, FL 34903
Phone: (888) 432-2873
Fax: (888) 432-2873
E-Mail: geci@geciinc.com

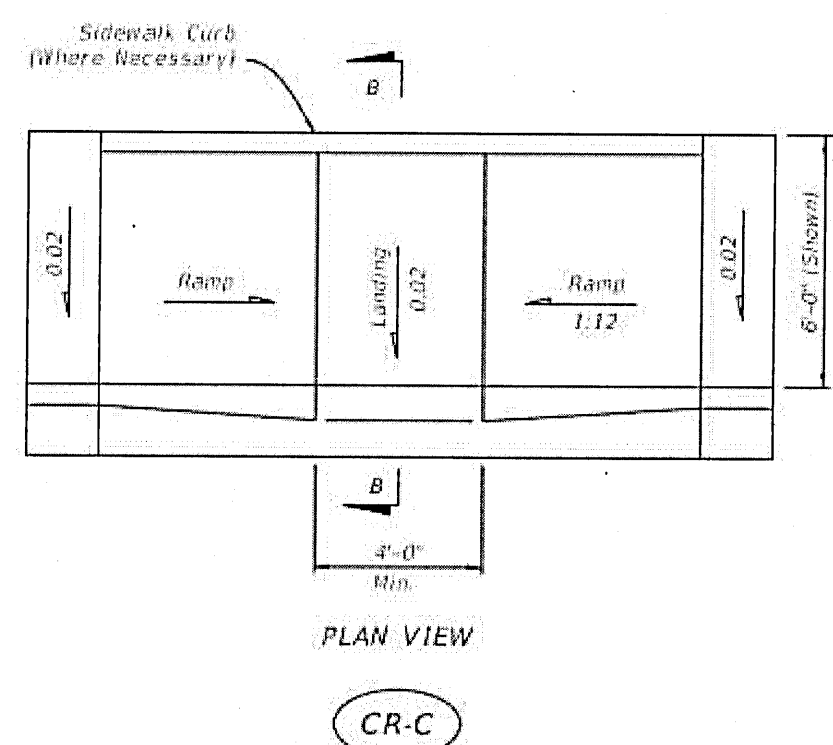
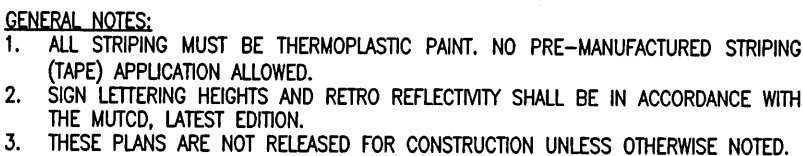
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
DATE: 01/18/22

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG

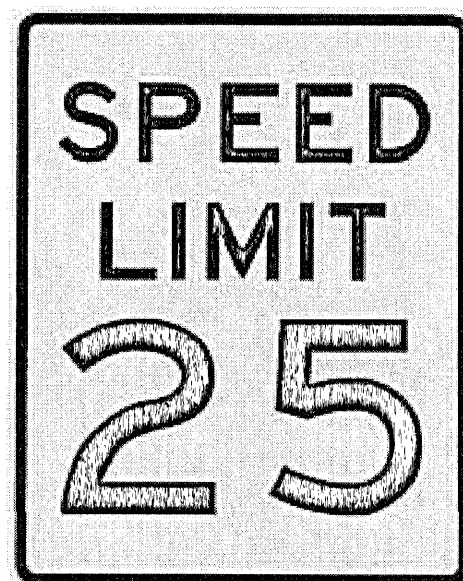
NOT RELEASED FOR CONSTRUCTION

SITework CONSTRUCTION PLANS FOR
DAVIS RUN
UTILITY PLAN
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

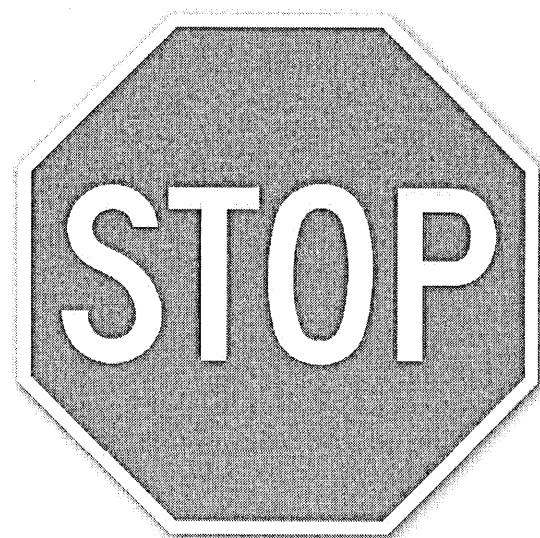
PROJECT NO. 28806 SHEET NO. C300



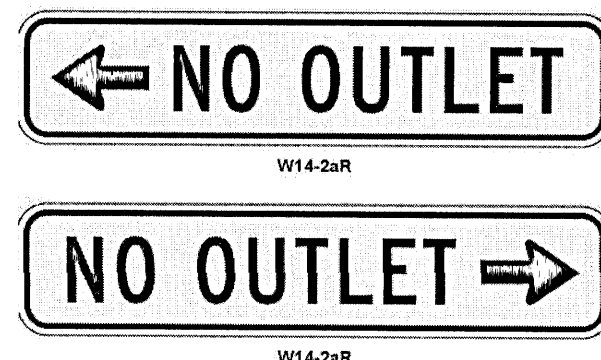
FDOT (TYPE-C) CURB RAMP DETAIL



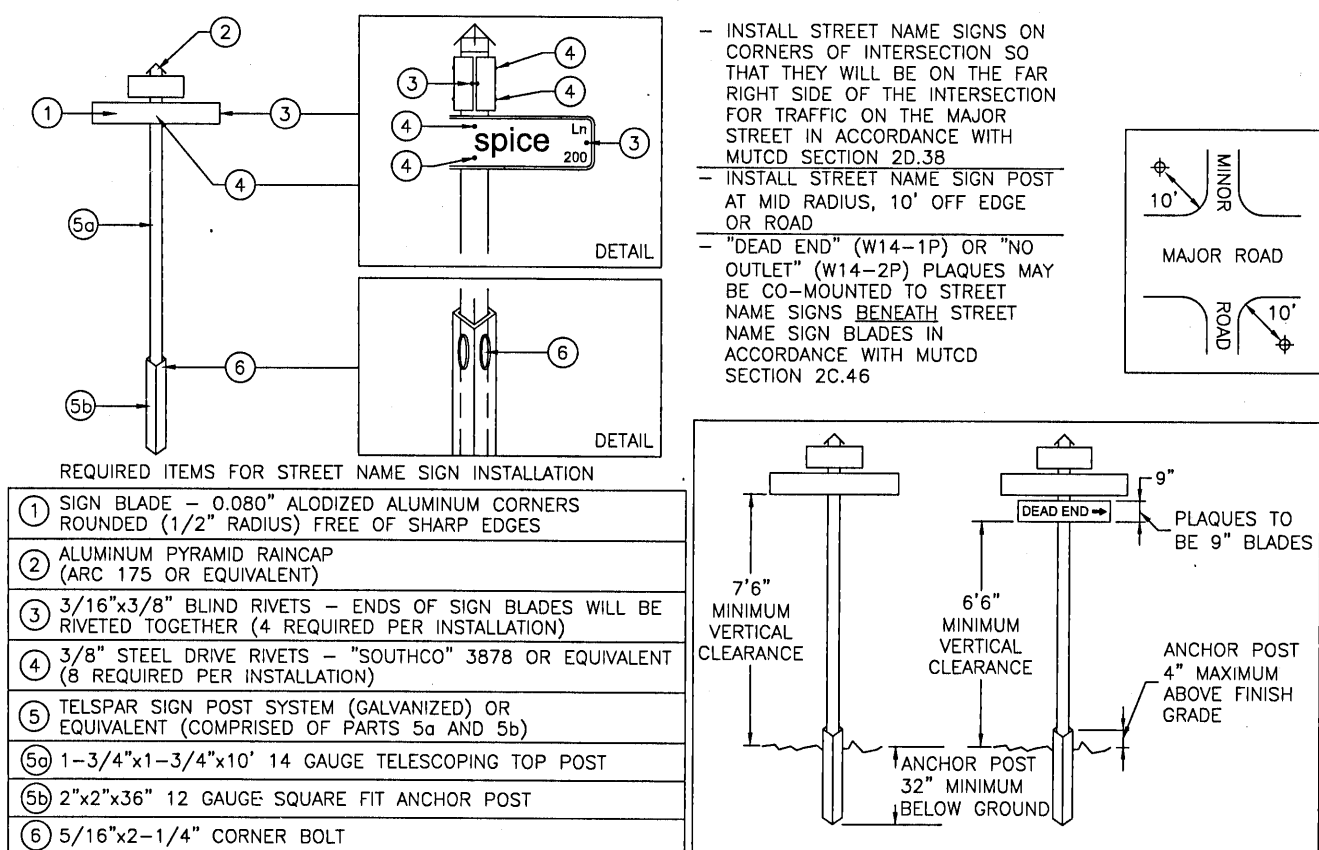
SPEED LIMIT SIGN DETAIL
STANDARD MUTCD R2-1
PLAQUE SIZE 30x36



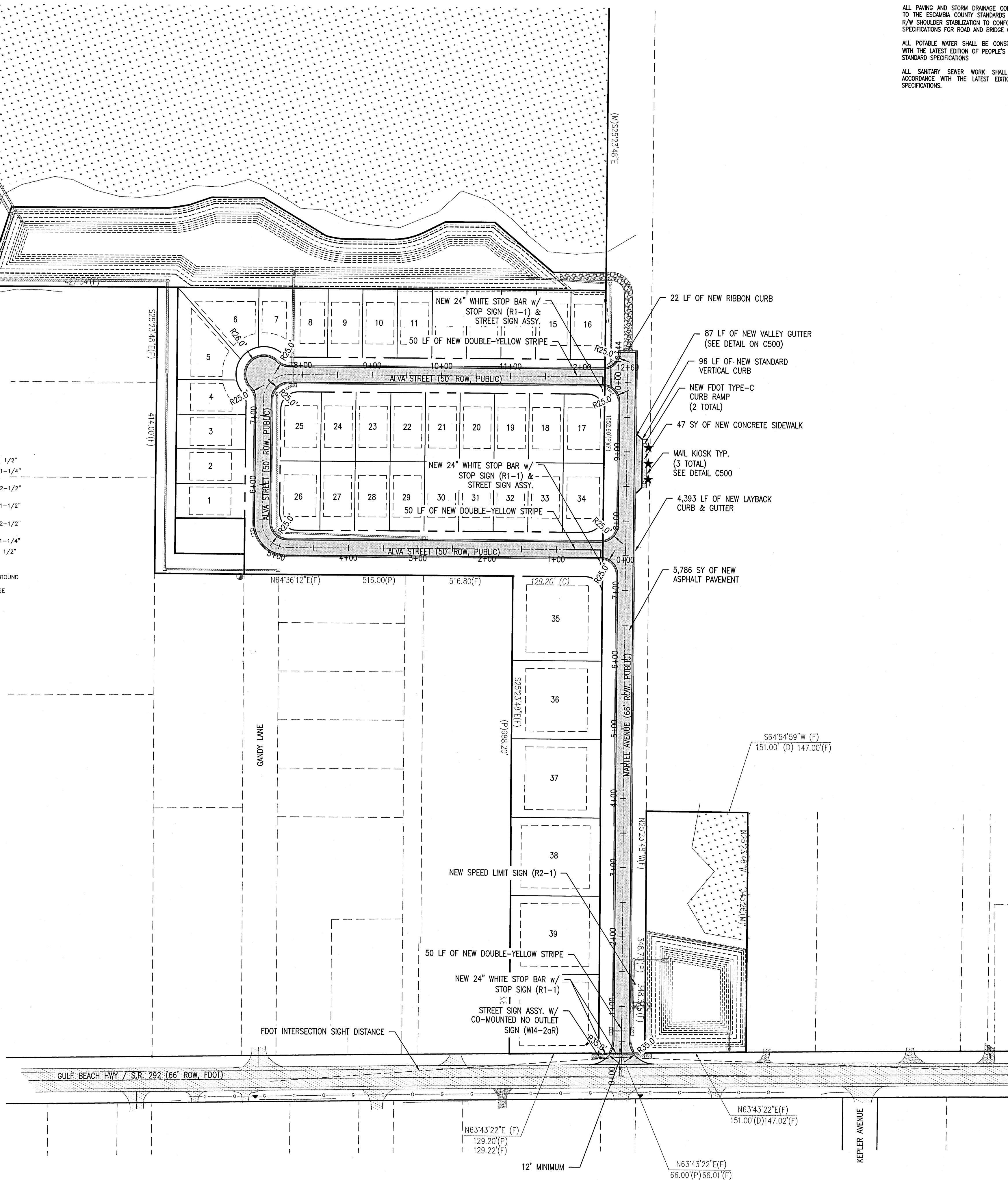
STOP SIGN DETAIL
STANDARD MUTCD R1-1
PLAQUE SIZE 30x30



NO OUTLET SIGN DETAIL
STANDARD MUTCD W14-2aR
PLAQUE SIZE 36x8



STANDARD DETAILS FOR INSTALLATION AND LOCATION OF STREET NAME SIGNS



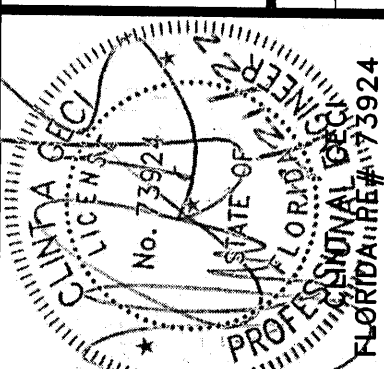
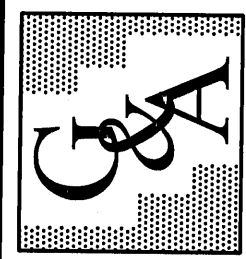
ALL PAYING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS FOR THE R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.



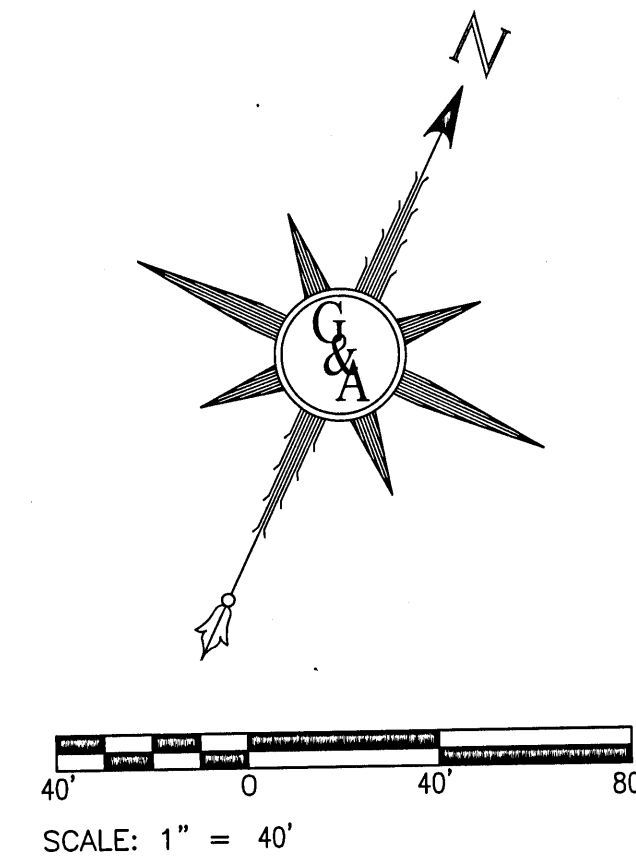
SITework CONSTRUCTION PLANS

DAVIS RUN

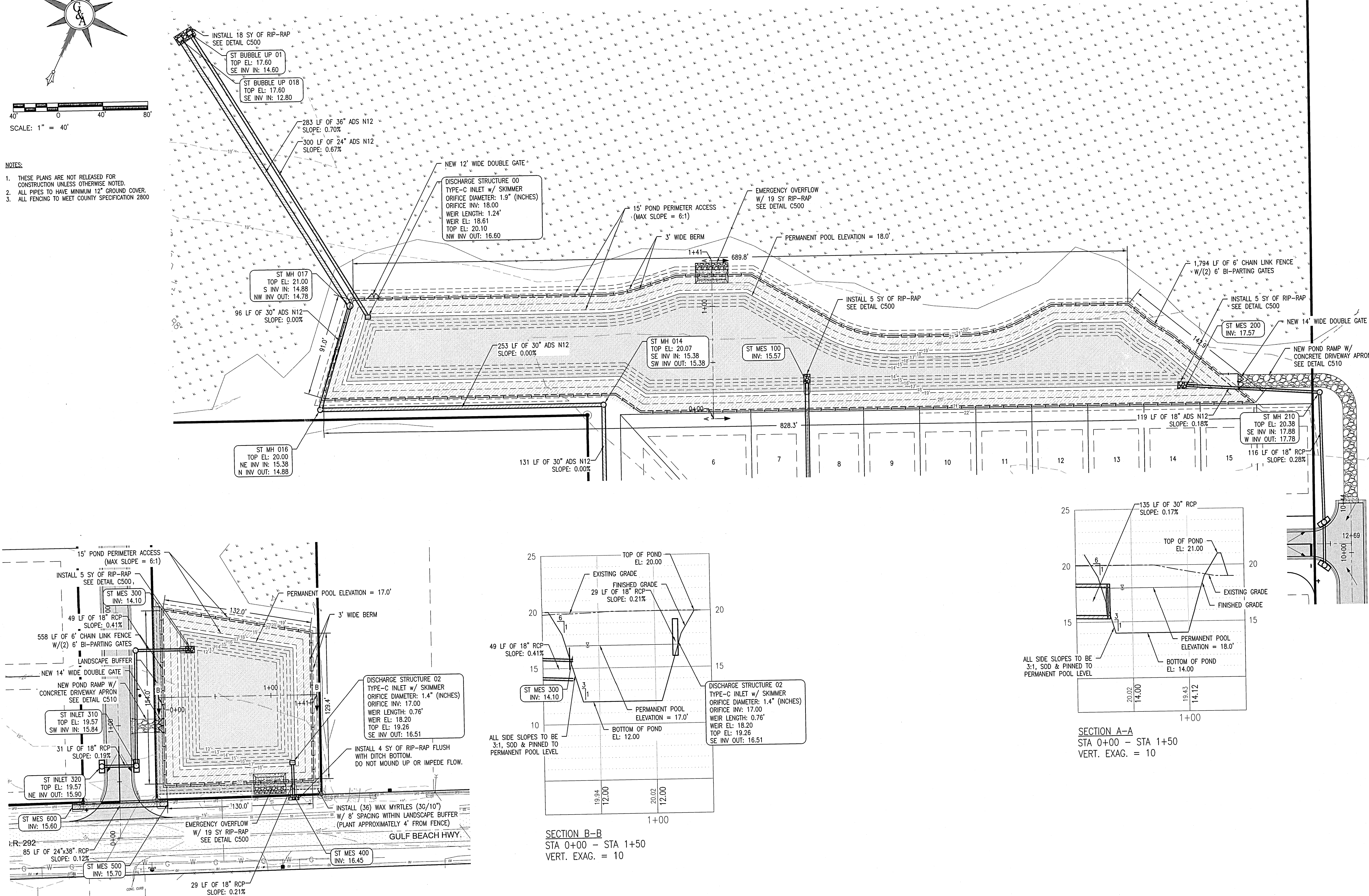
TRAFFIC PLAN

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
28806	C310



- NOTES:
1. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
 2. ALL PIPES TO HAVE MINIMUM 12" GROUND COVER.
 3. ALL FENCING TO MEET COUNTY SPECIFICATION 2800.



SECTION A-A
STA 0+00 - STA 1+50
VERT. EXAG. = 10

SECTION B-B
STA 0+00 - STA 1+50
VERT. EXAG. = 10

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

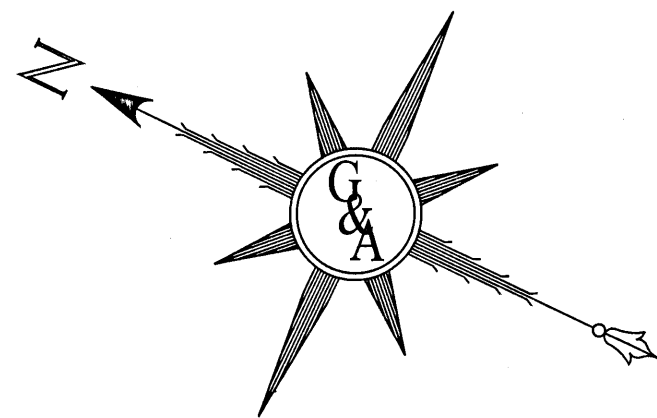
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

REVISION		NO.	DATE	APPROVED
BID SET	1	01/18/22	CAG	
PERMITTING REVISIONS	2	01/31/22	CAG	
	3			
	4			
	5			

GECI & ASSOCIATES, INC.		ENGINEER		DATE: 01/18/22	
2950 N. 12th Ave. PENSACOLA, FL 32503		Phone (850) 432-2929 - Fax (850) 432-2875		E-Mail: geci@geciengineering.com	
CERTIFICATE OF AUTHORIZATION NUMBER 00005149		DESIGNED: CAG		CHECKED: SAG	
SCALE: AS SHOWN		DRAWN: KRD		NOTED: JLD	

SITework CONSTRUCTION PLANS FOR		DAVIS RUN		STORMWATER PONDS	
PROJECT NO. 28806		SHEET NO. C330		POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS	

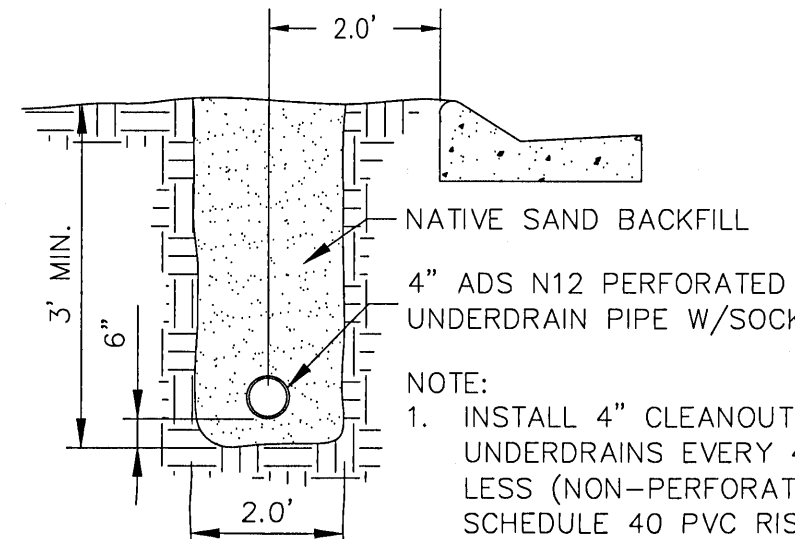


60' 0' 60' 120'

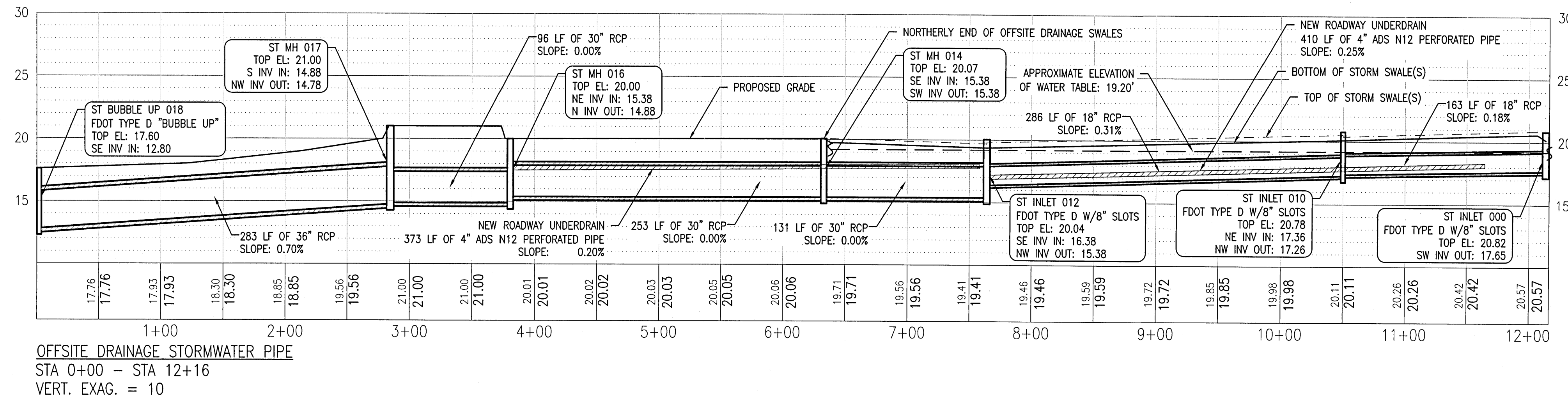
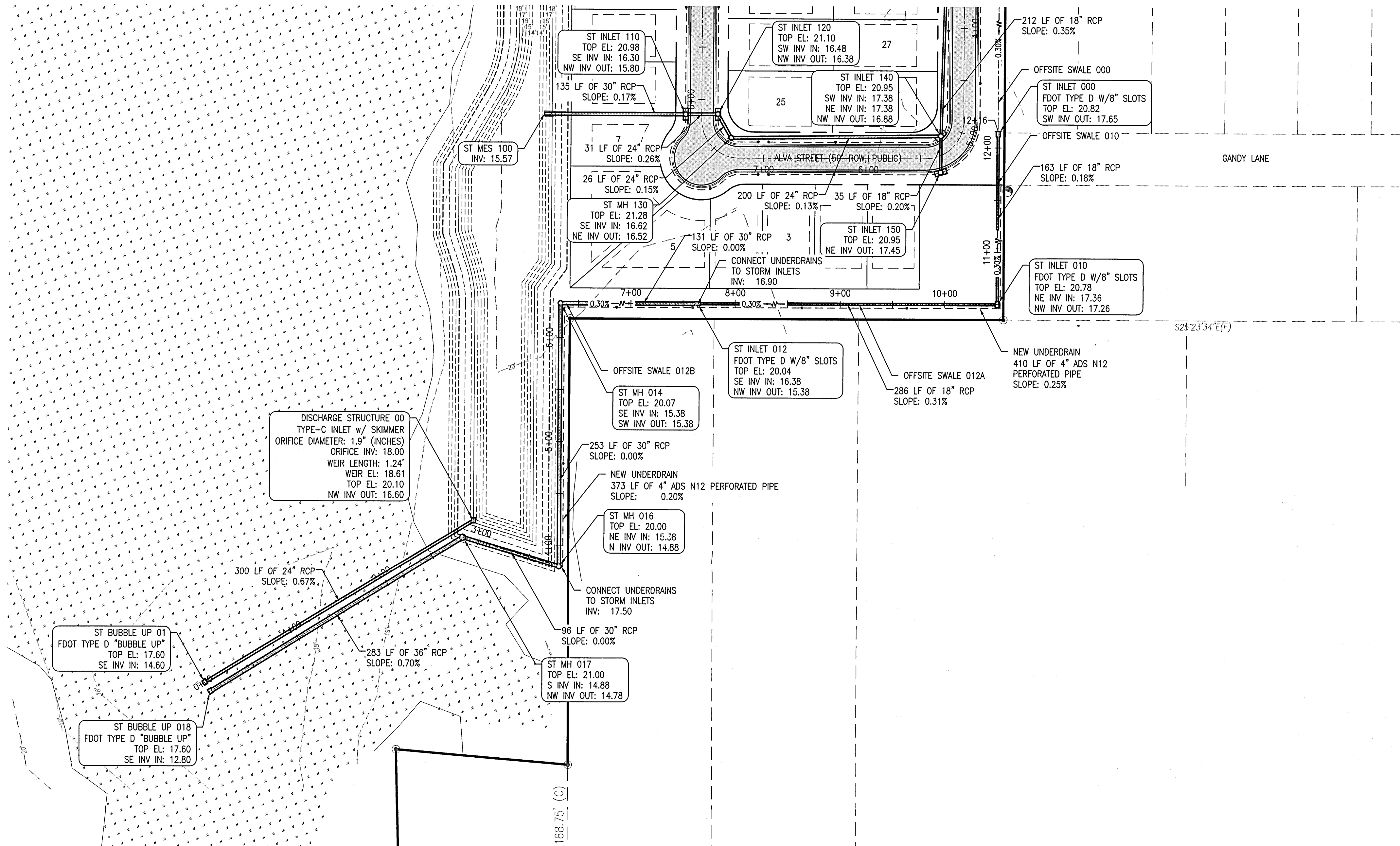
SCALE: 1" = 60'

NOTES:

1. APPROXIMATE ELEVATION OF WATER TABLE IS BASED UPON THE GEOTECHNICAL REPORT PROVIDED BY TERRA, DATED JANUARY OF 2021.
2. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



ROADWAY UNDERDRAIN
DETAIL
N.T.S.



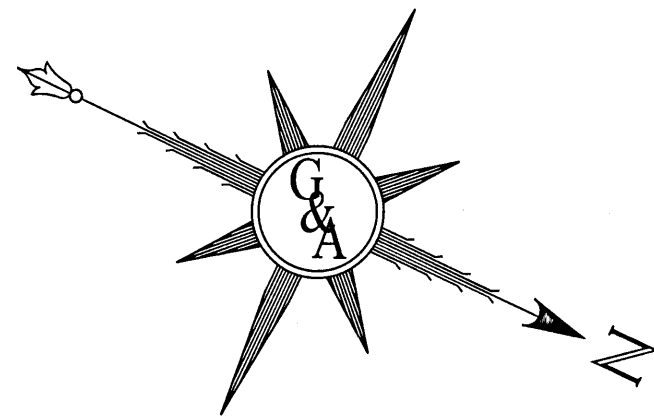
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

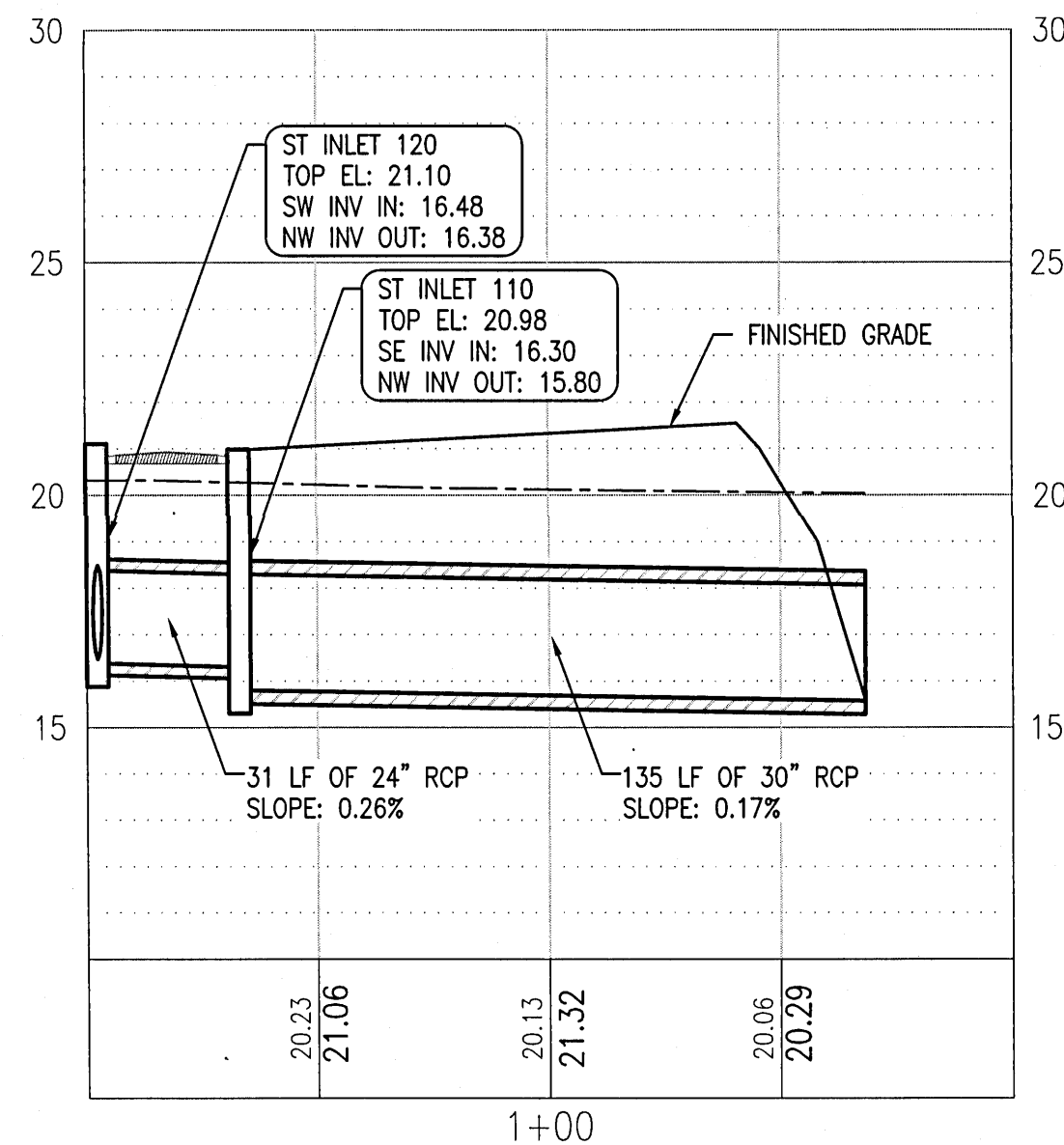
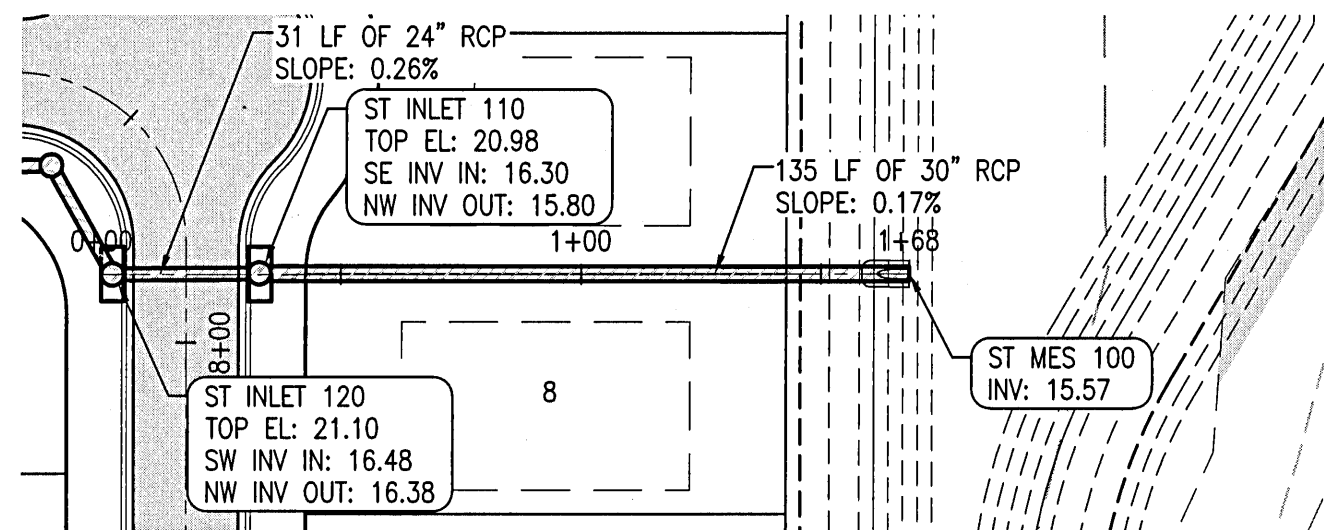
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EQIA STANDARD SPECIFICATIONS.

REVISION		DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

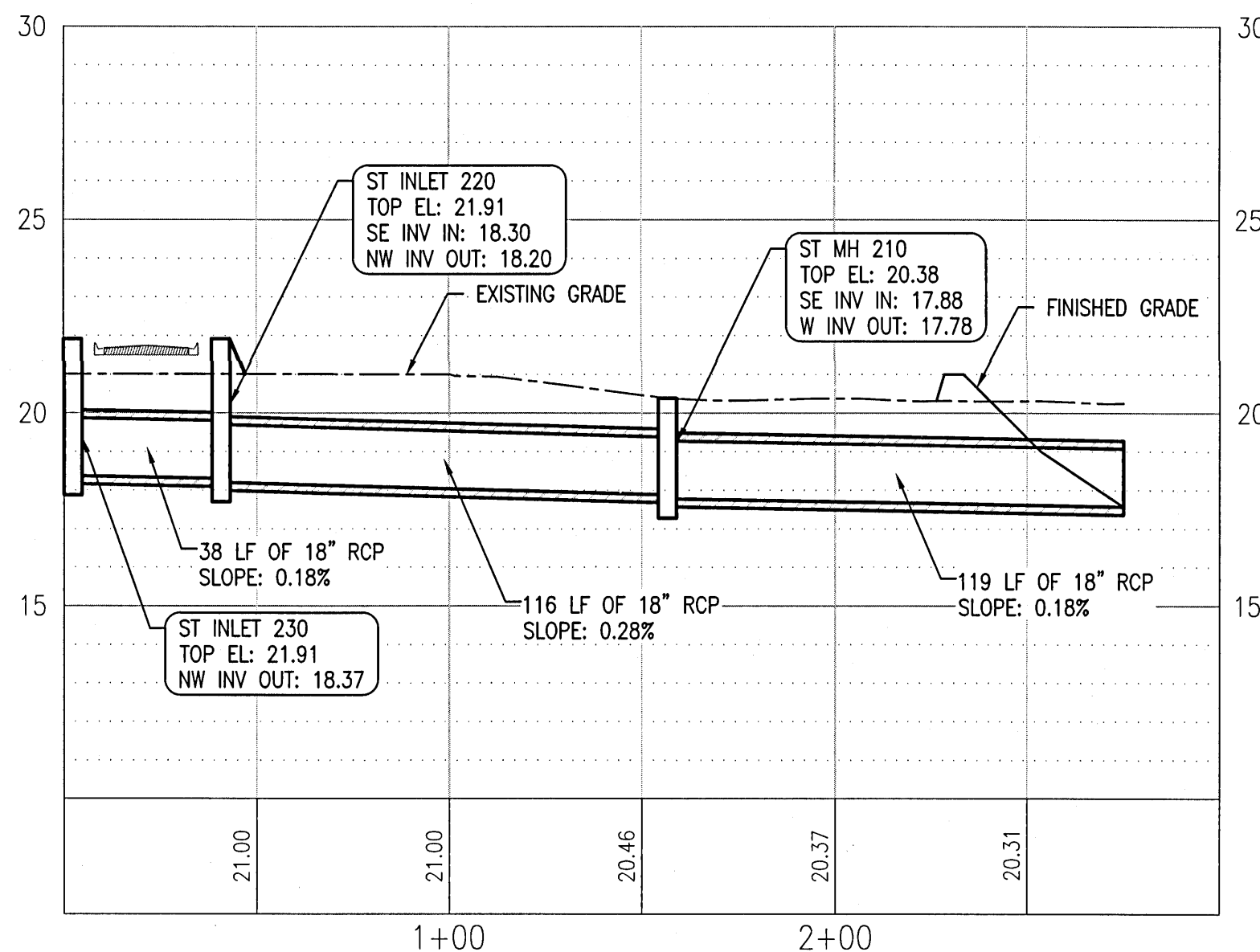
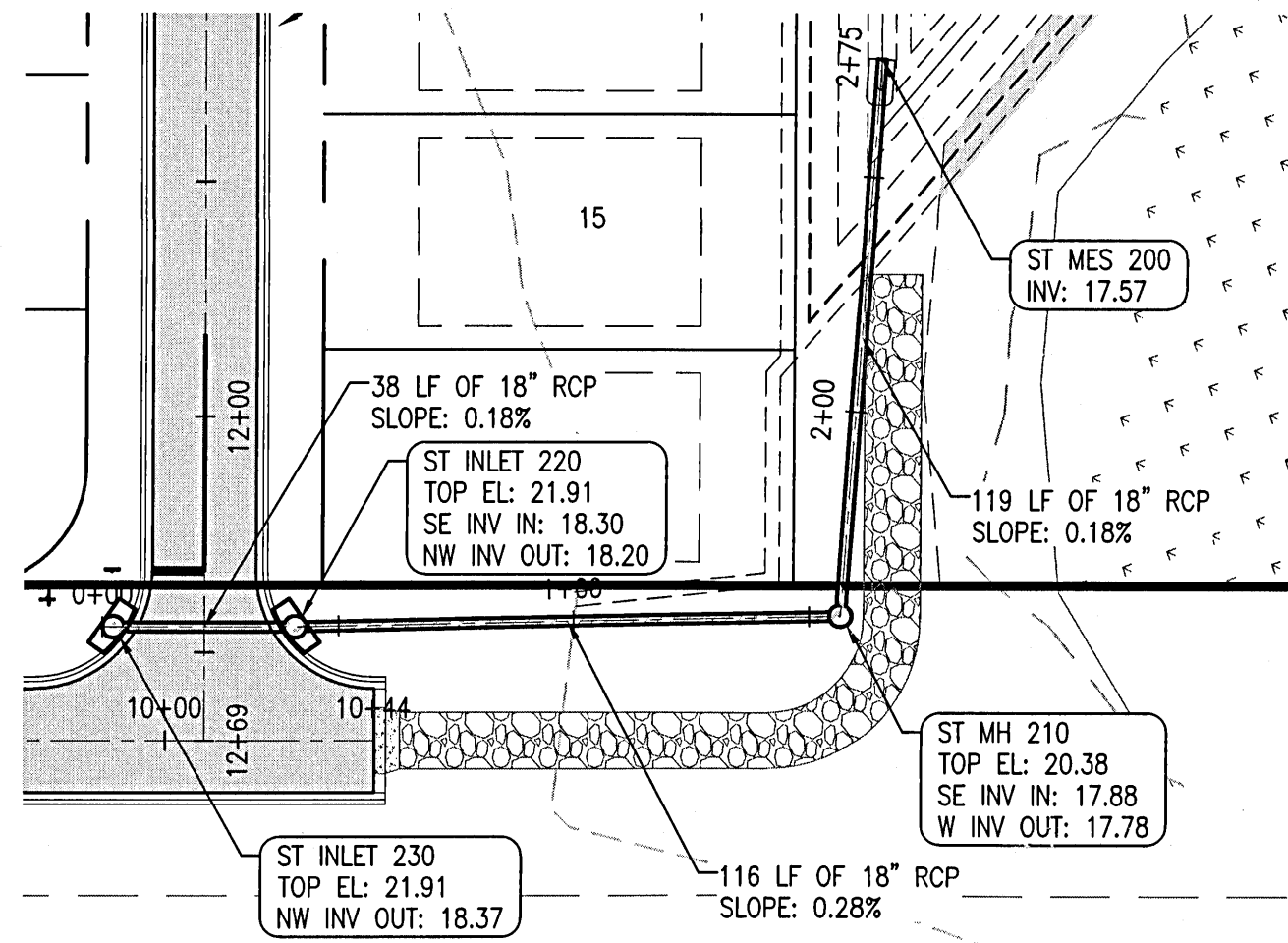
GECI & ASSOCIATES, INC.		E N G I N E E R S	
28806 Davis Run		OFFSITE DRAINAGE STORMWATER PIPE	
28806 Davis Run		PLAN & PROFILE	
28806 Davis Run		POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS	
28806 Davis Run		NOT RELEASED FOR CONSTRUCTION	
28806 Davis Run		DATE: 01/18/22	
28806 Davis Run		CHECKED: SAG	
28806 Davis Run		DRAWN: KR	
28806 Davis Run		DESIGNED: CAG	
28806 Davis Run		SCALE: AS SHOWN	
28806 Davis Run		PROJECT NO. 28806	
28806 Davis Run		SHEET NO. C340	



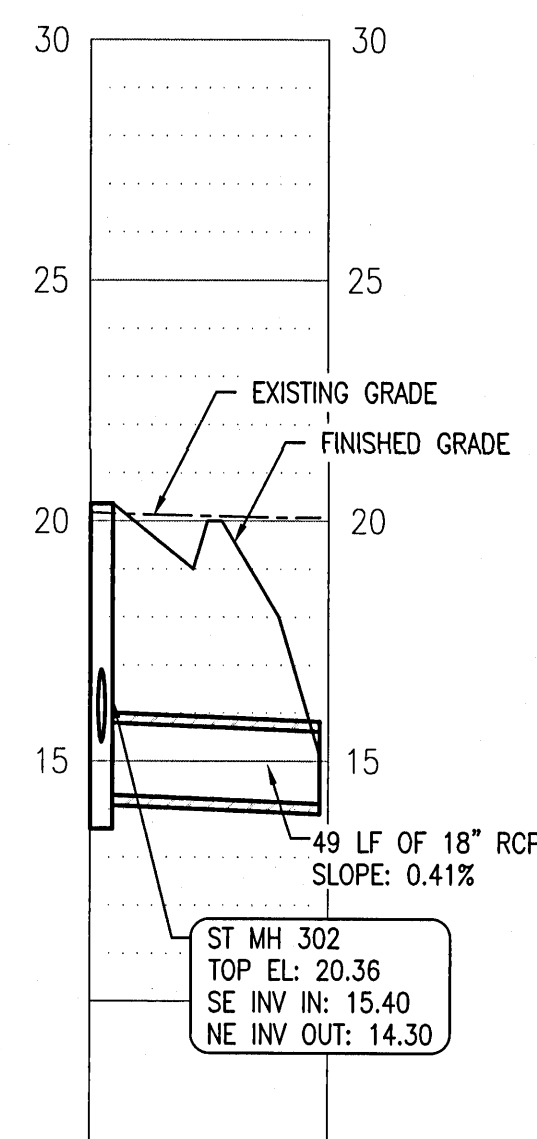
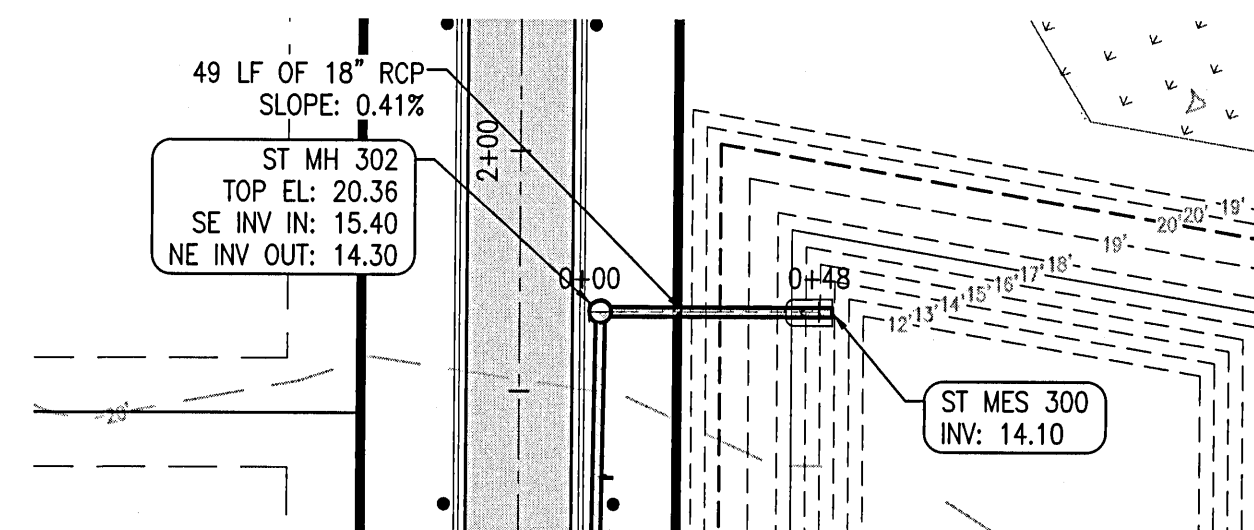
NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.



STORMWATER PIPE 120-100
STA 0+00 - STA 2+00
VERT. EXAG. = 10



STORMWATER PIPE 230-200
STA 0+00 - STA 3+00
VERT. EXAG. = 10



STORMWATER PIPE 302-300
STA 0+00 - STA 0+50
VERT. EXAG. = 10

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS

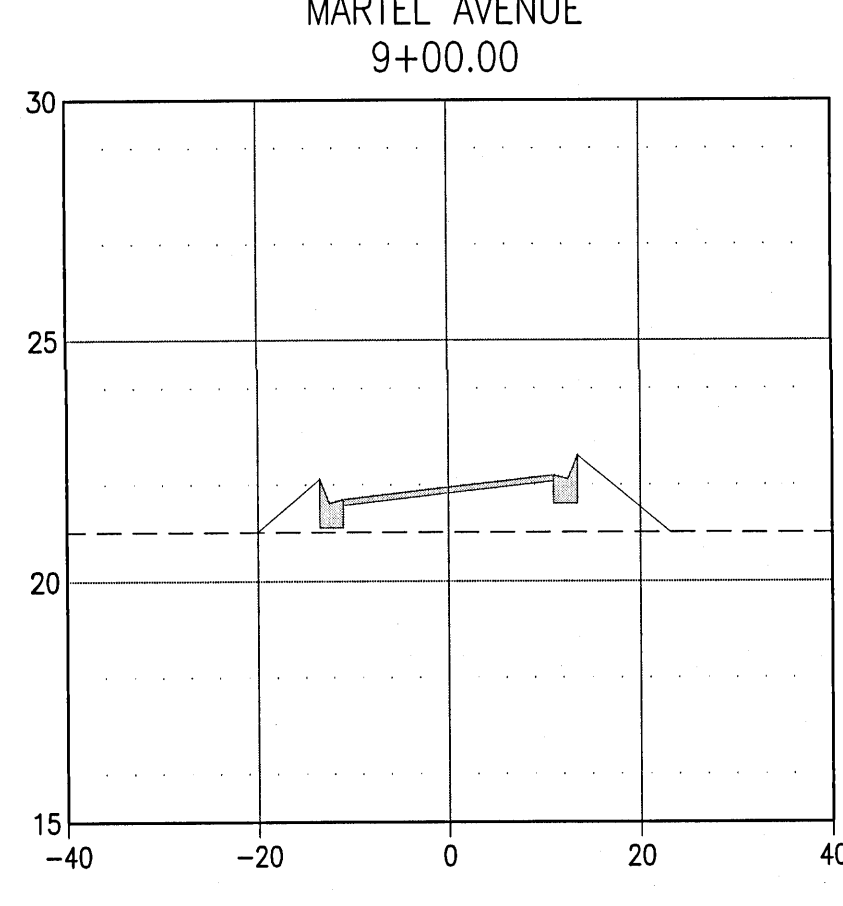
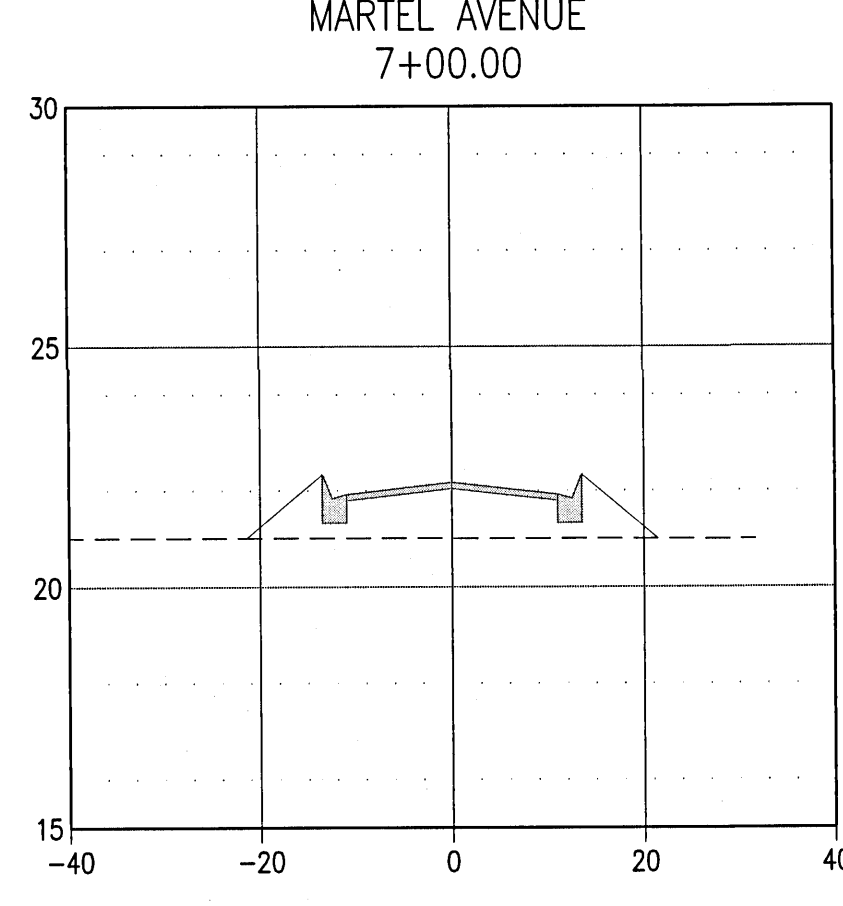
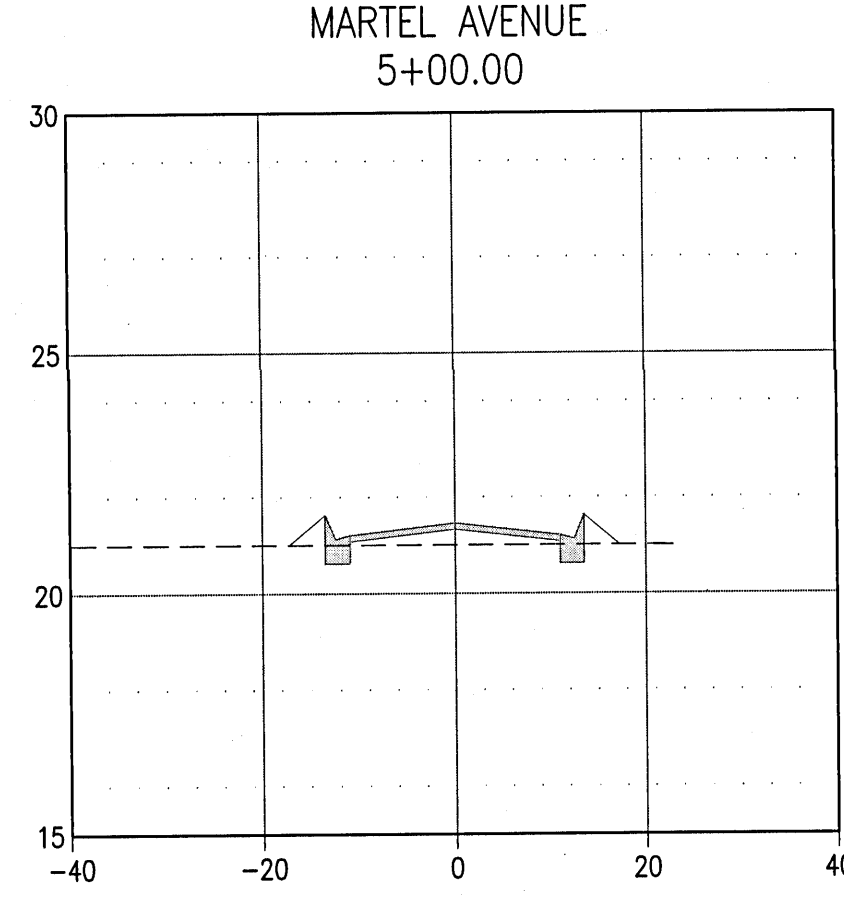
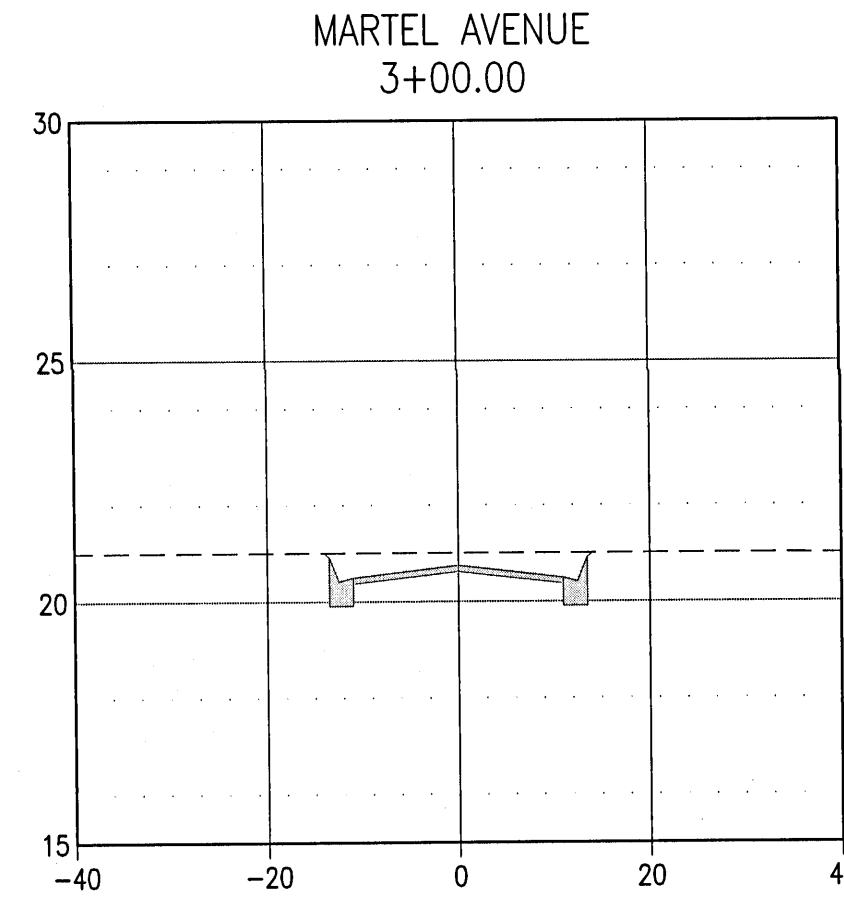
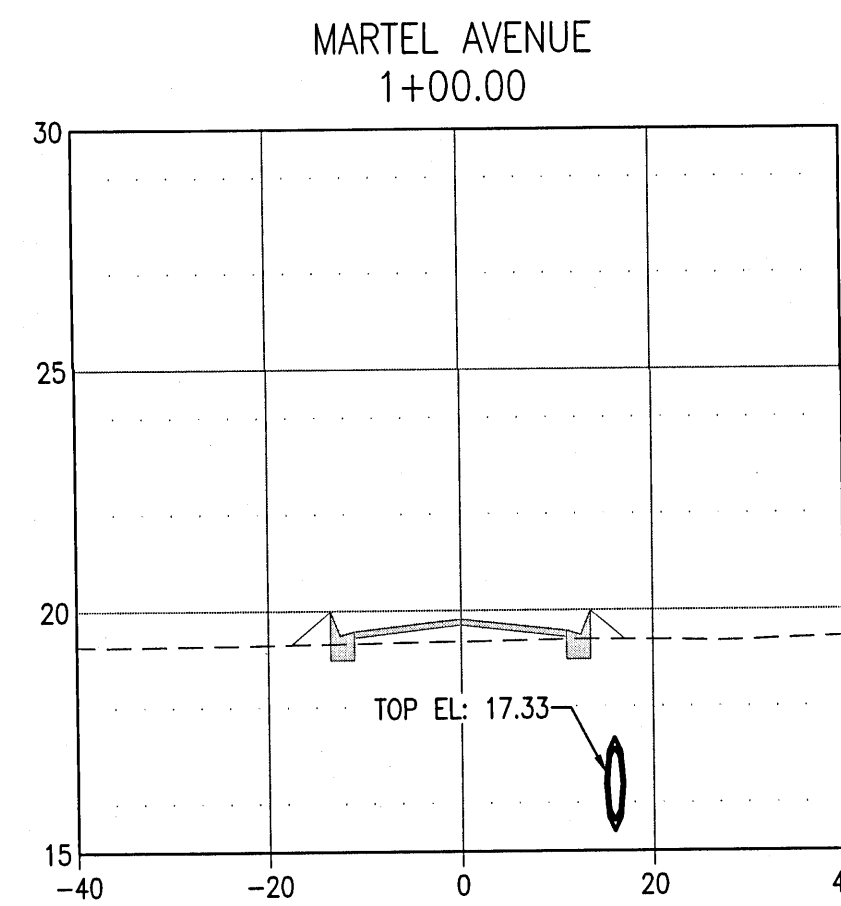
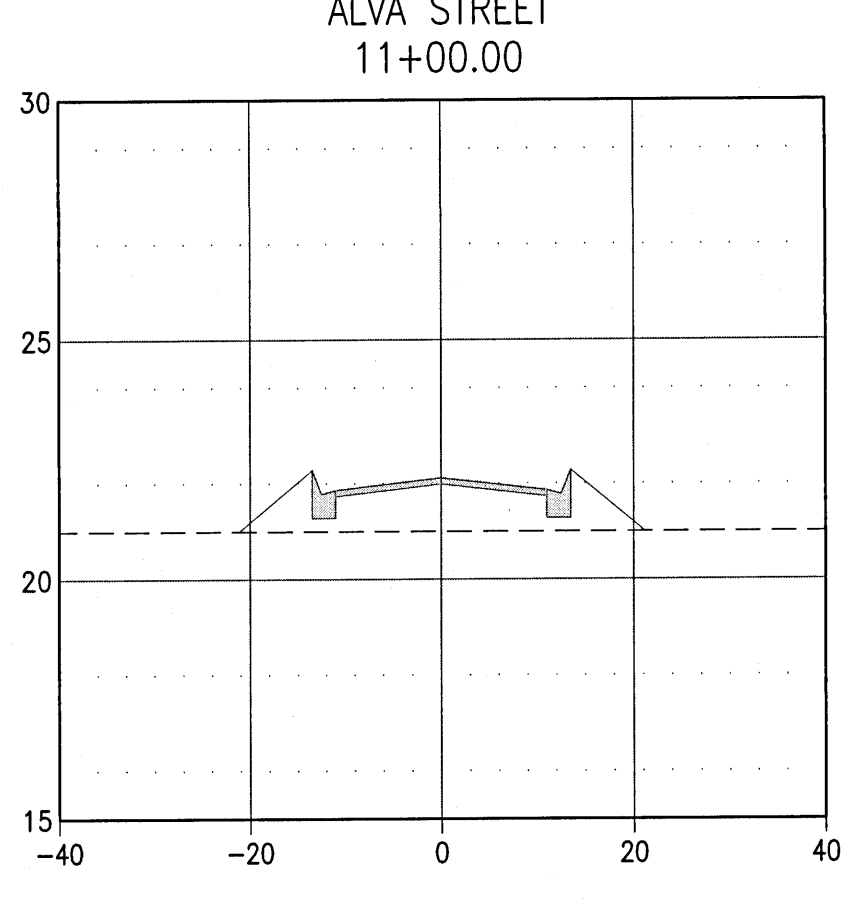
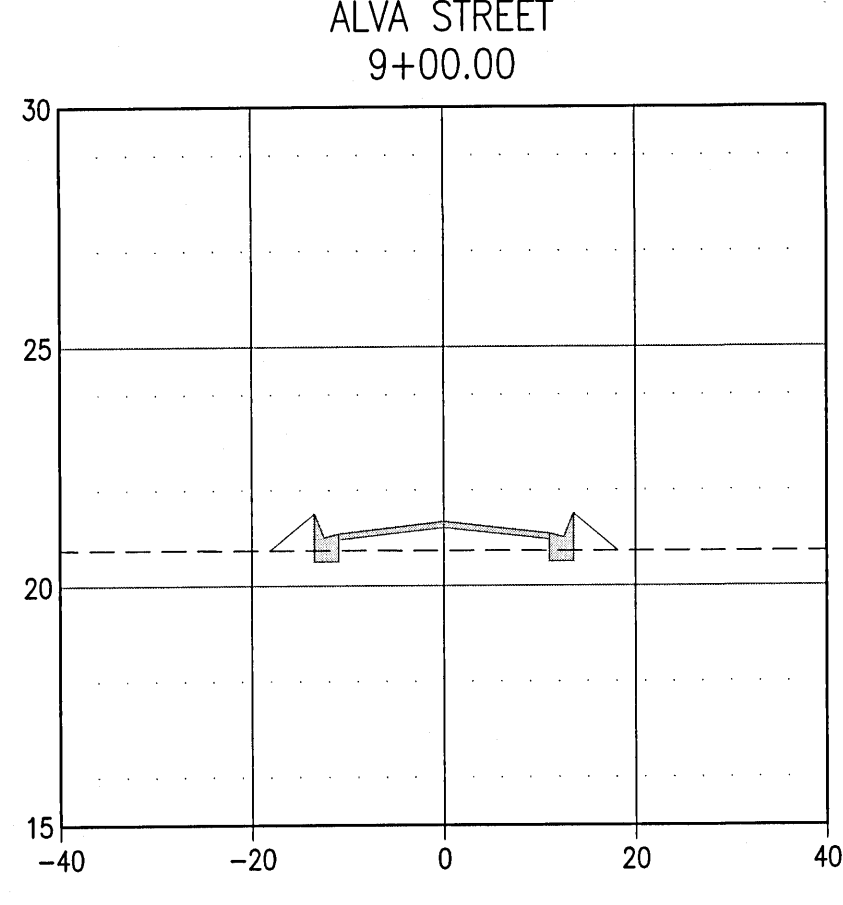
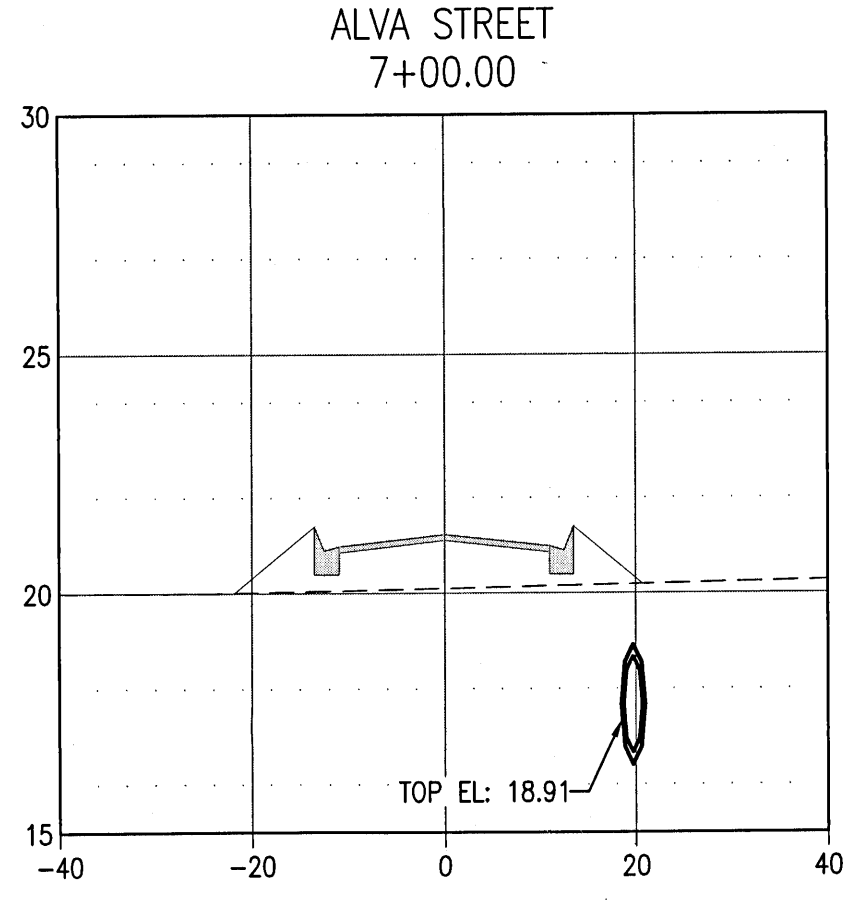
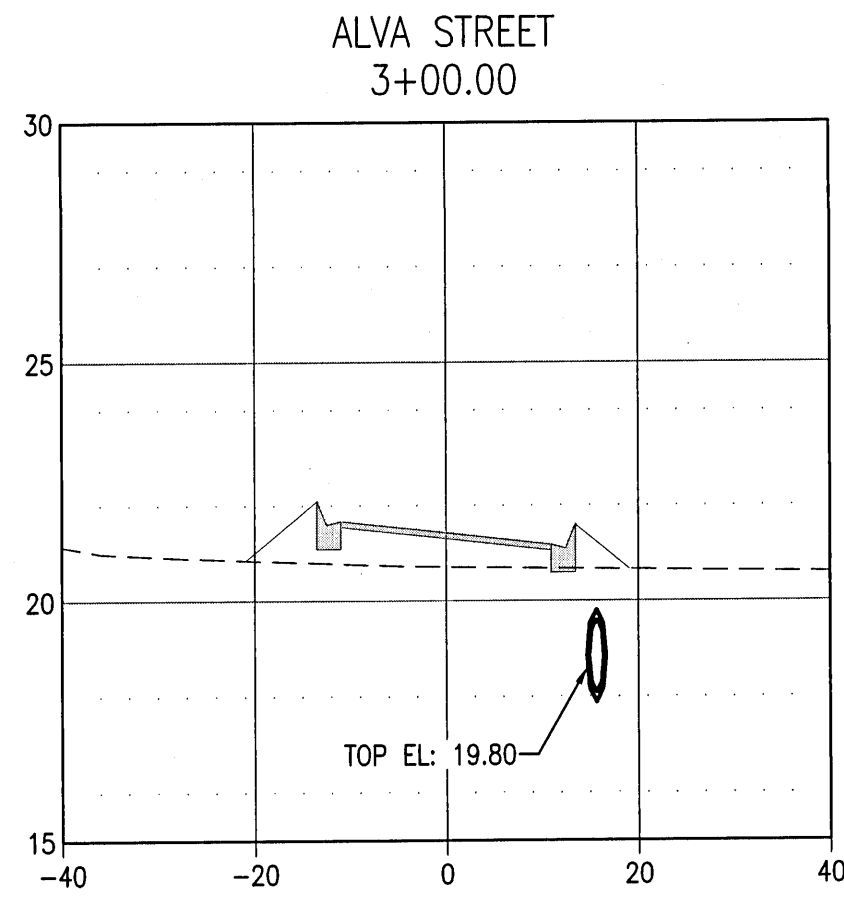
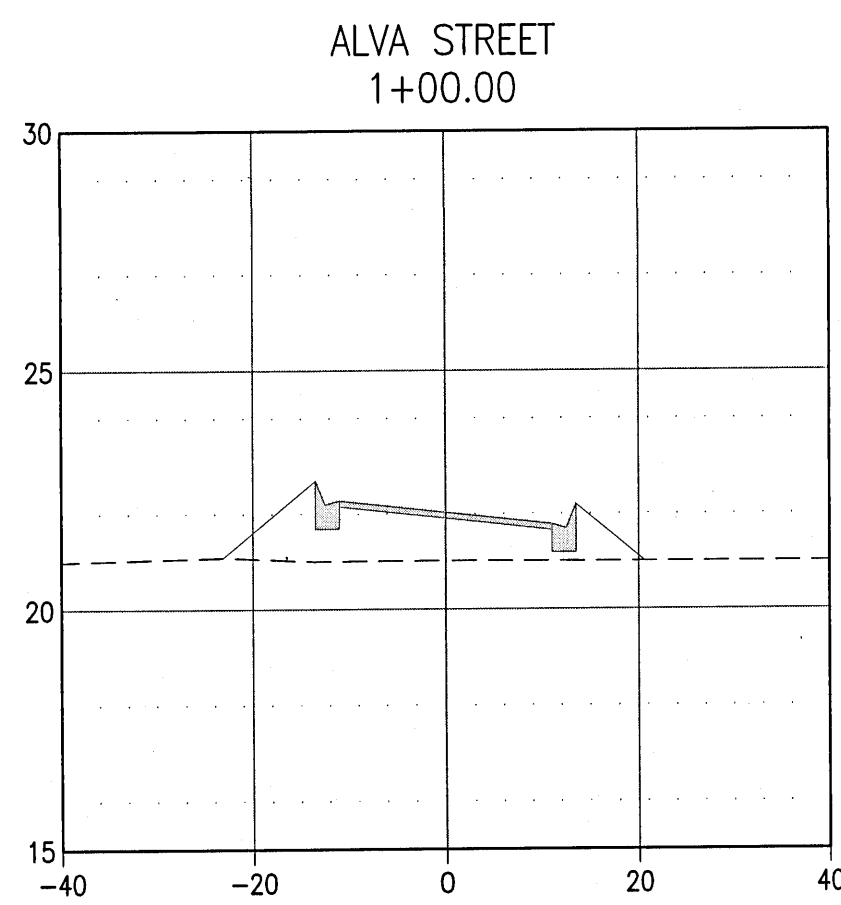
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.

REVISION		APPR.	
NO.	DATE	DATE	DATE
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

NOT RELEASED FOR CONSTRUCTION	
DESIGNED:	CHECKED:
CAG	SAG
DATE: 01/18/22	

GECI & ASSOCIATES, INC.	
ENGINEERS	
2950 N. 12th Ave., Pensacola, FL 32503	
PH: (850) 432-2875	
FAX: (850) 432-2875	
E-Mail: geci@geciassociates.com	
CERTIFICATE OF AUTHORIZATION NUMBER 00005149	

SITework CONSTRUCTION PLANS FOR	
DAVIS RUN	
ONSITE STORMWATER PIPE PLANS & PROFILES	
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS	
PROJECT NO.	SHEET NO.
28806	C350



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECMA STANDARD SPECIFICATIONS.

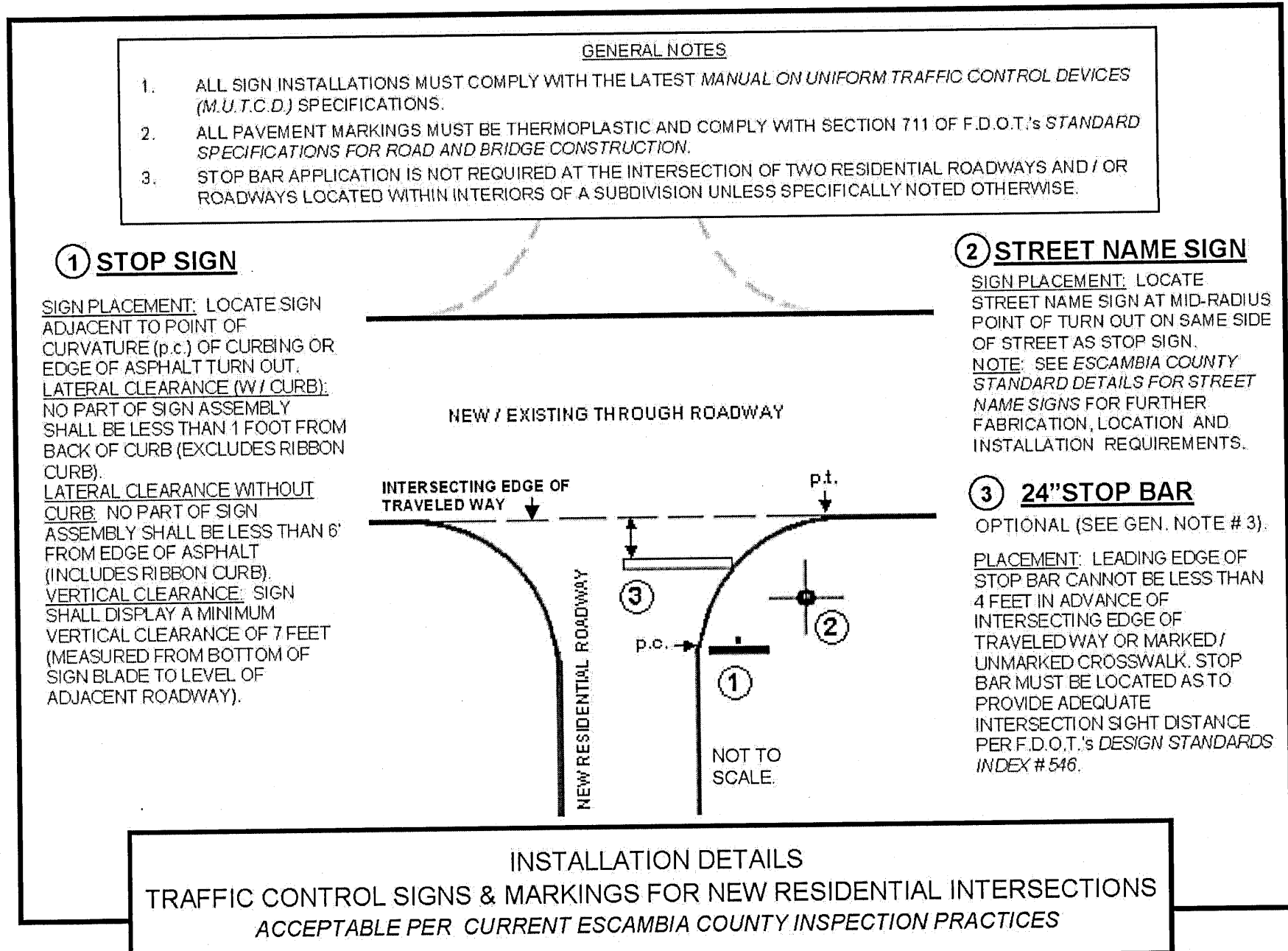
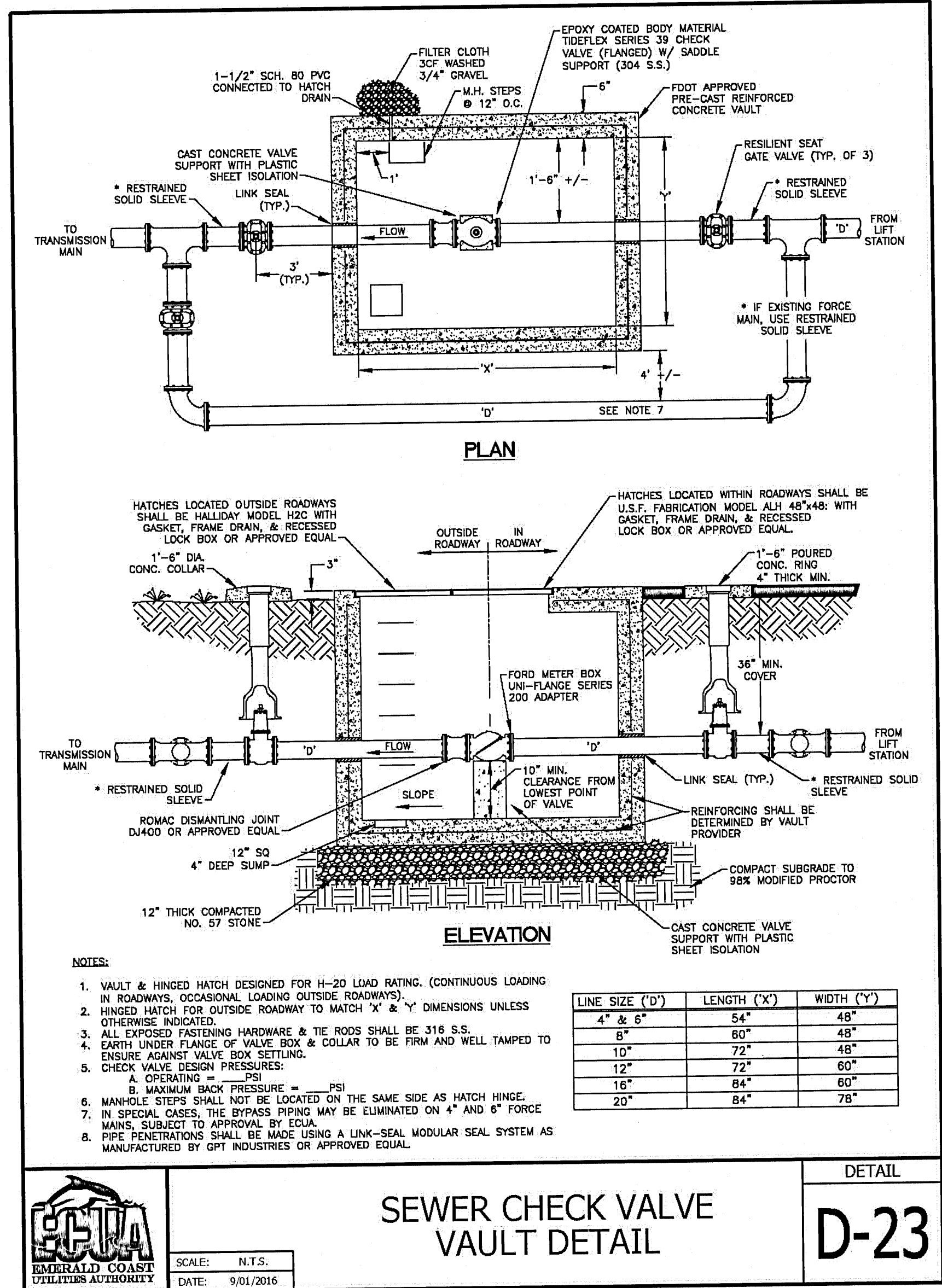
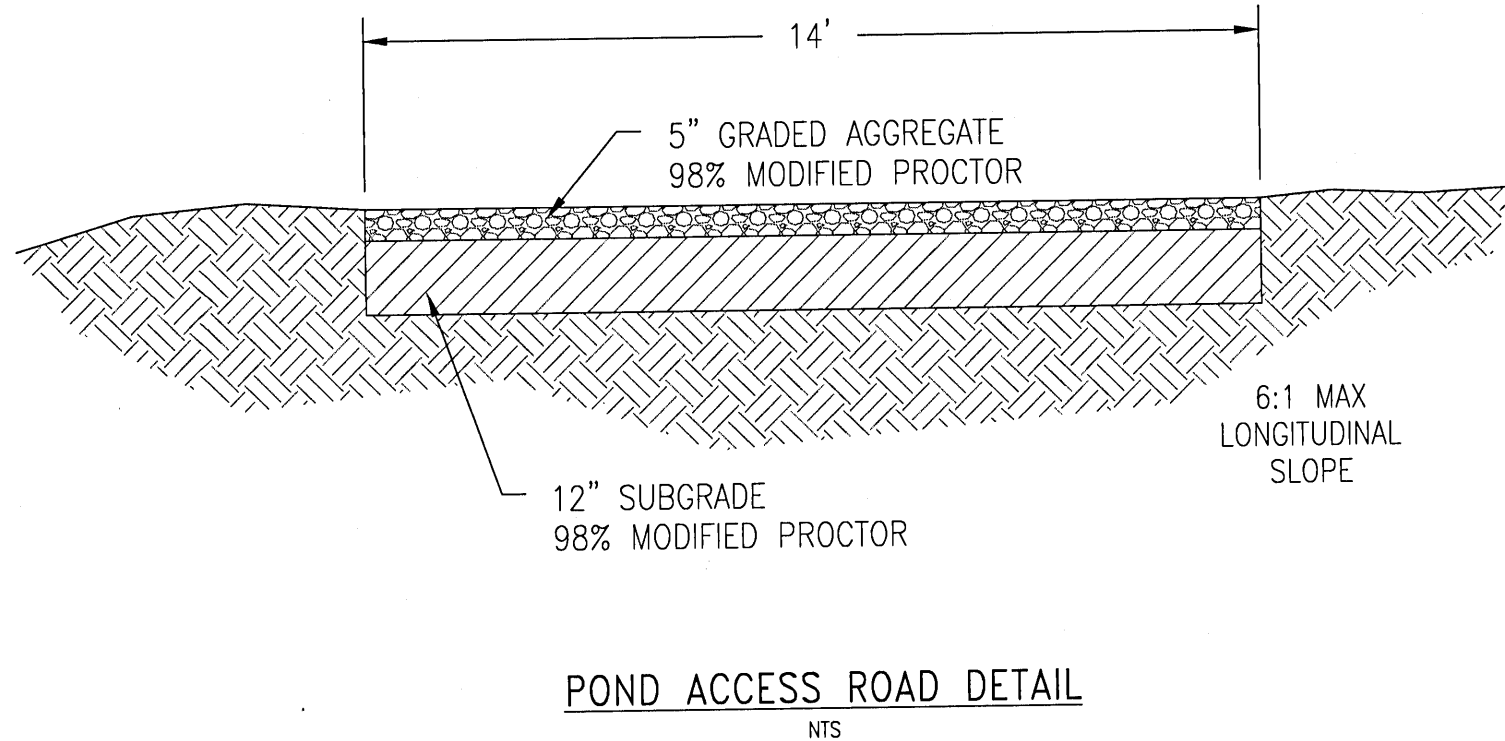
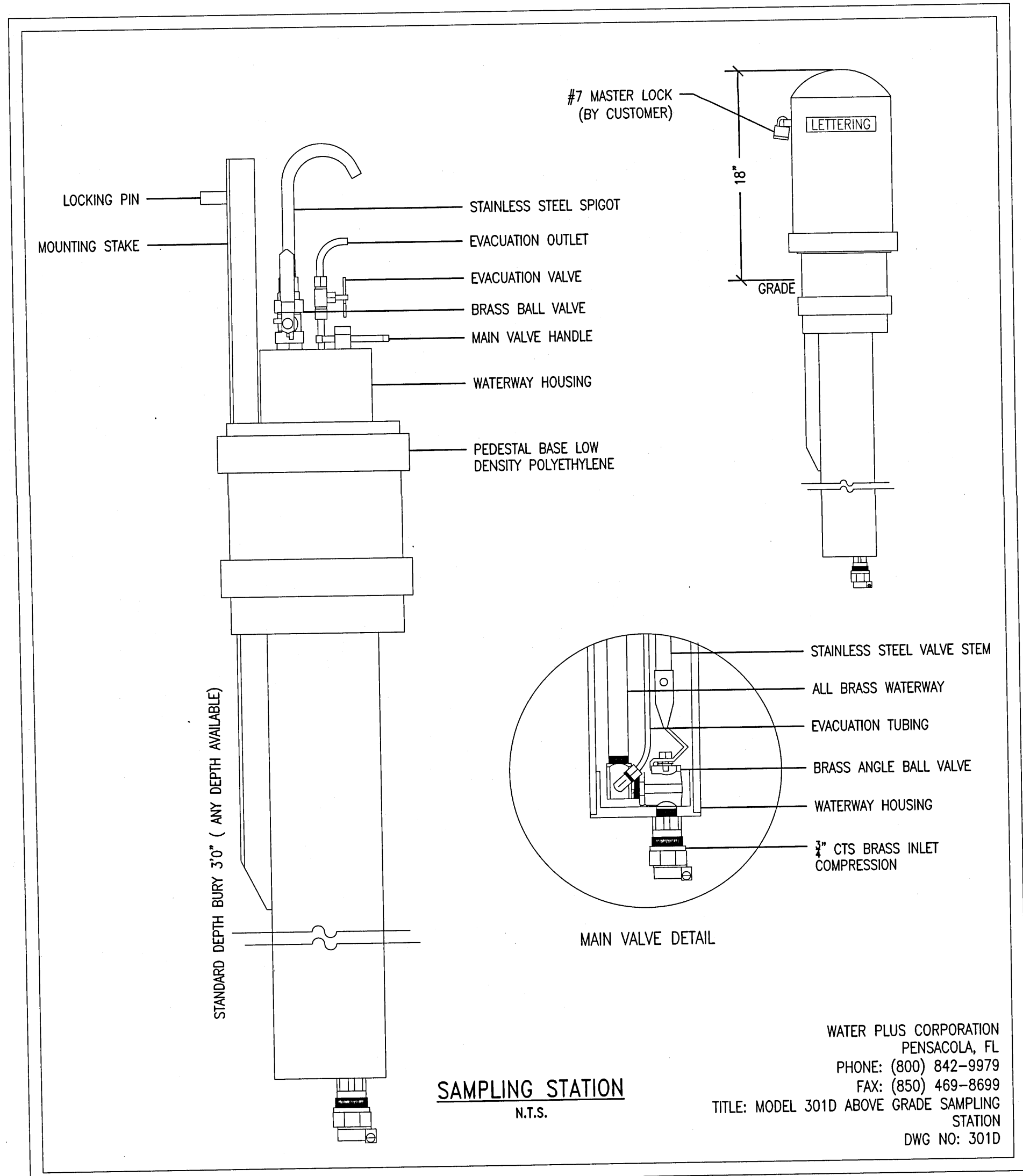
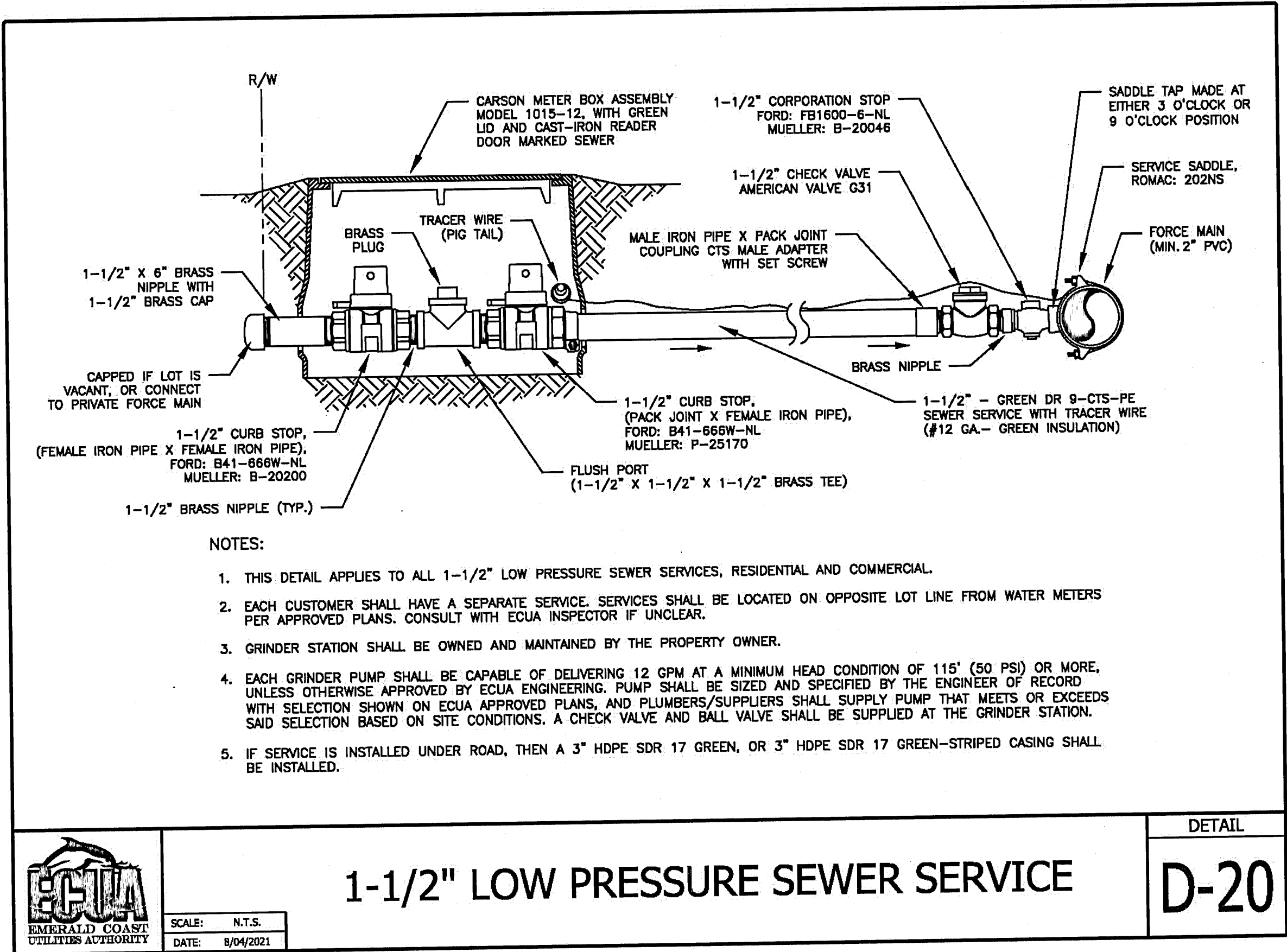
NO.		REVISION		DATE	APPR.
1	BID SET			01/18/22	CAG
2	PERMITTING REVISIONS			01/31/22	CAG
3					
4					
5					

GECI & ASSOCIATES, INC.		ENGINEERS	
2950 N. 12th Ave. PENSACOLA, FL 32503		Phone (850) 432-2929 - Fax (850) 432 2875	
E-Mail: gec@geciengineering.com		CERTIFICATE OF AUTHORIZATION NUMBER 00005149	
SCALE: AS SHOWN	DESIGNED: CAG	DRAWN: KR	CHECKED: SAG
DATE: 01/18/22		DATE: 01/18/22	



NOT RELEASED FOR CONSTRUCTION

SITEWORK CONSTRUCTION PLANS
FOR
DAVIS RUN
CROSS-SECTIONS
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C400



SITework CONSTRUCTION PLANS FOR		DAVIS RUN		DETAILS 2		POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS	
PROJECT NO.		SHEET NO.					
28806		C510					

			GECI & ASSOCIATES, INC.		ENGINEERS	
			2950 N. 12th Ave. PENSACOLA, FL 32503 Phone (850) 432-2929 - Fax (850) 432-2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail: geci@geciengineering.com			
	SCALE: AS SHOWN	DESIGNED: CAG	DRAWN: KRD	CHECKED: SAG	DATE: 01/18/22	
	NOT RELEASED FOR CONSTRUCTION					
	FLORIDA REG. NO. 173924					

REVISION		DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

