

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature	<i>[Signature]</i> 12-15-21 Date
Printed Name:	<i>[Signature]</i> Development Services Director or Designee
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

LAND DEVELOPMENT PLANS FOR PINE FOREST MULTI-FAMILY APARTMENTS FOR TRIMCOR, LLC

PENSACOLA, FLORIDA 32502

LAND DISTURBANCE ACTIVIES

ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS OR AGGREGATE ONSITE, OR ANY OTHER "LAND DISTURBANCE ACTIVIES", ETC... SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF WORK.

ECUA Required Plan Notes (notes shall be inserted in the upper right corner of title sheet)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with any listed updates (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

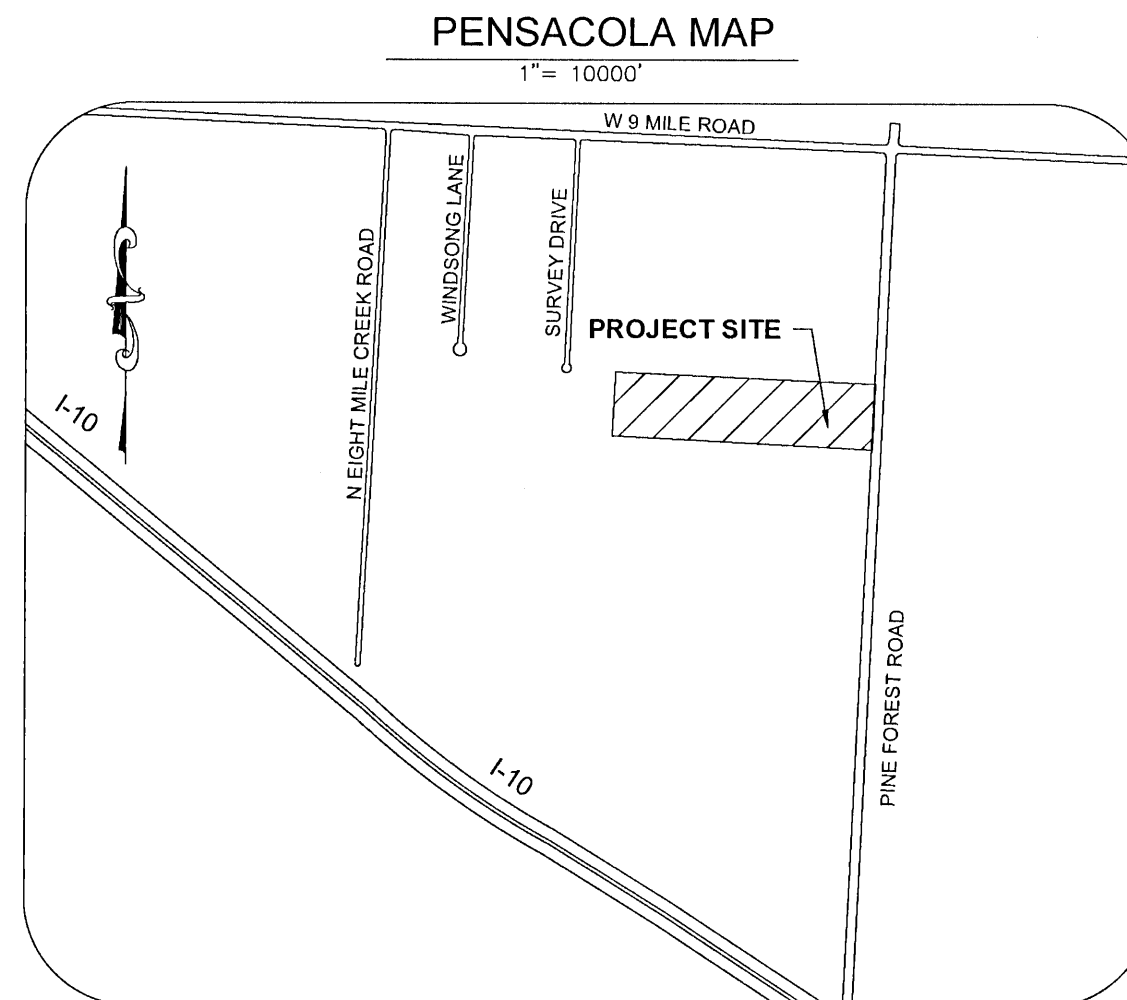
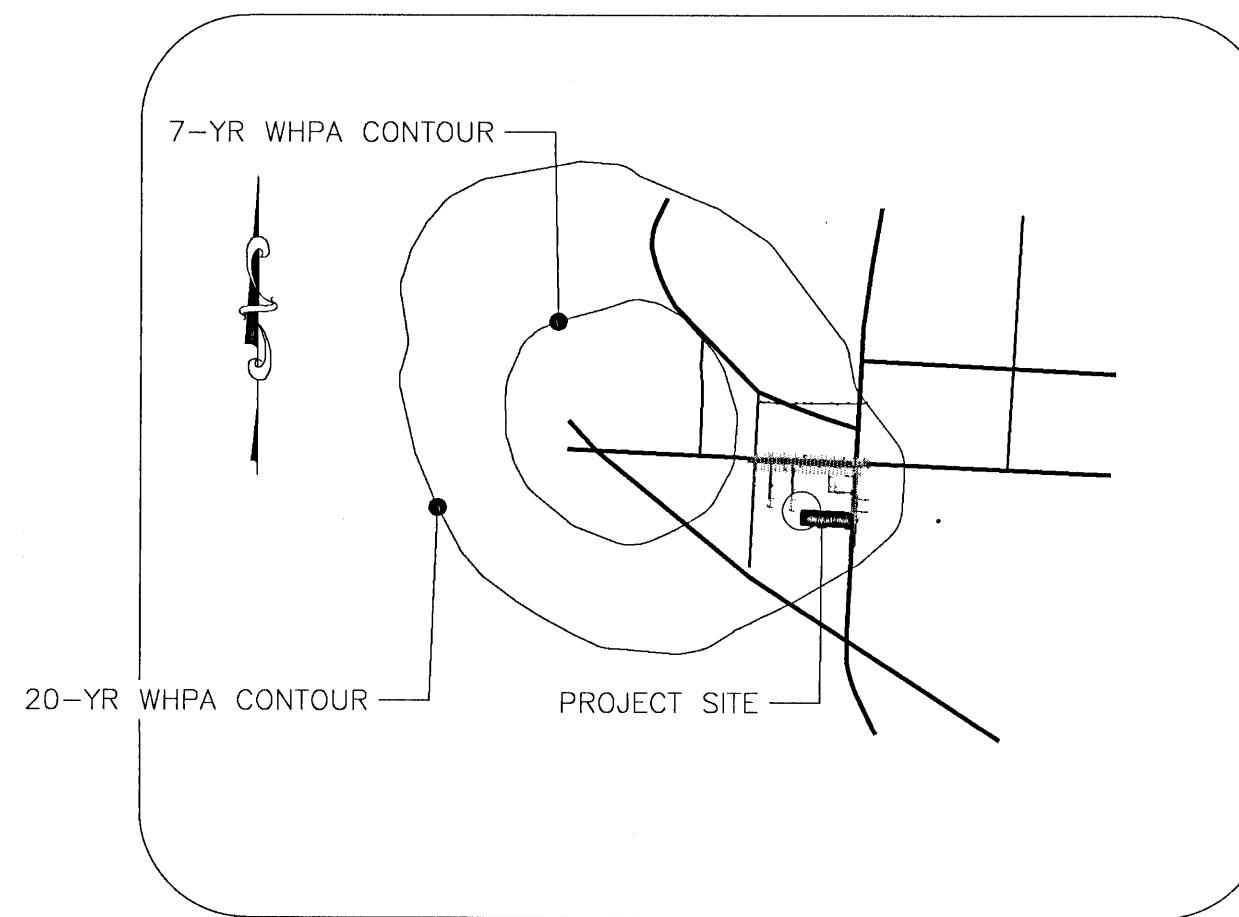
Does this Project have additional technical specifications or construction details that supersede the Manual listed above? ☐ YES ☒ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



LOCATION MAP
1"= 1000'

SHEET INDEX

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C-201	SITE PLAN
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C-203	SITE DISTANCE PLAN & PROFILE
C-300	GRADING PLAN
C-500	UTILITY PLAN
C-502	OFFSITE SEWER AND WATER
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C-302	STORM PROFILES
C-310	POND DETAILS
C-311	STORM DETAILS
C-400	EROSION & SED. CONTROL-PHASE 1
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C-403	EROSION & SED. CONTROL NOTES
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C-900	MISC CONST DETAILS 1
C-901	MISC CONST DETAILS 2
C-910	UTILITY DETAILS 1
C-911	UTILITY DETAILS 2
C-912	UTILITY DETAILS 3
C-913	UTILITY DETAILS 4
C-600	LANDSCAPE PLAN

PLANS PREPARED BY:



139 E GOVERNMENT
STREET,
PENSACOLA, FL 32502
(850) 760-0332



Know what's below.
Call before you dig.

DEWBERRY PROJECT NO.: 50137668

SITE SUMMARY:

PROPERTY OWNER:	TRIMCOR, LLC
ADDRESS:	P.O BOX 518, PHENIX CITY, AL 36868
CONTACT:	KOLE OGELSBY
TELEPHONE NO.:	334-480-4001
CONTRACTOR:	TBD
PIN	11-1S-31-1401-000-004
LATITUDE:	N30° 31' 48.44"
LONGITUDE:	W87° 18' 48.35"
TAX MAP NUMBER:	090403250
PROJECT ADDRESS:	9121 PINE FOREST RD, PENSACOLA, FL 32502
PRESENT ZONING:	HC/LI
PRESENT LANDUSE:	MU-U
PRESENT USE:	VACANT COMMERCIAL
PROPOSED USE:	MULTIFAMILY RESIDENTIAL
PARCEL ACREAGE:	9.09 ACRES
LAND DISTURBANCE:	9.45 ACRES
PROPOSED BUILDING:	8 MF APT BLDGS, MAINTENANCE AND OFFICE-CLUBHOUSE
PARKING:	266 REQ'D / 350 PROPOSED

PROJECT DESCRIPTION:

THE PROJECT SHALL CONSIST OF THE CONSTRUCTION OF 170 MULTIFAMILY DWELLING UNITS (AS ENUMERATED AND TOTALED ON SHEET C-201), TO BE WITHIN THE SITE ACREAGE DETERMINED TO BE CORRECT, AND TO BE DEFINITELY THE EIGHT BUILDINGS SHOWN, NOT AN APPROXIMATE. THE MULTIFAMILY COMMERCIAL DEVELOPMENT IS SITUATED ON APPROXIMATELY 9.09 ACRES ACRES AND LOCATED ON THE WEST SIDE OF PINE FOREST ROAD IN PENSACOLA, FLORIDA ABOUT 1,500 FEET SOUTH OF WEST NINE MILE ROAD. THE SITE IS CURRENTLY PARTIALLY WOODED AND WAS PARTIALLY CLEARED BY A PREVIOUS DEVELOPER. THIS PROJECT INCLUDES THE CONSTRUCTION OF EIGHT APARTMENT BUILDINGS, 1 CLUBHOUSE AND POOL AMENITY, 1 MAINTANANCE BUILDING AS WELL AS ALL NECESSARY PARKING IMPROVEMENTS, UTILITIES, AND STORMWATER MANAGEMENT FEATURES.

ENGINEER'S STATEMENT

ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS SUCH AS:
THE FLORIDA GREEN BOOK
THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MANUAL (FDM)
ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS
THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
THE AMERICANS WITH DISABILITIES ACT (ADA)

FLOOD STATEMENT

"THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0290G, MAP REVISION DATED SEPTEMBER 29, 2006."

Owner
Trimcor, LLC
P.O BOX 518, PHENIX CITY, AL 36868
Contact: Kole Ogelsby
Email: kogelsby@trimcor.com

Civil Engineer
Dewberry Engineers, Inc.
139 E Government St
Pensacola, FL 32502
Phone: 770.731.3135
Contact: Matt Ables, PE
Email: mables@Dewberry.com

Land Surveyor
Pitman, Glaze & Associates, Inc.
5700 North Davis Hwy., Suite 3
Pensacola, FL 32503
Phone: 251.990.9950
Contact: Walter J. Glaze
Email: pgasurvey@bellsouth.net

Geotechnical Engineer
Southern Earth Sciences, Inc.
5460 Rangeline Road
Mobile, FL 36619
Phone: 251.344.7711
Contact: Matt Coaker, PE

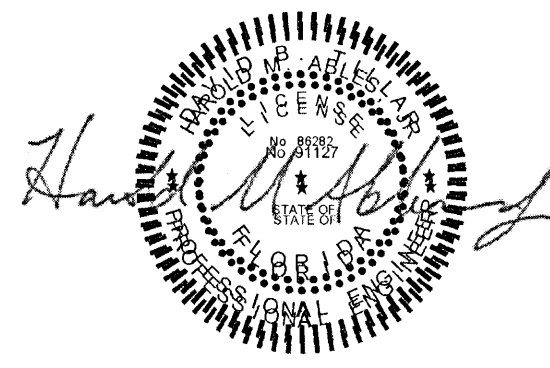


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PINEFOREST ROAD
APARTMENTS PROJECT

ESCAMBIA COUNTY, FLORIDA

SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE



FOR PERMITTING ONLY

SCALE

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION.

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ A. K. ANDERSON
APPROVED BY _____ M. ABLES
CHECKED BY _____ M. ABLES
DATE _____ OCTOBER 2021

TITLE

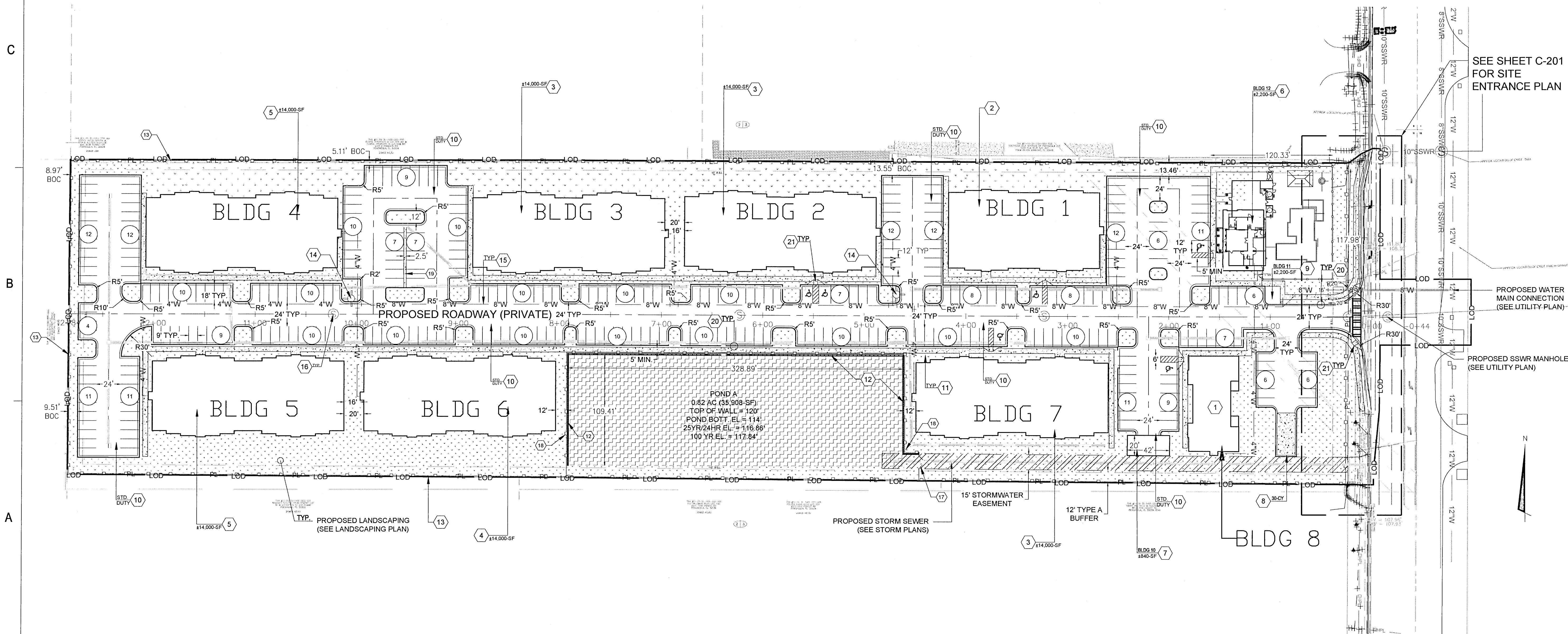
COVER

PROJECT NO. 50137668

C-1.0

SHEET NO. 1 of 30

SHEET NO. 5 of 30



E

D

C

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A

- NOTES:
1. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT THERMOPLASTIC MARKING STANDARDS.
 2. ALL SIGNAGE TO CONFORM TO FDOT AND OR MUTCD STANDARDS.
 3. SEE TYPICAL ROADWAY SECTION DETAIL (SHEET C-902)

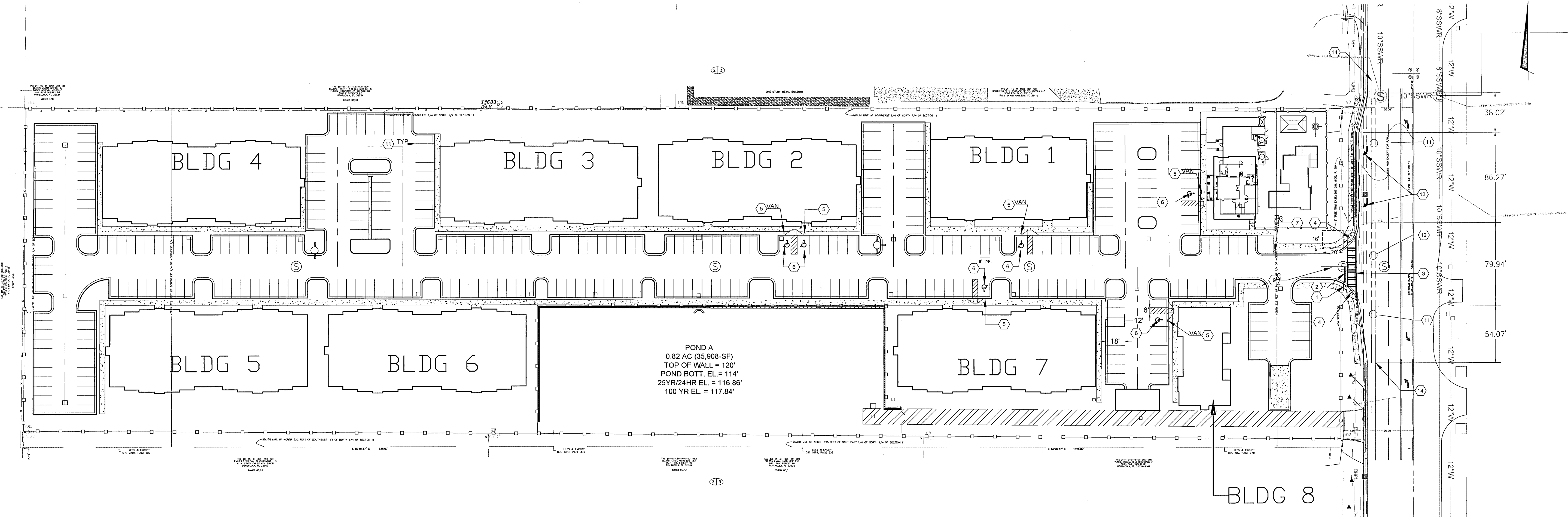
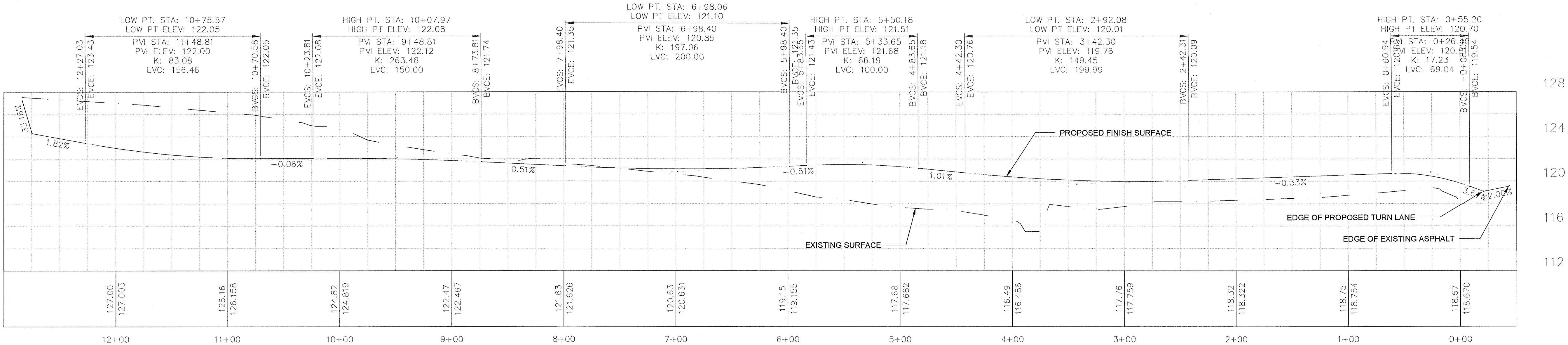
PROPOSED SIGNAGE AND MARKING NOTES

- 1 STOP SIGN R1-1 (SEE DETAIL ON SHEET C-900)
- 2 12 INCH WHITE STOP BAR
- 3 ADA CROSSWALK (SEE FDOT DETAIL ON SHEET C-901)
- 4 ADA SIDEWALK RAMP (FDOT TYPE A SEE SHEET C-901)
- 5 ADA PARKING SIGN (SEE DETAIL ON SHEET C-900)
- 6 BLUE ADA HANDICAP PARKING SYMBOL
- 7 SPEED LIMIT SIGN R2-1
- 8 NO PARKING SIGN R7-1
- 9 4 INCH SOLID YELLOW STRIPE
- 10 4 INCH SOLID YELLOW DIAGONAL GORE STRIPPING
- 11 5 INCH SOLID WHITE STRIPE
- 12 5 INCH SKIP WHITE STRIPE
- 13 WHITE RIGHT TURN ARROW
- 14 MATCH TO EXISTING STRIPING (PROVIDING APPROPRIATE TRANSITION AS NECESSARY)

LEGEND

- BL BOLLARD
- LIMITS OF CONSTRUCTION
- LP ☆ LIGHT POLE
- EXISTING CONCRETE
- EXISTING ASPHALT
- NEW CONCRETE SIDEWALK
- NEW STD DUTY ASPHALT
- SODDED GRASS
- PROPOSED BUILDING
- C.I.P. CONCRETE RETAINING WALL

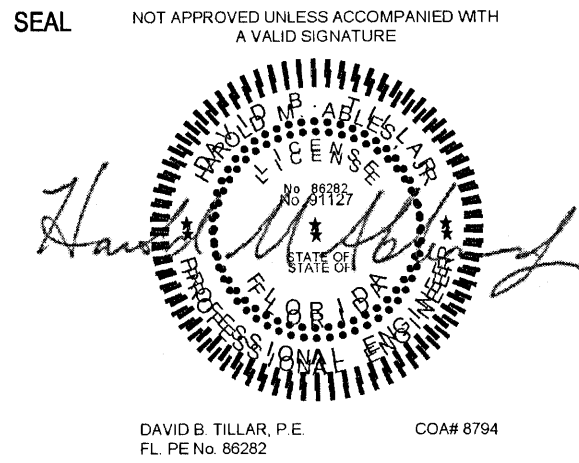
PROPOSED ROADWAY PROFILE



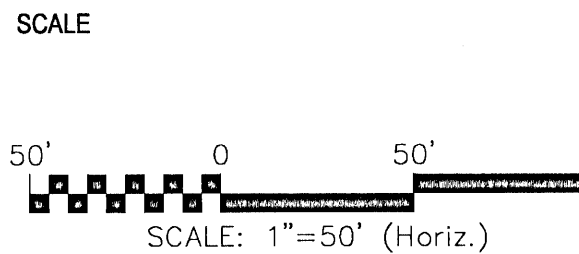
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PINEFOREST ROAD
APARTMENTS PROJECT

ESCAMBIA COUNTY, FLORIDA



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REVISIONS		
NO.	DESCRIPTION	DATE

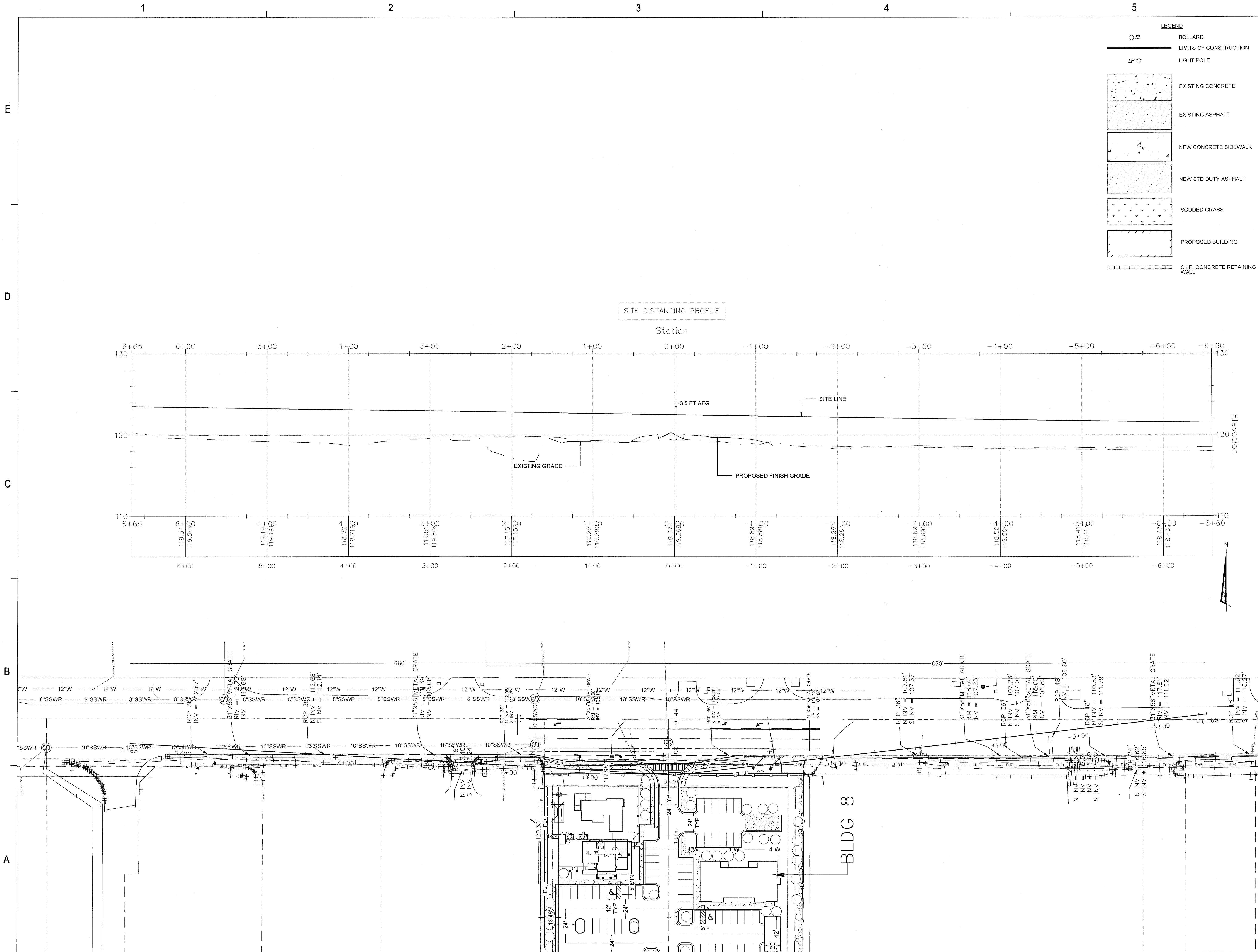
DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021
TITLE:

SIGNAGE, MARKING AND
ROADWAY PROFILE

PROJECT NO. 50137668

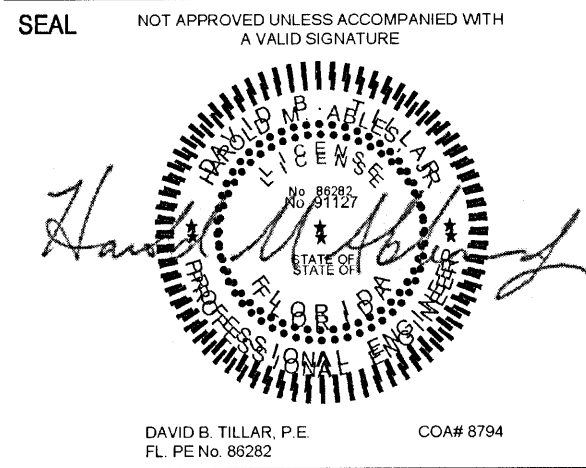
C-202

SHEET NO. 6 of 30

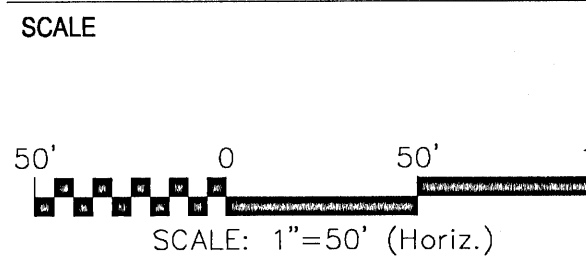


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PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE

SITE DISTANCE PLAN &
PROFILE

PROJECT NO. 50137668

C-203

SHEET NO. 7 of 30

UTILITY NOTE:

1. THIS DEVELOPMENT SHALL BE MASTER METERED. THUS, RESTRICTED TO A SOLE ENTITY OWNER.

PROPOSED UTILITY INSTALLATION NOTES

1. INSTALL 8-INCH DIP WATER MAIN
2. INSTALL 4-INCH DIP WATER SUPPLY
3. INSTALL 2-INCH DIP WATER SERVICE SUPPLY
4. INSTALL 8"x4" D.I. TEE FITTING
5. INSTALL 8"x2" D.I. CROSS FITTING
6. INSTALL 4"x2" D.I. TEE FITTING
7. INSTALL 8"x4" D.I. REDUCING CROSS FITTING OR 8"x4" D.I. CROSS FITTING WITH 8"x4" REDUCER D.I. FITTING
8. CROSSING PIPE CONFLICT. CONTRACTOR SHALL ENSURE ADEQUATE PIPE SEPARATION. (MIN. 1-FT VERT. - WATER CROSSING ABOVE)
9. INSTALL 6" DIP WITH 3-WAY FH AND ASSEMBLY (SEE D-50 ON SHEET C-913)
10. CONNECT WATER/FIRE SERVICE TO PROPOSED BLDG., COORD WITH PLUMBING CONTRACTOR. BFP TO BE INSTALLED INSIDE BLDG FIRE RISER ROOM. (SEE PLUMBING / FIRE PROTECTION PLANS).
11. APPROX. LOCATION OF SEWER SERVICE CONNECTION. COORD. W/ PLUMBING (SEE PLUMBING PLANS)
12. 8" PVC SANITARY SEWER MAIN
13. SANITARY SEWER CLEANOUT (MIN. 5-FT FROM BLDG AND EVERY BEND OR 75-FT LINEAR) (SEE DETAIL ON C-910)
14. 6" LATERAL SEWER SERVICE CONNECTION (SEE D-1 ON SHEET C-912)

PROPOSED UTILITY INSTALLATION NOTES

15. 48" SANITARY SEWER MANHOLE (SEE D-10 ON SHEET C-912 OR C-910 FOR DOGHOUSE)
16. CONNECT TO EXISTING 12" WATER MAIN W/ 12"x12"x8" D.I. TEE. COORD. W/ ECUA. (CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION)
17. 16" STEEL CASING (0.25"Ø MIN) INSTALLED USING JACK AND BORE; COMPLETE WITH SPACERS AND END CAPS.
18. 8" DIP (MIN. 0.25" THICKNESS) WATER MAIN CARRIER PIPE; MIN 5-FT BEYOND END OF CASING
19. 1-INCH WATER SUPPLY
20. 2"x1"x1" TEE FITTING
21. 10"x6" WATER METER VAULT (SEE DETAIL D-45 ON SHEET C-913)
22. 8" D.I.P. SANITARY SEWER MAIN
23. 8"x6" SSWR SERVICE CONNECTION TO 8" PVC SSWR MAIN
24. ECUA UTILITY EASEMENT

LEGEND

	BOLLARD		C.I.P. CONCRETE RETAINING WALL
	LIMITS OF CONSTRUCTION		WATER MAIN
	LIGHT POLE		PROPOSED PIV
	EXISTING CONCRETE		PROPOSED WEDGE GATE VALVE WITH NRS AND VALVE BOX
	EXISTING ASPHALT		DI TEE FITTING
	NEW CONCRETE SIDEWALK		PROPOSED WATER LINE
	NEW STD DUTY ASPHALT		NEW 3-WAY FH
	SODDED GRASS		SANITARY SEWER LINE
	PROPOSED BUILDING		SANITARY SEWER CLEANOUT

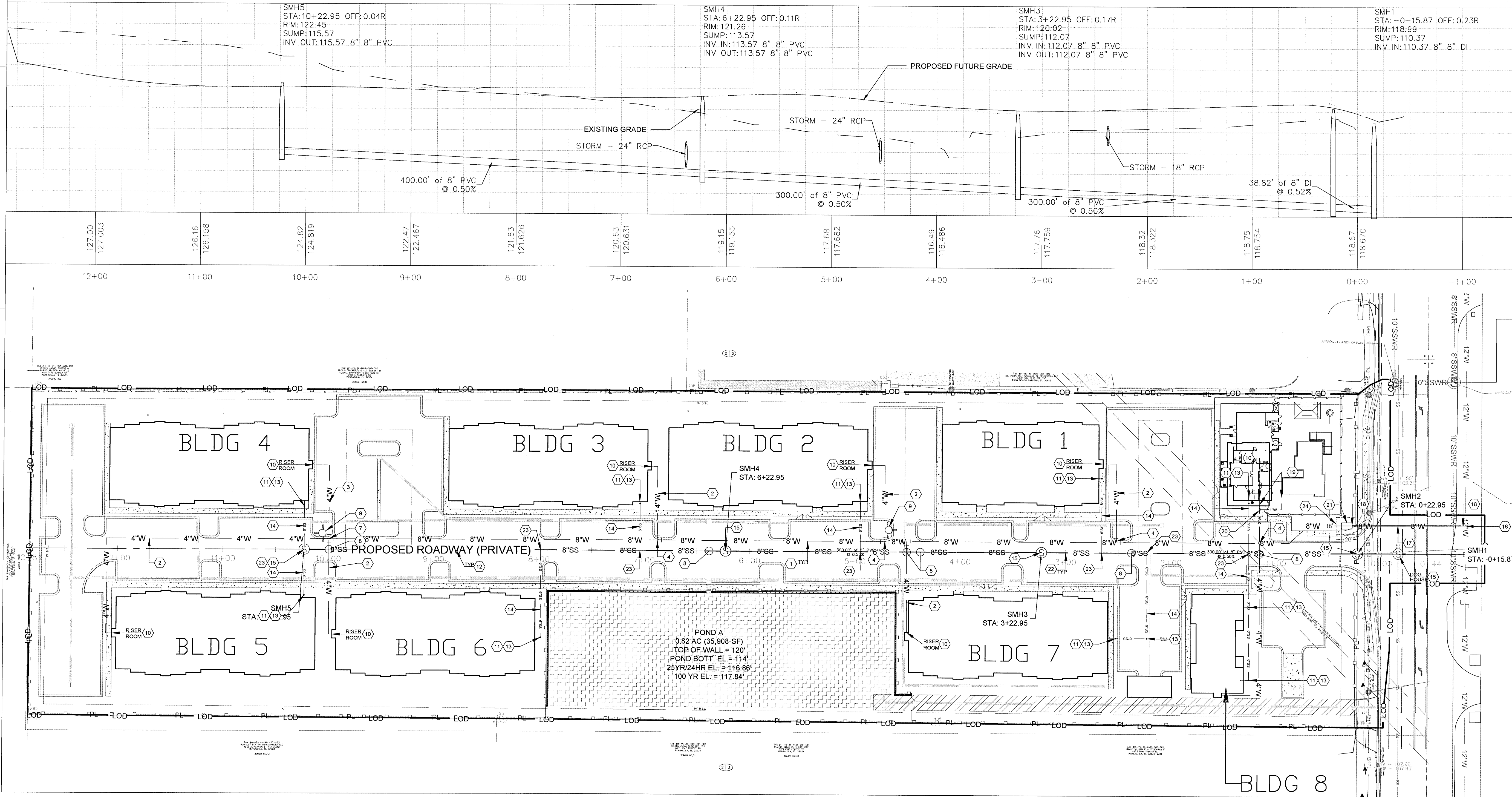
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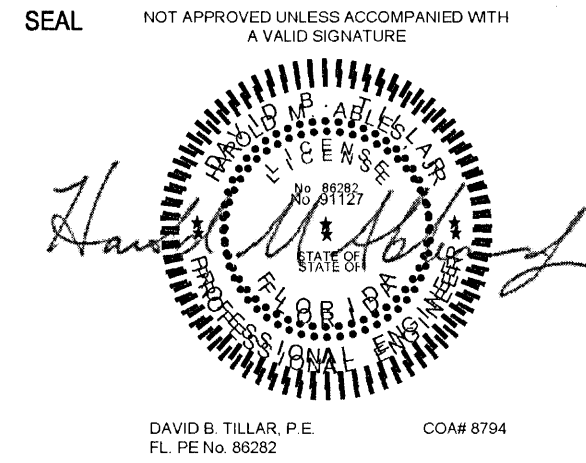


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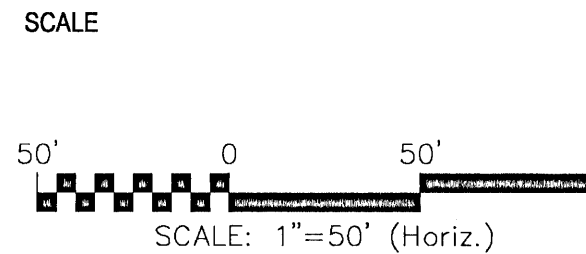


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PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



FOR PERMITTING ONLY



NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021
TITLE: UTILITY PLAN

PROJECT NO. 50137668

C-500

SHEET NO. 9 of 30

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING
4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

PROFILE NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.

1. ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING STORM PIPE
- 3 EXISTING STORM STRUCTURE
- 4 EXISTING MANHOLE
- 5 EXISTING 4-INCH PVC SSWR
- 6 EXISTING 6-INCH PVC SSWR
- 7 EXISTING 8-INCH PVC SSWR
- 8 EXISTING 12-INCH PVC SSWR
- 9 EXISTING 6-INCH WATER MAIN
- 10 EXISTING 8-INCH WATER MAIN
- 11 EXISTING 12-INCH WATER MAIN
- 12 EXISTING 16-INCH WATER MAIN
- 13 INSTALL 6-INCH SSWR FORCE MAIN (MIN 3-FT COVER)
- 14 INSTALL 14-INCH STEEL CASING (0.25'Ø)
- 15 INSTALL 72"x48" MIN. CONCRETE VAULT
- 16 INSTALL 6" SEWER ARV
- 17 INSTALL 6-INCH D.I. R.S. GATE VALVE
- 18 INSTALL 6" CHECK VALVE
- 19 PROPOSED SSWR FM CONN. TO EX. 6-INCH SSWR FM USING 6"x6"x6" D.I. TEE FITTING AND 6" D.I. GATE VALVE
- 20 PROPOSED SSWR FM CONN. TO EX. 18-INCH SSWR FM W/ 18"x6" S.S. TAPPING SLEEVE AND 6-INCH R.S. GATE VALVE
- 21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

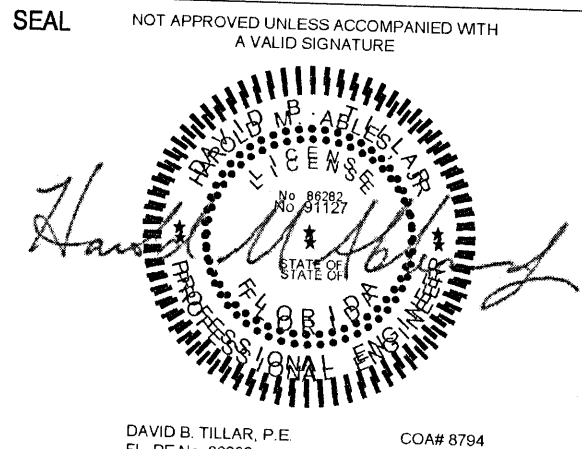
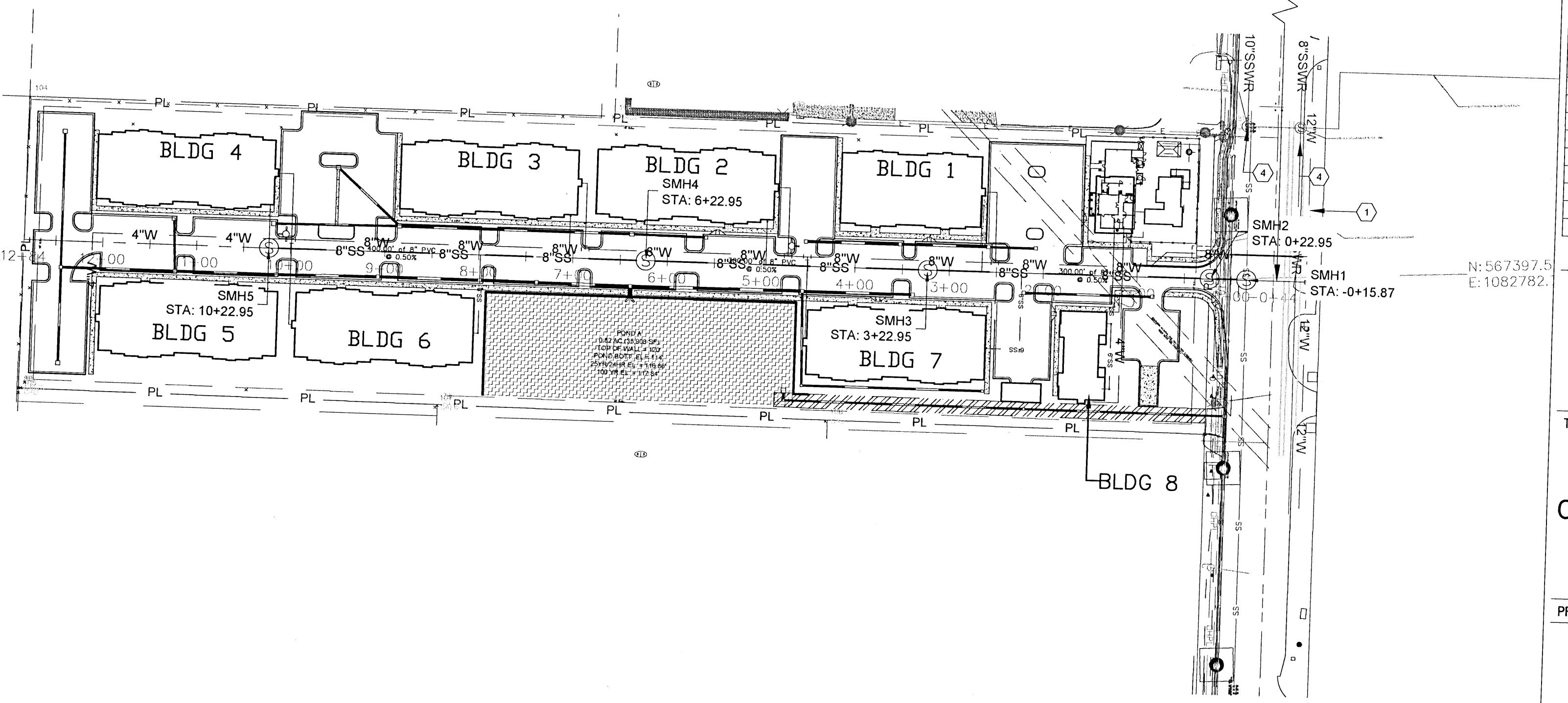
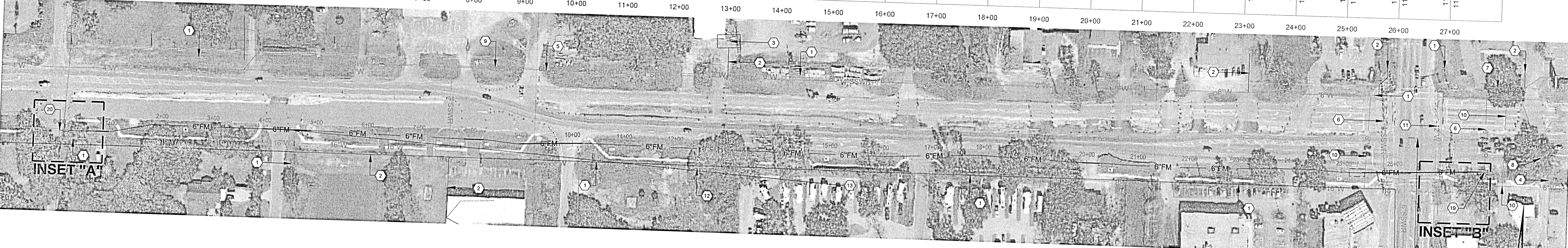
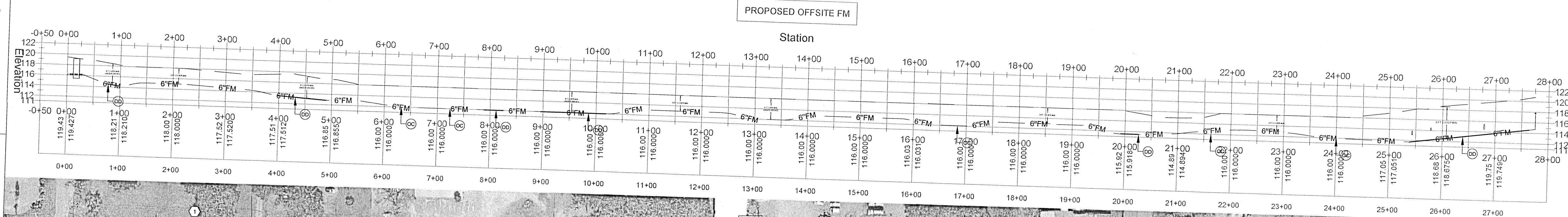
LEGEND

- DD JACK AND BORE
SEE D-65 (SHEET C-910)
- OC OPEN CUT
- CP 6" RESTRAINED PVC CARRIER PIPE
- CA 14" STEEL CASING PIPE
(0.118 Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING

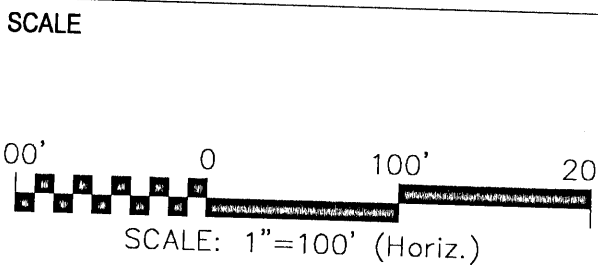


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PINEFOREST ROAD
APARTMENTS PROJECT
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DRAWN BY A. K. ANDERSON
APPROVED BY M. ABLES
CHECKED BY M. ABLES
DATE OCTOBER 2021

OFFSITE SEWER AND WATER
OVERALL

PROJECT NO. 50137668

C-501

SHEET NO. 10 of 30

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING
4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

PROFILE NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.

ECUA NOTE:

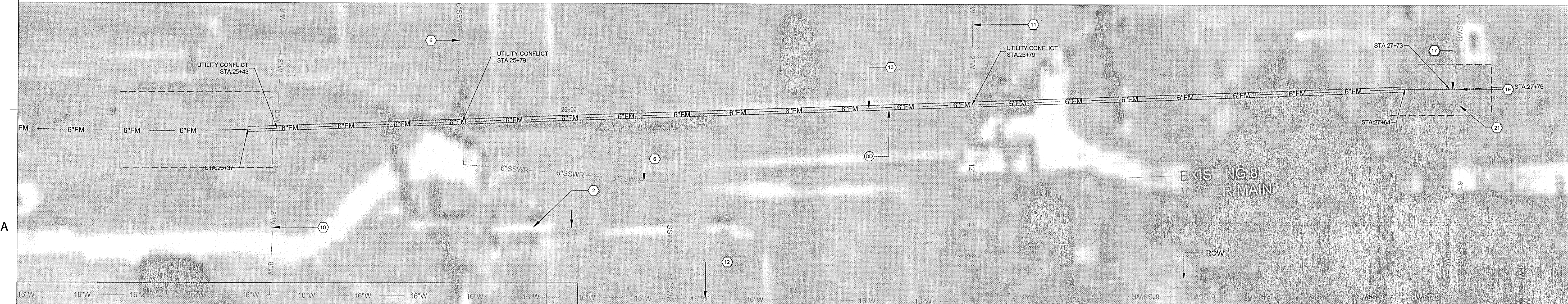
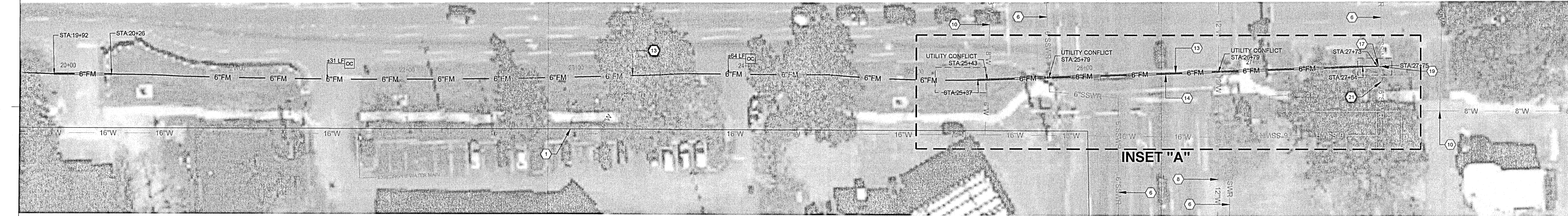
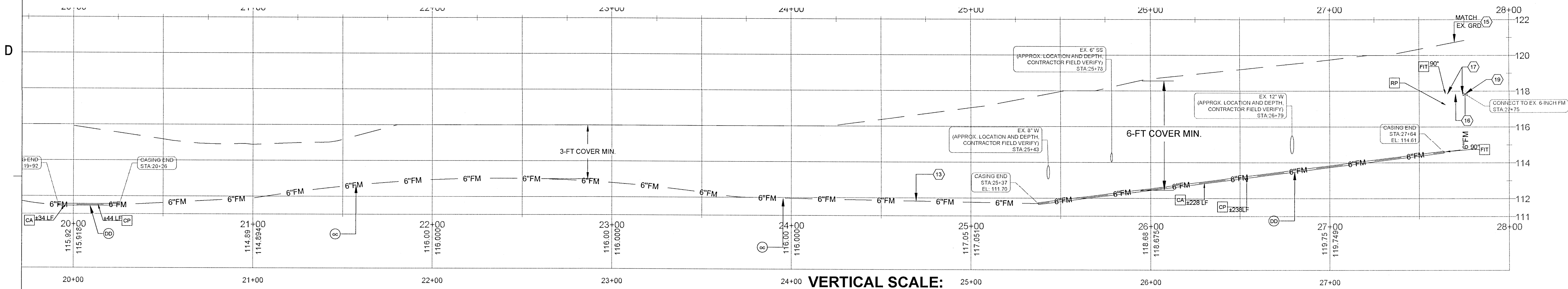
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PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

- 1 EXISTING FIRE HYDRANT
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- 5 EXISTING 4-INCH PVC SSWR
- 6 EXISTING 6-INCH PVC SSWR
- 7 EXISTING 8-INCH PVC SSWR
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- 9 EXISTING 6-INCH WATER MAIN
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- 21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD DIRECTIONAL DRILL
SEE D-65 (SHEET C-910)
- OC DRIVEWAY OPEN CUT
- CP 6" RESTRAINED PVC FM
CARRIER PIPE
- CA 14" STEEL CASING PIPE
(0.25" Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING
- BORING / RECEIVING PIT

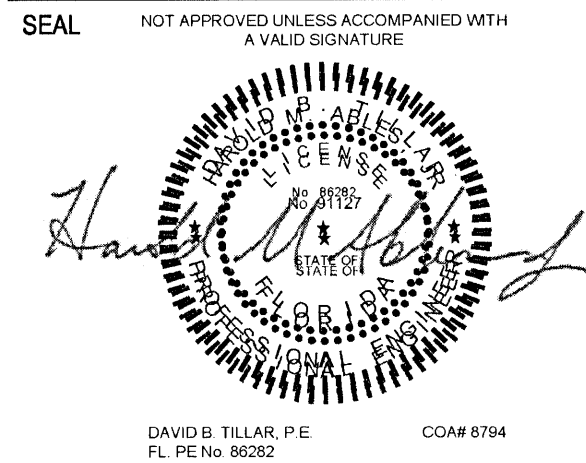


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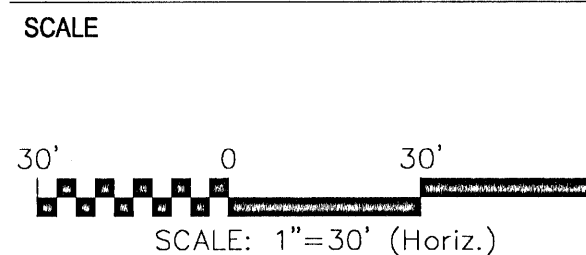


139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



FOR PERMITTING ONLY



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE

OFFSITE SEWER AND WATER
PLAN

PROJECT NO. 50137668

C-502

SHEET NO. 11 of 30

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING
4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

PROFILE NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.

ECUA NOTE:

1. ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING STORM PIPE
- 3 EXISTING STORM STRUCTURE
- 4 EXISTING MANHOLE
- 5 EXISTING 4-INCH PVC SSWR
- 6 EXISTING 6-INCH PVC SSWR
- 7 EXISTING 8-INCH PVC SSWR
- 8 EXISTING 12-INCH PVC SSWR
- 9 EXISTING 6-INCH WATER MAIN
- 10 EXISTING 8-INCH WATER MAIN
- 11 EXISTING 12-INCH WATER MAIN
- 12 EXISTING 16-INCH WATER MAIN
- 13 INSTALL 6-INCH SSWR FORCE MAIN (MIN 3-FT COVER)
- 14 INSTALL 14-INCH STEEL CASING (0.25"Ø)
- 15 INSTALL 72"x48" MIN. CONCRETE VAULT
- 16 INSTALL 6" SEWER ARV
- 17 INSTALL 6-INCH D.I. R.S. GATE VALVE
- 18 INSTALL 6" CHECK VALVE
- 19 PROPOSED SSWR FM CONN. TO EX. 6-INCH SSWR FM USING 6"x6"x6" D.I. TEE FITTING AND 6" D.I. GATE VALVE
- 20 PROPOSED SSWR FM CONN. TO EX. 18-INCH SSWR FM W/ 18"x6" S.S. TAPPING SLEEVE AND 6-INCH R.S. GATE VALVE
- 21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD DIRECTIONAL DRILL
SEE D-65 (SHEET C-910)
- OC OPEN CUT
- CP 6" RESTRAINED PVC CARRIER PIPE
- CA 14" STEEL CASING PIPE
(0.118 Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING



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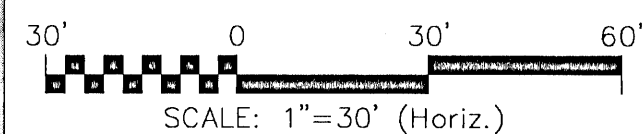
PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY A. K. ANDERSON
APPROVED BY M. ABLES
CHECKED BY M. ABLES
DATE OCTOBER 2021

TITLE

OFFSITE SEWER AND WATER
PLAN II

PROJECT NO. 50137668

C-503

SHEET NO. 12 of 30

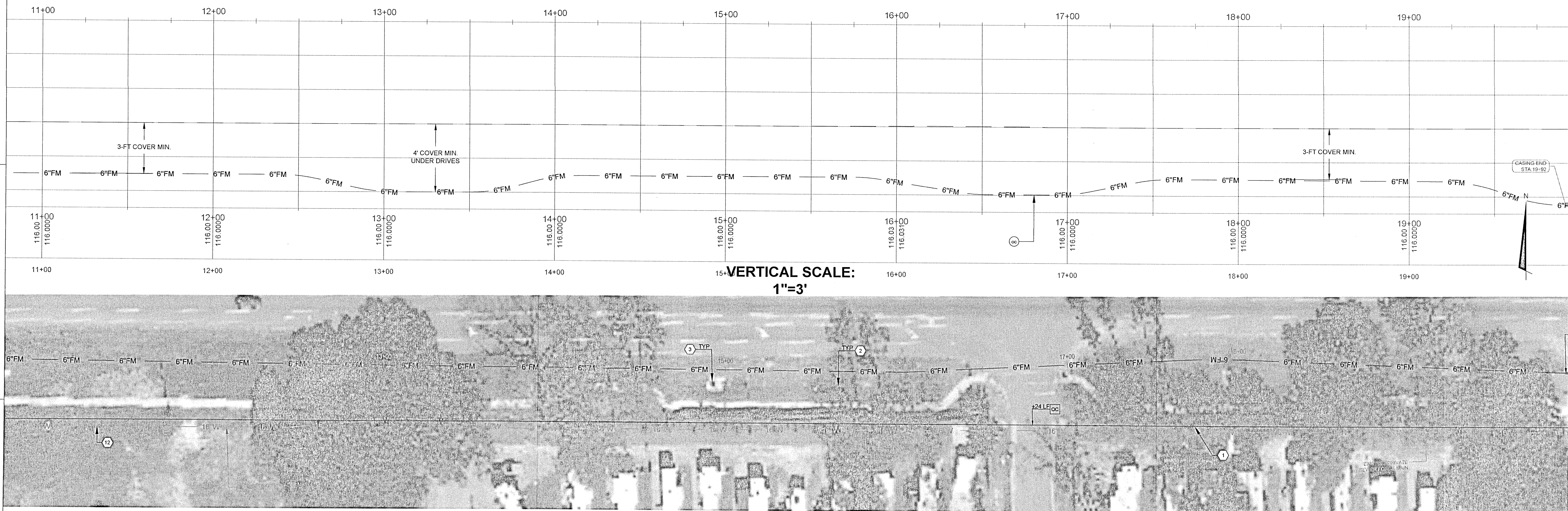
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C

B

A

VERTICAL SCALE:
1"=3'



GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
- CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING.
- CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL.
- ALL CARRIER PIPE SHALL BE EXTENDED A MINIMUM 5-FT FROM END OF CASING.

PROFILE NOTES:

- APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.

ECUA NOTE:

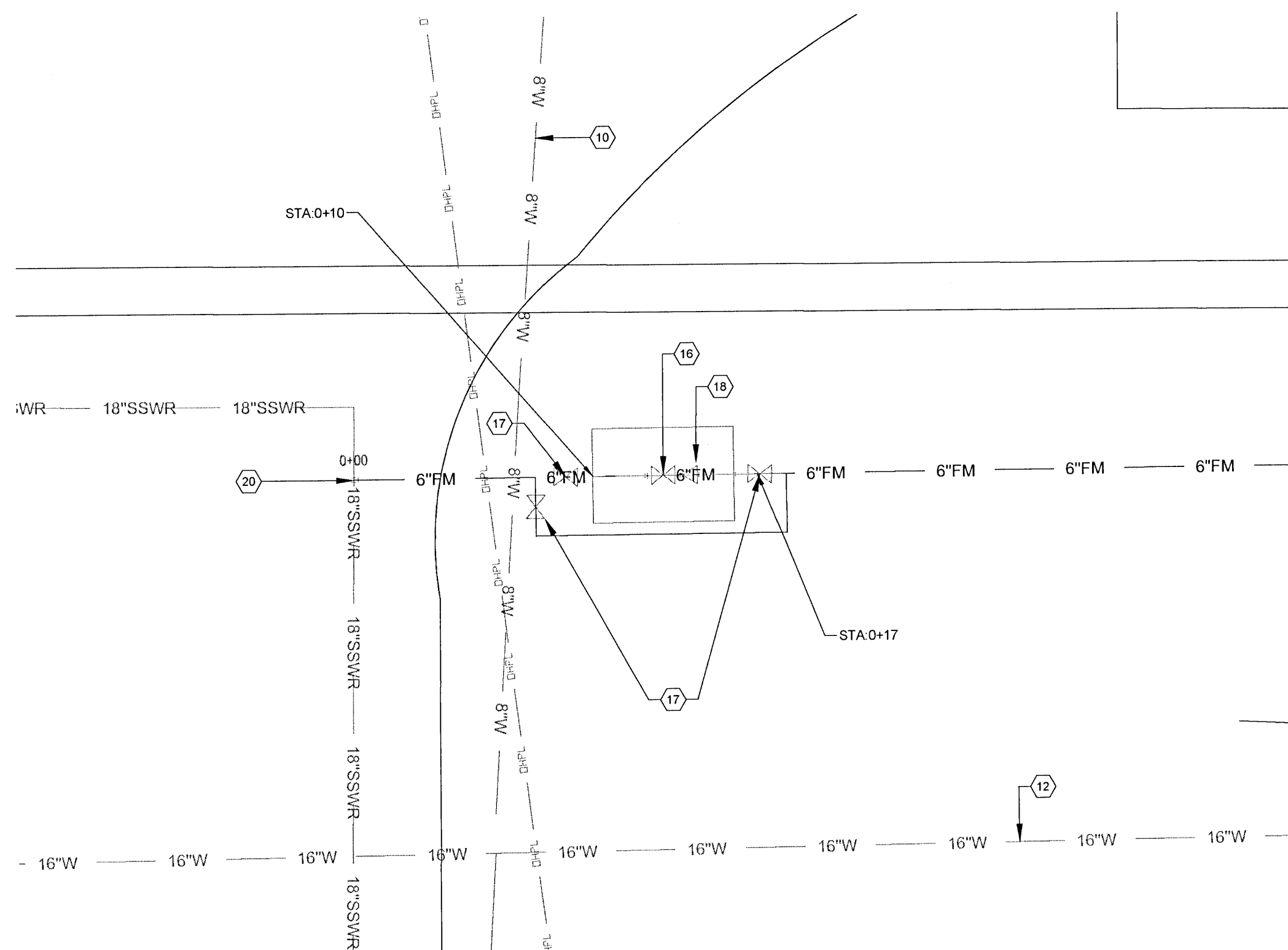
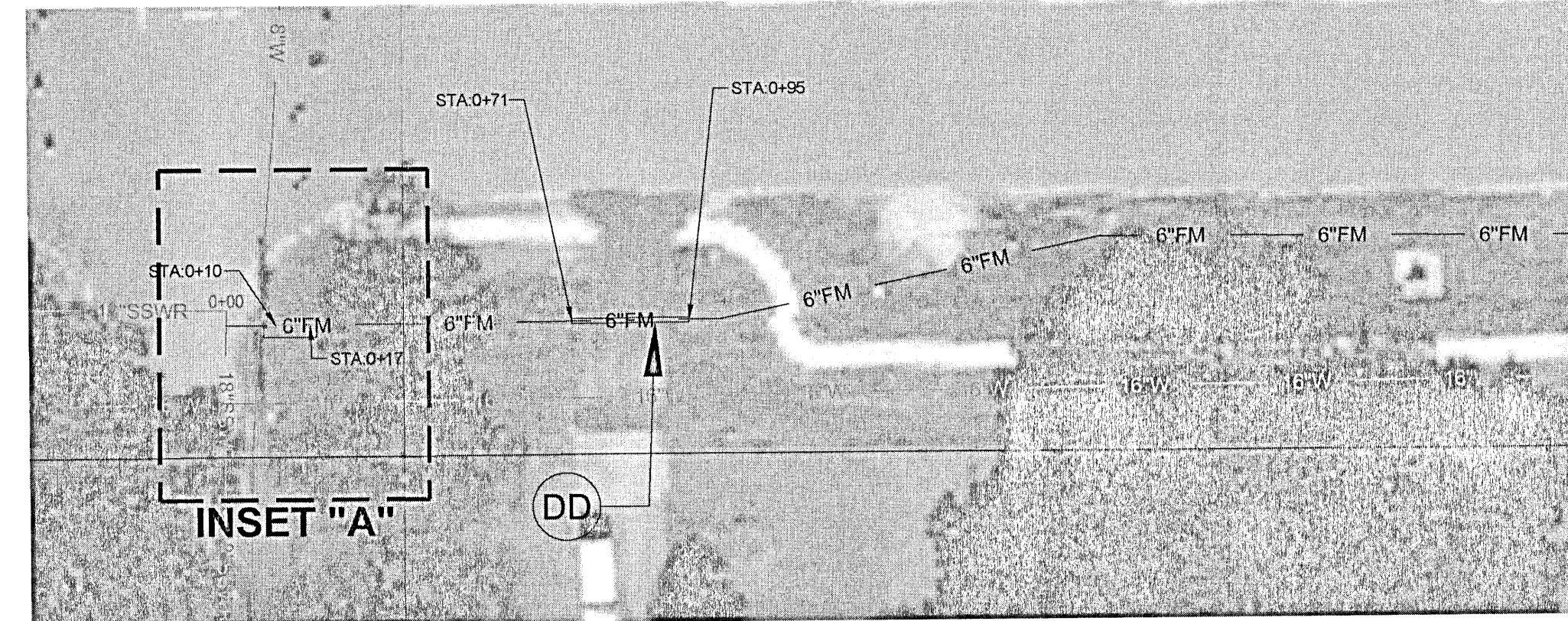
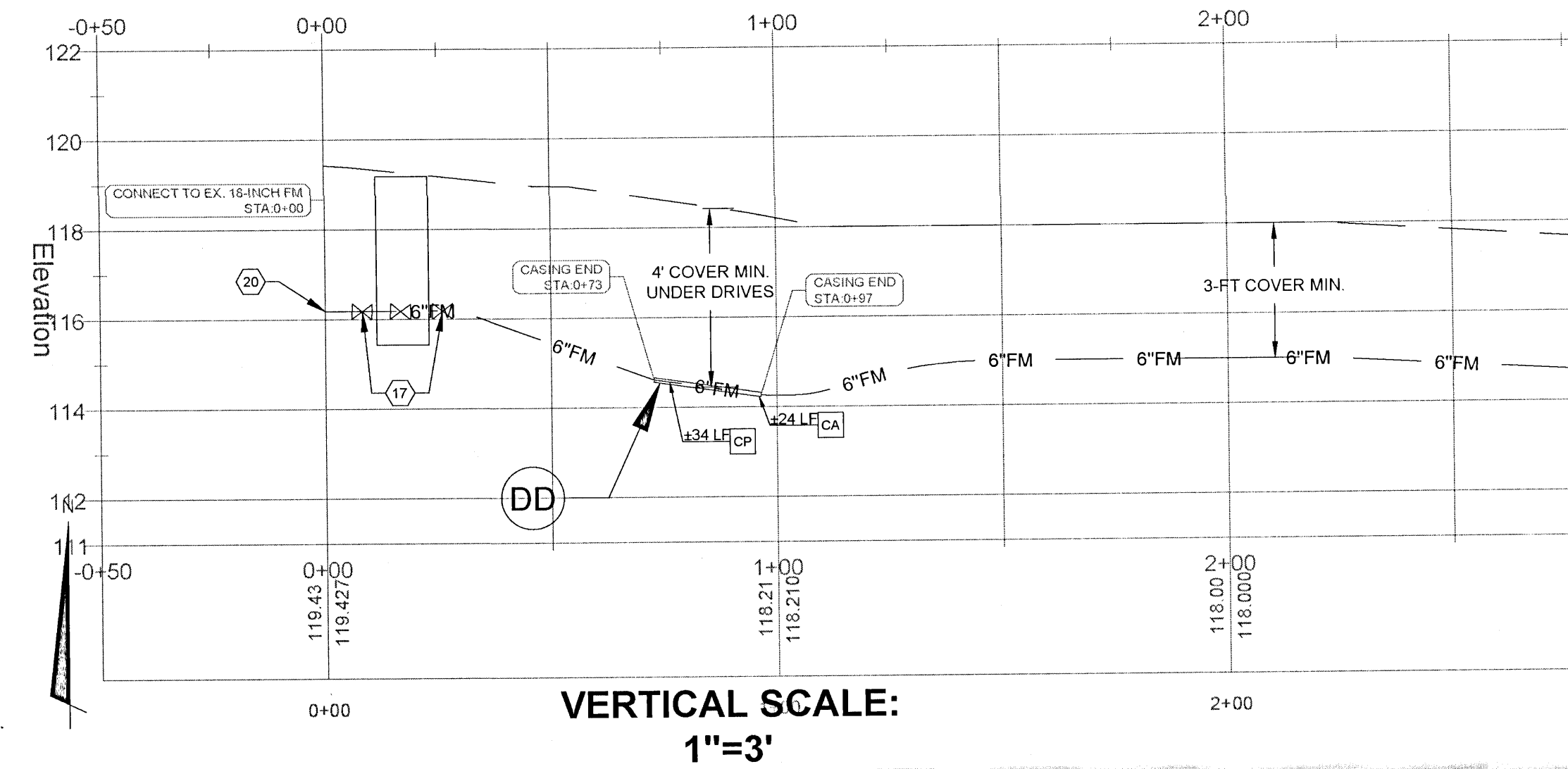
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PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

- EXISTING FIRE HYDRANT
- EXISTING STORM PIPE
- EXISTING STORM STRUCTURE
- EXISTING MANHOLE
- EXISTING 4-INCH PVC SSWR
- EXISTING 6-INCH PVC SSWR
- EXISTING 8-INCH PVC SSWR
- EXISTING 12-INCH PVC SSWR
- EXISTING 6-INCH WATER MAIN
- EXISTING 8-INCH WATER MAIN
- EXISTING 12-INCH WATER MAIN
- EXISTING 16-INCH WATER MAIN
- INSTALL 6-INCH SSWR FORCE MAIN (MIN 3-FT COVER)
- INSTALL 14-INCH STEEL CASING (0.25'-Ø)
- INSTALL 72"x48" MIN. CONCRETE VAULT
- INSTALL 6" SEWER ARV
- INSTALL 6-INCH D.I. R.S. GATE VALVE
- INSTALL 6" CHECK VALVE
- PROPOSED SSWR FM CONN. TO EX. 6-INCH SSWR FM USING 6"x6"x6" D.I. TEE FITTING AND 6" D.I. GATE VALVE
- PROPOSED SSWR FM CONN. TO EX. 18-INCH SSWR FM W/ 18"x6" S.S. TAPPING SLEEVE AND 6-INCH R.S. GATE VALVE
- ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD DIRECTIONAL DRILL
SEE D-65 (SHEET C-910)
- OC OPEN CUT
- CP 6" RESTRAINED PVC CARRIER PIPE
- CA 14" STEEL CASING PIPE
(0.118 Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING



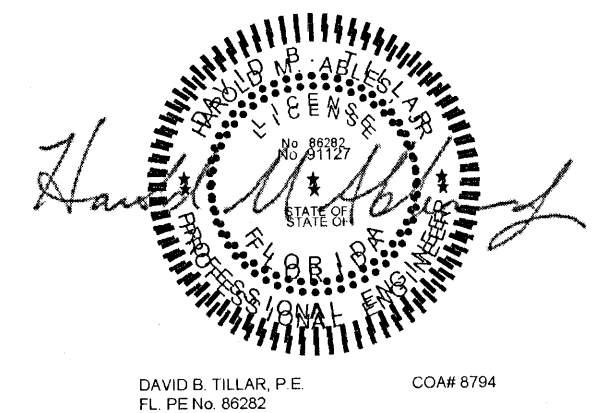
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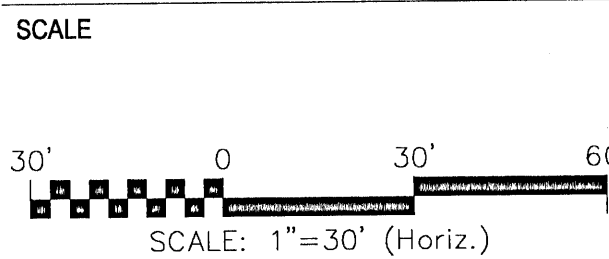
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PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ A. K. ANDERSON
APPROVED BY _____ M. ABLES
CHECKED BY _____ M. ABLES
DATE _____ OCTOBER 2021
TITLE _____

OFFSITE SEWER AND WATER
PLAN IV

PROJECT NO. _____ 50137668

C-505

SHEET NO. 14 of 30




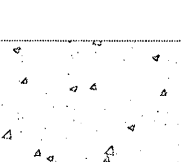
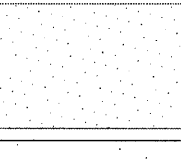
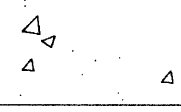
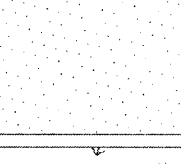
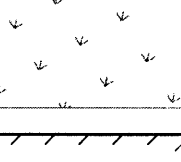
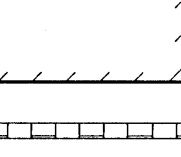
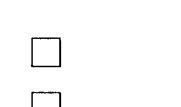



Structure Table					Structure Table				
Structure Name	Structure Type	Rim Elevation	Inverts	Station	Structure Name	Structure Type	Rim Elevation	Inverts	Station
CO-B2N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 120.886	INV IN:117.69 18"	STA: 9+52.31 OFF -83.24R	DI-A1S1	24 x 24 inch Rectangular Structure	RIM = 121.225	INV IN:115.98 18" INV IN:115.98 18"	STA: 4+53.09 OFF -127.06
DI-A2	36 x 36 inch Rectangular Structure	RIM = 120.490	INV IN:114.07 42" INV IN:114.57 24" INV IN:115.07 30" INV IN:114.07 30"	STA: 6+38.59 OFF -27.77L	DI-C1S2	24 x 24 inch Rectangular Structure	RIM = 121.231	INV IN:116.95 18"	STA: 2+61.40 OFF -127.01
DI-A4	36 x 36 inch Rectangular Structure	RIM = 120.839	INV IN:115.61 30" INV IN:116.11 24"	STA: 7+98.35 OFF -26.63L	DI-C2	36 x 36 inch Rectangular Structure	RIM = 119.909	INV IN:115.30 24" INV IN:115.29 24"	STA: 4+52.77 OFF 26.52R
DI-A5	36 x 36 inch Rectangular Structure	RIM = 120.974	INV IN:116.38 24" INV IN:116.38 24"	STA: 9+06.37 OFF -26.56L	DI-C3	36 x 36 inch Rectangular Structure	RIM = 119.495	INV IN:115.79 24" INV IN:115.79 24"	STA: 3+53.37 OFF 26.81R
DI-A6	36 x 36 inch Rectangular Structure	RIM = 121.316	INV IN:116.69 24" INV IN:116.69 24"	STA: 10+14.51 OFF -28.14L	DI-C4	36 x 36 inch Rectangular Structure	RIM = 119.665	INV IN:116.81 18" INV IN:116.30 24" INV IN:116.80 18"	STA: 2+24.87 OFF 0.00
DI-A6N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 122.011	INV IN:117.26 18"	STA: 11+24.95 OFF -27.90R	DI-C4E	36 x 36 inch Rectangular Structure	RIM = 119.251	INV IN:116.97 18"	STA: 0+50.44 OFF 0.00
DI-A7	36 x 36 inch Rectangular Structure	RIM = 121.782	INV IN:116.98 18" INV IN:116.98 24" INV IN:116.98 24"	STA: 11+22.56 OFF -28.15L	DI-C5	36 x 36 inch Rectangular Structure	RIM = 119.651	INV IN:117.05 18" INV IN:117.05 18" Reinforced Concrete Pipe	STA: 2+86.45 OFF 0.00
DI-A7N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.301	INV IN:118.30 18"	STA: 12+43.98 OFF -116.45R	GI-I (TYPE S)	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 119.179	INV IN:108.33 18"	STA: 0+09.81 OFF 69.41R
DI-A7S	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.501	INV IN:118.09 18"	STA: 12+43.60 OFF -130.02L	HW-A1	Concrete Endwall with 45 Degree Wings - 42 in. Dia. Pipe	RIM = 118.875	INV IN:114.00 42"	STA: 6+38.46 OFF -41.80L
DI-A8	36 x 36 inch Rectangular Structure	RIM = 122.713	INV IN:117.58 18" INV IN:117.58 18" INV IN:117.58 24"	STA: 12+43.77 OFF -27.96L	JB-D2	24 x 24 inch Rectangular Structure	RIM = 118.371	INV IN:110.46 18" INV IN:110.46 18"	STA: 4+71.97 OFF -143.35L
DI-B1	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 120.490	INV IN:114.85 24" INV IN:114.85 24" INV IN:115.82 18" Reinforced Concrete Pipe	STA: 6+38.53 OFF 27.98R	OCS-D1	Precast 48 in. x 48 in. Type J Junction Box (6 in. Wall Thickness) 10 ft. or Less	RIM = 117.000	INV IN:110.54 18"	STA: 4+71.98 OFF -133.35L
DI-B2	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.235	INV IN:116.03 24" INV IN:117.23 18" INV IN:116.53 18"	STA: 8+85.42 OFF 28.18R					
DI-B3	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.459	INV IN:117.19 18"	STA: 10+18.92 OFF 26.15R					
DI-C1	36 x 36 inch Rectangular Structure	RIM = 120.104	INV IN:114.98 24" INV IN:114.98 30" INV IN:115.48 18" INV IN:115.48 24"	STA: 4+55.14 OFF -26.49L					
DI-C1E	36 x 36 inch Rectangular Structure	RIM = 119.516	INV IN:115.57 24"	STA: 3+38.11 OFF -26.48L					

PROPOSED STORMWATER NO

- MODIFY AND OR REPLACE EXISTING STORM STRUCTURE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-01)
- INSTALL FDOT JUNCTION BOX AND OR MANHOLE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-010)

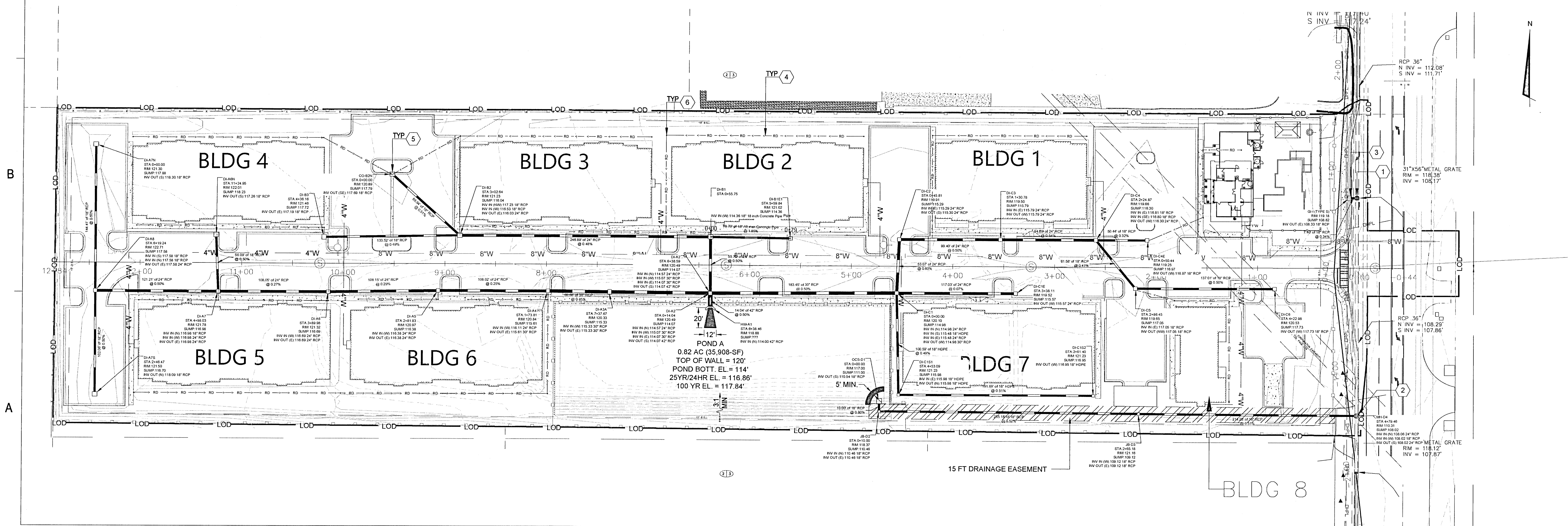
STORM PIPE TABLE				
NAME	DIAMETER (INCHES)	LENGTH (FEET)	DESIGN FLOW CAPACITY (CFS)	PEAK FLOW (CFS)
PIPE 1	18	32.92	7.93	3.74
PIPE 2	18	49.34	8.1	5.17
PIPE 3	24	102.92	17.25	8.88
PIPE 4	24	99.99	17.33	12.43
PIPE 5	24	61.17	17.45	14.07
PIPE 6	24	117	10.96	1.3
PIPE 7	18	194.69	8.05	2.21
PIPE 8	18	99.33	8.05	4.3
PIPE 9	30	182.52	31.38	20.97
PIPE 10	42	14.04	76.96	55.16
PIPE 11	24	55.75	17.37	15.38
PIPE 12	24	238.58	17.24	10.99
PIPE 13	18	130.55	8.09	2.89
PIPE 14	18	89.12	8.18	1.7
PIPE 15	30	158.87	31.33	17.71
PIPE 16	24	116.63	17.43	14.92
PIPE 17	24	100.74	17.09	12.16
PIPE 18	24	108.3	17.31	9.41
PIPE 19	18	55.8	8.05	2.86
PIPE 20	24	120.65	17.28	6
PIPE 21	18	144.41	8.04	1.72
PIPE 22	18	102.06	8.04	3.16
PIPE 23	18	21.94	9.55	2.09
PIPE 24	18	469.45	7.2	1.99

LEGEND

	<p>BOLLARD</p>
	<p>LIMITS OF CONSTRUCTION</p>
	<p>LIGHT POLE</p>
	<p>EXISTING CONCRETE</p>
	<p>EXISTING ASPHALT</p>
	<p>NEW CONCRETE SIDEWALK</p>
	<p>NEW STD DUTY ASPHALT</p>
	<p>SODDED GRASS</p>
	<p>PROPOSED BUILDING</p>
	<p>C.P. CONCRETE RETAINING WALL</p>
	<p>DI - DROP INLET (TYPE C)</p>
	<p>GI - GUTTER INLET (TYPE S)</p>
	<p>MH - STORM MANHOLE</p>

PROPOSED STORMWATER NOTES

- 1 MODIFY AND OR REPLACE EXISTING STORM STRUCTURE TO A FDOT JUNCTION BOX AND OR MANHOLE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-010)
- 2 INSTALL FDOT JUNCTION BOX AND OR MANHOLE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-010)
- 3 INSTALL FDOT GUTTER INLET TYPE S.
- 4 INSTALL ROOF DRAIN WITH 12-INCH HDPE OR PVC (MIN. 2-FT COVER AND 1% POSITIVE SLOPE). CONNECT ALL ROOF DOWNSPOUTS, CONDENSATE LINES AND OR SMALL DIAMETER DRAINAGE LINES TO ROOF DRAIN USING APPROPRIATE PERMANENT CONNECTIONS.
- 5 CONNECT ROOF DRAIN TO CLOSEST DRAINAGE STRUCTURE AS SHOWN.
- 6 INSTALL HDPE (OR PVC) BEND WITH CLEANOUT



Dewberry®

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(850) 760-0332

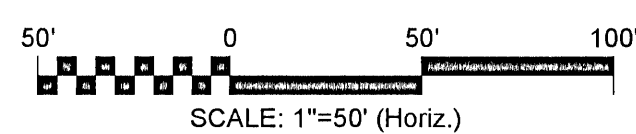
PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

SEAL



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SCALE



REVISIONS

[illegible]

DRAWN BY A. K. ANDERSON

APPROVED BY _____ M. ABLES

CHECKED BY M. ABLES

DATE OCTOBER 2021

TITLE

STORM PLAN

PROJECT NO. 50137668

C-301

SHEET NO 15 of 30

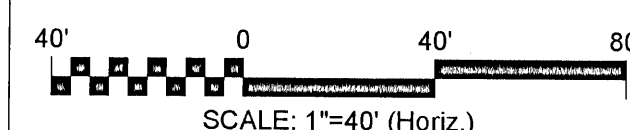
**PINEFOREST ROAD
APARTMENTS PROJECT**
ESCAMBA COUNTY, FLORIDA

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DATE: OCTOBER 2021
TITLE:

STORM PROFILES

PROJECT NO. 50137668

C-302

SHEET NO. 16 of 30

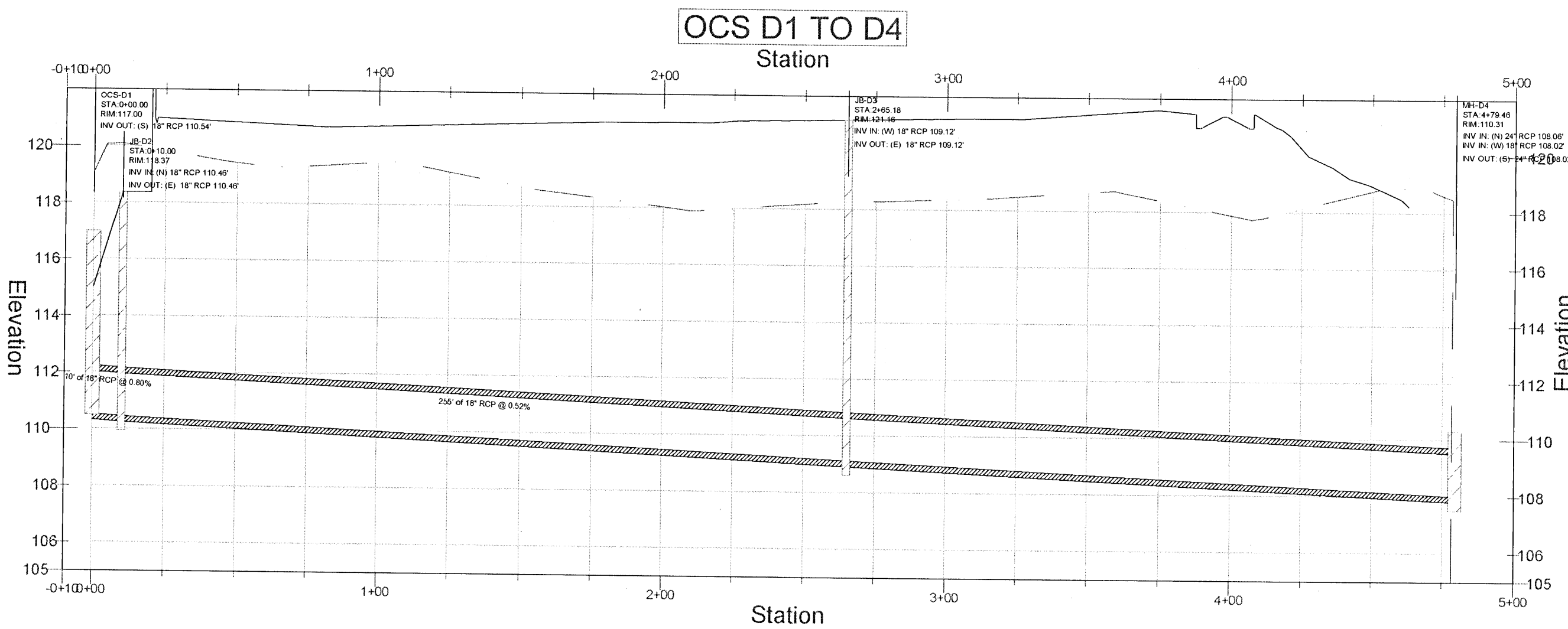
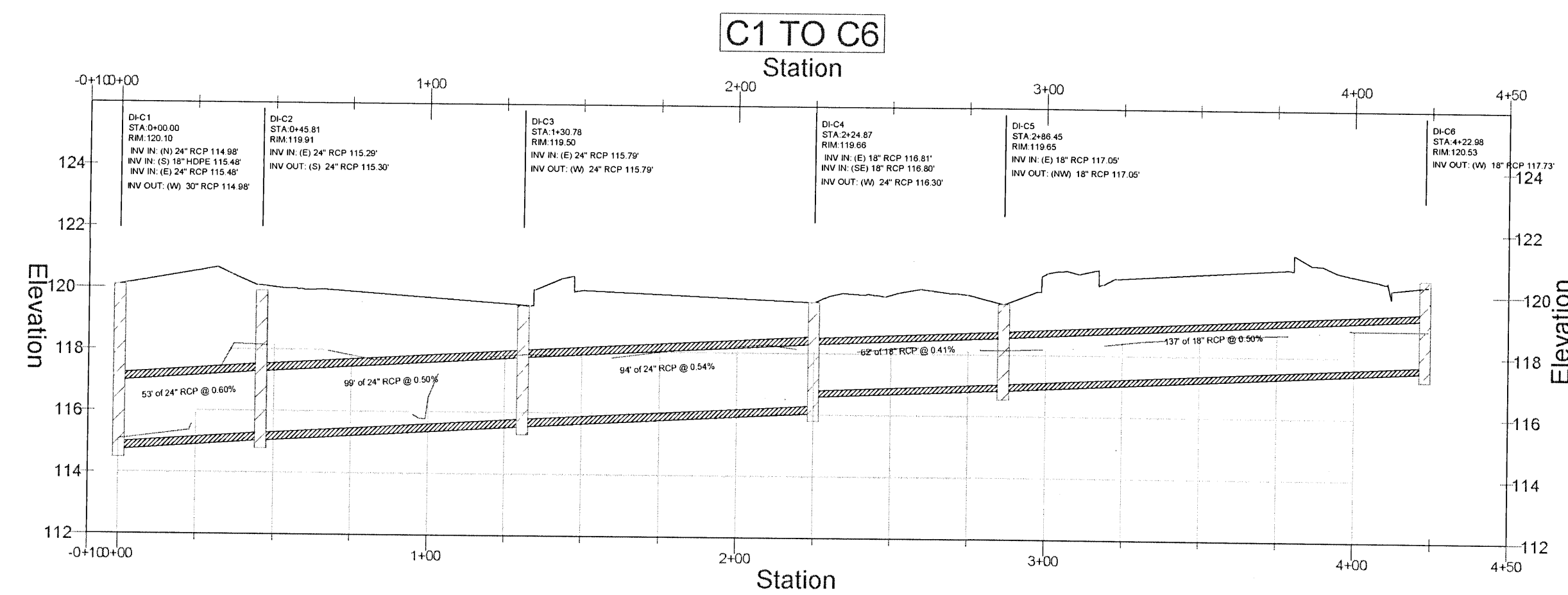
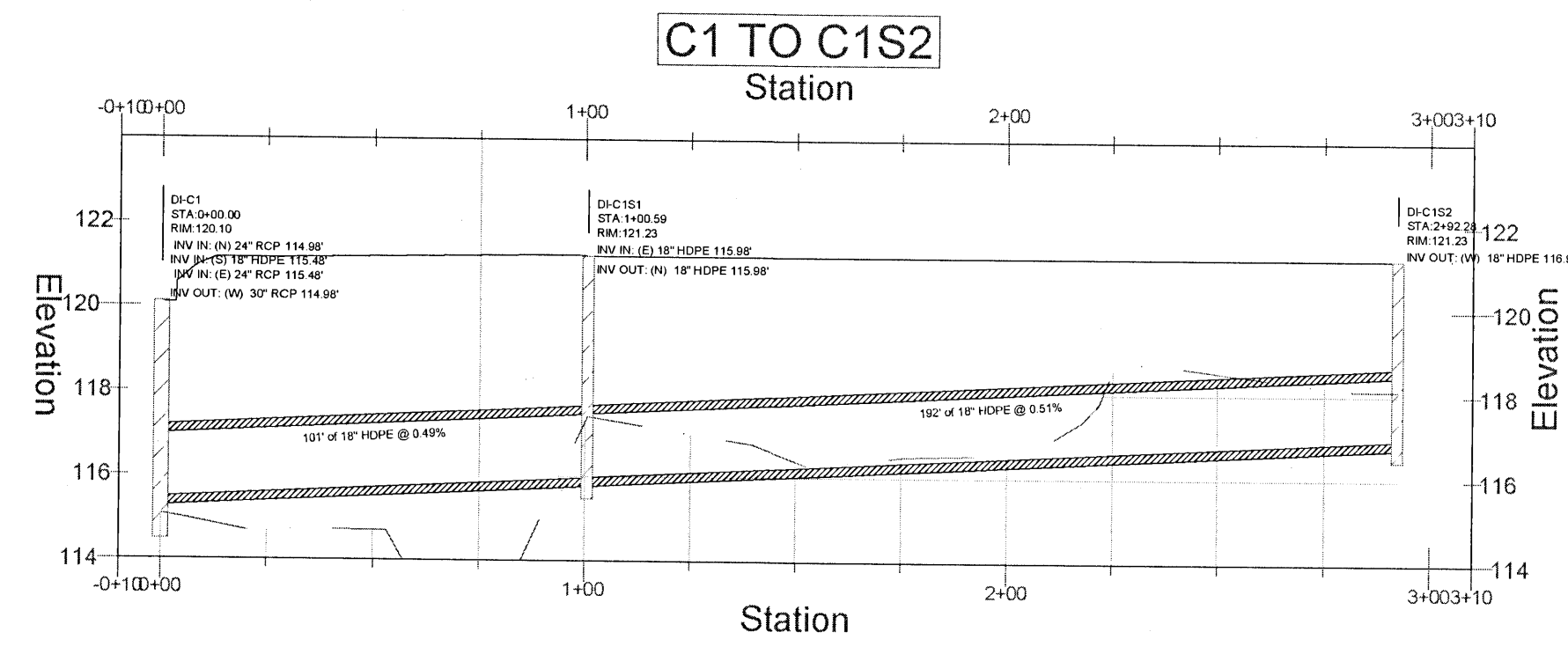
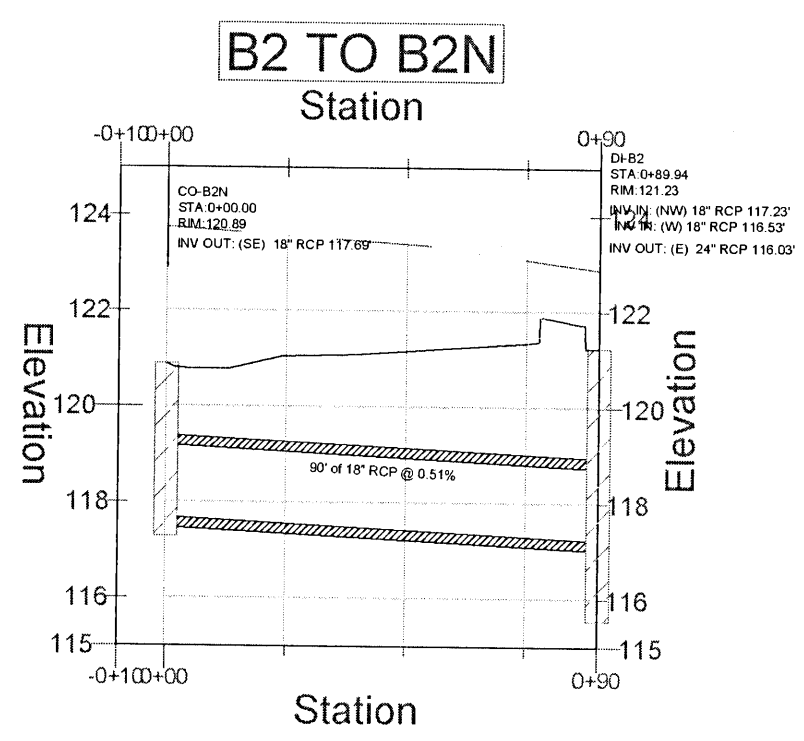
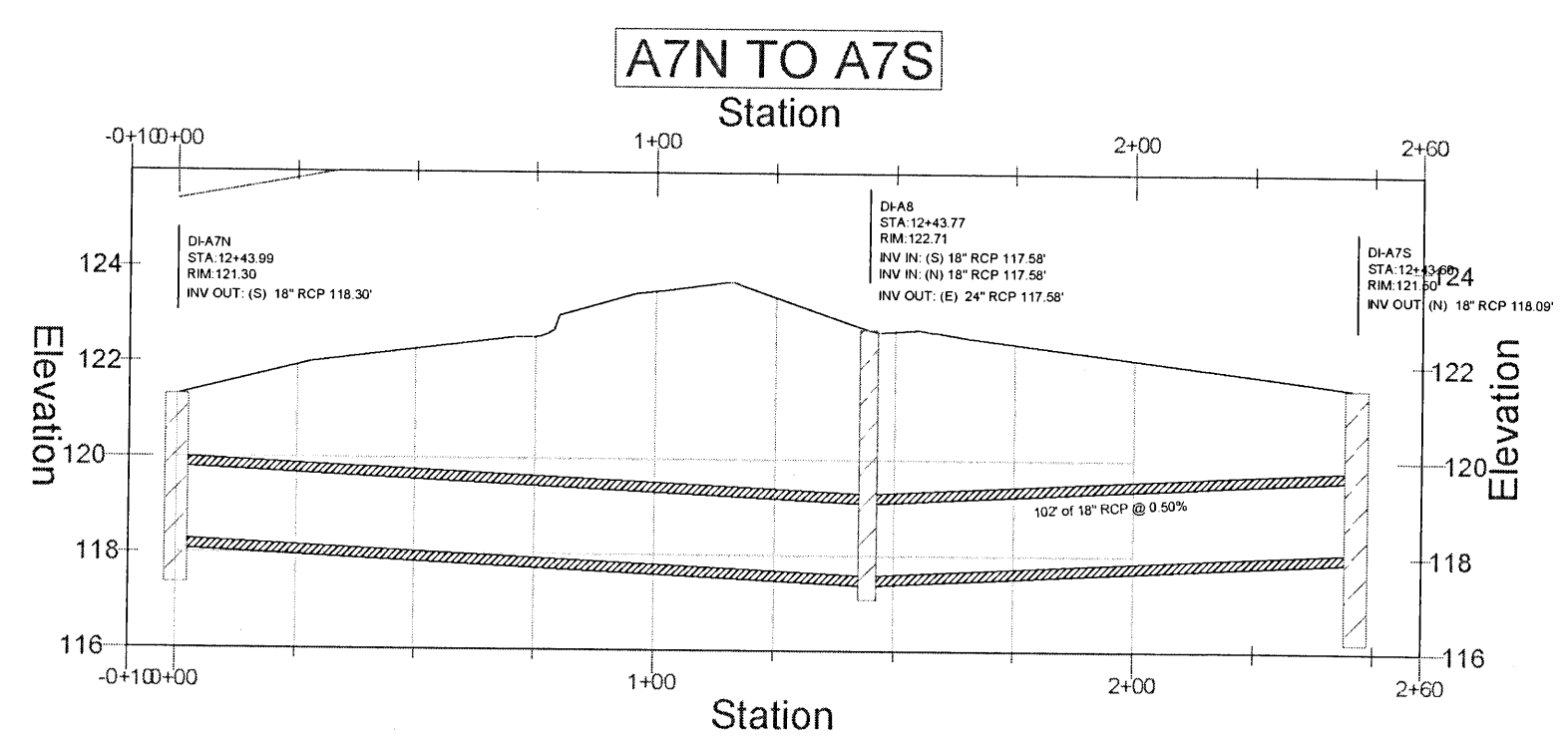
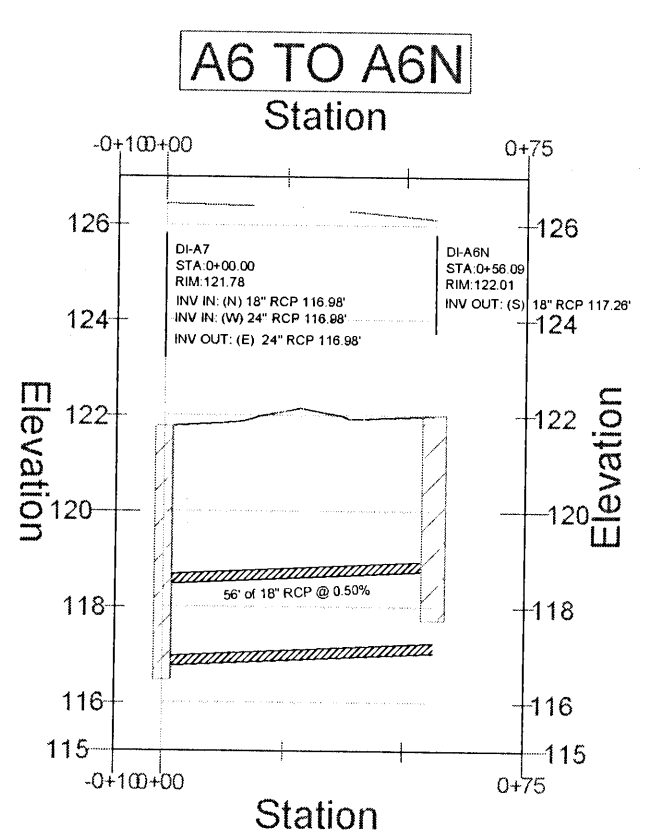
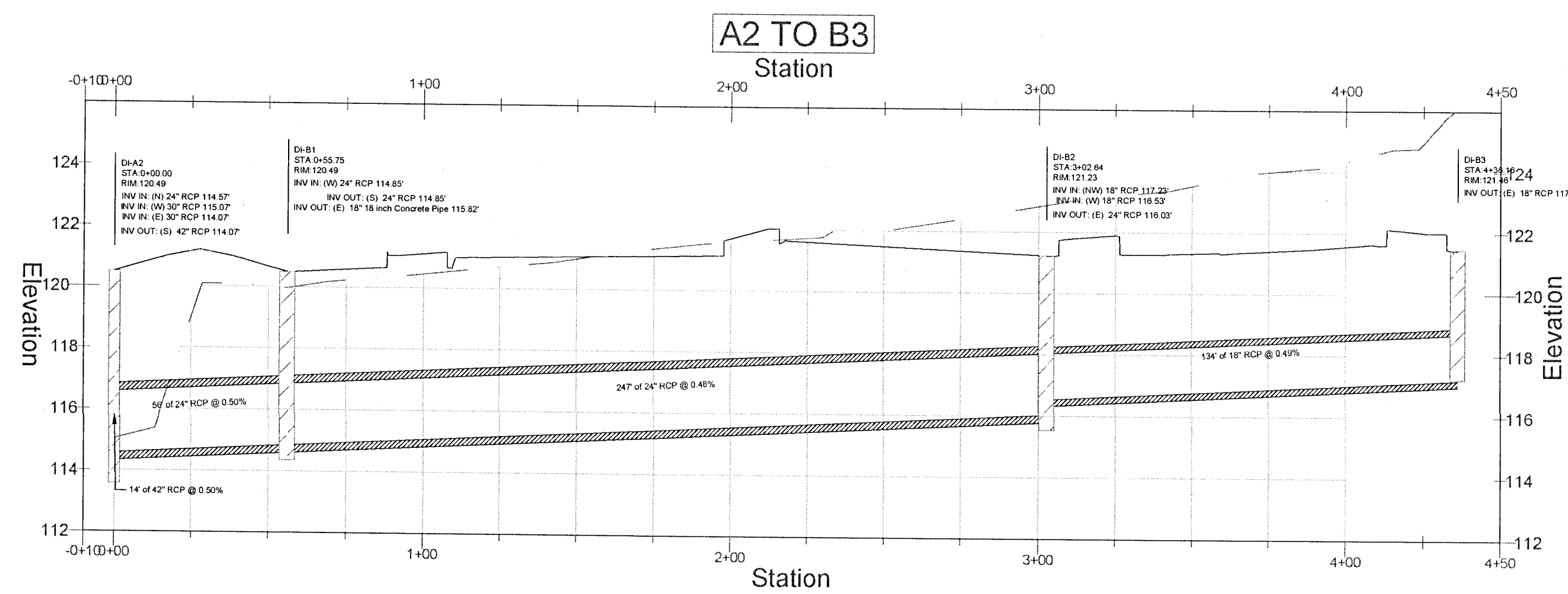
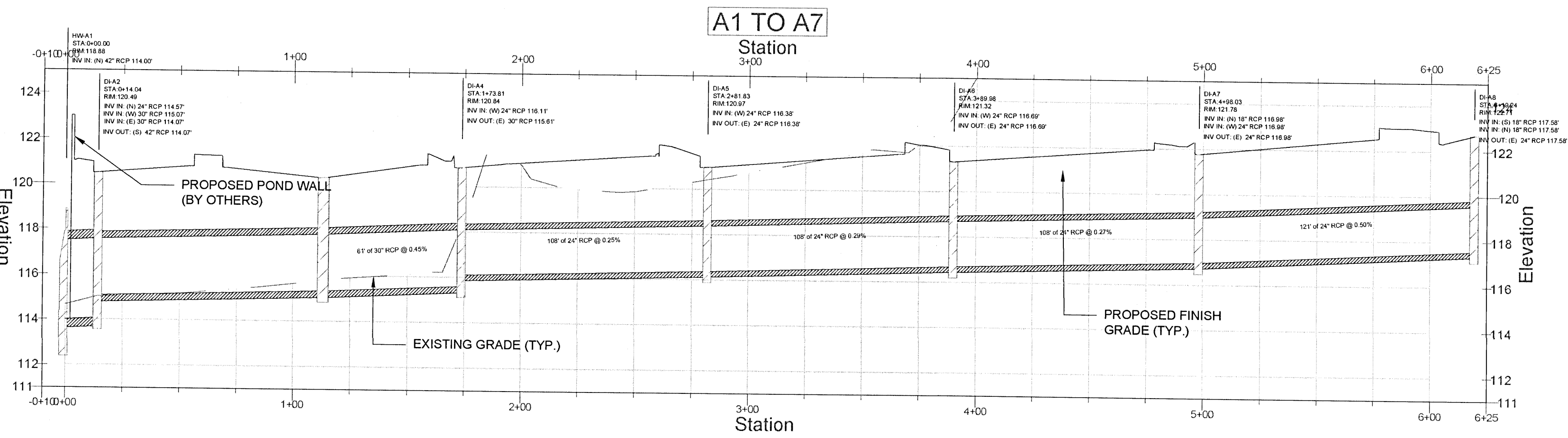
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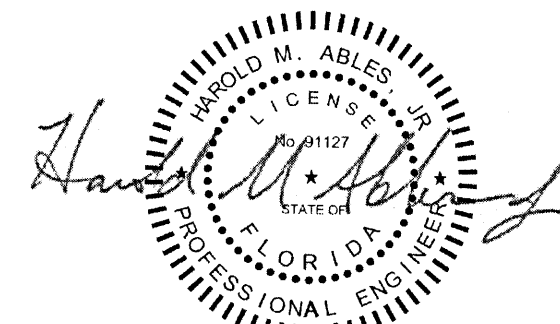
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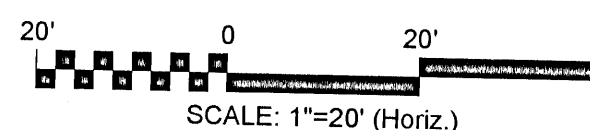


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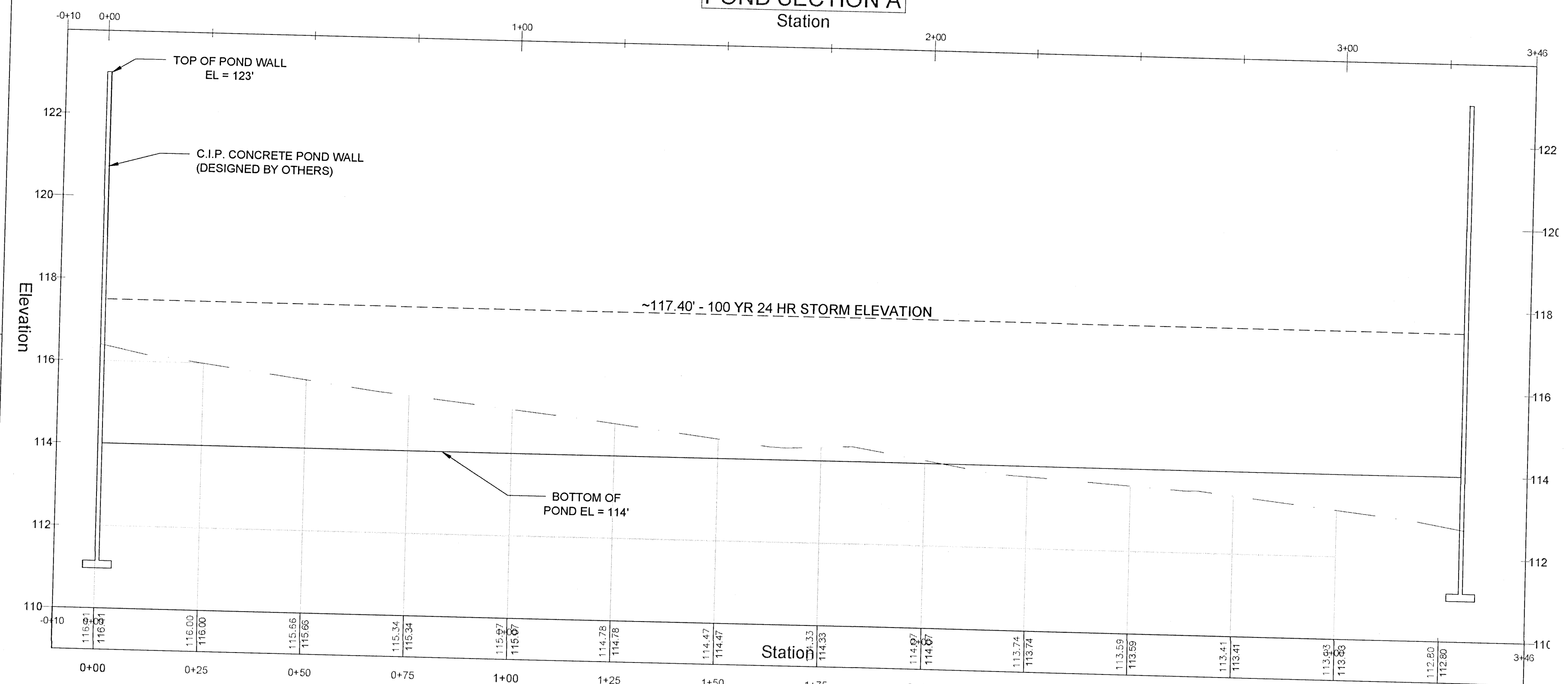
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PROJECT NO. 50137668

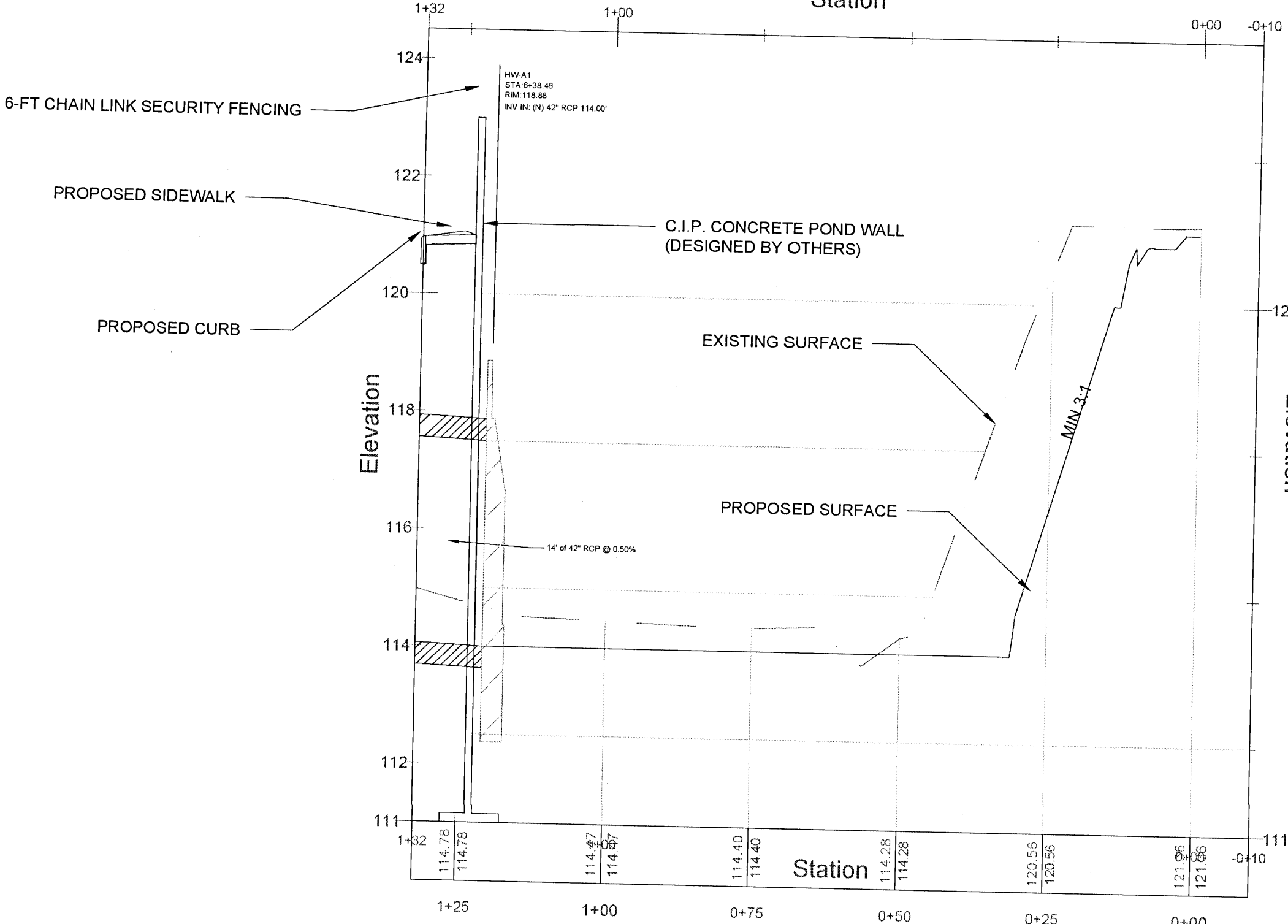
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SHEET NO. 17 of 30

POND SECTION A
Station

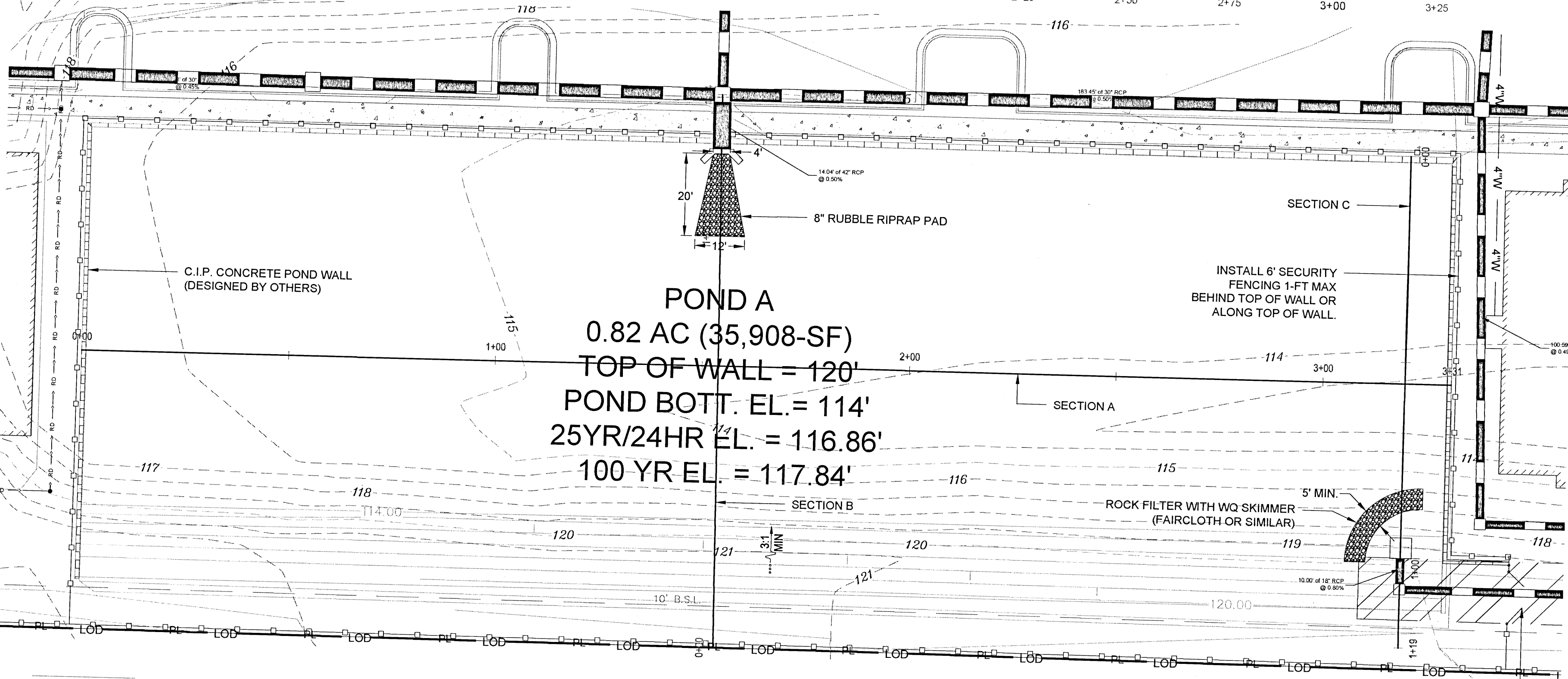


POND SECTION B
Station



POND A

0.82 AC (35,908-SF)
TOP OF WALL = 120'
POND BOT. EL. = 114'
25YR/24HR EL. = 116.86'
100 YR EL. = 117.84'

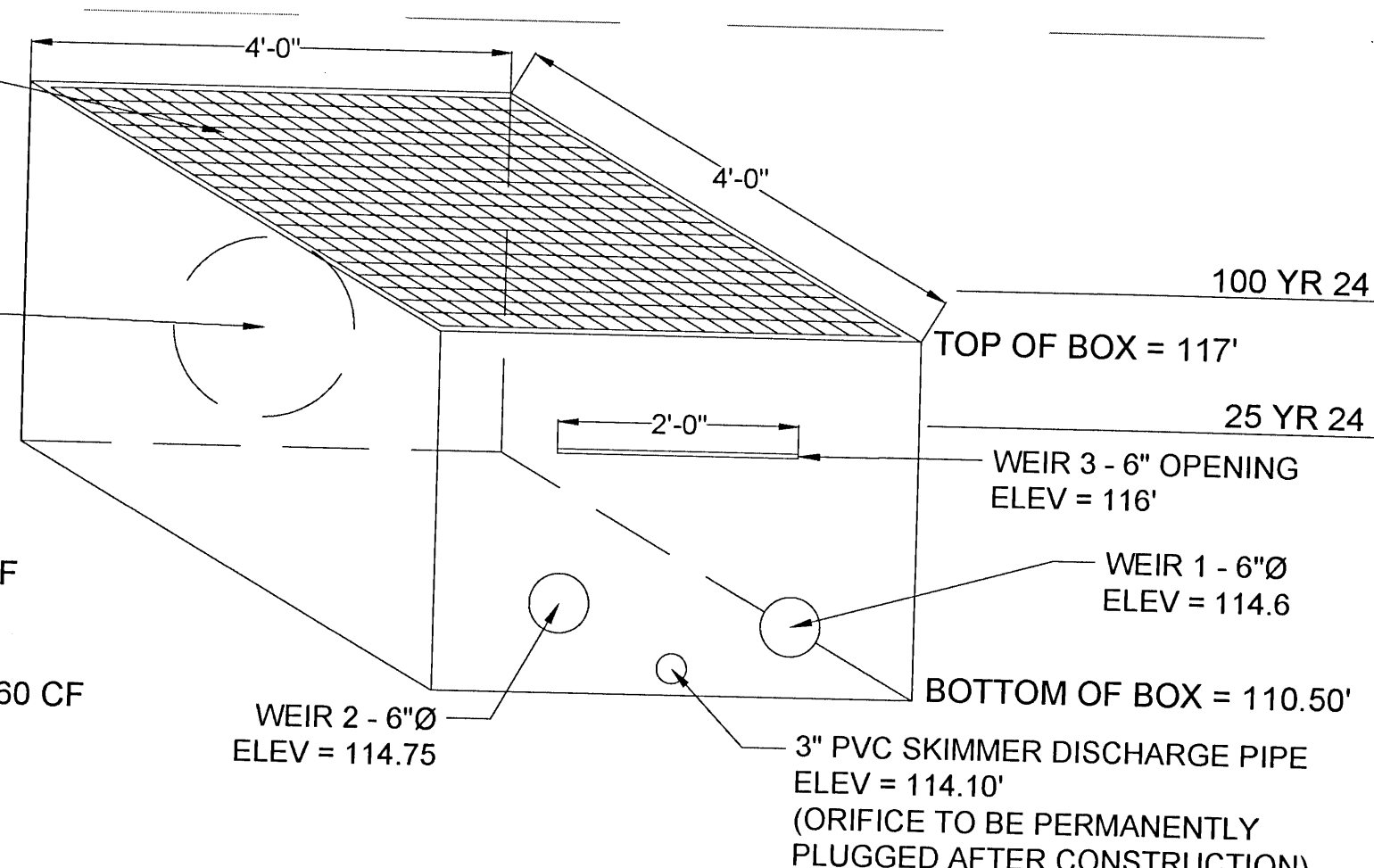


GRATE TOP:
FRAME SIZE = 45 7/8\"/>

18\"/>

REQ. TREATMENT ELEV. = 114.54'
REQ. TREATMENT VOL. = 16,498 CF

TOP OF POND ELEV. = 120.00'
POND VOLUME PROVIDED = 179,560 CF

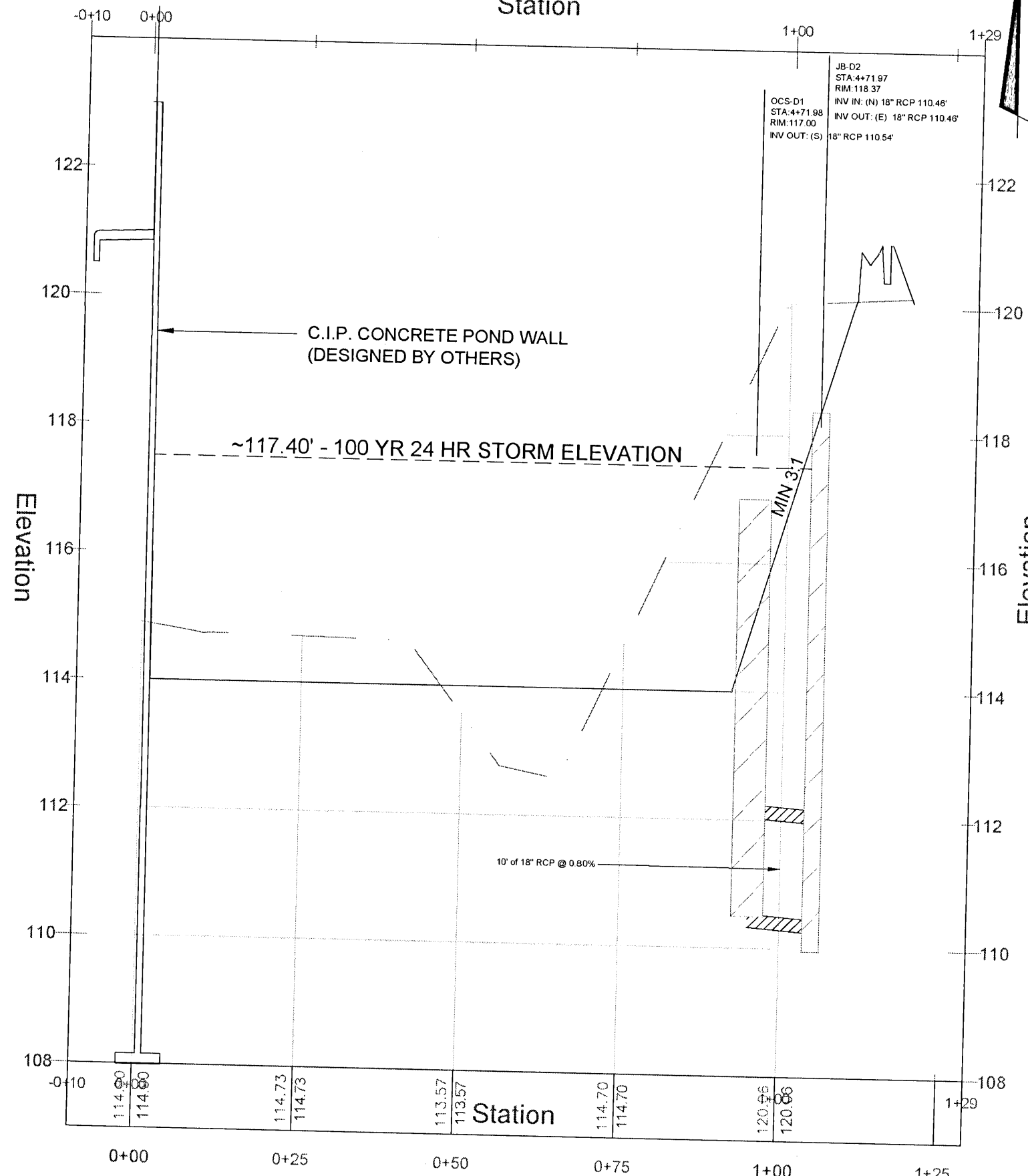


OUTFALL CONTROL STRUCTURE
N.T.S.

NOTE:

- CONTRACTOR SHALL INCLUDE A PERMANENT SKIMMER/TRASH RACK OVER CONTROL STRUCTURE. (SEE STORM DETAILS)
- CONTRACTOR SHALL STABILIZE POND SLOPES WITH SODDING PRIOR TO BEING PLACED IN USE.

POND SECTION C
Station



[illegible]

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SHOULDER GUTTER TRANSITION

APRON AT TERMINAL INSETS

DATE: 1/1/70
DRAWN: 1/1/70

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION C-C

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION D-D

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION E-E

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION F-F

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION G-G

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION H-H

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION I-I

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION J-J

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION K-K

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION L-L

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION M-M

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION N-N

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION O-O

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION P-P

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION Q-Q

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION R-R

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION S-S

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION T-T

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION U-U

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION V-V

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION W-W

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION X-X

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION Y-Y

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

SECTION Z-Z

PROJECT: 425-040


DATE: 1/1/70
DRAWN: 1/1/70

SECTION AA-AA

PROJECT: 425-040

DATE: 1/1/70
DRAWN: 1/1/70

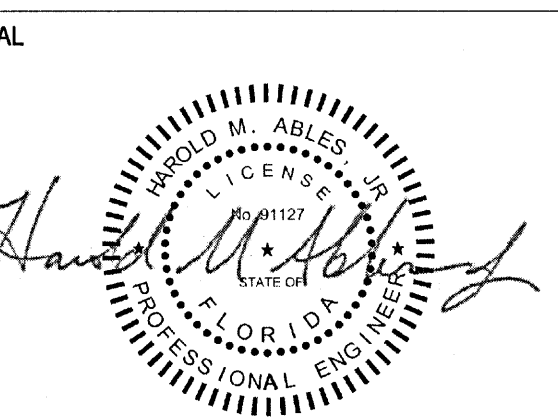
SKIMMER DETAIL
NOT TO SCALE

[illegible]

Dewberry®

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PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



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SALE

VISIONS

Q	DESCRIPTION	DATE
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DRAWN BY A. K. ANDERSON

APPROVED BY: M. ABLES

CHECKED BY M. ABLES

OCTOBER 2021

DATE _____

LE

STORM DETAILS

STORM DETAILS

PROJECT NO. 5012766

PROJECT NO. 5013768

0.011

C-311

PAGE NO. 18 of 30

TREE PROTECTION TABLE		
TREE NUMBER	DIAMETER (INCH)	TREE TYPE
513	18	OAK
514	12	OAK
515	16	OAK
516	17	OAK
550	13	OAK
552	17	OAK
553	14	OAK
555	13	OAK
556	18	OAK
557	14	OAK
562	15	OAK
572	19	OAK
573	13	OAK
574	12	OAK
575	16	OAK
576	16	OAK
579	14	OAK
633	12	OAK
785	31	OAK
803	16	MAGNOLIA
804	18	OAK
805	24	OAK
806	15	OAK
807	24	OAK

PRE DEVELOPED BASIN CHARACTERISTICS						
BASIN	TOTAL AREA	IMPERV. AREA	SLOPE	CN	25 YR RAINFALL INTENSITY	25 YR FLOWRATE
A	6.41 AC (278258.515 SF)	0 AC (0 SF)	2%	77	0.48	7.489 cfs
OFFSITE A	0.865 AC (37659.189 SF)	0 AC (0 SF)	2%	77	0.48	1.014 cfs
OFFSITE B	0.422 AC (18380.397 SF)	0 AC (0 SF)	2%	77	0.48	0.495 cfs
OFFSITE C	0.079 AC (3432.135 SF)	0 AC (0 SF)	2%	77	0.48	0.092 cfs

LEGEND OF MEASURES FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT

(CE)	CONSTRUCTION EXIT	(SOD)	SODDING
(TS)	TOPSOIL	(OP)	OUTLET PROTECTION
(DC)	DUST CONTROL	(IP)	INLET PROTECTION
(FR)	FILTER RING	(SF)	SILT FENCE
(SK)	SKIMMER	(SDB)	STORMWATER DETENTION BASIN
		(SP)	SOIL STOCKPILE

STOCKPILE NOTE:

CONTRACTOR SHALL STOCKPILE SOIL IN ACCORDANCE WITH THE DETAIL SHOWN ON SHEET C-403 AND RELOCATE AS NECESSARY WITH CONSTRUCTION.

EROSION AND CONTROL NOTES

- 1 INSTALL SILT FENCE
- 2 INSTALL TREE PROTECTION FOR EXISTING TREE (TYP.)
- 3 CONTRACTOR TO PROVIDE DUST CONTROL
- 4 INSTALL INLET PROTECTION
- 5 CONSTRUCTION ENTRANCE

LEGEND

—	STREET SIGN
—	EXISTING WATER VALVE
—	EXISTING FIRE HYDRANT
—	CATCH BASIN
—	SANITARY CLEAN-OUT
—	DROP INLET
—	REINFORCED CONCRETE PIPE
—	BOLLARD
—	MANHOLE
—	JUNCTION BOX
—	LIGHT POLE
—	NEW CONTOUR
—	EXISTING CONTOUR
—	SPOT ELEVATION
—	UNDERGROUND TELECOMM
—	WATER MAIN
—	EXISTING CONCRETE
—	EXISTING ASPHALT
—	TREE LINE
—	EXISTING DRAINAGE PIPING
—	EXISTING DROP INLET
—	TREE PROTECTION
—	INLET PROTECTION
—	SILT FENCE
—	FLOW DIRECTION & SLOPE



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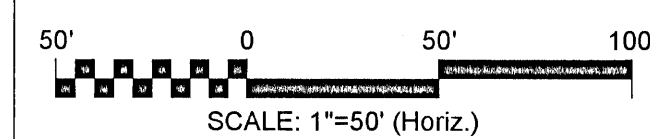
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APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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REVISIONS

NO.	DESCRIPTION	DATE

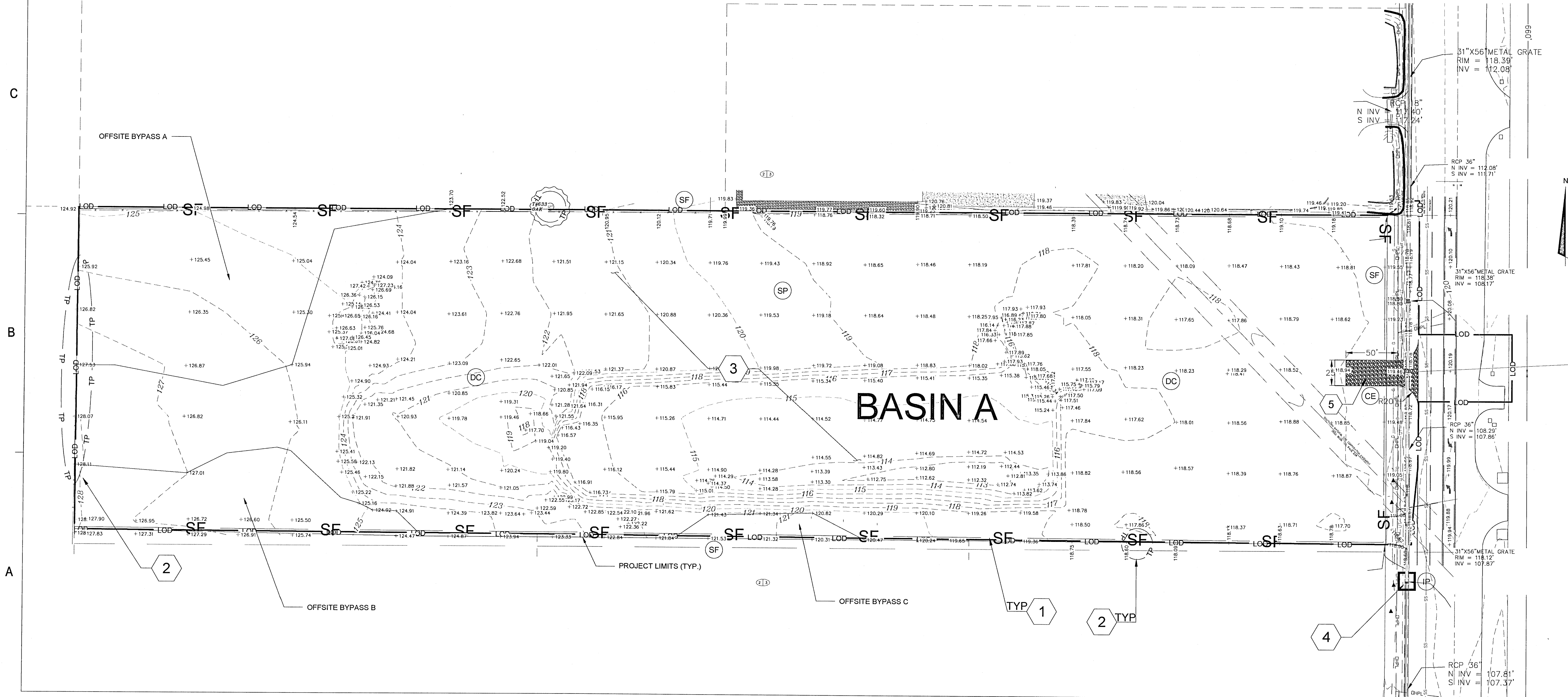
DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021
TITLE:

EROSION & SED.
CONTROL-PHASE 1

PROJECT NO. 50137668

C-400

SHEET NO. 19 of 30



LEGEND OF MEASURES FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT

- SDB

STORMWATER DETENTION BASIN
- FR

FILTER RING
- SOD

SODDING
- OP

OUTLET PROTECTION

- LEGEND
- STREET SIGN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- CATCH BASIN
- SANITARY CLEAN-OUT
- DROP INLET
- REINFORCED CONCRETE PIPE
- BOLLARD
- MANHOLE
- JUNCTION BOX
- LIGHT POLE
- NEW CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- UNDERGROUND TELECOMM
- WATER MAIN
- EXISTING CONCRETE
- EXISTING ASPHALT
- PERMANENT SOD
- TREE LINE
- EXISTING DRAINAGE PIPING
- EXISTING DROP INLET
- TREE PROTECTION
- INLET PROTECTION
- SILT FENCE

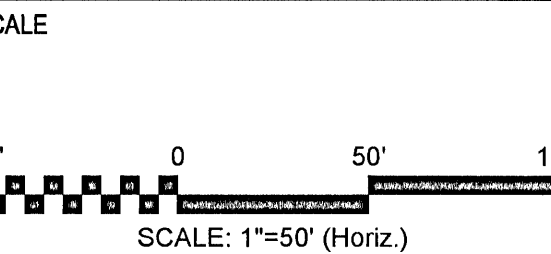


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PINEFOREST ROAD
APARTMENTS PROJECT
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DATE: OCTOBER 2021

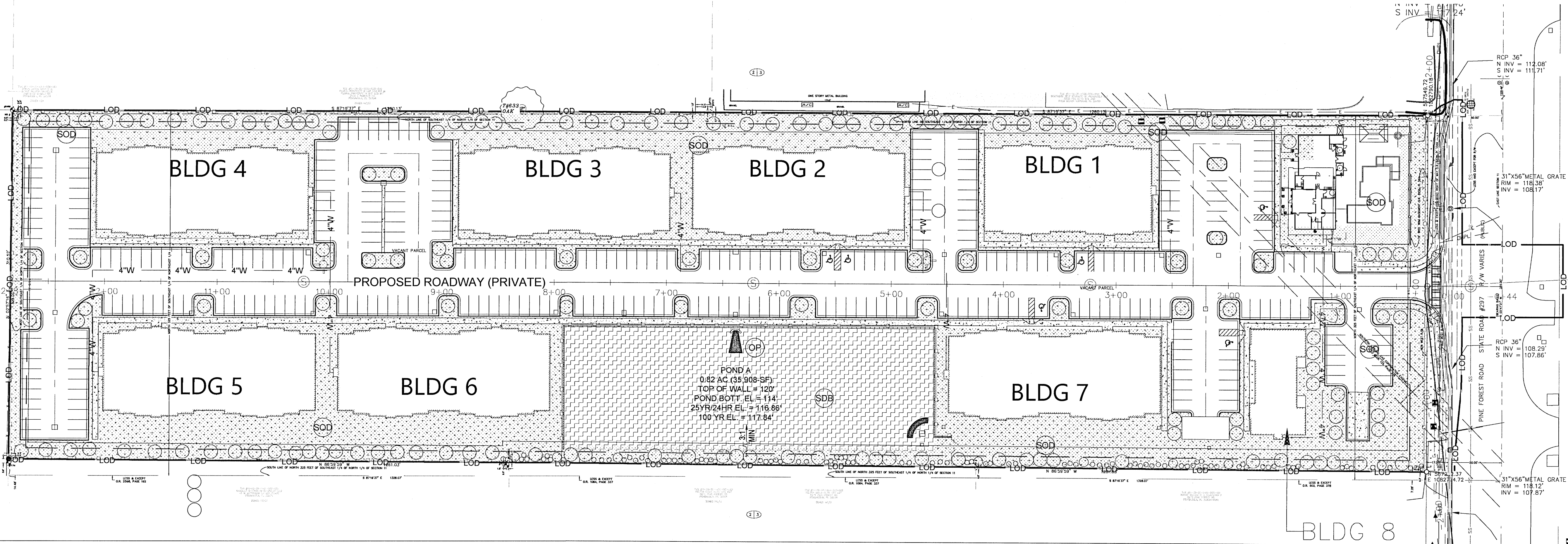
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EROSION & SED.
CONTROL PHASE 3

PROJECT NO. 50137668

C-402

SHEET NO. 21 of 30



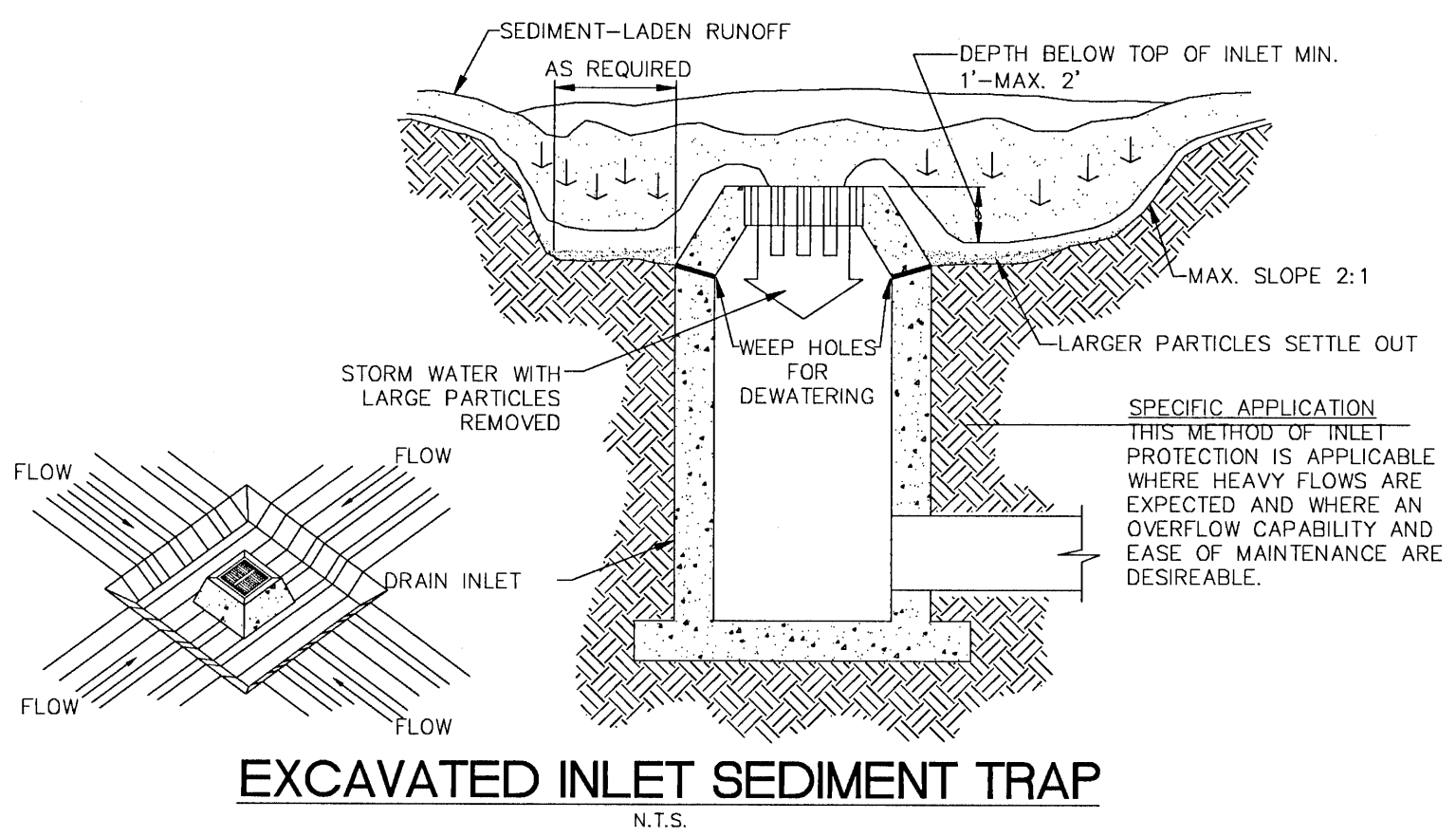
E

D

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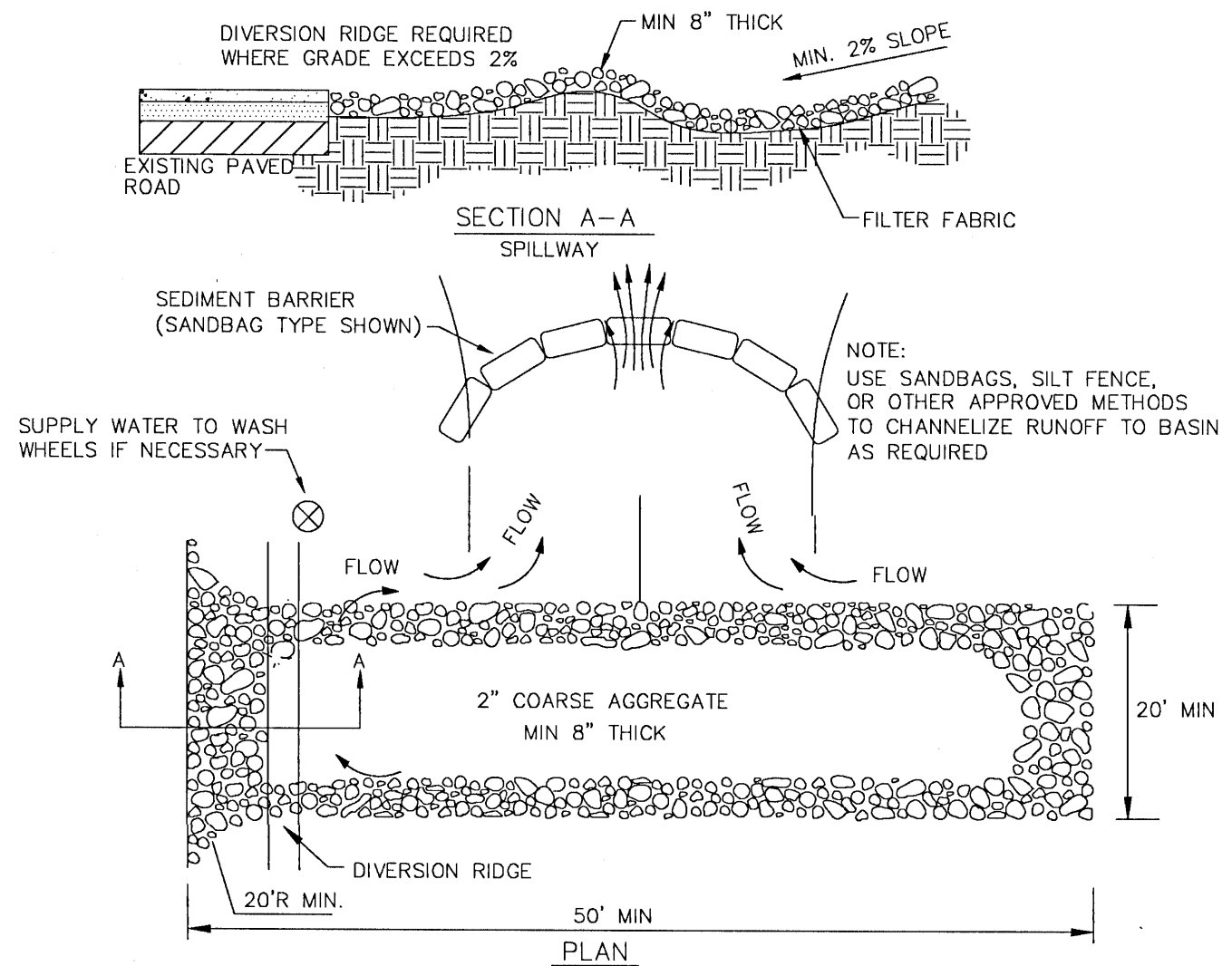
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EXCAVATED INLET SEDIMENT TRAP

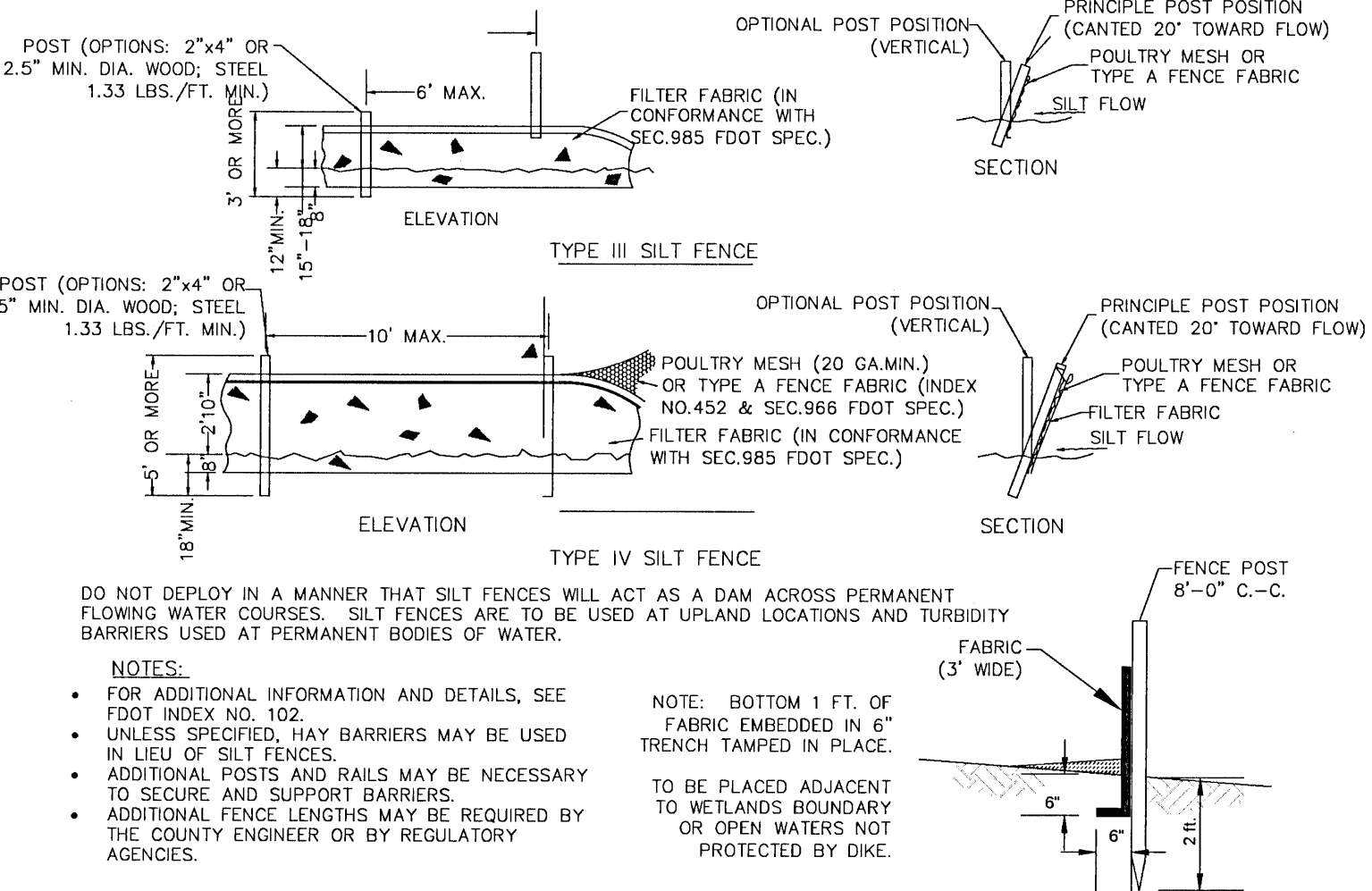
N.T.S.

- STABILIZED CONSTRUCTION ENTRANCE**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



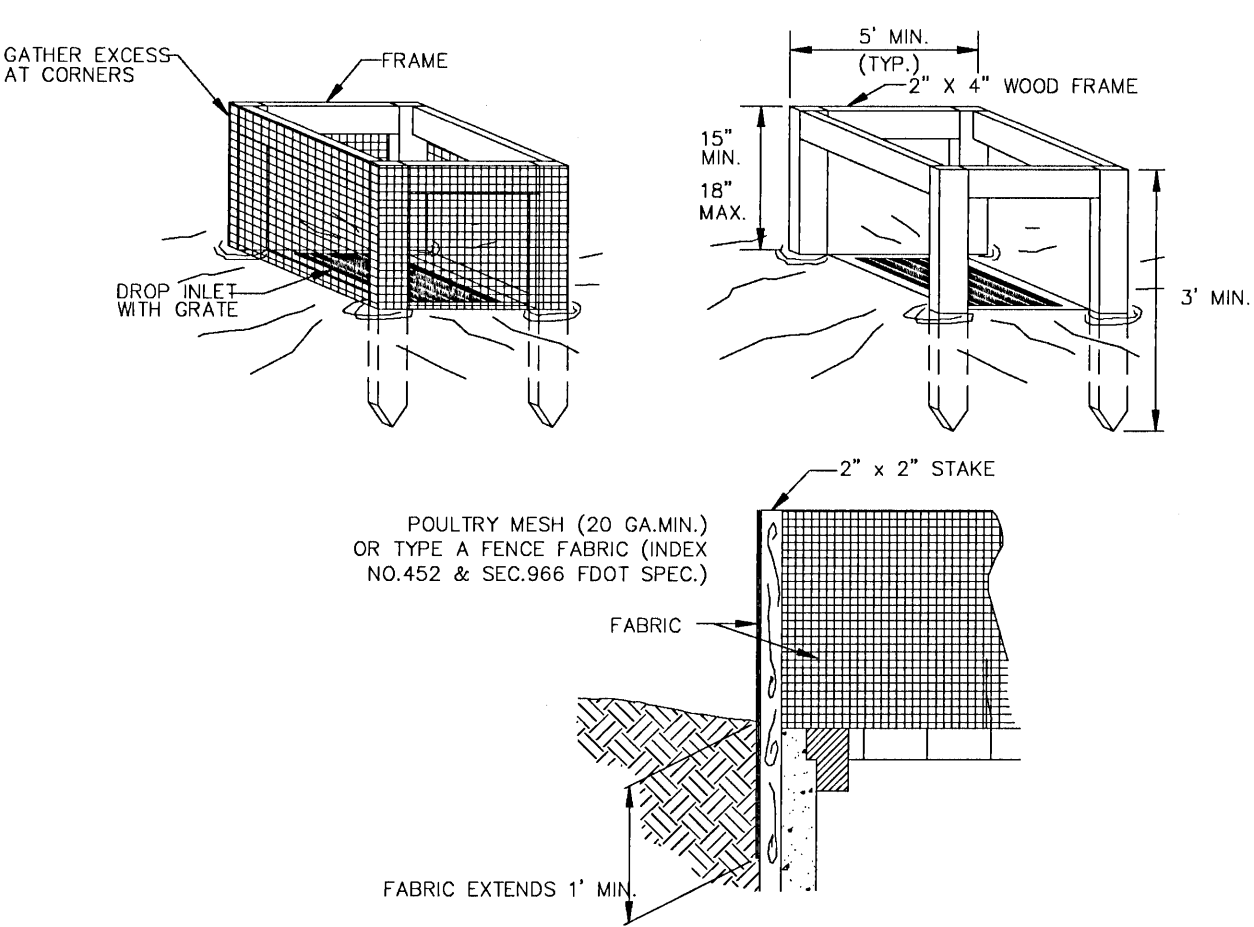
TEMPORARY CONSTRUCTION ACCESS DETAIL

N.T.S.



EROSION CONTROL DETAIL

N.T.S.



SILT FENCE INLET PROTECTION

N.T.S.

- STOCKPILE PROTECTION INSTALLATION NOTES**
1. SEE PLAN VIEW FOR:
 - LOCATION OF STOCKPILES.
 - TYPE OF STOCKPILE PROTECTION.
 2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS), SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS).USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
 4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

STOCKPILE PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, Zone B, Zone C, Zone D, Zone E, Zone F, Zone G, Zone H, Zone I, Zone J, Zone K, Zone L, Zone M, Zone N, Zone O, Zone P, Zone Q, Zone R, Zone S, Zone T, Zone U, Zone V, Zone W, Zone X, Zone Y, Zone Z

OTHER AREAS OF FLOOD HAZARD

- Area of Minimal Flood Hazard Zone X
- Area of Undetermined Flood Hazard Zone D

OTHER AREAS

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

GENERAL STRUCTURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Truncated
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Truncated Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available

MAP PANELS

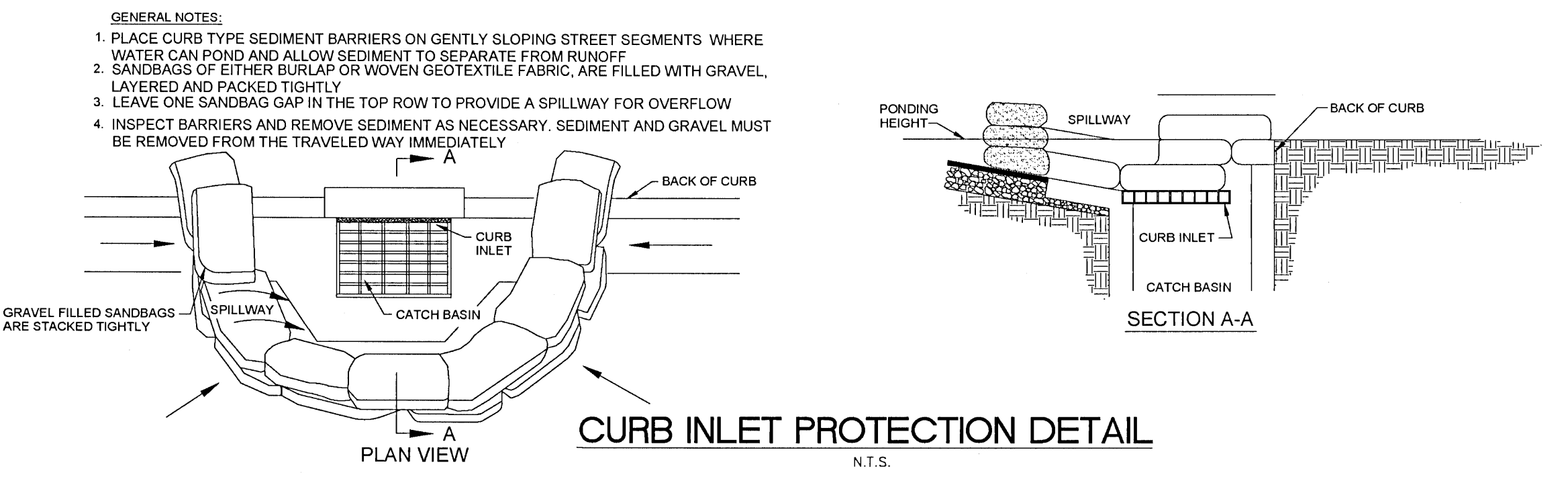
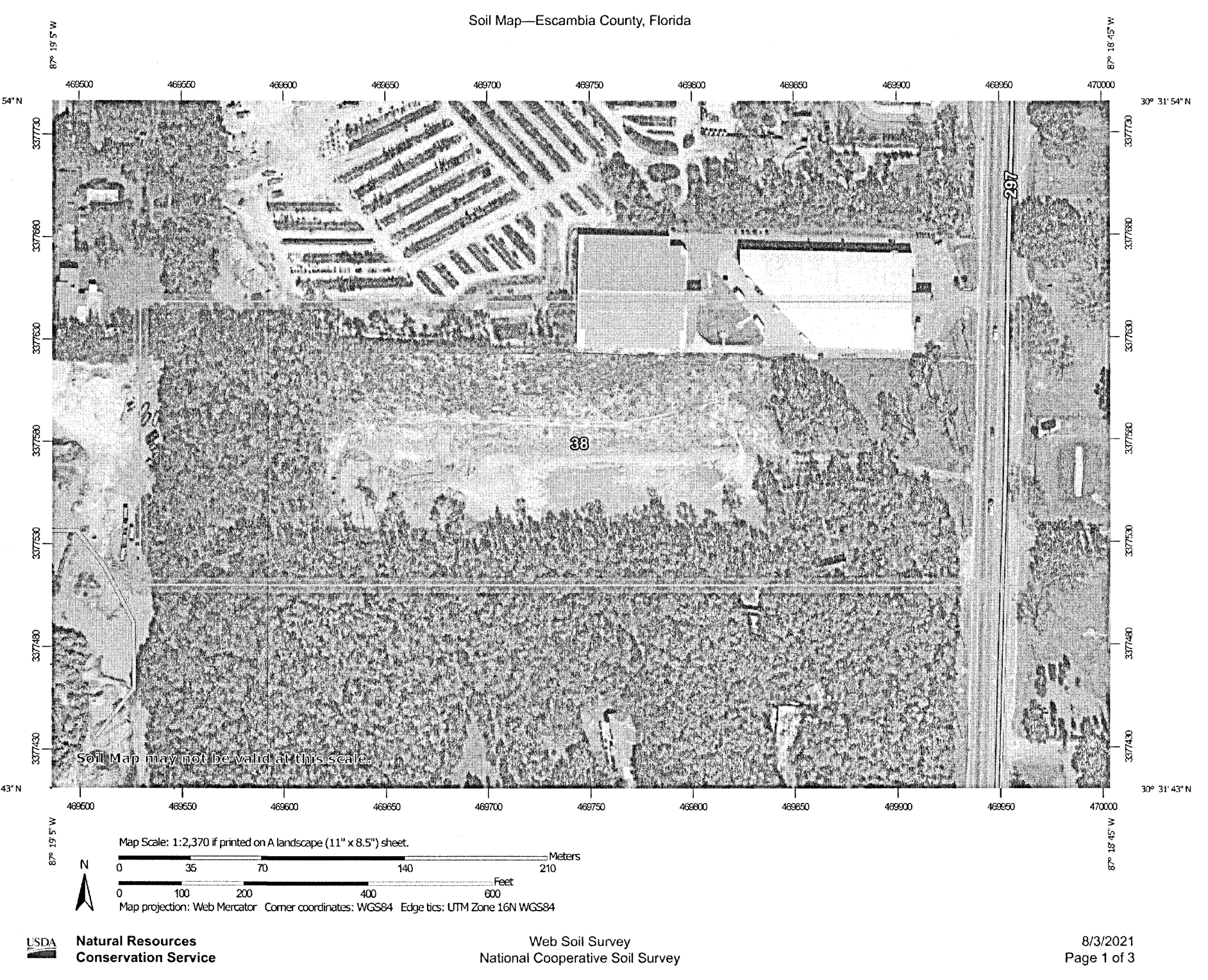
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps (FEMA's standards for the use of digital flood maps). The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/3/2022 at 1:52 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.



CURB INLET PROTECTION DETAIL

N.T.S.



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PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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REVISIONS		
NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

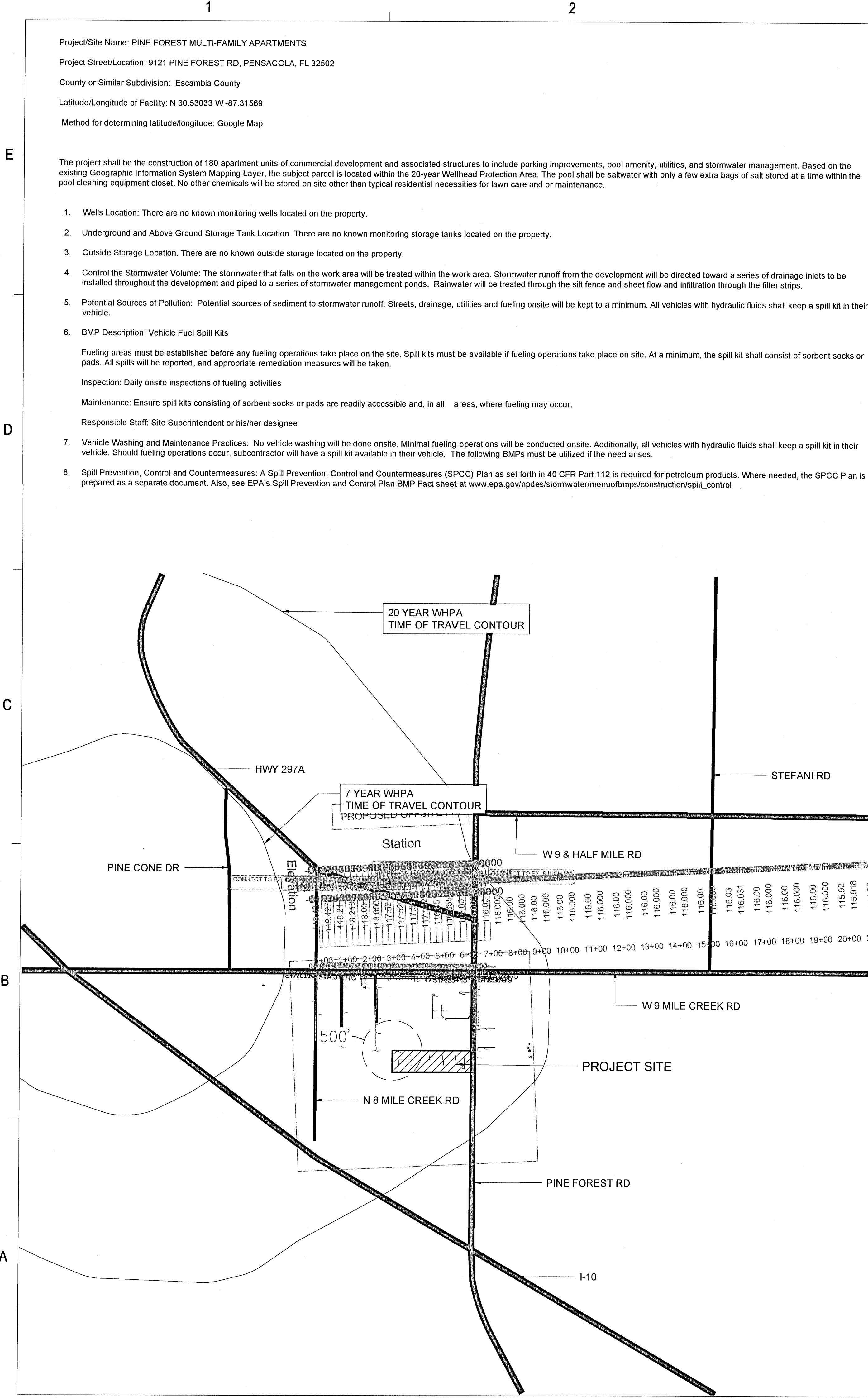
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APPROVED BY M. ABLES
CHECKED BY M. ABLES
DATE OCTOBER 2021

TITLE

EROSION & SED.
CONTROL NOTES

PROJECT NO. 50137668

C-403



Project/Site Name: PINE FOREST MULTI-FAMILY APARTMENTS
Project Street/Location: 9121 PINE FOREST RD, PENSACOLA, FL 32502
County or Similar Subdivision: Escambia County
Latitude/Longitude of Facility: N 30.53033 W -87.31569
Method for determining latitude/longitude: Google Map

The project shall be the construction of 180 apartment units of commercial development and associated structures to include parking improvements, pool amenity, utilities, and stormwater management. Based on the existing Geographic Information System Mapping Layer, the subject parcel is located within the 20-year Wellhead Protection Area. The pool shall be saltwater with only a few extra bags of salt stored at a time within the pool cleaning equipment closet. No other chemicals will be stored on site other than typical residential necessities for lawn care and or maintenance.

1. Wells Location: There are no known monitoring wells located on the property.
2. Underground and Above Ground Storage Tank Location. There are no known monitoring storage tanks located on the property.
3. Outside Storage Location. There are no known outside storage located on the property.
4. Control the Stormwater Volume: The stormwater that falls on the work area will be treated within the work area. Stormwater runoff from the development will be directed toward a series of drainage inlets to be installed throughout the development and piped to a series of stormwater management ponds. Rainwater will be treated through the silt fence and sheet flow and infiltration through the filter strips.
5. Potential Sources of Pollution: Potential sources of sediment to stormwater runoff: Streets, drainage, utilities and fueling onsite will be kept to a minimum. All vehicles with hydraulic fluids shall keep a spill kit in their vehicle.
6. BMP Description: Vehicle Fuel Spill Kits
Fueling areas must be established before any fueling operations take place on the site. Spill kits must be available if fueling operations take place on site. At a minimum, the spill kit shall consist of sorbent socks or pads. All spills will be reported, and appropriate remediation measures will be taken.
Inspection: Daily onsite inspections of fueling activities
Maintenance: Ensure spill kits consisting of sorbent socks or pads are readily accessible and, in all areas, where fueling may occur.
Responsible Staff: Site Superintendent or his/her designee
7. Vehicle Washing and Maintenance Practices: No vehicle washing will be done onsite. Minimal fueling operations will be conducted onsite. Additionally, all vehicles with hydraulic fluids shall keep a spill kit in their vehicle. Should fueling operations occur, subcontractor will have a spill kit available in their vehicle. The following BMPs must be utilized if the need arises.
8. Spill Prevention, Control and Countermeasures: A Spill Prevention, Control and Countermeasures (SPCC) Plan as set forth in 40 CFR Part 112 is required for petroleum products. Where needed, the SPCC Plan is prepared as a separate document. Also, see EPA's Spill Prevention and Control Plan BMP Fact sheet at www.epa.gov/npdes/stormwater/menuefbmps/construction/spill_control

9. Material Handling and Waste Management: All hazardous materials must be tightly sealed and covered by a tarp. Once the roof of the structure is complete, store all paint and chemicals (tightly sealed) in the covered area. Any hazardous or toxic materials must be collected by a licensed or approved handler. All domestic, construction and demolition debris will be contained onsite in a dumpster and disposed of at a permitted landfill appropriate to the materials disposed. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an appropriate dirt storage facility.
10. BMP Description Sanitary Wastes:
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well- maintained facilities, and arranging for regular service and disposal. Sanitary septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary waste systems. Sanitary facilities shall be at least 10 feet from any inlets and on a flat surface.
Inspection: Inspect and verify waste receptacles are in place before commencement of disturbance activities.
Maintenance: Arrange for regular waste collection. If high winds are expected, portable sanitary facilities must be secured with spikes or weighed down to prevent overturning.
Responsible Staff: Site Superintendent or his/her designee
11. BMP Description: Construction Exit (CE)
Install construction exit at the location of the access driveway to reduce vehicle tracking. Install CE prior to site disturbance at the main entrance to the project. CE shall be a minimum of 20 feet long and 12 feet wide for residential construction and 50' long and 20' wide for infrastructure and commercial applications. It shall consist of filter cloth covered with an FDOT No 1 coarse aggregate 1 (gravel 1 1/2" - 3 1/2") to a minimum depth of 6 inches.
Inspection Check daily to ensure adequate coverage to eliminate vehicle tracking.
Maintenance: Remove mud or sediment tracked onto public road. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an appropriate dirt storage facility. Top-dress with clean stone as needed to maintain effectiveness of the BMP. Reshape pad as needed for drainage runoff and control.
Responsible Staff: Site Superintendent or his/her designee
12. BMP Description: Drop Inlet Protection (DIP)
Prior to land disturbance activities, install Drop Inlet Protection, which is pre-construction inlet protection. This prevents sediment-laden runoff from entering the stormwater conveyance systems. Ensure the height of the structure when fully ponded does not cause unintentional damage or hazards to adjacent areas. Remove accumulated sediment when it reaches half the height of the structure.
Inspection: Inspect weekly and after any rain event.
Maintenance: Maintain all devices to allow adequate pooling of water to allow sediment to settle before reaching inlet and clear water to flow into the inlet. Remove sediment that accumulates behind device immediately to allow for adequate water flow. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an appropriate dirt storage facility.
Responsible Staff: Site Superintendent or his/her designee
13. BMP Description: Top Soiling (TS) Removal:
Remove topsoil immediately after clearing of vegetation. Store topsoil in a designated stockpile and stabilize with temporary vegetation. Locate stockpile out of drainageways and traffic routes. Do not place stockpiles on steep slopes. Seed stockpile and install silt fences around base of stockpile to prevent sediment movement.
Inspection: Inspect topsoiled areas weekly and after any rain event, until vegetation is established.
Maintenance: Repair eroded or damaged areas and revegetate.
Responsible Staff: Site Superintendent or his/her designee
14. BMP Description: Concrete Wastes
Install a concrete washout basin before concrete work begins. Do not place concrete washout facilities adjacent to storm drains, open ditches, or water bodies. Allow convenient access for concrete trucks, preferably near the area where the concrete is being poured. If trucks need to leave a paved area to access washout, prevent track-out with a construction exit. Vehicle tracking control shall utilize exit pad with 1.5" - 3.5" crushed stones. Washout size is a minimum of 3' x 3' but shall be sized to adequately retain solids, slurry and rainwater. Minimum depth of the washout is 2 feet. The impermeable plastic sheeting liner shall be a minimum of 10 millimeters thick and free of any holes or tears. Class A silt fence shall be utilized for perimeter control. Signs shall be placed to indicate location of wash out.
Inspection: Inspections shall be made daily while concrete activity is onsite. Do not place washout facilities adjacent to storm drains, open ditches or water bodies.
Maintenance: The facility needs to be cleaned or changed when 75% full. Inspect self- installed washouts daily to ensure that plastic linings are intact, and sidewalls have not been damaged by construction activities. If contractors have washed out chutes or hoppers in other unapproved locations, set up a site meeting with the contractors, install additional signage, or place additional washouts in more convenient locations. Do not discharge liquids to waterways, storm drains or directly onto ground. Do not use sanitary sewer without local approval. Remove liquids or cover the structures before predicted storms to prevent overflows. When you remove materials from the concrete washout, inspect for signs of weakening or damage, and rebuild structure or make necessary repairs. Install a new plastic liner after every cleaning. Vacuum waste liquids and slurry. Hardened concrete may be disposed of by a licensed hauler.
Responsible Staff: Site Superintendent or his/her designee
15. BMP Description: Dewatering:
Dewatering BMPs must be maintained throughout the duration of dewatering operations. The most common BMPs for treating dewatering discharges include sediment traps and basins, weir and dewatering tanks, filters and chemical treatment.
Inspection: Inspect BMPs until dewatering operations are complete Maintenance: Uncontaminated sediment removed during maintenance may be removed to a suitable stockpile facility or disposed offsite.
Responsible Staff: Site Superintendent or his/her designee
16. Inspection Procedures and Requirements: Retain a qualified inspector to conduct precipitation and weekly inspections in compliance with NPDES General Permit Part 6. Inspections shall be made weekly (once every seven calendar days) and after every 0.5" rain. Inspections shall be completed within 24 hours of qualifying event. Time spent between inspections shall never exceed 7 days. An inspection report will be sent to the responsible official with deficiencies noted and corrective action to be taken. Inspection reports will be reviewed, and corrective actions taken immediately, but no later than 7 calendar days following
17. Recordkeeping: The permit requires that the Permittee shall retain records of all:
 - a. Inspection records
 - b. Monitoring information (if applicable)
 - c. Grading and Stabilization Log
 - d. Copy of NOI acknowledgement letter
 - e. Copy of NOI
 - f. Inspection reports
 - g. Rainfall data
 - h. Dewatering logRetain records of all inspection records, monitoring information, copies of all reports required by the permit, and records of all data used to create such reports, for a period of three years from the date of the inspection or report. This period may be extended by request of the Director at any time. If litigation or other enforcement action, under the AWPCA and/or the FWPCA, is ongoing which involves any of these records, the records shall be kept until the litigation is resolved.
18. List of State or federal permits the facility operates under:
 - NPDES Stormwater
 - FDOT Drainage Connection

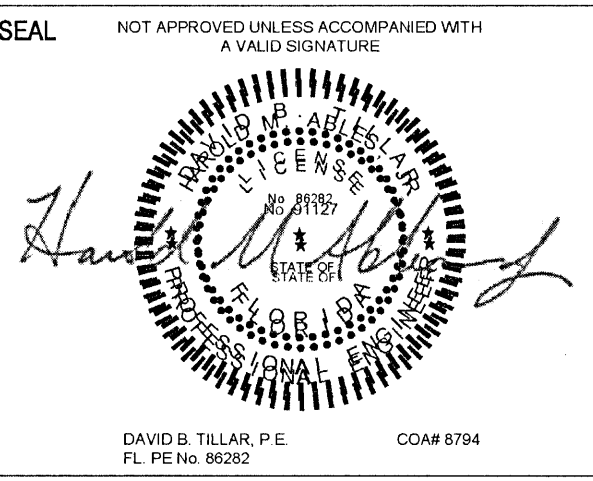
WELLHEAD PROTECTION NOTE:

The subject parcel falls within the Travel Time Contour of a protected (portable) Wellhead. Contractors shall be responsible for reporting spills of potentially hazardous substances (i.e. gasoline, diesel fuel, hydraulic fluid, cleaning products, chemicals, etc.) to the appropriate State (FDEP State Warning Point 1-800-320-0519) and local (ECUA- Emerald Coast Utilities Authority (850) 476-5110 and Escambia County Health Department /Environmental Health 595-6712) agencies.

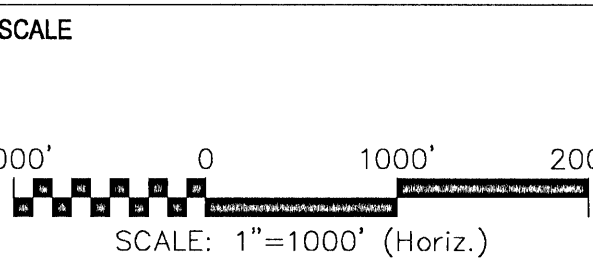


139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



FOR PERMITTING ONLY



REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY _____ A. K. ANDERSON
APPROVED BY _____ M. ABLES
CHECKED BY _____ M. ABLES
DATE _____ OCTOBER 2021

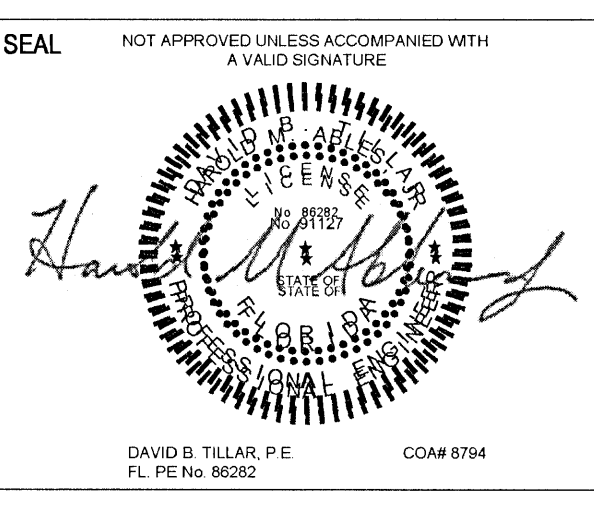
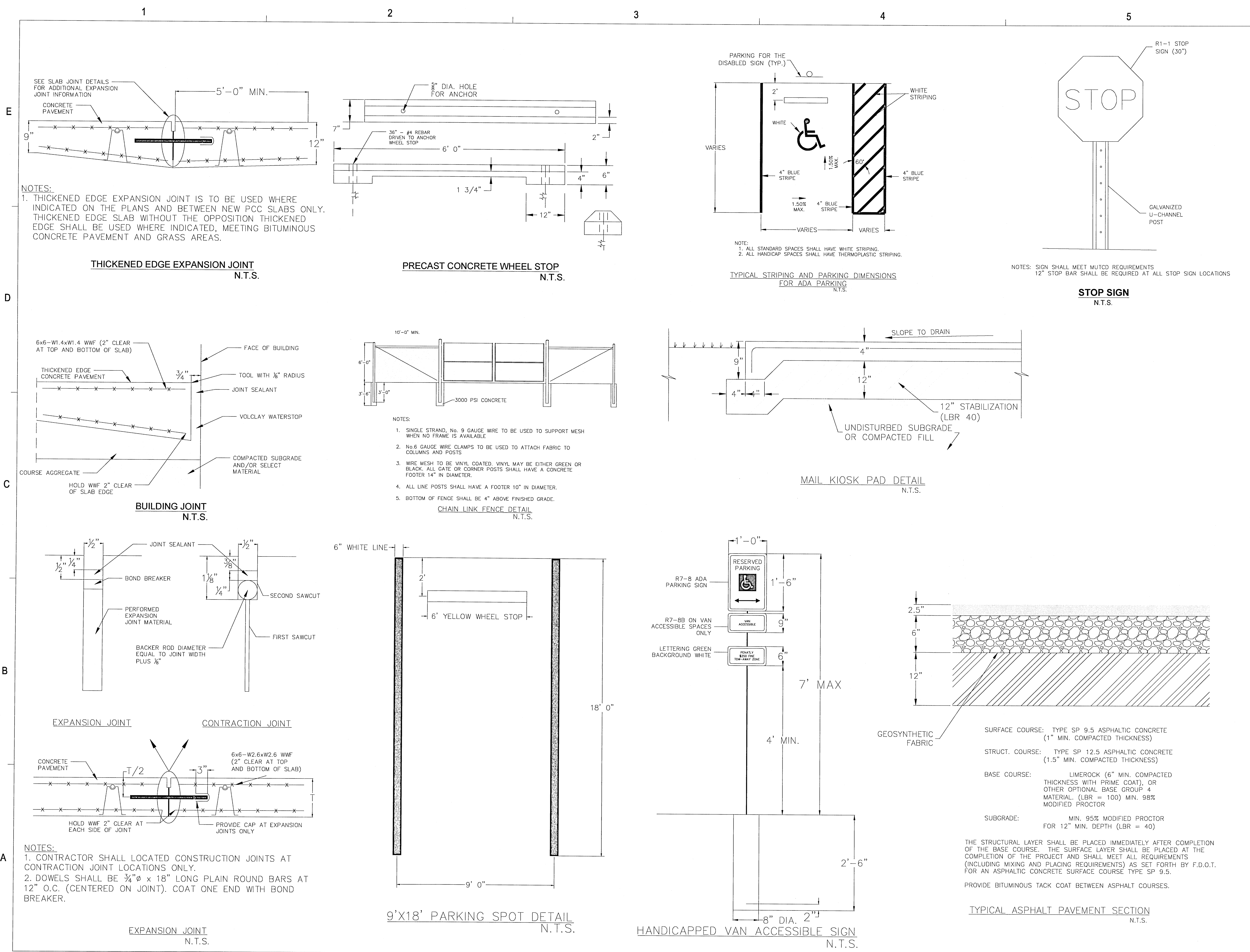
TITLE

ENVIRONMENTAL
INFORMATION PLAN

PROJECT NO. 50137668

C-410

SHEET NO. 23 of 30



FOR PERMITTING ONLY

SCALE

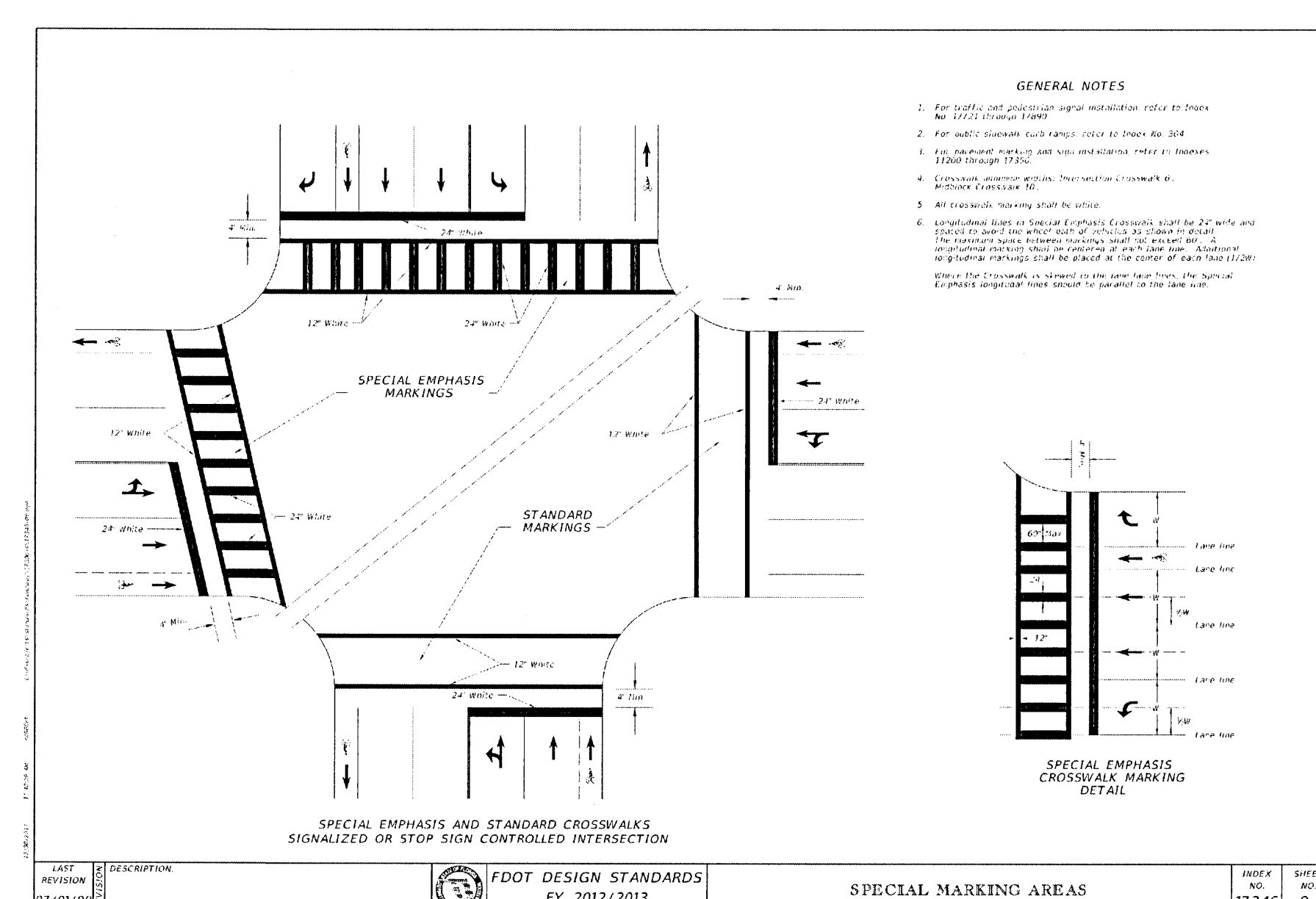
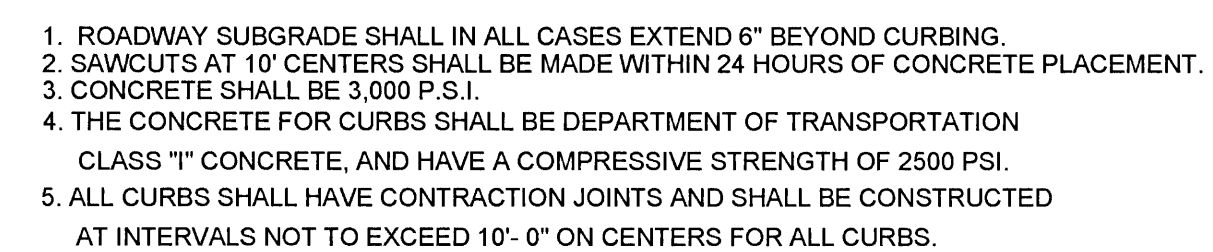
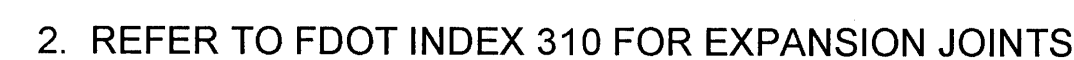
REVISIONS		
NO.	DESCRIPTION	DATE

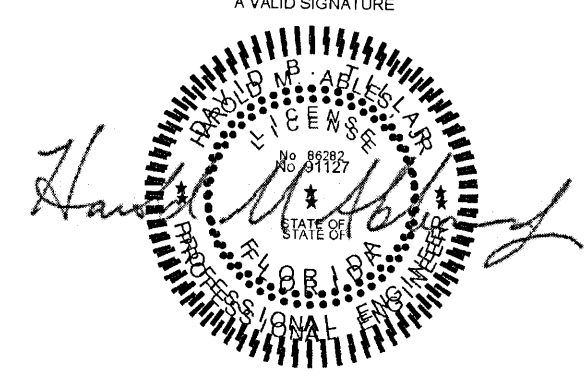
DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021
TITLE:

MISC CONST DETAILS 1

PROJECT NO. 50137668

C-900





NO.	DESCRIPTION	DATE

DRAWN BY	A. K. ANDERSON
APPROVED BY	M. ABLES
CHECKED BY	M. ABLES
DATE	OCTOBER 2021

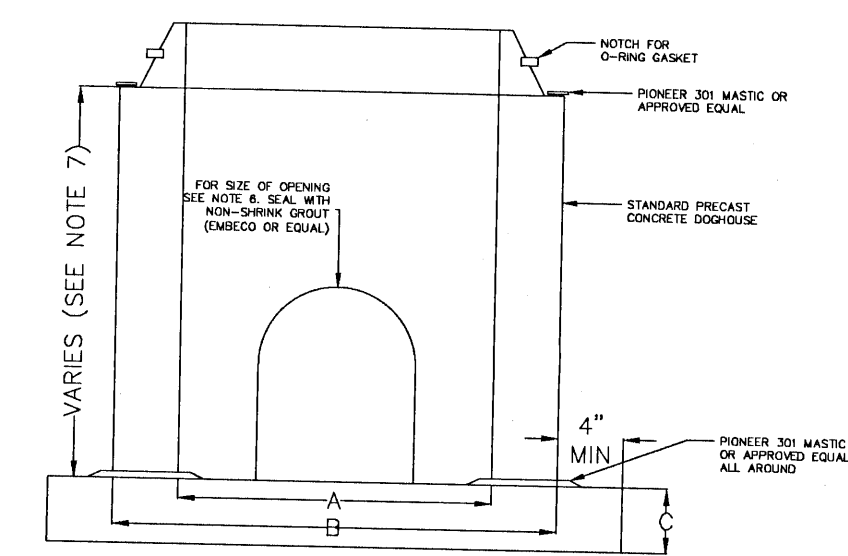
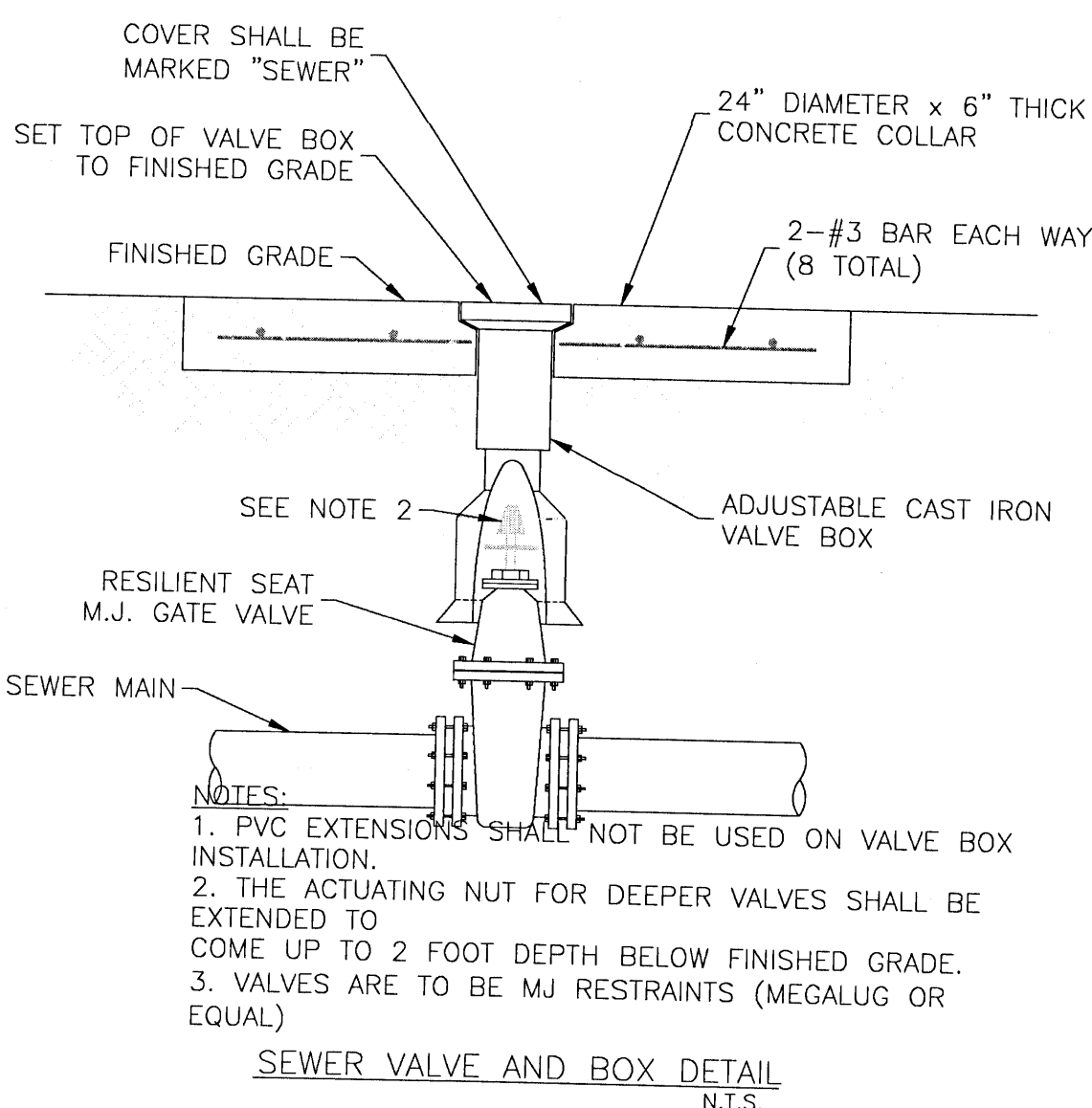
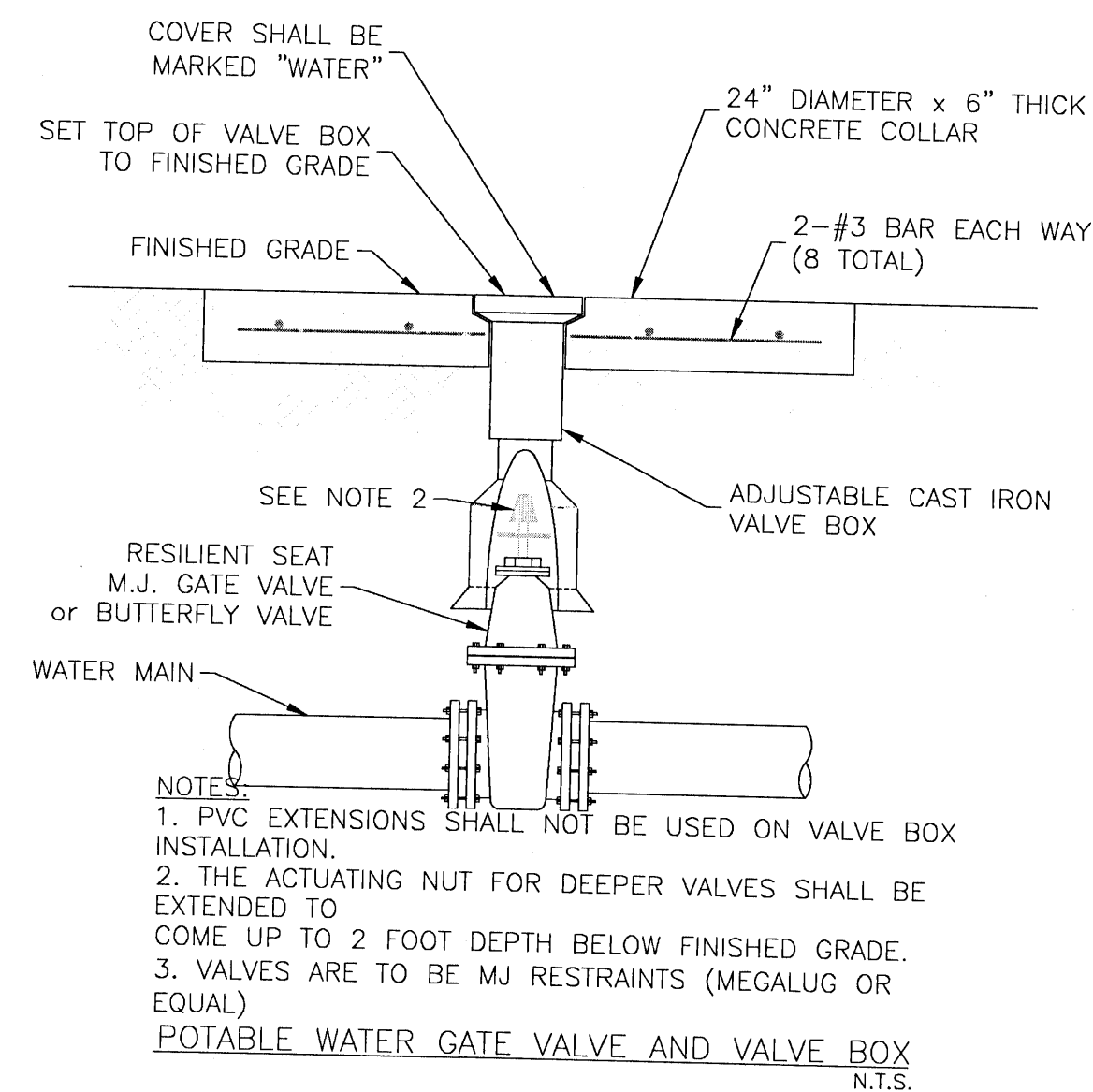
TITLE

UTILITY DETAILS 1

PROJECT NO. 50137668

C-910

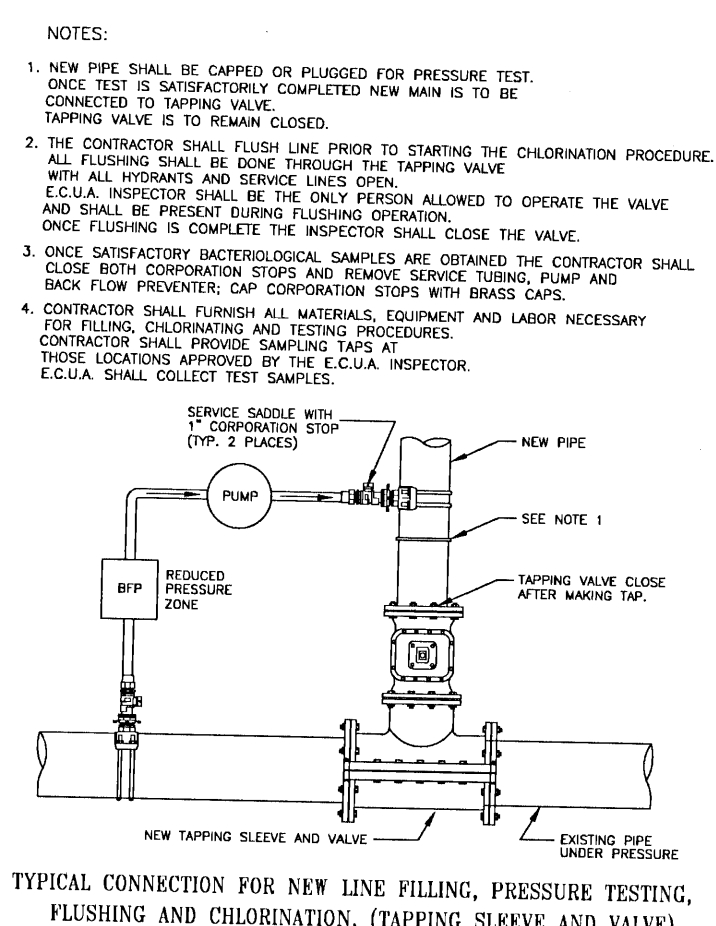
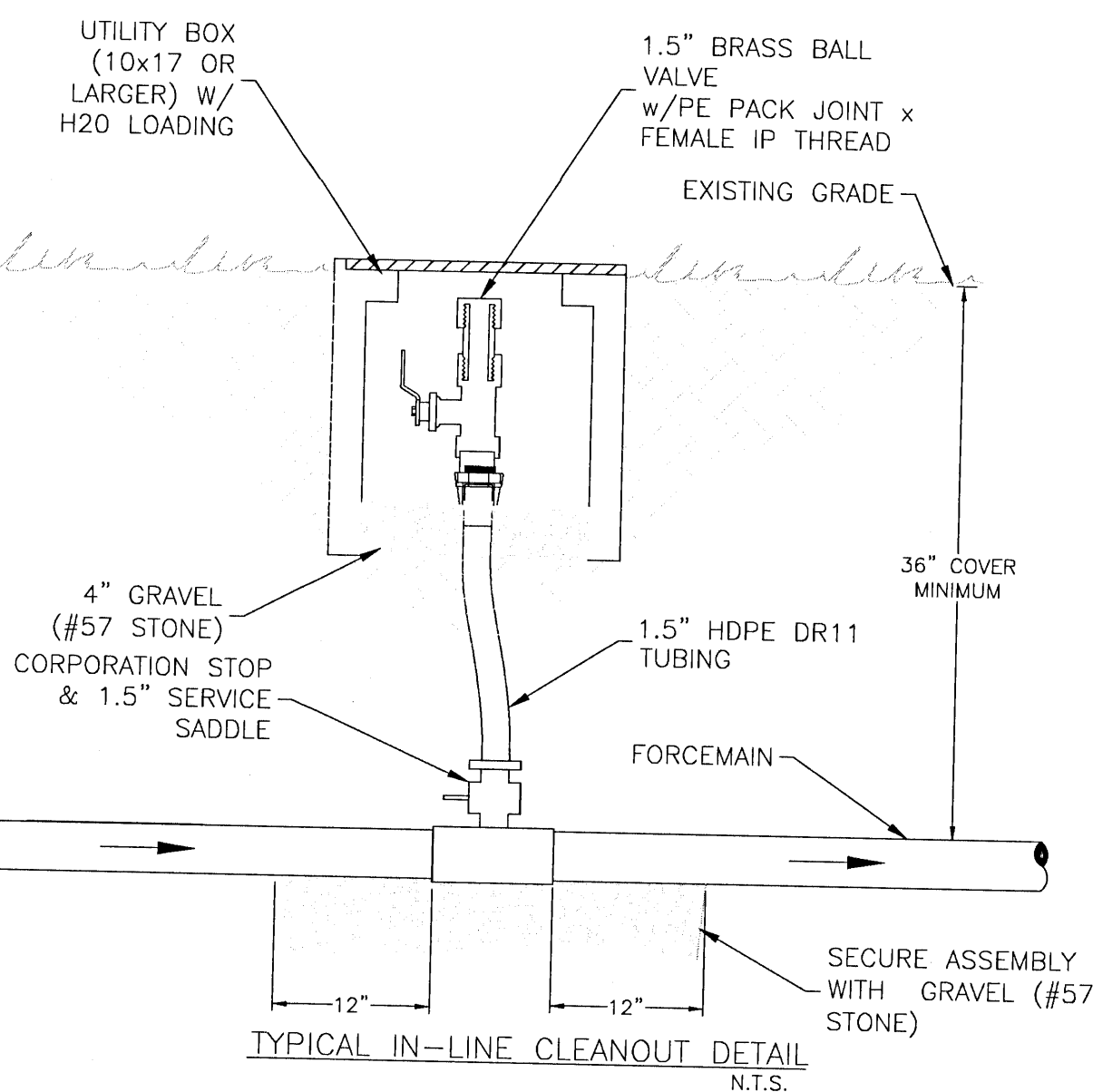
SHEET NO. 26 of 30



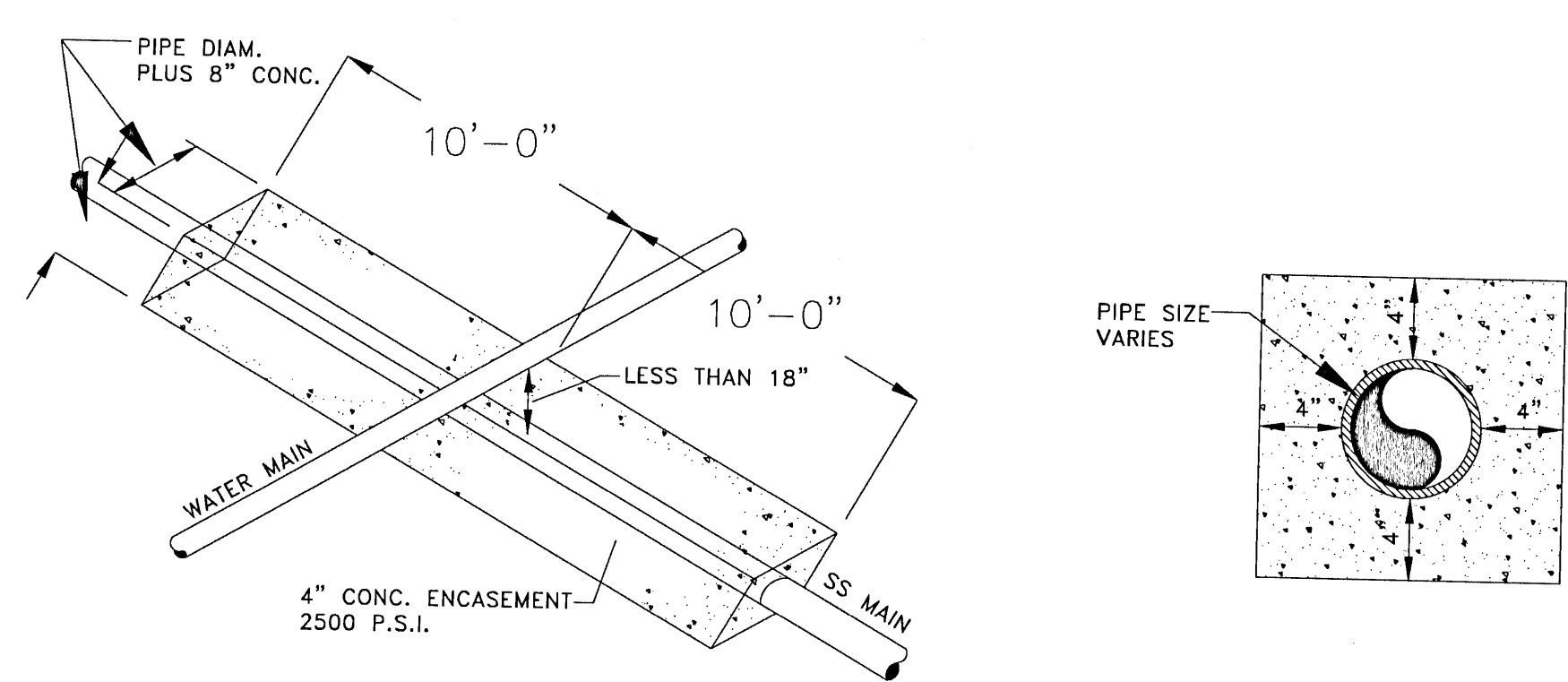
- NOTES:
1. CONCRETE TO BE CLASS A-4
 2. ALL REINFORCING TO MEET REQUIREMENTS OF CURRENT ASTM SPEC. 1-615.
 3. MANHOLE SECTIONS TO MEET REQUIREMENTS OF CURRENT ASTM SPEC. C-428
 4. TAPPED JOINT WITH O-RING GASKET TO MEET CURRENT REQUIREMENTS OF ASTM SPEC. C-361.
 5. DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MH OVER AN EXISTING LINE, OTHERWISE THE OPENING MUST BE CAST. SIZE, LOCATION & ANGLE OF ENTRY SHALL BE AS REQUIRED BY THE PLANS.
 6. HOLES IN PRECAST UNITS ARE TO BE 4\"/>

MIN. DIMENSIONS			
MH	4'-0"	5'-0"	6'-0"
A	4'-0"	5'-0"	6'-0"
B	4'-10"	6'-0"	7'-2"
C	0'-8"	0'-10"	0'-10"

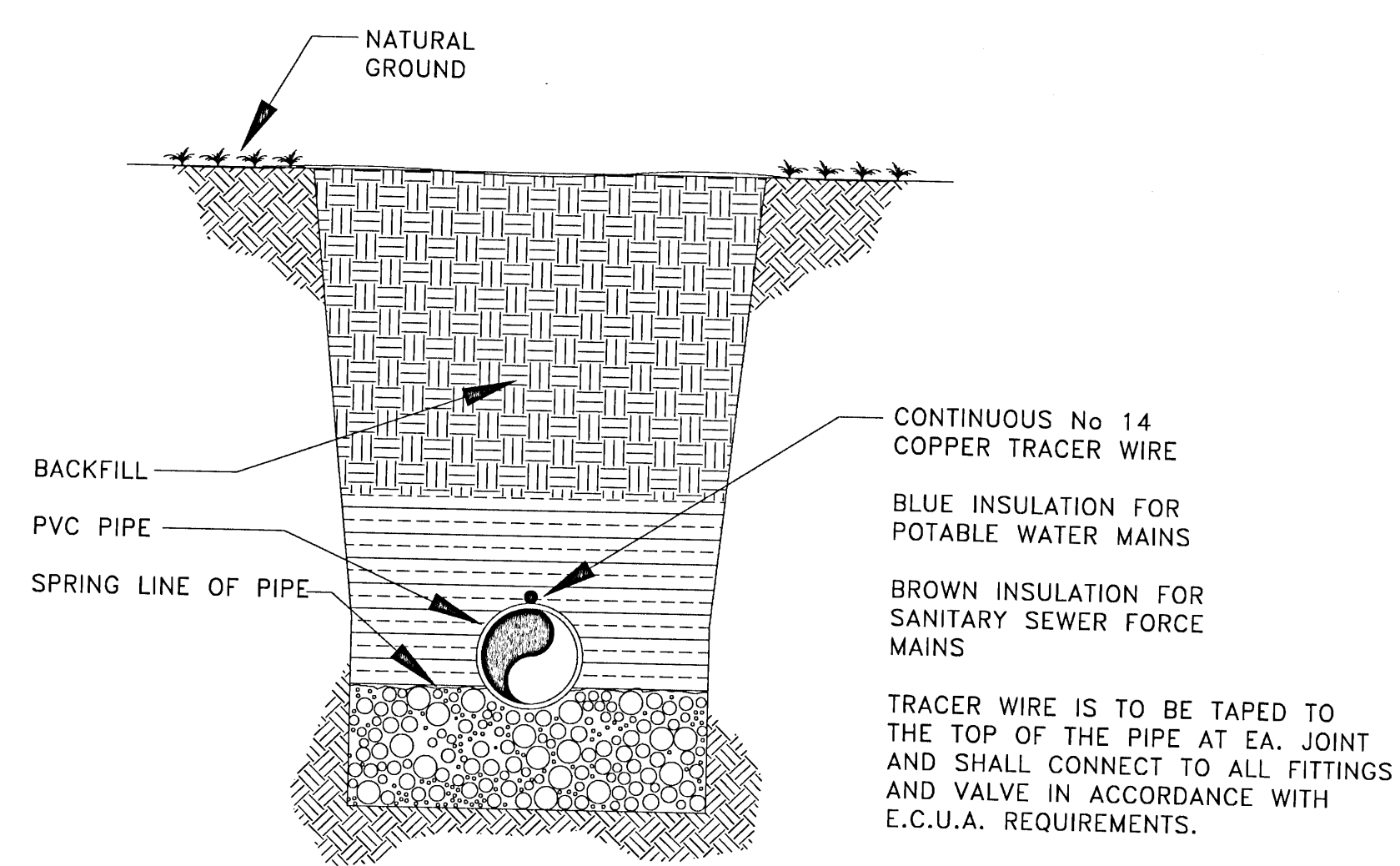
PRECAST CONCRETE MANHOLE DOGHOUSE BASE
N.T.S.



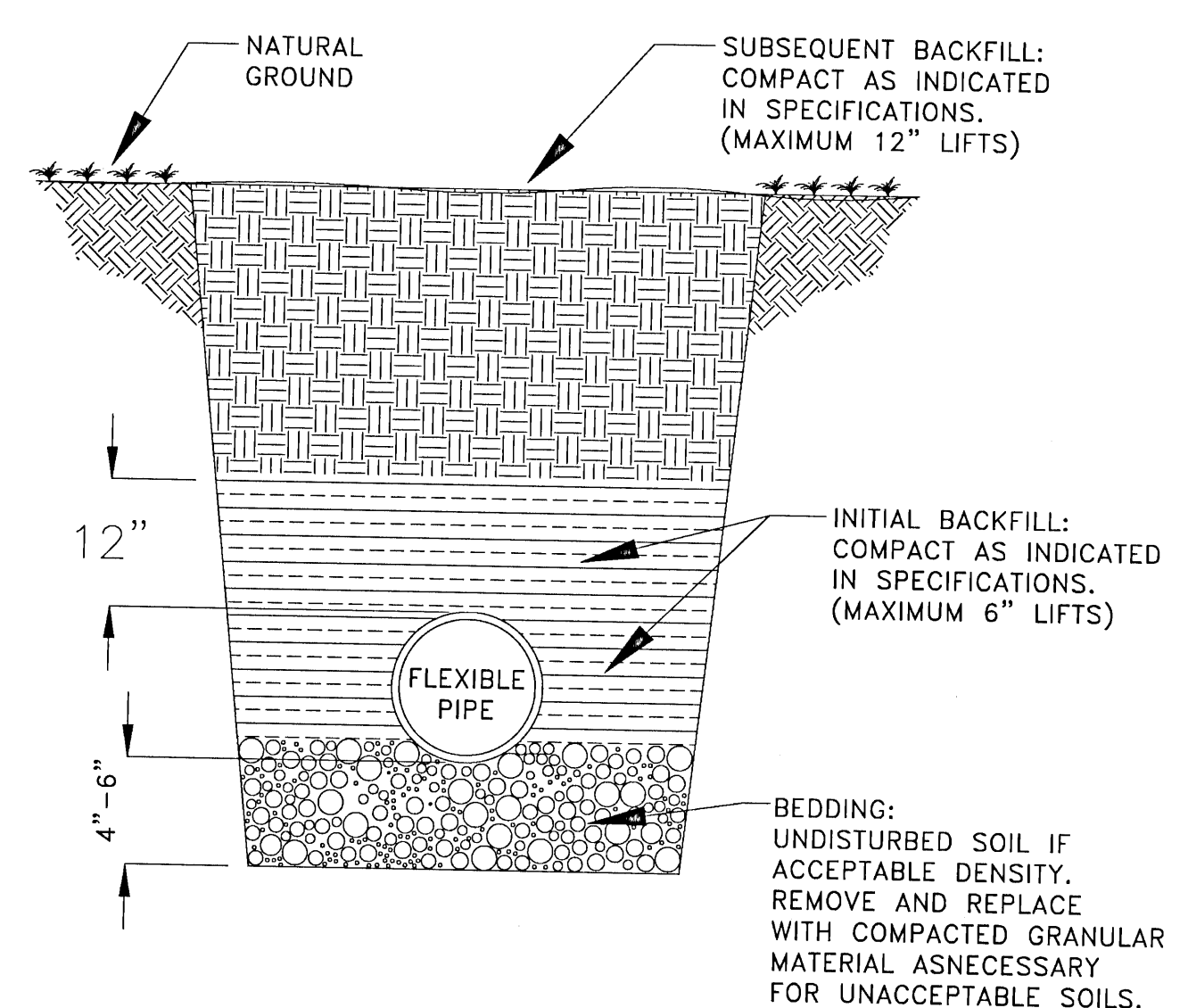
TYPICAL DISINFECTION & CHLORINATION



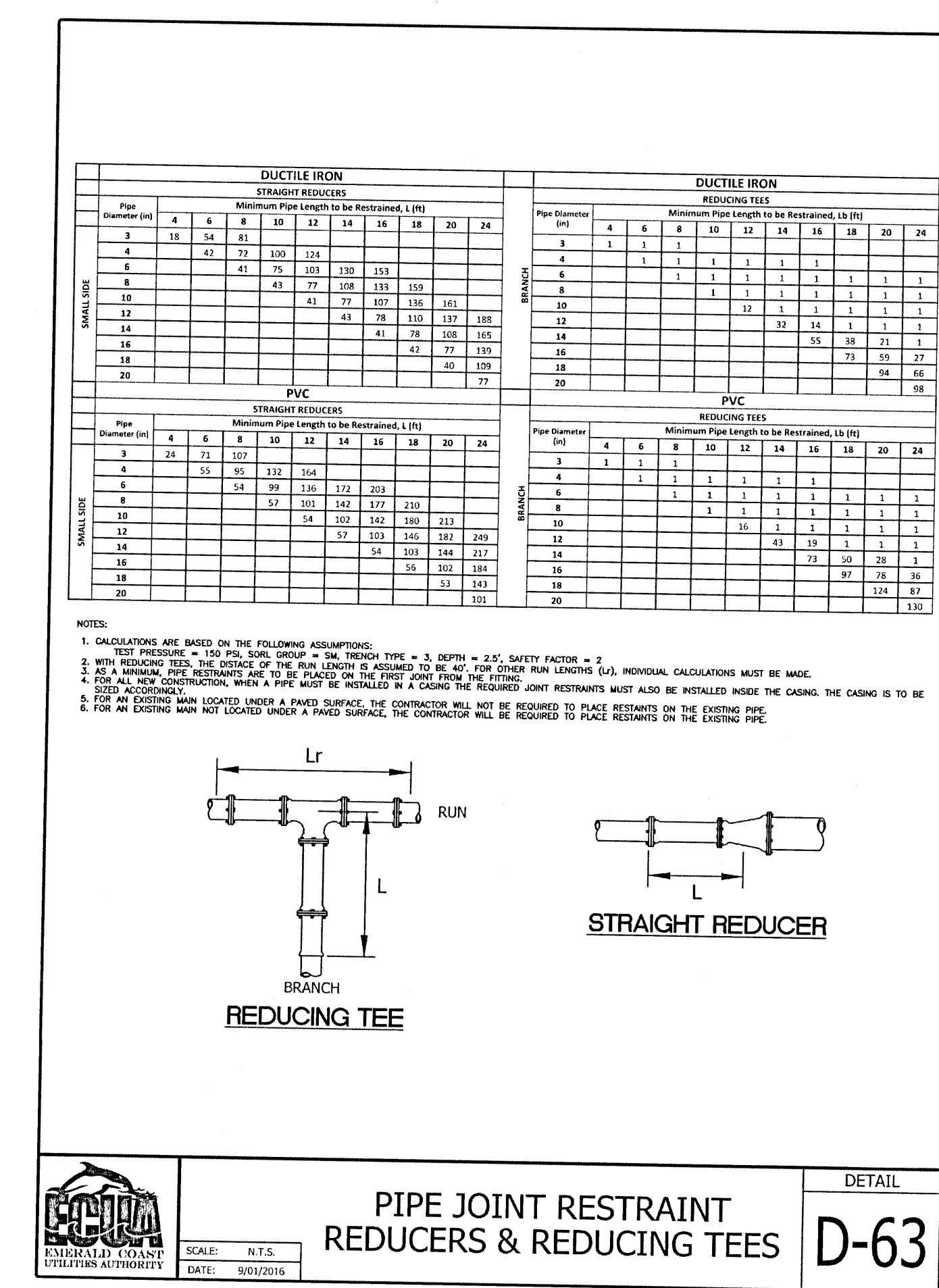
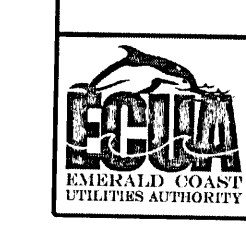
TYPICAL DETAIL FOR
PIPE ENCASED IN CONCRETE
N.T.S.



TRACER WIRE DETAIL
N.T.S.



FLEXIBLE PIPE BEDDING
N.T.S.



SCALE

[illegible]

DRAWN BY A. K. ANDERSON
APPROVED BY M. ABLES
CHECKED BY M. ABLES
DATE OCTOBER 2021

TITLE

UTILITY DETAILS 2

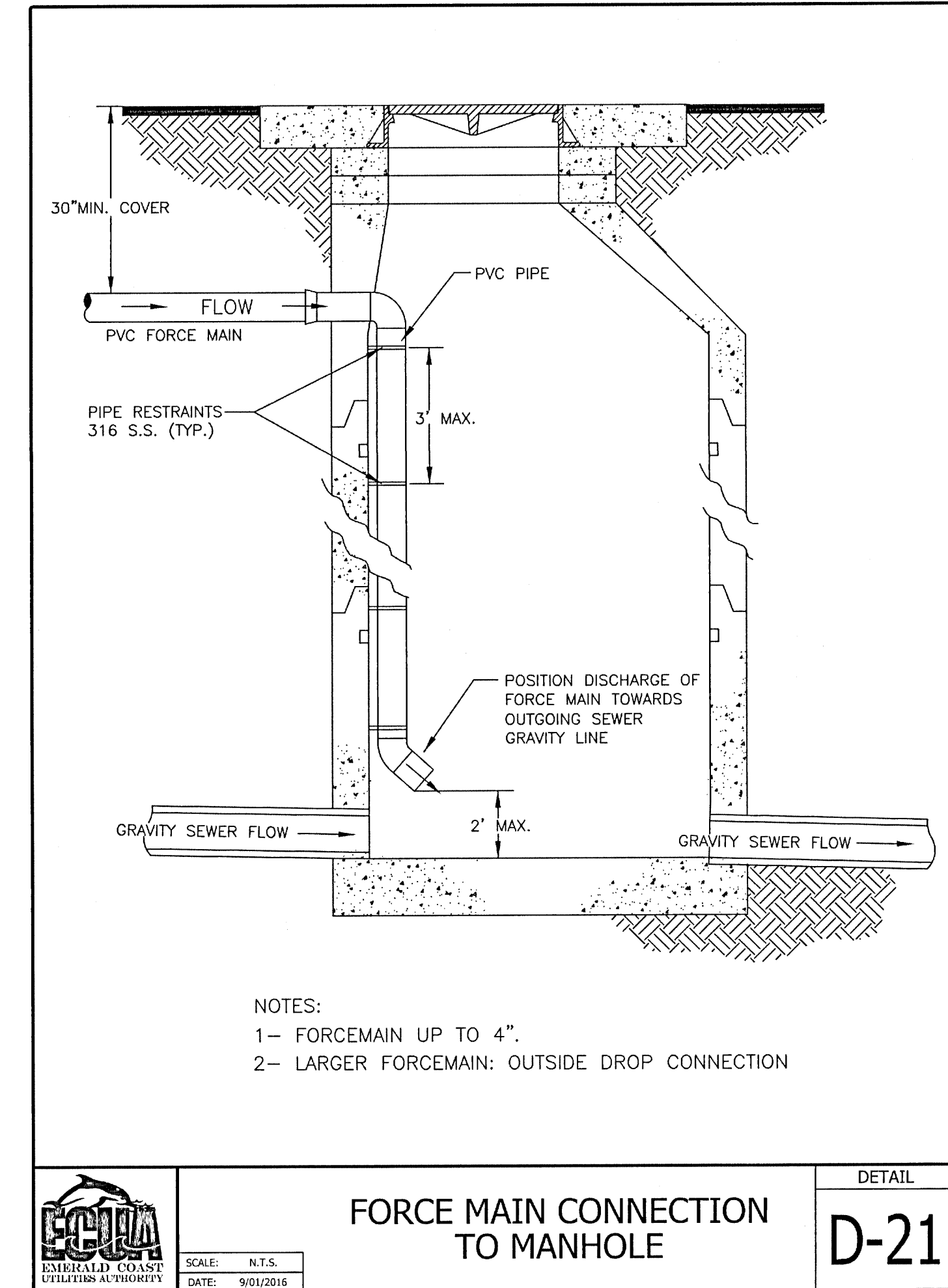
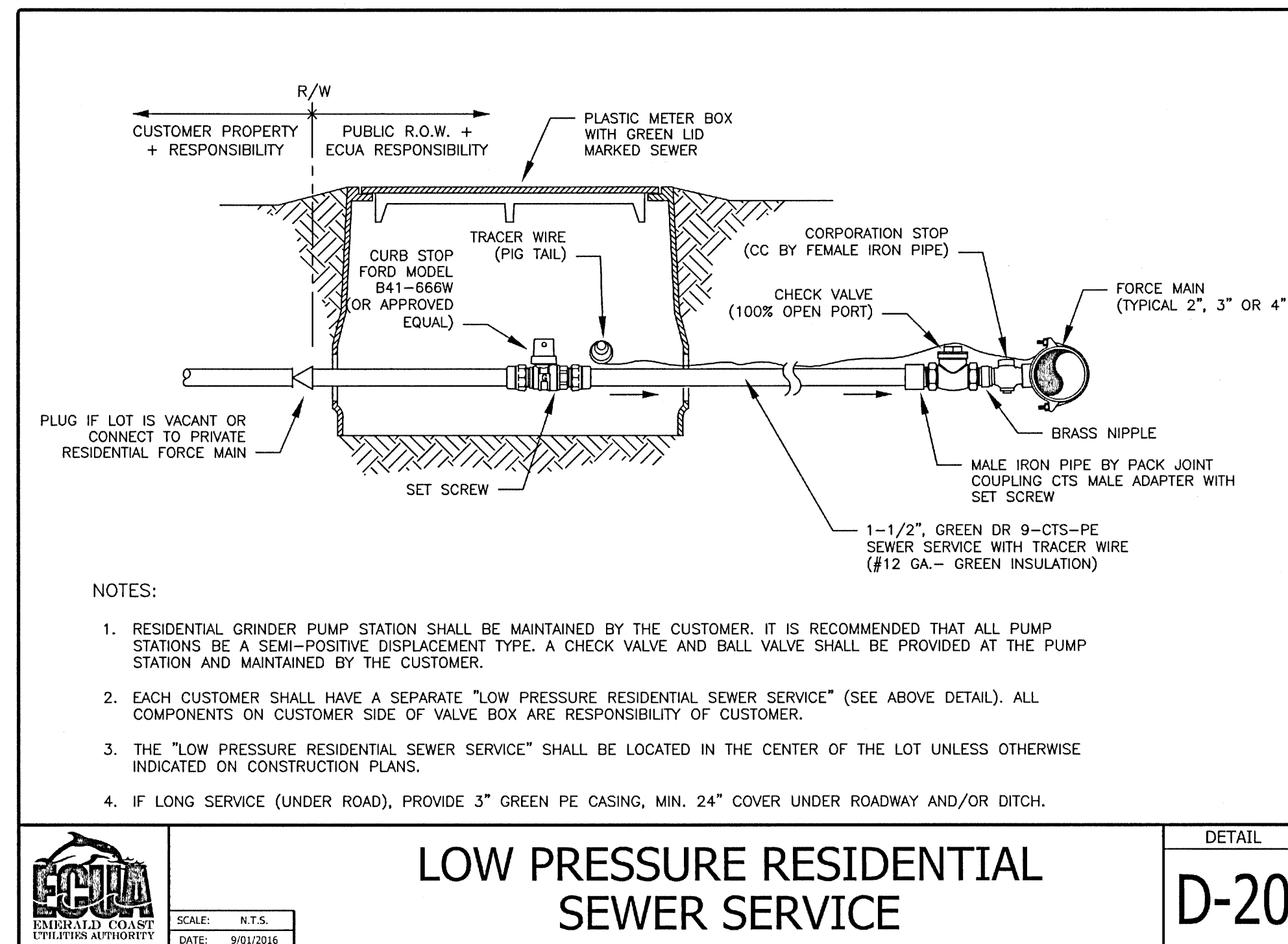
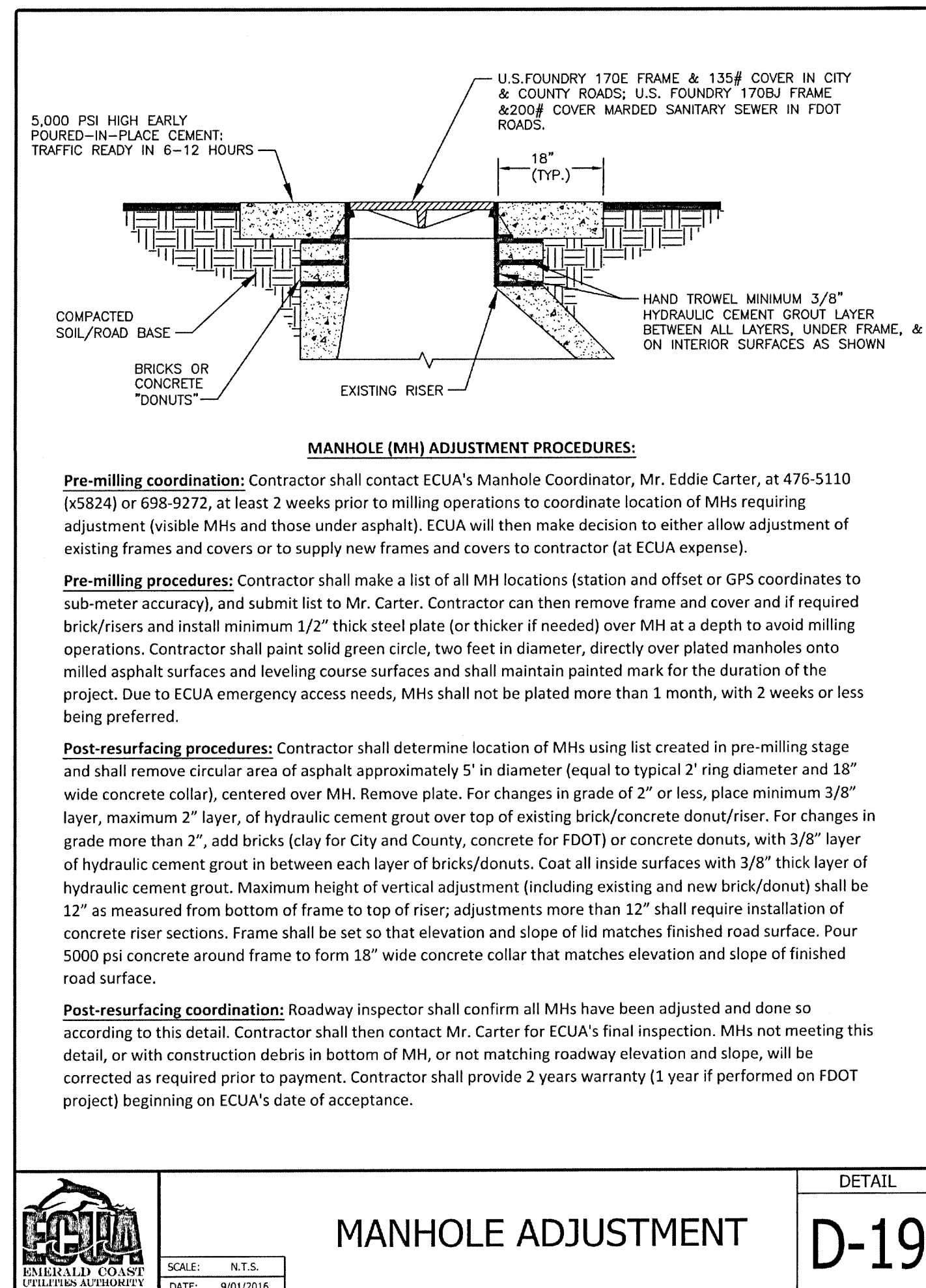
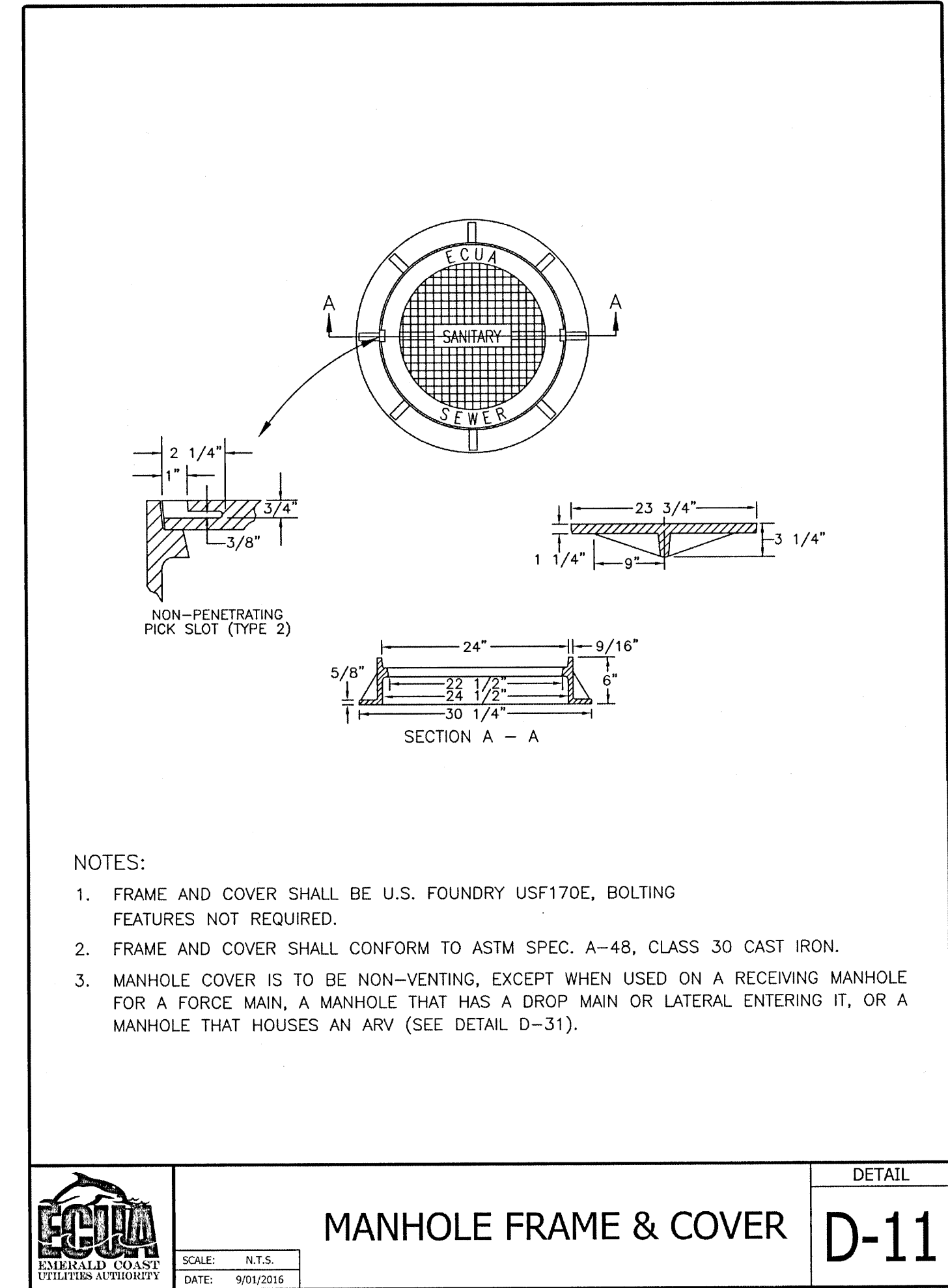
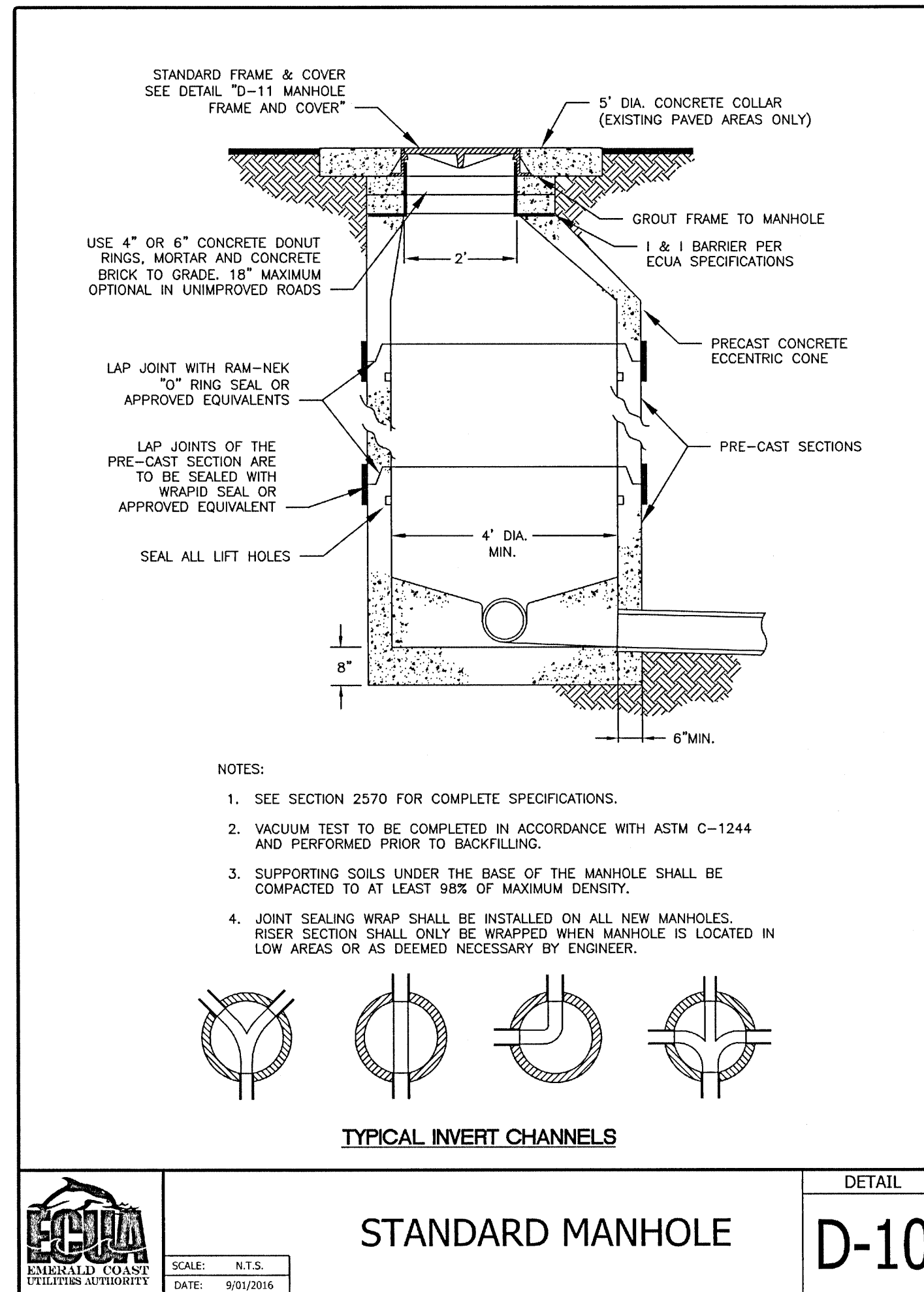
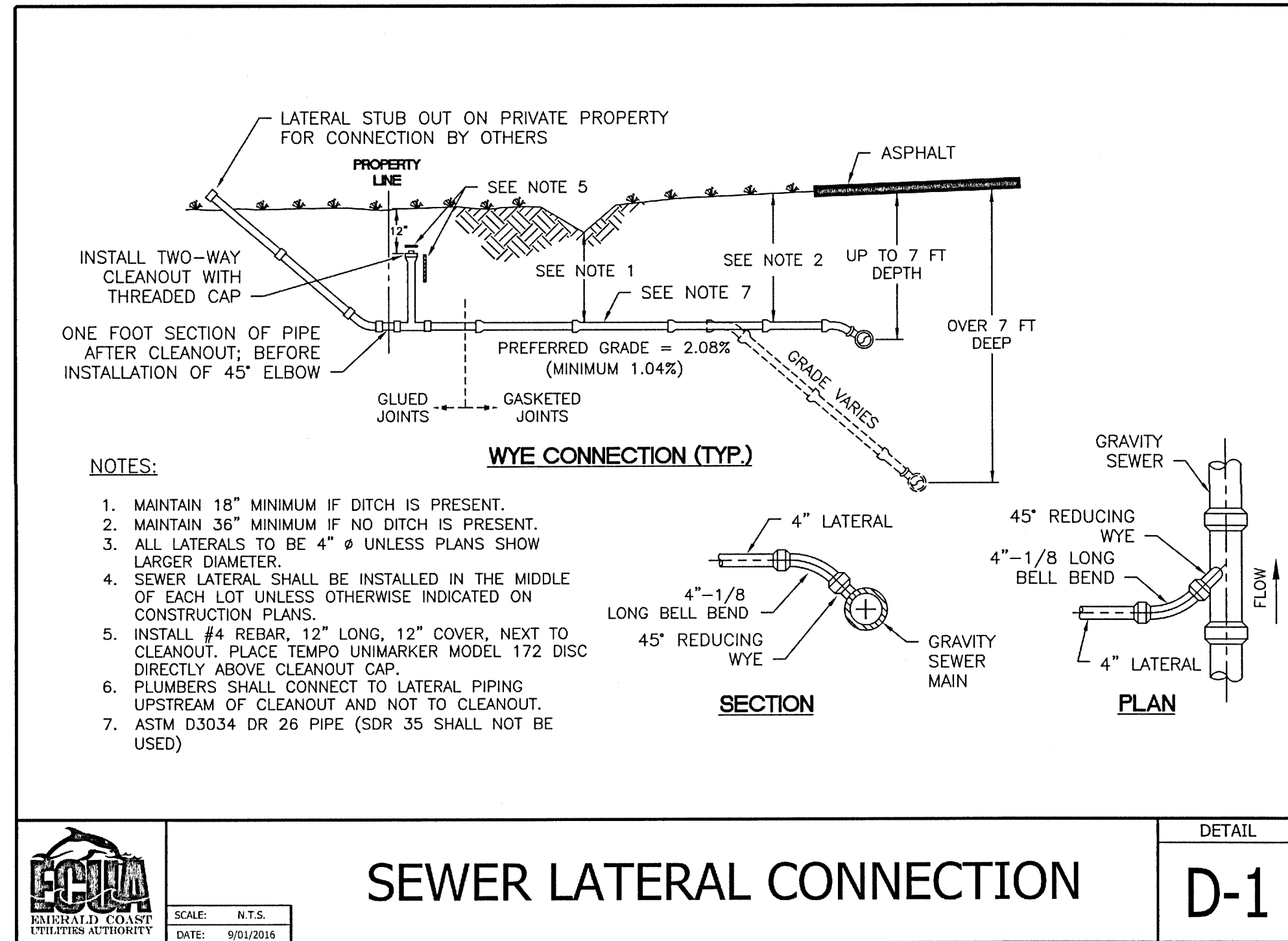
PROJECT NO. 50137668

C-911

SHEET NO. 27 of 30

WATER MAIN PROTECTION NOTE:

WHERE WATER MAINS CAN NOT BE RELOCATED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10 FEET AND A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE OUTSIDE OF SEWER AND WATER MAINS AND JOINTS, THE CONTRACTOR SHALL PLACE THE SEWER MAIN IN A STEEL SLEEVE OR ENCASE THE SEWER MAIN IN CONCRETE ACCORDING TO THE DETAIL ON THIS SHEET.



NO.	DESCRIPTION	DATE

DRAWN BY	A. K. ANDERSON
APPROVED BY	M. ABLES
CHECKED BY	M. ABLES
DATE	OCTOBER 2021
TITLE	

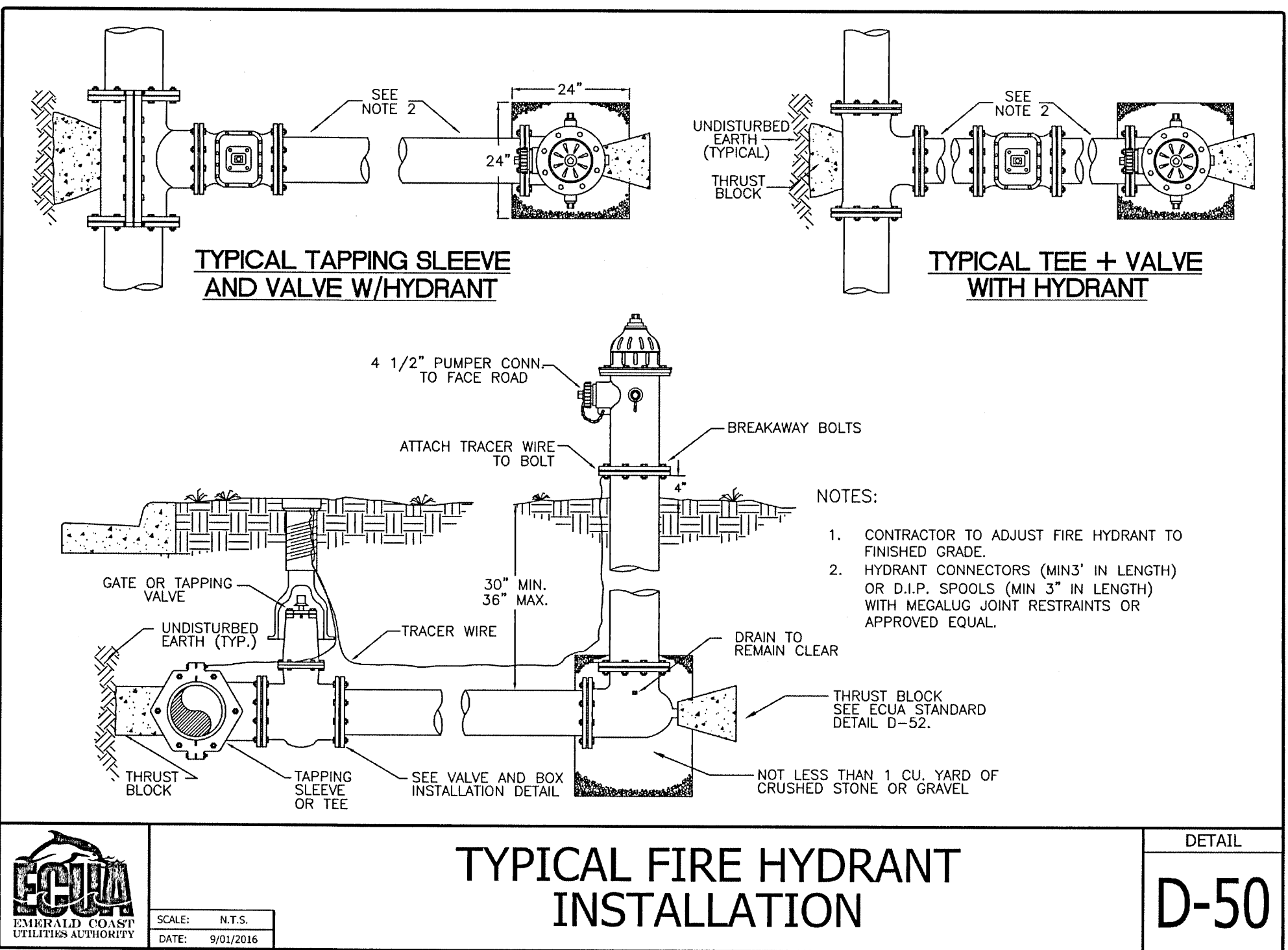
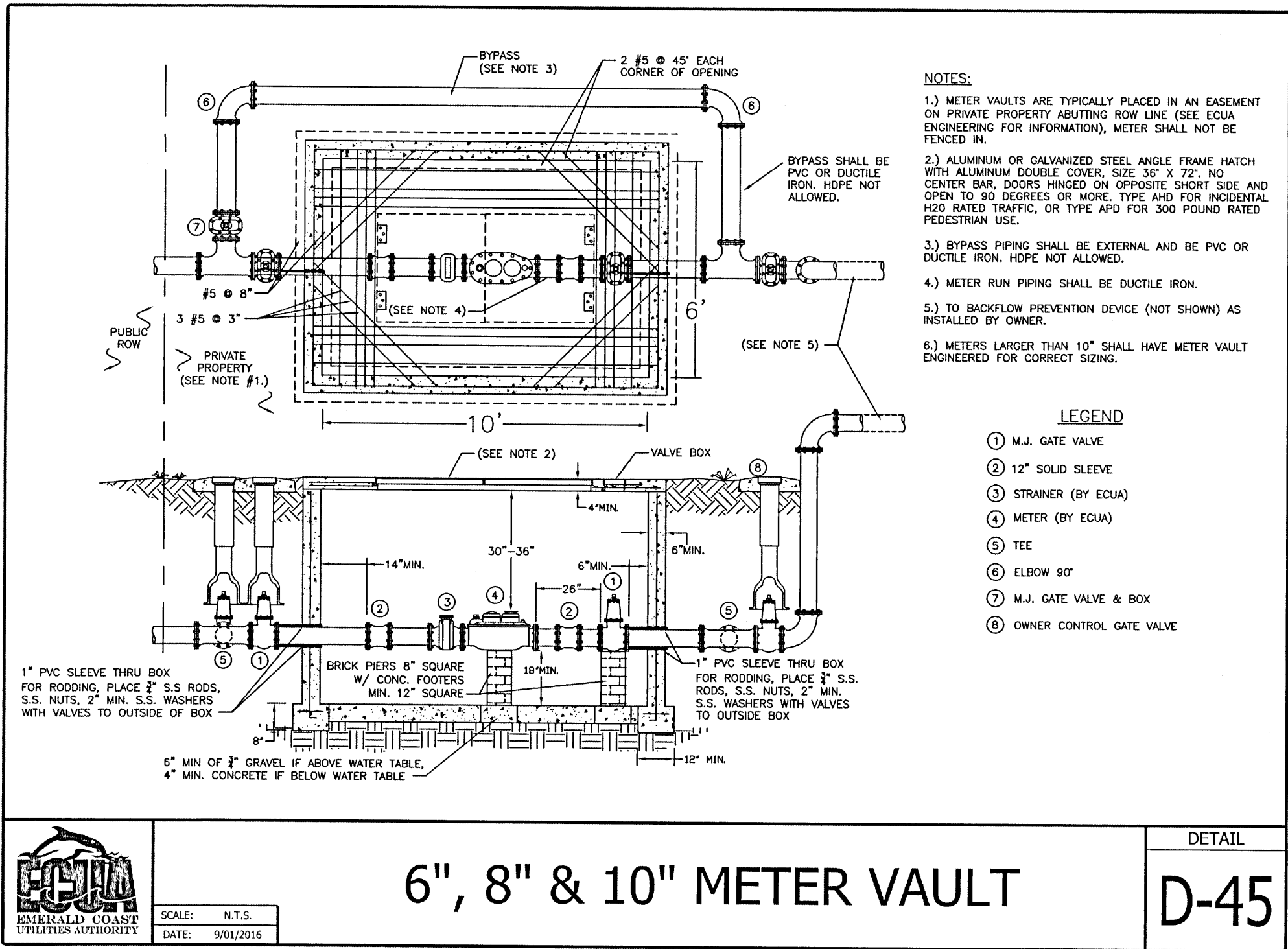
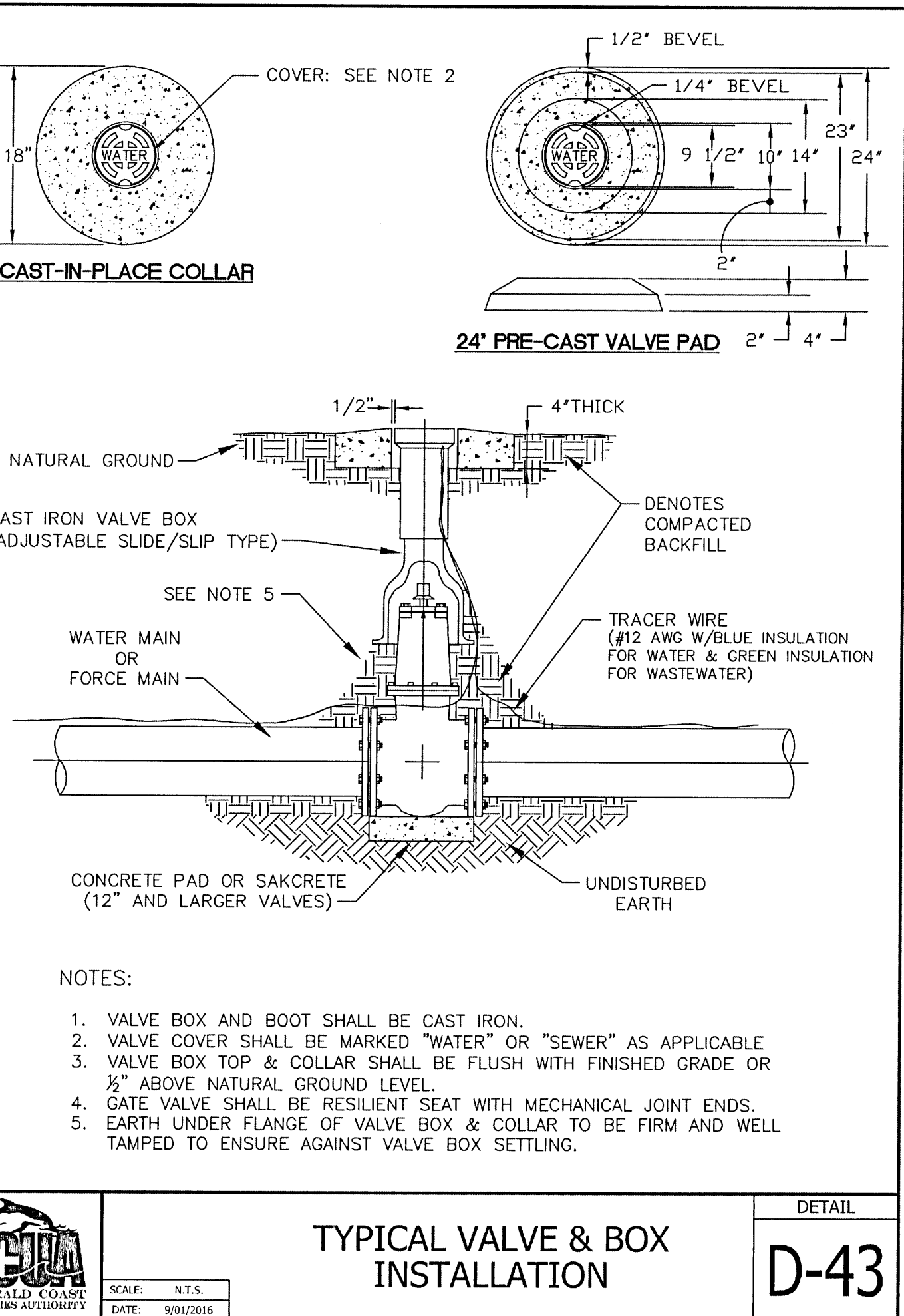
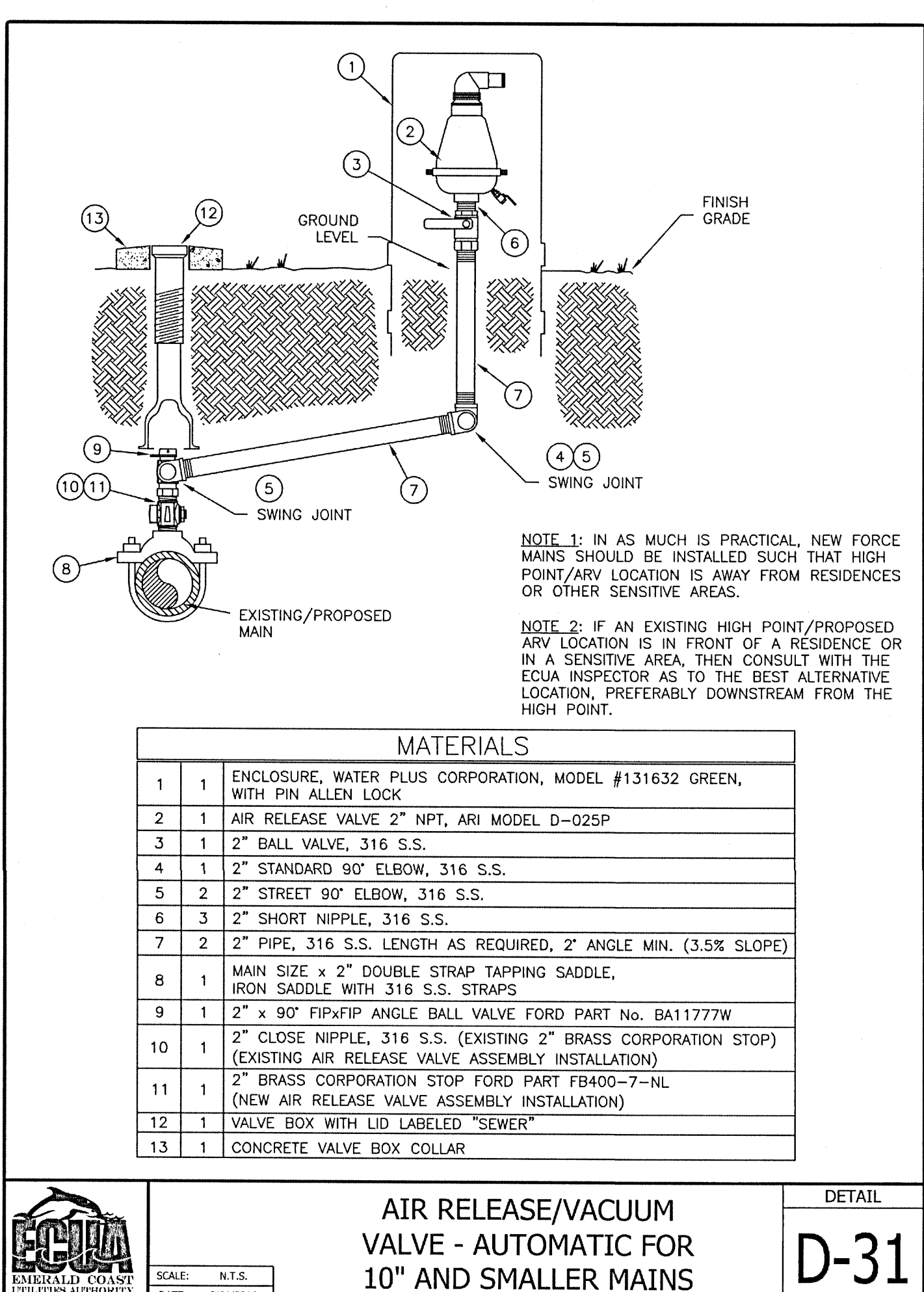
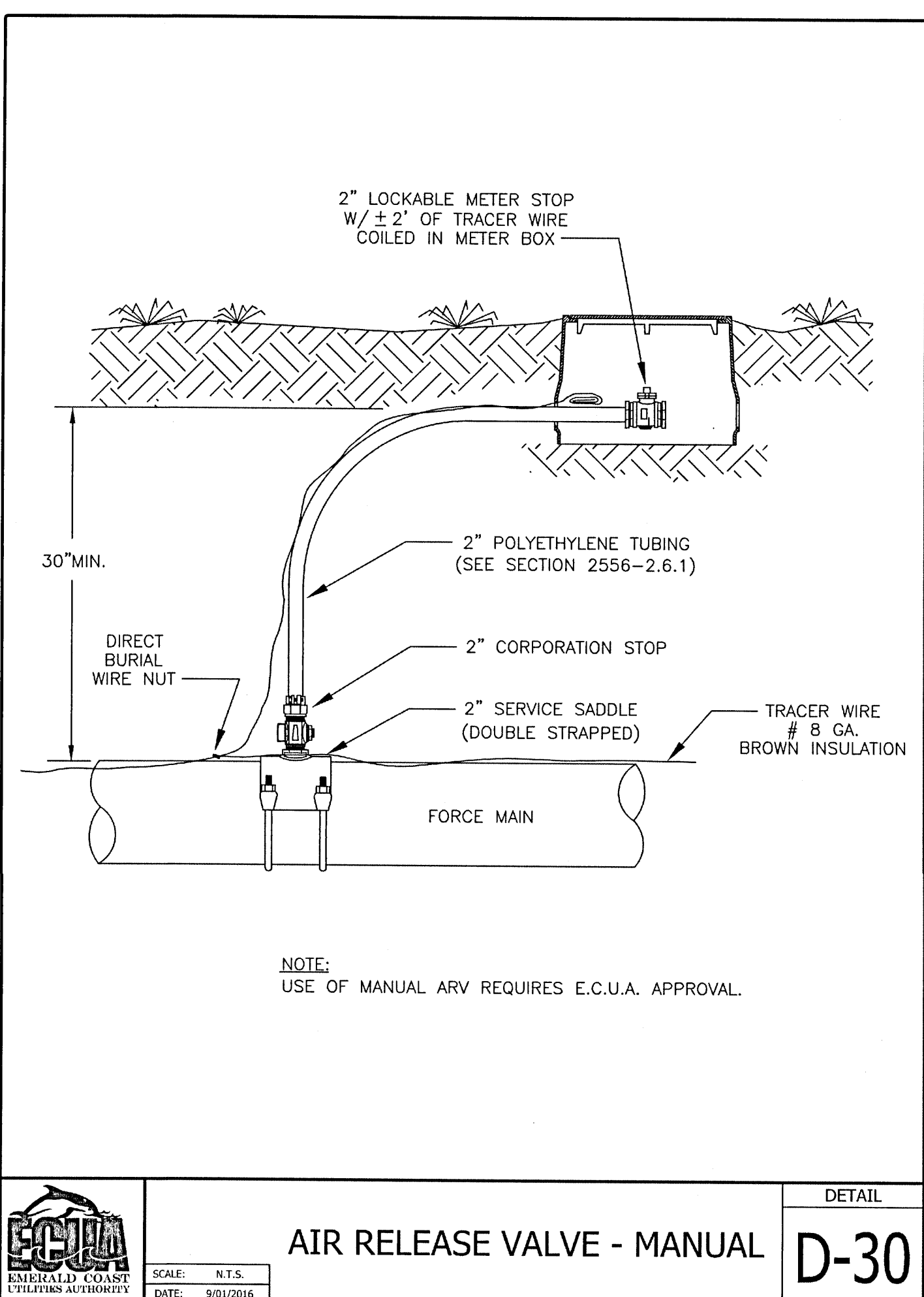
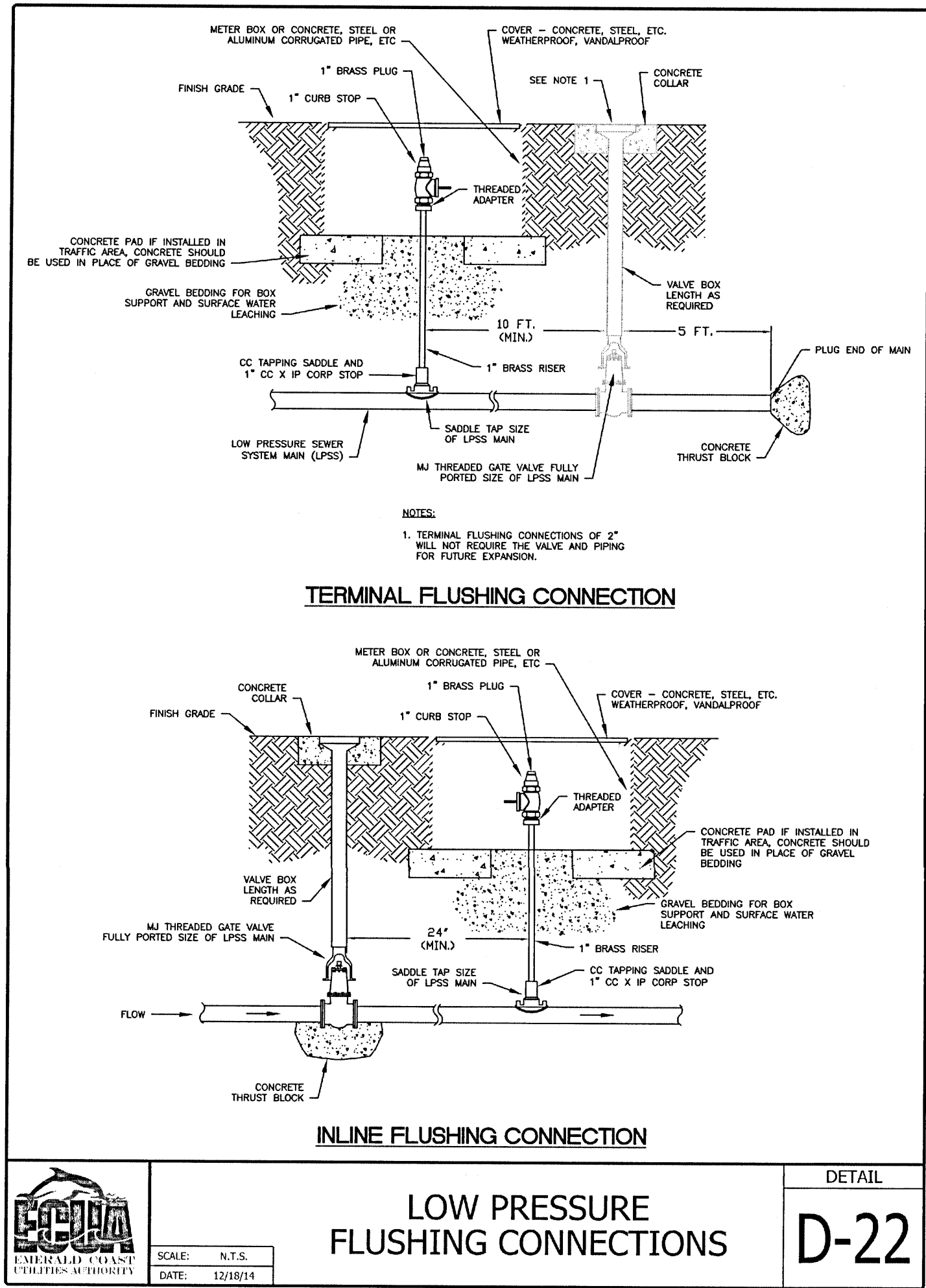
E

D

C

B

A



NO.	DESCRIPTION	DATE

NOTES
LANDSCAPING IS NOT PART OF THE SITE CONTRACT.

LANDSCAPE WILL BE REQUIRED TO MEET MINIMUM STANDARD PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

LANDSCAPING NOTES

1. ALL PLANTS SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

2. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING™ GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. NON-NATIVE SPECIES ARE LIMITED TO 25% OR LESS OF THE TOTAL REQUIRED TREES PLANTED ON SITE.

3. CANOPY TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 30 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL. UNDERSTORY TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF LESS THAN 30 FEET BUT AT LEAST 12 FEET.

4. ANY REFERENCED REVISIONS (IF OCCURRING AFTER SITE PLAN APPROVAL) MUST BE CONVEYED THROUGH THE EOR TO THE SITE INSPECTORS AND CAN ONLY BE MADE "PROVIDED THE SUBSTITUTIONS COMPLY WITH ALL OTHER PLAN LANDSCAPE SPECIFICATION.

5. AT LEAST 50% OF THE BUFFER TREES MUST BE EVERGREEN AND THE MAXIMUM PERCENTAGE OF ANY ONE SPECIES PER DIVERSITY REQUIREMENT IN THE DSM BASED ON THE FINAL NUMBER OF SITE TREES PROPOSED. IF 50 TREES OR MORE, THE MAXIMUM OF ANY ONE SPECIES IS 30% OF THE TOTAL.

6. FOR PROTECTED TREES, ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND BECOMES STABILIZED.

7. ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS OR AGGREGATE ONSITE, OR ANY OTHER "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

PLAN NOTES

1. TERMINATION TREE PLANTINGS ARE REQUIRED AT ALL PARKING ISLANDS. DUE TO THE LIMITATION OF THE GAS EASEMENT, TWO PARKING ISLANDS WERE NOT INCLUDED IN THIS REQUIREMENT.

NORTH PROPERTY LINE
ADJACENT COMMERCIAL LANDUSE
NO BUFFER REQUIRED

WEST PROPERTY LINE
ADJACENT COMMERCIAL LANDUSE
NO BUFFER REQUIRED

SOUTHWEST PROPERTY LINE
ADJACENT COMMERCIAL LANDUSE
NO BUFFER REQUIRED

SOUTHEAST PROPERTY LINE
ADJACENT RESIDENTIAL LANDUSE
BUFFER REQUIRED: TYPE A BUFFER
PROVIDED:
816 L.F. = 16 CANOPY TREES
8 UNDERSTORY TREES
91 SHRUBS

EAST PROPERTY LINE
ADJACENT COMMERCIAL LANDUSE
NO BUFFER REQUIRED
PROVIDED:
6' HIGH FUNCTIONALLY OPAQUE FENCE

PROVIDED:
6' HIGH FUNCTIONALLY OPAQUE FENCE

PROVIDED:
6' HIGH FUNCTIONALLY OPAQUE FENCE

6' HIGH FUNCTIONALLY OPAQUE FENCE

TREE PROTECTION NOTE:

ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

MITIGATION CALCULATIONS

TOTAL TREE CALIBER TO BE REMOVED DUE TO CONFLICT, DYING, SPLIT, SENESCENT, HOLLOW AND ROTTING = 961.00"
TOTAL TREE CALIBER TO REMAIN = 397.00"

ESCAMBIA COUNTY MITIGATION LIMIT = 25 CALIPER INCHES / ACRE
PROJECT AREA = 9.09 ACRES AC
TOTAL CALIPER INCHES OF MITIGATION REQUIRED = 9.09 ACRES AC X 25 CALIPER INCHES/AC = 228 CALIPER INCHES

2.5 CALIPER INCHES / TREE
228 / 2.5 = 92 MITIGATION TREES TO BE PLANTED

TOTAL MITIGATION TREES PORVIDED = 92 TREES

PER THE ABOVE CALCULATIONS, THE CONTRACTOR SHALL PROVIDE 228" IN TOTAL REPLACEMENT TREES. TREES SHALL BE CANOPY TREES AND IN ACCORDANCE WITH LANDSCAPING NOTES. FOR THE PURPOSE OF PERMITTING, TREES ARE ASSUMED TO BE 2.5" IN CALIPER.

MINIMUM REQUIRED LANDSCAPE AREA (15%):
1.36 AC OR 15% REQUIRED
1.71 ACRES OR 18% PROVIDED

LANDSCAPE BUFFER MATERIAL LIST

CANOPY TREE

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT COND.	NOTES
RB	8	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER	CONTAINER	
LO	4	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER	CONTAINER	EVERGREEN
SM	4	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER	CONTAINER	EVERGREEN

UNDERSTORY TREE

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT COND.	NOTES
FT	2	CHIONANTHUS VIRGINICUS / FRINGE TREE	2.5" CALIPER	CONTAINER	
TW	2	HALESIA DIPTERA / TWO-WINGED SILVERBELL	2.5" CALIPER	CONTAINER	
DW	4	OSMANTHUS AMERICANUS / DEVILWOOD	2.5" CALIPER	CONTAINER	EVERGREEN

SHRUB

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT COND.	NOTES
VS	11	ITEA VIRGINICA / VIRGINIA SWEETSPIRE	7 GAL / 18" HT	CONTAINER	
ED	25	PHILADELPHUS INODORUIS / ENGLISH DOGWOOD	7 GAL / 18" HT	CONTAINER	
WV	55	VIBURNUM OBOVATUM / WALTERS VIBURNUM	7 GAL / 18" HT	CONTAINER	

PARKING ISLAND MATERIAL LIST

CANOPY TREE

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT COND.	NOTES
FM	2	ACER BARBATUM / FLORIDA MAPLE	2.5" CALIPER	CONTAINER	
RM	18	ACER RUBRUM / RED MAPLE	2.5" CALIPER	CONTAINER	
RB	8	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER	CONTAINER	
LO	4	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER	CONTAINER	EVERGREEN
SM	5	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER	CONTAINER	EVERGREEN

MITIGATION TREE MATERIAL LIST

CANOPY TREE

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT COND.	NOTES
FM	20	ACER BARBATUM / FLORIDA MAPLE	2.5" CALIPER	CONTAINER	
RM	15	ACER RUBRUM / RED MAPLE	2.5" CALIPER	CONTAINER	
RB	27	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER	CONTAINER	
LO	15	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER	CONTAINER	EVERGREEN
SM	15	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER	CONTAINER	EVERGREEN

LEGEND

BL

BOLLARD

LP

LIMITS OF CONSTRUCTION
LIGHT POLE

EXISTING CONCRETE

EXISTING ASPHALT

NEW CONCRETE SIDEWALK

NEW STD DUTY ASPHALT

SODDED GRASS

PROPOSED BUILDING

C.I.P. CONCRETE RETAINING WALL



139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT

ESCAMBIA COUNTY, FLORIDA

SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE

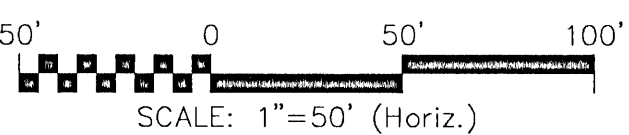


DAVID B. TULLAR, P.E.
FL. PER. NO. 86282

CD#48 8794

FOR PERMITTING ONLY

SCALE



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE

LANDSCAPE PLAN

PROJECT NO. 50137668

C-600

SHEET NO. 30 of 30

