		ESCAMBIA COUNTY DRC PLAN REVIEW
	Printe	chairman Signature 1 Humpton 17-15-11 d Name: De Maires Hampton Date
Ξ	This c applic way r from obtain of con agenc prior provi	Indext Services Director of Desidner locument has been reviewed in accordance with the requirements of table Escambia County Regulations and Ordinances, and does not in any elieve the submitting Architect, Engineer, Surveyor or other signatory responsibility of details as drawn. A Development Order (DO) must be hed through the Development Review Process prior to the commencement instruction. This DO approval does not constitute approval by any other to approval of a final plat or the issuance of state/federal permits shall be ded to the county prior to approval of a final plat or the issuance of a ing permit.
	SITE SUMMARY:	
	PROPERTY OWNER:	TRIMCOR, LLC
	ADDRESS:	P.O BOX 518, PHENIX CITY, AL 36868
	CONTACT:	KOLE OGELSBY
	TELEPHONE NO.:	334-480-4001
	CONTRACTOR:	TBD
	PIN	11-1S-31-1401-000-004
)	LATITUDE: LONGITUDE:	N30° 31' 48.44'' W87° 18' 48.35''
	TAX MAP NUMBER:	090403250
	PROJECT ADDRESS:	9121 PINE FOREST RD, PENSACOLA, FL 32502
	PRESENT ZONING:	HC/LI
	PRESENT LANDUSE:	MU-U
	PRESENT USE:	VACANT COMMERCIAL
	PROPOSED USE:	MULTIFAMILY RESIDENTIAL
	PARCEL ACREAGE:	9.09 ACRES
	LAND DISTURBANCE:	9.45 ACRES
;	PROPOSED BUILDING:	8 MF APT BLDGS, MAINTENANCE AND OFFICE-CLUBHOUSE
	PARKING:	266 REQ'D / 350 PROPOSED

Approved

### PROJECT DESCRIPTION:

THE PROJECT SHALL CONSIST OF THE CONSTRUCTION OF 170 MULTIFAMILY DWELLING UNITS (AS ENUMERATED AND TOTALED ON SHEET C-201), TO BE WITHIN THE SITE ACREAGE DETERMINED TO BE CORRECT, AND TO BE DEFINITIVELY THE EIGHT BUILDINGS SHOWN, NOT AN APPROXIMATE. THE MULTIFAMILY COMMERCIAL DEVELOPMENT IS SITUATED ON APPROXIMATELY 9.09 ACRES ACRES AND LOCATED ON THE WEST SIDE OF PINE FOREST ROAD IN PENSACOLA, FLORIDA ABOUT 1,500 FEET SOUTH OF WEST NINE MILE ROAD. THE SITE IS CURRENTLY PARTIALLY WOODED AND WAS PARTIALLY CLEARED BY A PREVIOUS DEVELOPER. THIS PROJECT INCLUDES THE CONSTRUCTION OF EIGHT APARTMENT BUILDINGS, 1 CLUBHOUSE AND POOL AMENITY, 1 MAINTANANCE BUILDING AS WELL AS ALL NECESSARY PARKING IMPROVEMENTS, UTILITIES, AND STORMWATER MANAGEMENT FEATURES.

### **ENGINEER'S STATEMENT**

ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS SUCH AS : THE FLORIDA GREEN BOOK

THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MANUAL (FDM)

ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

THE AMERICANS WITH DISABILITIES ACT (ADA)

### FLOOD STATEMENT

"THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY. FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0290G, MAP REVISION DATED SEPTEMBER 29, 2006."

Owner Trimcor, LLC P.O BOX 518, PHENIX CITY, AL 36868 5700 North Davis Hwy., Suite 3 Contact: Kole Ogelsby Email: kogelsby@trimcor.com

Civil Engineer Dewberry Engineers, Inc. 139 E Government St Pensacola, FL 32502 Phone: 770.731.3135 Contact: Matt Ables, PE Email: mables@Dewberry.com

Land Surveyor Pitman, Glaze & Associates, Inc. Pensacola, FL 32503 Phone: 251.990.9950 Contact: Walter J. Glaze Email: pgasurvey@bellsouth.net

Geotechnical Engineer Southern Earth Sciences, Inc. 5460 Rangeline Road Mobile, FL 36619 Phone: 251.344.7711 Contact: Matt Coaker, PE

# LAND DEVELOPMENT PLANS FOR FOREST MULTI-FAMILY APARTMENTS FOR TRIMCOR, LLC

### PENSACOLA, FLORIDA 32502

SHEET INDEX

Sheet Number	Sheet Title
C-1.0	COVER
C-1.1	GENERAL NOTES
V-100	SURVEY
C-100	SITE DEMO
C-201	SITE PLAN
C-202	SIGNAGE, MARKING AND ROADWAY PROFILE
C-203	SITE DISTANCE PLAN & PROFILE
C-300	GRADING PLAN
C-500	UTILITY PLAN
C-502	OFFSITE SEWER AND WATER
C-301	STORM PLAN
C-302	STORM PROFILES
C-310	POND DETAILS
C-311	STORM DETAILS
C-400	EROSION & SED. CONTROL-PHASE 1
C-401	EROSION & SED. CONTROL PHASE 2
C-402	EROSION & SED. CONTROL PHASE 3
C-403	EROSION & SED. CONTROL NOTES
C-410	ENVIRONMENTAL INFORMATION PLAN
C-900	MISC CONST DETAILS 1
C-901	MISC CONST DETAILS 2
C-910	UTILITY DETAILS 1
C-911	UTILITY DETAILS 2
C-912	UTILITY DETAILS 3
C-913	UTILITY DETAILS 4
C-600	LANDSCAPE PLAN

PLANS PREPARED BY:



139 E GOVERNMENT STREET, PENSACOLA, FL 32502 (850) 760-0332



DEWBERRY PROJECT NO.: 50137668

### LAND DISTURBANCE ACTIVIES

ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS OR AGGREGRATE ONSITE, OR ANY OTHER "LAND DISTURBANCE ACTIVIES", ETC...SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF WORK.

### ECUA Required Plan Notes (notes shall be inserted in the upper right corner of title sheet)

### A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with any listed updates (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

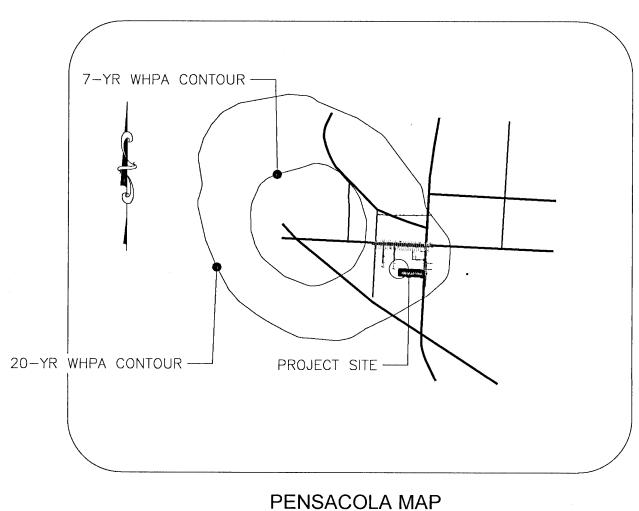
### B. Additional Documents (to be completed by the Engineer of Record)

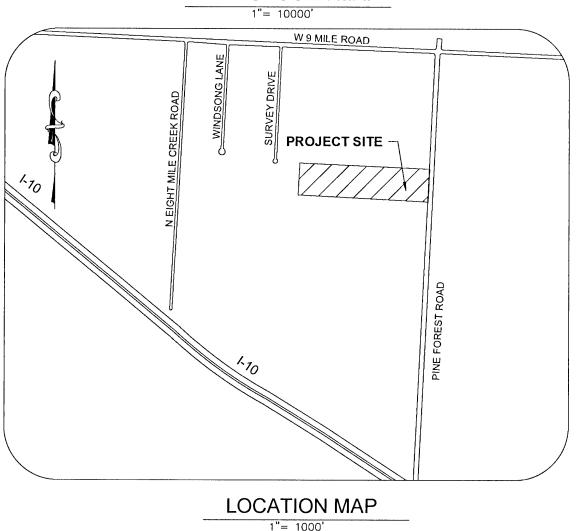
Does this Project have additional technical specifications or construction details that supersede the Manual listed above? YES NOX. If yes, Contractor shall construct Project in accordance with said documents as listed and located below: Document Tuna Locatio

	Docume	ent Type	Loca	ition
Document Name	Specifi-	Detail	Plans	Project Manual*
	cation	Detail	FIGUS	Manual*
*Project Manuals used only with ECUA CIP Projects				

### C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.





## 139 E. GOVERNMENT STREET PENSACOLA, FL 32502 (850) 760-0332 PINEFOREST ROAD APARTMENTS PROJE( COUN' Ш N NOT APPROVED UNLESS ACCOMPANIED WITH SEAL A VALID SIGNATUR DAVID B. TILLAR, P.E. FL. PE No. 86282 COA# 8794 FOR PERMITTING ONLY SCALE NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION. REVISIONS NO. DESCRIPTION DATE A. K. ANDERSON DRAWN BY M. ABLES APPROVED BY M. ABLES CHECKED BY OCTOBER 2021 DATE TITLE COVER

Dewberry<sup>®</sup>

PROJECT NO.	50137668
C	C-1.0

SHEET NO. 1 of 30

r	1	2
	GENERAL NOTES: (AS APPLICABLE TO PROJECT)	42. ALL WORK SHALL BE CONFINED TO WITHIN THE COUNTY R/W OR PROPERTY LIMITS OR LIMITS OF DISTURBANCE SHOWN ON PLANS
	1. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES, AND OTHER UTILITIES AS NECESSARY.	<ul> <li>43. CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS SITE.</li> <li>CONTRACTOR SHALL INCLUDE COST FOR SAME IN HIS BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE</li> </ul>
	2. ALL SITE WORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ESCAMBIA COUNTY STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THE	SATISFACTION OF THE OWNER. 44. TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A
	CONSTRUCTION DOCUMENTS. 3. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED	MANNER TO CAUSE NO DAMAGE TO THE TREE AND OR ROOT SYSTEM.
E	DURING CONSTRUCTION. 4. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.	45. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS, SUCH AS ROLLING, RE-GRADING, AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS OR WORK, AND CONTINUE MAINTENANCE UNTIL ACCEPTED. REMOVE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN
	5. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.	HIS BID. 46. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
	6. BURNING SHALL NOT BE PERMITTED ONSITE OR WITHIN COUNTY LIMITS. 7. THE CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION	47. THE CONTRACTOR SHALL DELIVER THE STAGING AREAS TO THE OWNER ON OR BEFORE THE DATE OF COMPLETION OF CONSTRUCTION AND SAME SHALL BE IN AS GOOD AS OR BETTER CONDITION AS EXISTED
	TO THE TESTING REQUIREMENTS OUTLINED IN THE CONSTRUCTION DOCUMENTS. TESTING SHALL BE PAID FOR BY THE OWNER. CONTRACTOR SHALL COORDINATE AND ASSIST TESTING LABORATORIES WITH TESTING. ANY NECESSARY RE-TESTING SHALL BE PAID FOR BY THE CONTRACTOR.	PRIOR TO CONSTRUCTION. 48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING MATERIAL DOES NOT SPILL, LEAK, OR FALL FROM
	8. EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES AS PER COUNTY REQUIREMENTS AND AS NECESSARY TO RETAIN ALL SEDIMENT ON SITE.	TRUCKS HAULING MATERIAL TO OR AWAY FROM SITE, INCLUDING MATERIAL FALLING FROM TIRES. SHOULD THE STATE OR COUNTY REQUIRE SWEEPING AND CLEANING OF ROADWAYS DUE TO THE ABOVE, THE SAME SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY FINES DUE TO THE ABOVE.
_	9. THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION. AREAS OF CONTROL AND TYPICAL SECTION OF BARRIERS ARE SUGGESTIONS ONLY AND DO NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO PREVENT AND CONTROL EROSION AND	<ol> <li>ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT IN AREAS WITHOUT CURB, UNLESS OTHER NOTED.</li> </ol>
	SEDIMENTATION. 10. ALL SUITABLE EXCESS MATERIAL EXCAVATED AND NOT USED AS FILL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND STOCKPILED AS DIRECTED BY THE OWNER.	50. BUILDINGS SHALL BE LAID OUT PRIOR TO CONSTRUCTION AND CERTIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO CONSTRUCTION.
	11. CLEAR AND GRUB ONLY AS NECESSARY TO COMPLETE NEW CONSTRUCTION.	51. SITE CONTRACTOR SHALL REVIEW ELECTRICAL AND MECHANICAL DRAWINGS AND COORDINATE AND OR INCLUDE CONCRETE PADS NOT SHOWN ON CIVIL DRAWINGS.
	12. CONTRACTOR SHALL COMPLETE ALL WORK INDICATED IN CONSTRUCTION DOCUMENTS USING HAND LABOR IF NECESSARY OR APPROPRIATE.	52. CONTRACTOR SHALL REVIEW AND COORDINATE WITH PLUMBING AND MECHANICAL DRAWINGS FOR ROOF DRAIN LOCATIONS AND CONNECTIONS.
D	13. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE PROJECT ENGINEER IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF	<ul> <li>53. SHOULD CONTRACTOR ELECT TO USE ONSITE EXCAVATION AS FILL, CAUTION IS GIVEN AS NO ADDITIONAL TIME O COST WILL BE ALLOWED SHOULD MATERIAL BECOME WET AND UNWORKABLE. IF NECESSARY TO MAINTAIN SCHEE CONTRACTOR WILL BE REQUIRED TO BRING IN OFFSITE FILL MATERIAL MEETING DRAWING AND TECHNICAL SPECIFICATIONS AT HIS OWN EXPENSE.</li> <li>54. CONTRACTOR SHALL COORDINATE WITH THE COUNTY AND OWNER PRIOR TO THE REMOVAL OF ANY TREES.</li> </ul>
	THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. 14. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITY, STRUCTURES, ETC., SHALL	55. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE AND TRAFFIC RATED AS NECESSARY.
	NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURE.	56. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
	15. CONTRACTOR SHALL SOD STORMWATER POND AND AREA AROUND POND DISTURBED BY CONSTRUCTION ACTIVITY. OWNER SHALL SOD OTHER AREAS OF PROJECT SITE AS INDICATED ON PLANS. CONTRACTOR SHALL PREPARE AND TREAT ALL DISTURBED SOILS FOR SODDING. CONTRACTOR SHALL COORDINATE WITH OWNER FOR TIMING OF SODDING.	57. WHERE UNSUITABLE MATERIALS ARE ENCOUNTERED IN PAVED AREAS, THE UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BELOW FINISHED SUBGRADE ELEVATION AND BACKFILLED WITH CLEAN COURSE SAND CONTAINING LESS THAN 5% FINES OR AS OTHERWISE DIRECTED BY THE ESCAMBIA COUNT TECHNICAL SPECIFICATIONS AND SOILS REPORT.
	16. CONTRACTOR SHALL PIN SOD ON ALL SLOPES 3 TO 1 OR GREATER.	58. WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT, EXISTING PAVEMENT SHALL BE SAWCUT FOR A STRAIGHT EDGE AND CLEAN JOINT.
	<ol> <li>ALL NEW STORM DRAIN SHALL TIE INTO AN EXISTING STORM DRAIN SYSTEM, WITH SUFFICIENT CAPACITY AND RETENTION FOR THE ADDITIONAL RUN-OFF AS SHOWN IN THE STORMWATER CALCULATIONS.</li> <li>CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.</li> </ol>	59. WHERE NEW CURB JOINS EXISTING CURB, STYLE SHALL MATCH WITHIN ROW AND TRANSITIONED AS SHOWN OR A OTHERWISE NOTED.
	19. WHEN GREATER THAN 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE	60. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC., SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
	UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS. 20. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.	61. CONTRACTOR TO PAY CLOSE ATTENTION TO GRADES AT BUILDING AND ENSURE POSITIVE STORMWATER RUNOFF DRAINS AWAY FROM BUILDING AT MIN 5% FOR 10-FT BUILDING GRADING ENVELOPE; EXCEPT INSIDE WALK AREA REFER TO THE CURRENT EDITION OF I.B.C CH 18, FOR GRADING OF BUILDING PADS.
	21. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS, AND THE CONSTRUCTION DOCUMENTS.	62. THE CONTRACTOR SHALL NOT BLOCK OR OBSTRUCT ANY ROADS OR DRIVES WITHOUT FIRST RECEIVING PERMISSION FROM ESCAMBIA COUNTY TO DO SO.
	22. STAGING AREA AND EQUIPMENT STORAGE SHALL BE AS SHOWN ON PLANS AND AS DESIGNATED BY THE GENERAL CONTRACTOR AND THE OWNER. SEE STAGING PLAN FOR ADDITIONAL NOTES.	63. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWER, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POST, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
с	23. WHERE SOD IS BEING INSTALLED, CLEAN TOPSOIL SHALL BE USED AS A BASE AT LEAST SIX INCHES DEEP. CONTRACTOR SHALL REMOVE ALL ORGANICS, ROCKS, AND OR DEBRIS LARGER THAN $\frac{1}{2}$ -INCH FROM ALL FILL AND OR TOPSOIL MATERIAL.	64. CONTRACTOR SHALL ADHERE TO ESCAMBIA COUNTY'S AND OTHER AUTHORITIES HAVING JURISDICTION RULES CONCERNING SAFETY.
	24. IF THE QUANTITY OF EXISTING STOCKPILED OR EXCAVATED TOPSOIL IS INADEQUATE FOR PLANTING, SUFFICIENT ADDITIONAL TOPSOIL SHALL BE IMPORTED TO THE SITE BY THE CONTRACTOR. TOPSOIL FURNISHED SHALL BE	<ul> <li>65. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DEWATERING FOR INSTALLATION OF ANY PIPE OR STRUCTURE NECESSARY AS TO COMPLETE ANY EARTHWORK OR PAVING OPERATION.</li> <li>66. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION</li> </ul>
	A NATURAL, FERTILE, FRIABLE, LOAMY SOIL, POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE VICINITY. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND FREE FROM JOHNSON GRASS (SORGHUM HALAPENSE), NUT GRASS (CYPRUS ROTUNDAS), AND OBJECTIONABLE WEEDS AND TOXIC SUBSTANCES. IT SHALL BE FREE OF	67. CONTRACTOR SHALL KEEP A NEAT SITE AND PERFORM AN ENTIRE SITE CLEANUP INCLUDING STAGING AREAS ON
	DEBRIS, TRASH STUMPS, ROCKS, AND NOXIOUS WEEDS, AND SHOULD GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY PLANT GROWTH.	WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SI CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
	25. THE pH OF THE TOPSOIL ONSITE AND ANY IMPORTED TOPSOIL SHALL BE DETERMINED. IF THE pH IS BELOW 5.0, SUFFICIENT LIME SHALL BE ADDED TO PROVIDE A pH BETWEEN 5.5 AND 6.5 THE LIME SHALL BE THOROUGHLY INCORPORATED INTO THE TOP THREE OR FOUR INCHES OF THE SOIL. LIME AND FERTILIZER MAY BE APPLIED IN ONE OPERATION.	68. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL MATERIALS IN THE STAGING AREA AND PROVIDE FOR PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR REPLACEMENT OF ALL STORED MATERIALS.
	26. SUBMIT pH TEST RESULTS AND ANY OTHER TEST RESULTS TO THE ENGINEER AND ESCAMBIA COUNTY FOR APPROVAL TO INSTALL ANY SOD OR SEED.	69. CONTRACTOR SHALL INSTALL A FENCED STAGING AREA IN A LOCATION AGREED TO BY OWNER. THE CONTRACTOR SHALL RESTORE THE STAGING AREA TO THE EXISTING CONDITION OR AS SHOWN ON THE PLANS, THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE
	27. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENED BY DISKING OR SCARIFYING TO A DEPTH OF 2 INCHES TO INSURE BONDING OF THE TOPSOIL AND SODDING.	THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDI IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULC WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
	28. TOPSOIL SHALL NOT BE PLACED WHILE IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING.	70. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING FINAL GRADING AND OF THE ROADWAY WITH AN ACCEPTED, TANDEM LOADED AXLE TEST. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
	29. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF SIX INCHES. 30. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM TOP SOILING OR OTHER OPERATIONS, SHALL BE	71. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN
	CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. 31. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A	COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
В	LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION. 32. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES TO REMAIN (SEE DETAIL). FOR ANY TREE SHOWN TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR'S FORCES, THE CONTRACTOR SHALL PAY ESCAMBIA	72. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
	COUNTY THE SUM OF \$150.00 DOLLARS PER INCH DIAMETER OF TREE THAT IS DAMAGED. 33. CONTRACTOR SHALL HAUL AWAY ALL DEBRIS AND DISPOSE OF OFF-SITE IN A LEGAL AND RESPONSIBLE	<ul> <li>73. PIPE OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.</li> <li>74. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS</li> </ul>
	MANNER. 34. WALKS AND BUILDING ACCESS ARE DESIGNED TO MEET THE FLORIDA ACCESSIBLY CODE FOR HANDICAP	DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. FILTER DEWATERING BAGS SHALL BE U AT A MINIMUM.
	ACCESS. 35. SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT. REMOVE SEDIMENT AT THE APPROPRIATE TIME AND PRIOR TO THE END OF CONSTRUCTION.	75. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY OF WATER TO CONTROL DUST AS NECESSARY AND INCLUDE ALL COSTS TO SUPPLY WATER AND OR
	36. CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN	PROVIDE TEMPORARY WATER METERING CONNECTION. 76. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC
	STABILIZED. 37. THE CONTRACTOR SHALL SUBMIT POST-CONSTRUCTION AS-BUILT RECORD DRAWINGS TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO INSPECTION AND ACCEPTANCE. THE RECORD DRAWINGS SHALL BE PREPARED AND CERTIFIED	RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY. 77. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
	BY A FLORIDA PROFESSIONAL SURVEYOR. 38. THE OWNER OR HIS AGENT SHALL ARRANGE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND	78. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL. AT A MINIMUM, INSTALL SILT FENCE ALONG THE DOWNSTREAM SIDES.
	SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.	79. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
	39. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE OR AS SHOWN ON PLANS OR WHATEVER MEANS NECESSARY AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL	80. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY. 81. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM
	DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS—SECTION, AND SODDED.	SILTATION PROTECTION. 82. ANY AREAS USED FOR FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY
A	40. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.	STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SLIT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
	41. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION FROM ESCAMBIA COUNTY.	83. THE CONTRACTOR'S MEANS AND METHODS OF GROUNDWATER DEWATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FDEP CHAPTER 62–621 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NONCONTAMINATED SIT ACTIVITY*. WRITTEN PROOF OF COMPLIANCE SHALL BE PROVIDED TO THE COUNTY PRIOR TO ANY CONSTRUCTION-RELATED ACTIVITIES. IN ORDER TO OBTAIN COMPLIANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE SAMPLING AND TESTING OF UP 5 SAMPLES.

### RUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS SITE. I HIS BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE

### ENSURING MATERIAL DOES NOT SPILL, LEAK, OR FALL FROM ITE INCLUDING MATERIAL FALLING FROM TIRES. SHOULD THE NING OF ROADWAYS DUE TO THE ABOVE, THE SAME SHALL THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY

R EDGE OF PAVEMENT IN AREAS WITHOUT CURB, UNLESS OTHERWISE

CAVATION AS FILL, CAUTION IS GIVEN AS NO ADDITIONAL TIME OR ME WET AND UNWORKABLE. IF NECESSARY TO MAINTAIN SCHEDULE,

### D IN PAVED AREAS, THE UNSUITABLE MATERIAL SHALL BE LOW FINISHED SUBGRADE ELEVATION AND BACKFILLED WITH FINES OR AS OTHERWISE DIRECTED BY THE ESCAMBIA COUNTY

FORM AN ENTIRE SITE CLEANUP INCLUDING STAGING AREAS ONCE A RAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. PIPE. NAILS. NUTS. BOLTS, BOARDS, PAPER, TRASH, ETC AT JDE COST OF SAME IN BID.

CURE ALL MATERIALS IN THE STAGING AREA AND PROVIDE FOR IT'S INSIBLE FOR THE PROTECTION AND OR REPLACEMENT OF ALL

AREA IN A LOCATION AGREED TO BY OWNER. THE CONTRACTOR STING CONDITION OR AS SHOWN ON THE PLANS. THIS INCLUDES RY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE CTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED ATE OF TWO (2) TONS PER ACRE.

E CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS ZE SEDIMENT TRANSFER. FILTER DEWATERING BAGS SHALL BE USED

- 84. ALL TREES, SHRUBS, PLANTS AND ASSOCIATED LANDSCAPE INFRASTRUCTURE IN PUBLIC R/W SHALL BE REMOVED ONLY AS NECESSARY AND REPLACED TO THE SATISFACTION OF THE COUNTY AND OR THE APPROVED LANDSCAPE PLAN.
- 85. ALL ITEMS OF PRIVATE PROPERTY LOCATED WITHIN THE COUNTY R/W SHALL BE PROTECTED AND/OR RELOCATED TO THE COUNTY'S SATISFACTION AS PART OF THE PROJECT. SUCH ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO, IRRIGATION SYSTEMS, MAIL BOXES, SIGNS, LANDSCAPE, PLANTER BEDS/BOXES, YARD DRAINS, ETC., AND SHALL BE COORDINATED AND ADDRESSED IN A TIMELY AND PROFESSIONAL MANNER. ITEMS REQUIRING REPLACEMENT SHALL BE OF EQUAL OR BETTER QUALITY.
- 86. THE LOCATION OF THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAY-DOWN AREA SHALL BE APPROVED BY THE COUNTY PRIOR TO SECURING SUCH ARRANGEMENTS, AS DIRECTLY RELATED TO THE PROJECT. THE LAY-DOWN AREA SHALL BE COMPLETELY SECURED UTILIZING TEMPORARY 6' CHAIN-LINK CONSTRUCTION FENCING WITH LOCKED GATES AND PROPER EROSION CONTROL BARRIER. AS NECESSARY, AND SHALL BE KEPT IN A NEAT AND UNIFORM MANNER AT ALL TIMES, AS DETERMINED BY THE COUNTY. ONLY MATERIALS AND EQUIPMENT DIRECTLY REQUIRED TO FACILITATE THE CURRENT PROGRESS OF THE PROJECT CONSTRUCTION SHALL BE STORED IN THE LAY-DOWN AREA AT ANY GIVEN TIME AND ALL OTHER MATERIALS AND EQUIPMENT SHALL BE IMMEDIATELY AND/OR AT THE REQUEST OF THE COUNTY.
- 87. CONTRACTOR SHALL PROVIDE BOTH ROUGH AND FINISHED GRADING THAT IS NECESSARY TO PROVIDE PROPER AND UNIFORM SLOPES BACK AWAY FROM ROADWAY INFRASTRUCTURE (PAVEMENT, CURB, SIDEWALKS DRIVEWAYS, STORM STRUCTURES, ETC.) TO THE RIGHT-OF-WAY LINE WITH MAXIMUM SLOPES NOT EXCEEDING 4:1 (H/V). IN THE EVENT THAT AN ACCEPTABLE SLOPE CANNOT BE ACHIEVED WITHIN THE RIGHT-OF-WAY LIMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING PERMISSION FROM ADJACENT PROPERTY OWNERS TO CARRY THE SLOPE BACK ONTO PRIVATE PROPERTY SUFFICIENT TO MEET THE SLOPE REQUIREMENT. ALL PROPOSED BACK SLOPES AND EARTHWORK ASSOCIATED WITH CONSTRUCTION IN THE RIGHT-OF-WAY OR ON PRIVATE PROPERTY SHALL BE INCLUDED IN CONTRACTOR'S BID AND SHALL BE APPROVED BY THE COUNTY.
- 89. THE CONTRACTOR'S PROPOSED SCHEDULE OF WORK FOR BOTH STANDARD (M-F, 7AM-4PM) AND NON-STANDARD HOURS SHALL BE REVIEWED AND APPROVED BY THE COUNTY AND SUBMITTED FOR REVIEW IN WRITING A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF THE PROPOSED WORK SCHEDULE. THE COUNTY RESERVES THE RIGHT TO DENY WORK ON ANY PROPOSED DAY IF CERTAIN PUBLIC EVENTS. ENVIRONMENTAL CONDITIONS. NEIGHBORHOOD CIRCUMSTANCES, ETC., REQUIRE SUCH ACTION. THE CONTRACTOR SHALL ACKNOWLEDGE ULTIMATE RESPONSIBILITY OF THE JOB SITE DURING CONSTRUCTION (24 HRS/DAY) FOR THE ENTIRE DURATION OF THE PROJECT, REGARDLESS OF APPROVED WORK SCHEDULES AND HOURS OF OPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED TO THE LOSS OF WORK AND RELIEVES THE OWNER OF ANY AND ALL RESPONSIBILITY
- 90. THE CONTRACTOR SHALL PROVIDE CONTINUED (TEMPORARY) VEHICULAR/PEDESTRIAN ACCESS TO PUBLIC/PRIVATE PROPERTY IN A SAFE AND FEASIBLE MANNER IN AREAS IMPACTED BY THE PROJECT CONSTRUCTION UNTIL ALL SUCH ACCESS CAN BE RESTORED PERMANENTLY. ALL TEMPORARY ACCESS PLANS SHALL BE SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL A MINIMUM OF FIVE (5) CALENDAR DAYS PRIOR TO IMPLEMENTING ANY PROPOSED MEASURES AND COORDINATION WITH IMPACTED RESIDENTS AND/OR PROPERTY OWNERS (OR OWNER REPRESENTATIVES) MAY BE REQUIRED OF THE CONTRACTOR AS PART OF THE TEMPORARY ACCESS PLAN(S). ALL COST FOR SUCH TEMPORARY PLANS AND MEASURES SHALL BE COVERED/ INCLUDED IN THE CONTRACTORS BID
- 91. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING ALL DIRT/SEDIMENT/TURBID WATER REMAINS ON THIS JOBSITE AND OVERALL NPDES COMPLIANCE. ANY FAILURE TO COMPLY WILL RESULT IN A \$500 PENALTY PER DAILY OCCURANCE. CONTRACTOR WILL BE PROVIDED WITH WRITTEN NOTICE OF FAILURE AND FUNDS WILL BE DEDUCTED FROM FINAL PAYMENT FOR CONTRACT RETAINAGE.

STORMWATER NOTES:

- 1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY THE "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER. SEE NOTE 37 FOR CONTRACTOR RESPONSIBILITY TO PROVIDE ENGINEER OF RECORD ALL NECESSARY AS-BUILT INFORMATION.
- 2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- 3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- 4. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- 5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- 6. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD AS SHOWN ON THE LANDSCAPE PLAN.
- 7. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO THE NEAREST STORM STRUCTURE TO BE ROUTED TO THE RETENTION/DETENTION AREAS.
- 8. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT. AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR PRIOR TO REQUEST FOR INSPECTION.
- 9. CONTRACTOR SHALL MAINTAIN ONSITE THE RED LINE RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- 10. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- 11. PRIOR TO CONSTRUCTION A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL(S) HIGHER THAN 2 FEET.
- 12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE TO DIGGING WITHIN R/W; 1-800-432-4770.
- 13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM COUNTY.
- 14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
- FLOODPLAIN MANAGEMENT NOTES:
- 1. THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0290G, MAY REVISIONS DATED SEPTEMBER 29, 2006.

UTILITY	CONTACTS
UTILITY COMPANY:	CONTACT / PHONE / FAX / E-MAIL:
SUNSHINE ONE	1-800-432-4770
ECUA ENGINEERING DEPARTMENT 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32505	DAVID LIECHTY (TEL): 969-6501 (FAX): 494-7335 DAVID.LIECHTY@ECUA.ORG
AT& T 605 GARDEN STREET PENSACOLA, FLORIDA 32501	ROB ST. PIERRE (TEL):436-1701 (C):850-501-9161 (FAX):436-1486 RS634Y@ATT.COM
COX COMMUNICATIONS 2205 LaVISTA DRIVE PENSACOLA, FLORIDA 32504	TROY YOUNG (FIELD INSPECTOR ) (OFFICE): 850-857-4510 (C): 850-232-5044 GARY HARRELL (CONSTRUCTION SUPERVISOR) (OFFICE): 352-337-2025 (C): 352-339-2118
PENSACOLA ENERGY 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32514	DIANE MOORE (TEL): 474-5319 (FAX): 474-5330 DMOORE@COUNTYOFPENSACOLA.COM WWW.ESPNATURALGAS.COM

### SPECIAL NOTES:

- 1. THE INSTALLATION OF SHEET PILES OR OTHER SHORING SHALL NOT BE PERFORMED BY VIBRATORY OR IMPACT HAMMER MEANS.
- 2. THE CONTRACTOR SHALL PROVIDE THE COUNTY ENGINEER WITH THE PROPOSED METHOD OF SHORING/PROTECTION FOR REVIEW AND APPROVAL.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SUPPORT, BRACING OR RELOCATION AS REQUIRED. CONTRACTOR'S BID SHALL REFLECT ANY COST(S) FOR SUCH; INCLUDING ANY COSTS FOR ADDITIONAL ENGINEERING AND OR PERMITTING (TYP. ENTIRE PROJECT).
- 4. CONTRACTORS SHALL BE RESPONSIBLE FOR IMPLEMENTING ADEQUATE AND PROPER BY-PASSES FOR STORMWATER AND SANITARY SEWER AND PROPOSED METHODS SHALL BE APPROVED BY THE COUNTY AND ECUA RESPECTIVELY.
- 5. NEW AND EXISTING STORM WATER STRUCTURES/PIPES SHALL BE PROFESSIONALLY CLEANED OF SEDIMENT/DEBRIS WITH VACUUM TRUCK-SYSTEM AT FINAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE BY THE COUNTY. COUNTY SHALL BE AFFORDED OPPORTUNITY TO INSPECT PROFESSIONALLY CLEANED STRUCTURES/PIPES AT A TIME IN WHICH THE PIPE IS VOID OF WATER.
- 6. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR AND MAINTAIN ANY/ALL NEWLY INSTALLED INFRASTRUCTURE PRIOR TO FINAL ACCEPTANCE BY THE COUNTY. FINAL ACCEPTANCE WILL NOT BE GRANTED UNTIL THE COUNTY HAS BEEN AFFORDED THE OPPORTUNITY TO PROPERLY INSPECT SAID INFRASTRUCTURE AS PART OF THE FINAL INSPECTION AT PROJECT COMPLETION.
- 7. NEWLY INSTALLED STORM WATER STRUCTURES/PIPES SHALL NOT BE UTILIZED AS CONTRACTOR MEANS & METHODS TO ROUTE OR COLLECT ANY WATER PRIOR TO FINAL ACCEPTANCE BY THE COUNTY. FINAL ACCEPTANCE WILL NOT BE GRANTED UNTIL THE COUNTY HAS BEEN AFFORDED THE OPPORTUNITY TO INSPECT STRUCTURES/PIPES AS PART OF THE FINAL INSPECTION AT PROJECT COMPLETION.
- 8. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (PORTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DISEAL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA - EMERALD COAST UTILITIES AUTHORITY (850)476–5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595–6712) AGENCIES.

Dewberry 139 E. GOVERNMENT STREET PENSACOLA, FL 32502 (850) 760-0332 RIDA ō Ô Ô L R S S S Ш E E E Ō ОШ T **MBI** Ш PINI AR CA Ш С NOT APPROVED UNLESS ACCOMPANIED WITH SEAL A VALID SIGNATURE DAVID B. TILLAR, P.E. COA# 8794 FL. PE No. 86282 FOR PERMITTING ONLY

SCALE

### REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY	A. K. ANDERSON
APPROVED BY	M. ABLES
CHECKED BY	M. ABLES
DATE	OCTOBER 2021
-	

TITLE

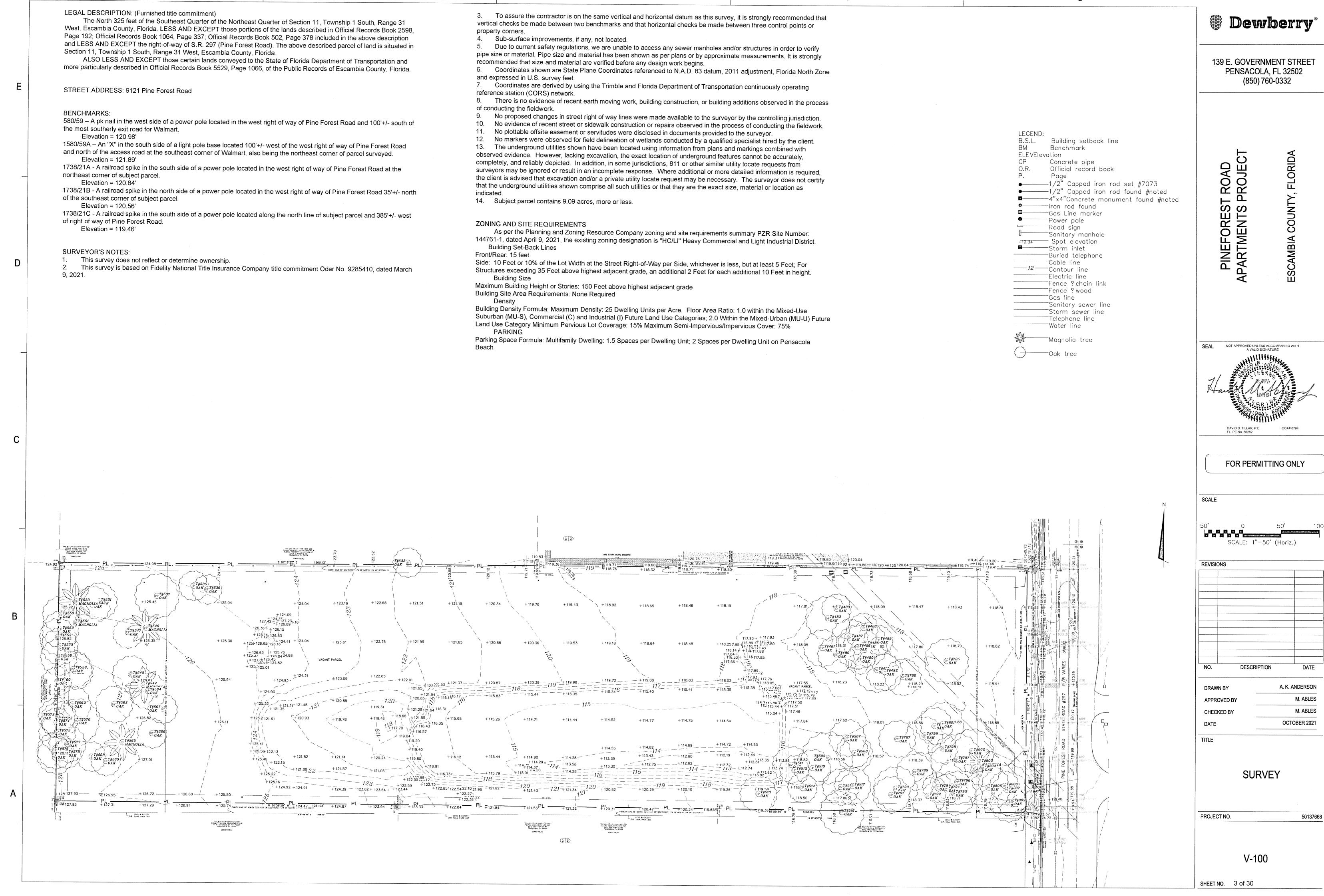
### GENERAL NOTES

ROJECT NO.		

SHEET NO. 2 of 30

50137668

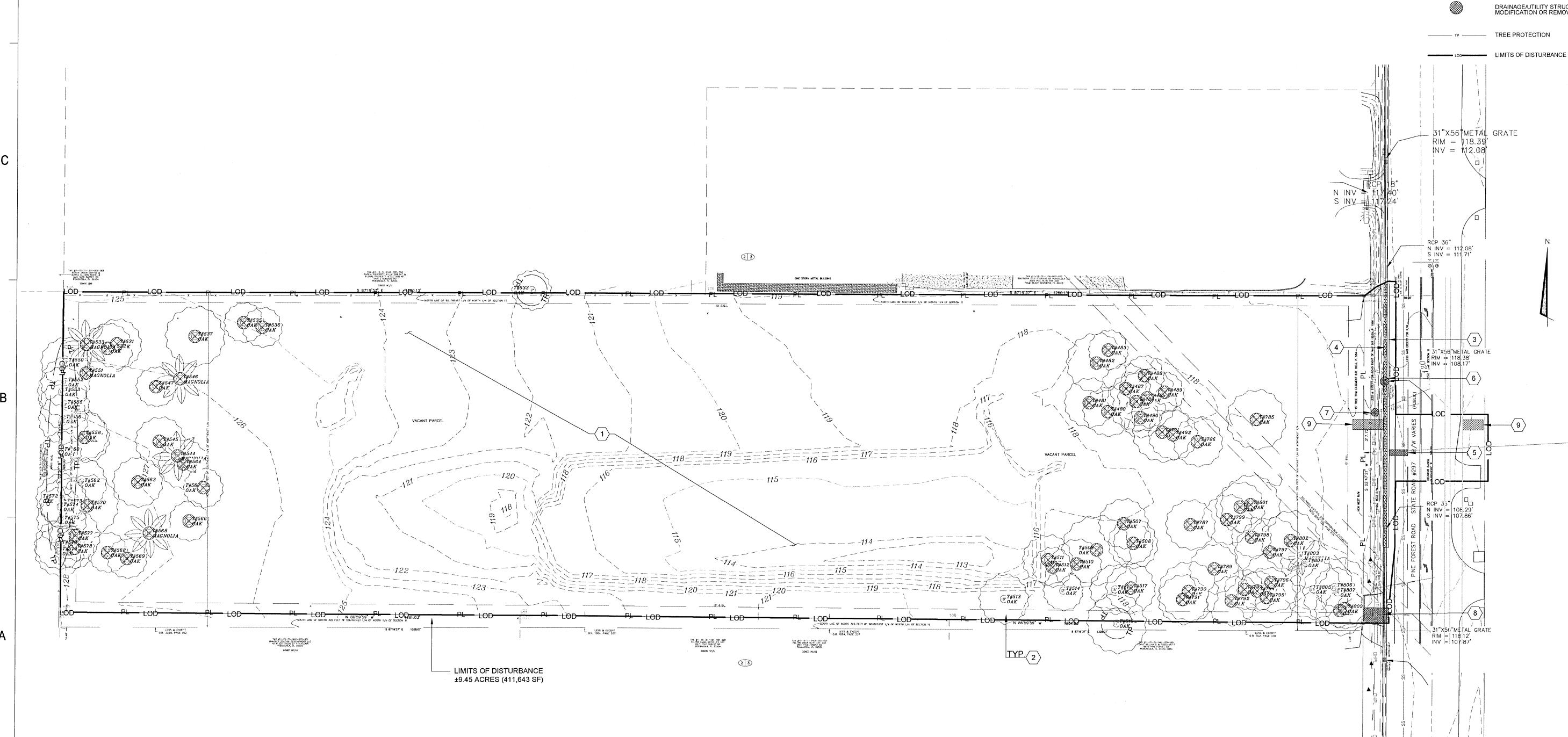
C-1.1



	TREE DEMOLITION TABLE	
TREE NUMBER	DIAMETER (INCH)	TREE TYP
480	21	OAK
481	19	OAK
482	24	OAK
483	13	ОАК
485	25	ОАК
486	23	ОАК
487	19	OAK
488	13	OAK
489	13	OAK
490	13	OAK
491	24	ОАК
492	13	OAK
507	21	OAK
508	14	ОАК
509	31	OAK
510	14	OAK
511	16	ОАК
512	13	OAK
517	16	OAK
531	18	OAK
532	13	ОАК
533	12	MAGNOLI
535	13	OAK
536	12	ОАК
537	14	ОАК
544	13	MAGNOLI
545	12	ОАК
546	14	MAGNOLI
547	13	OAK

551	12	MAGNOLIA
558	15	ОАК
559	12	OAK
563	16	OAK
564	12	OAK
565	13	MAGNOLIA
566	12	ОАК
567	12	OAK
568	12	ОАК
569	13	ОАК
570	15	ОАК
577	16 Twin	OAK
578	12	OAK
786	14	ΟΑΚ
787	20	OAK
789	19	OAK
790	23	ΟΑΚ
791	13	OAK
792	13	OAK
793	12	ОАК
794	14	OAK
795	26	OAK
796	21	ΟΑΚ
797	29	OAK
798	15	OAK
799	18	OAK
800	18	OAK
801	17	OAK

TOTAL CALIPER INCHES TO BE REMOVED = 961.00"



802	21	OAK
808	15	OAK
809	18	OAK

WELLHEAD PROTECTION NOTE:

3

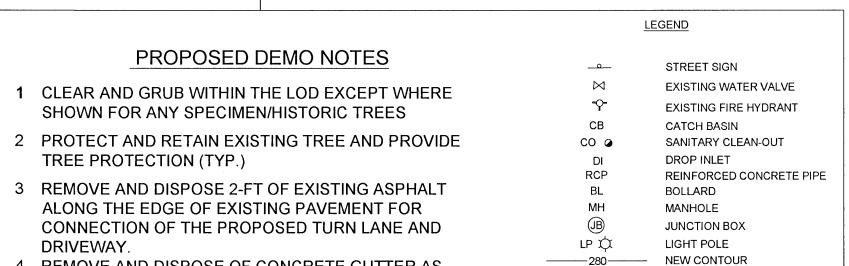
The subject parcel falls within the Travel Time Contour of a protected (portable) Wellhead. Contractors shall be responsible for reporting spills of potentially hazardous substances (i.e. gasoline, diesel fuel, hydraulic fluid, cleaning products, chemicals, etc.) to the appropriate State (FDEP State Warning Point 1-800-320-0519) and local (ECUA- Emerald Coast Utilities Authority (850) 476-5110 and Escambia County Health Department /Environmental Health 595-6712) agencies.

### TREE PROTECTION NOTE:

ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

- DRIVEWAY.
- CONNECTION.

9 APPROX. LOCATION FOR JACK AND BORE PITS FOR PROPOSED WATER MAIN CROSSING AND CONNECTION.



282 X

0.1

 $\square$ 

 $\bigotimes$ 

RCP

N N INV :

107.8

· A

Δ

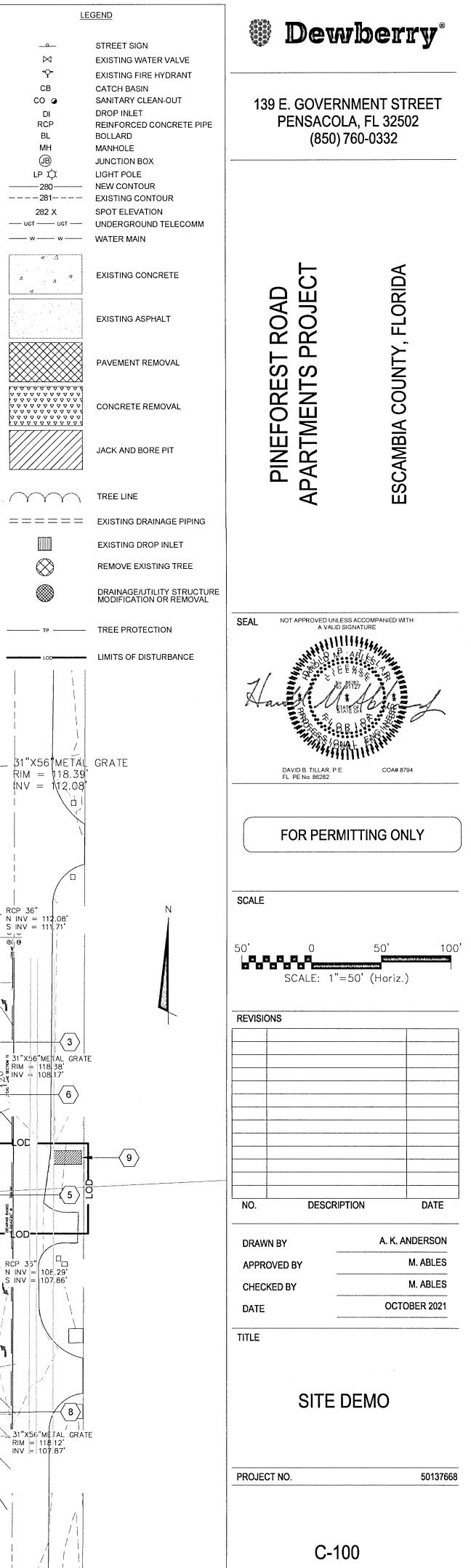
. 4

4 REMOVE AND DISPOSE OF CONCRETE GUTTER AS NECESSARY TO FACILITATE NEW TURN LANE AND PROPOSED IMPROVEMENTS. 5 REMOVE AND DISPOSE OF ASPHALT PAVEMENT AS

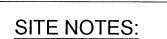
NECESSARY TO FACILITATE PROPOSED SEWER 6 REMOVE EXISTING DRAINAGE STRUCTURE TOP AND

MODIFY TO JUNCTION WITH MANHOLE LID ACCESS. 7 REMOVE AND RELOCATE EXISTING POWER POLE (COORD. WITH UTILITY PROVIDER).

8 REMOVE AND REPLACE PAVEMENT AND MATCH TO PROPOSED FINISH GRADE AS NECESSARY TO FACILITATE THE CONNECTION OF PROPOSED STORM SEWER TO EXISTING STORM SEWER.



SHEET NO. 4 of 30



E

D

### ZONING: HC/LI SETBACKS:

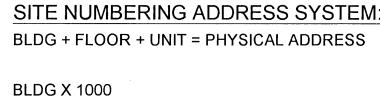
FRONT: 15' REAR: 15' SIDE: 10' LANDSCAPE BUFFER: 12' TOTAL SITE AREA = 9.09 ACRES IMPERVIOUS AREA = 6.40 ACRES PERVIOUS AREA = 2.69 ACRES TOTAL DISTURBED AREA = 9.45 ACRES OPEN SPACE PROVIDED = 117,176 SF % OPEN SPACE = 30.0%

### PARKING COUNT:

PROPOSED BUILDINGS: MULTIFAMILY 7 BLDGS \* 24 UNITS PER BLDG = 168 UNITS 1 BLDGS \* 2 UNITS PER BLDG = 2 UNITS TOTAL PROPOSED UNITS = 170 UNITS LEASING OFFICE = 3,000 SF

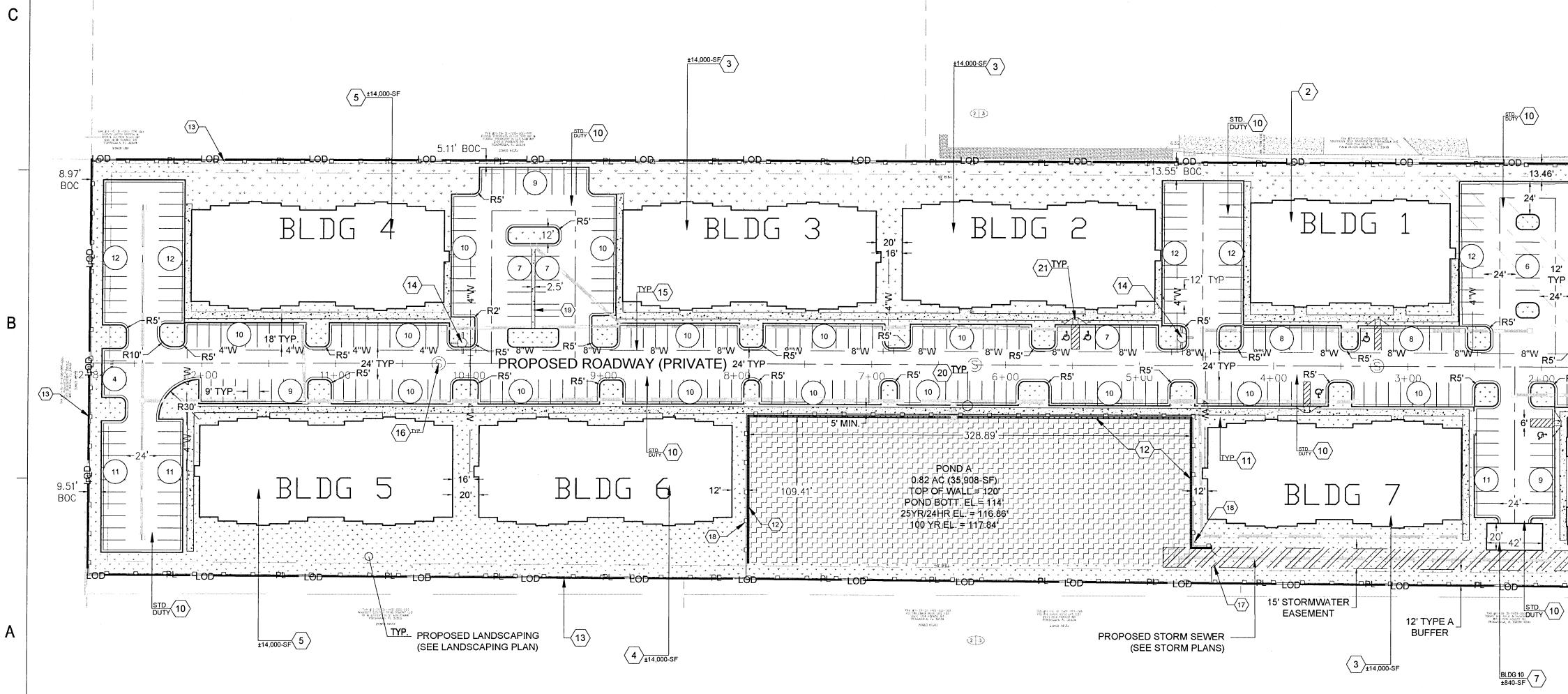
**REQUIRED PARKING:** MULTIFAMILY - 1.5 SPACES PER UNIT 170 UNITS X 1.5 = 255 SPACES OFFICE - 3.5 PER 1,000 SF 3,000-SF X 3.5/1000 = 10.5 TOTAL OFFICE SPACES = 11

TOTAL PARKING SPACES REQUIRED = 266 SPACES PARKING SPACES PROVIDED = 350 SPACES INCLUDES 6 H/C PARKING SPACES PARKING RATIO PROVIDED = 350 SPACES / 170 UNITS = 2.06



FLOOR X 100 UNIT = 01 THRU 99

\* EXAMPLE BLDG 4 (4000) + 2ND FLOOR (200) + UNIT 12 = 42 BLDG 6 (6000) + 1ST FLOOR (100) + UNIT 09 = 61



			3	3	
Λ:		· · · · · · · · · · · · · · · · · · ·	RESIDEN	ITIAL BLDG SC	HEDULE
	BLDG	TYPE	# OF BLDGS	UNITS PER BLDG	TOTAL UNITS
	8	А	1	2	2
	1	В	1	24	24
	2, 3, 7	С	3	24	72
4212 6109	6	D	1	24	24
	4, 5	Е	2	24	48
			-		

### WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (PORTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL ( ECUA- EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT /ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

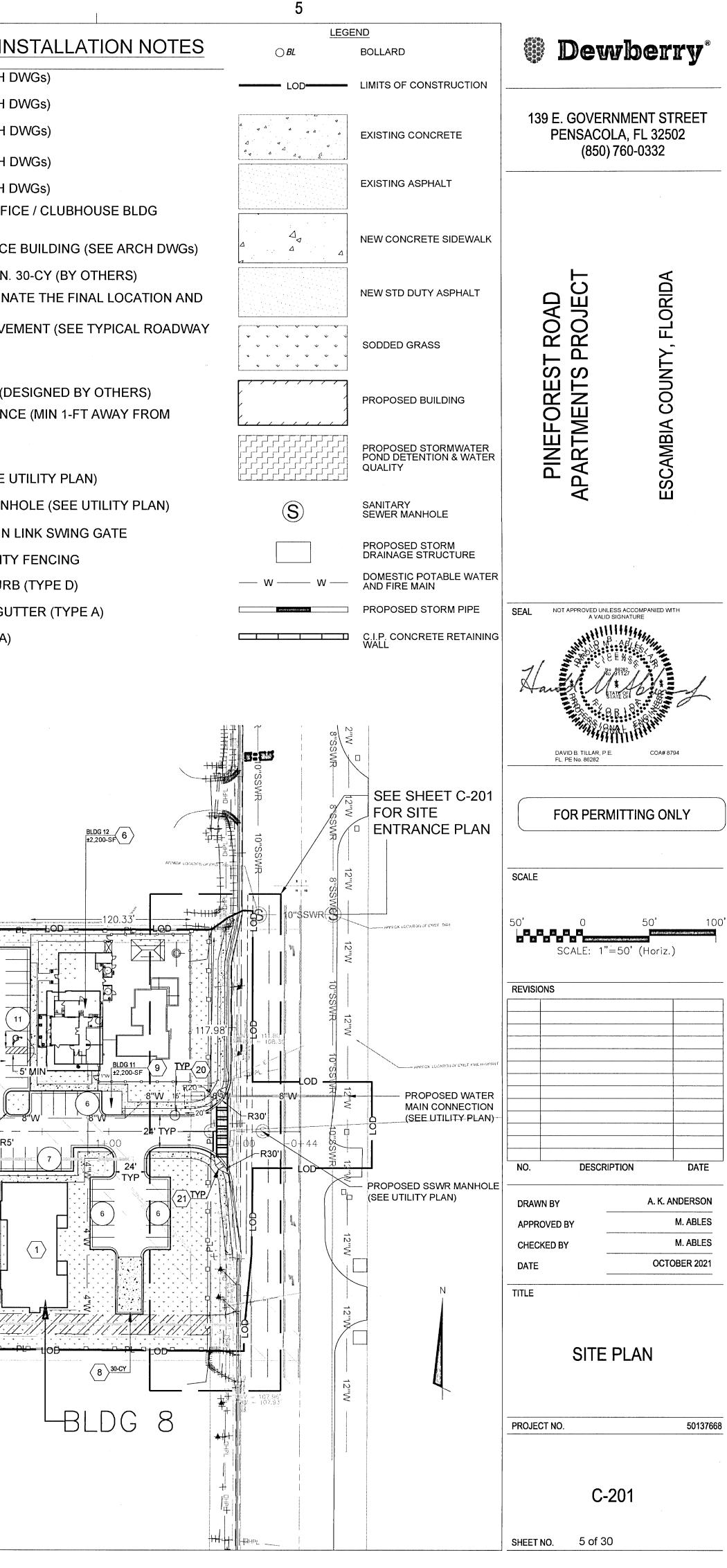
8

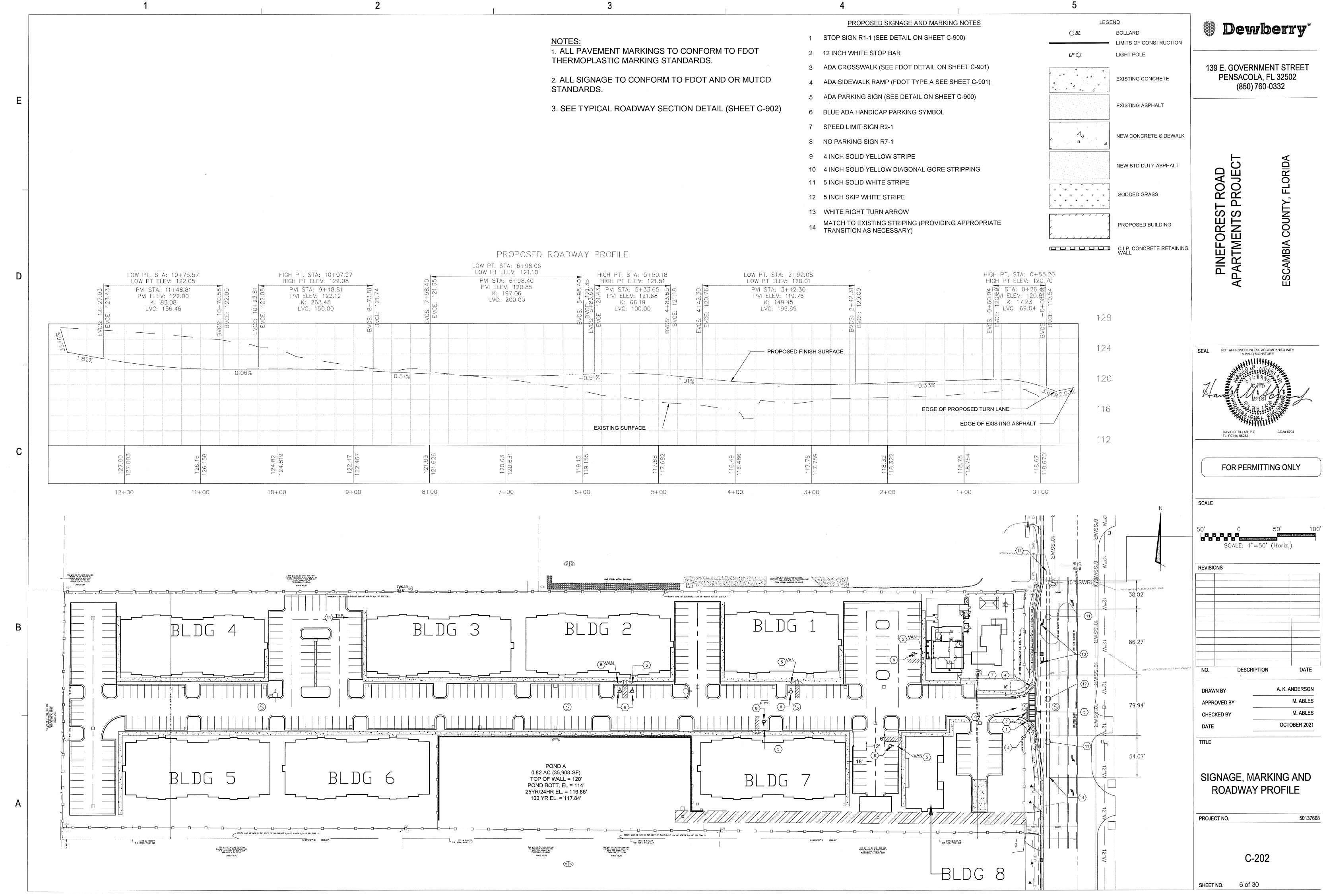
170

### **ELECTRICAL SERVICE PLAN NOTE:**

ELECTRICAL POLES AND TRANSFORMERS WILL BE LOCATED OUTSIDE ALL TREE ROOTING AREAS AND WILL NOT CONFLICT WITH TREE CANOPIES AS THEY MATURE...

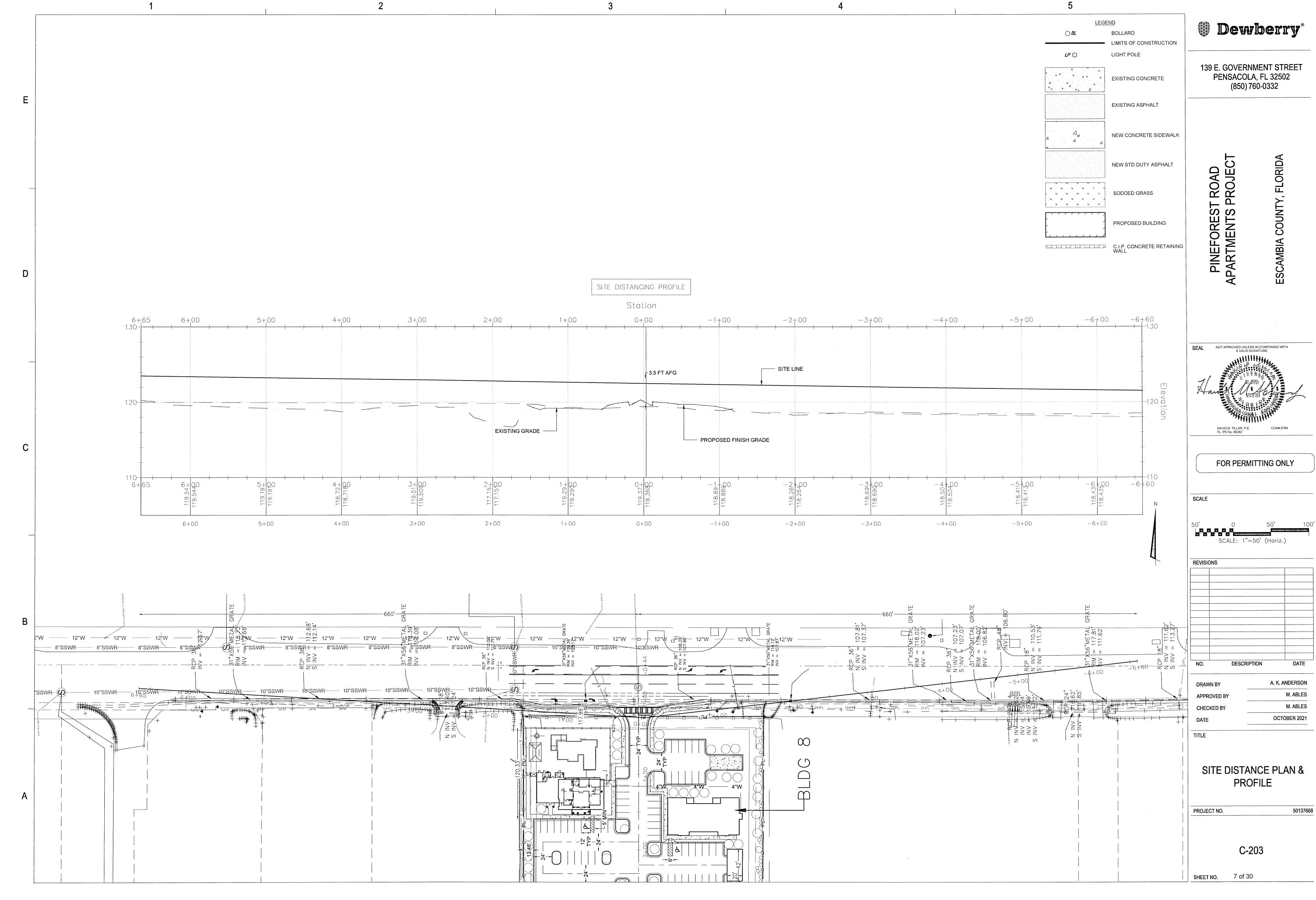
		4
DESCRIPTION	F	PROPOSED SITE IN
	1	TYPE A BLDG (SEE ARCH I
DUPLEX UNITS	2	TYPE B BLDG (SEE ARCH I
1 BR UNITS	3	TYPE C BLDG (SEE ARCH I
3BR & 2BR + STUDY UNITS	4	TYPE D BLDG (SEE ARCH I
3BR & 2BR	5	TYPE E BLDG (SEE ARCH I
DELUXE UNITS 2BR DELUXE	6	PROPOSED LEASING OFFI (SEE ARCH DWGs)
UNITS	7	PROPOSED MAINTENANCE
	8	TRASH COMPACTOR; MIN.
	9	USPS MAILBOX. COORDINA APPROVAL WITH USPS
	10	ASPHALT ROADWAY PAVE SECTION DETAIL)
	11	5FT SIDEWALK (TYP.)
	12	C.I.P. RETAINING WALL (D
	13	6-FT WOOD PRIVACY FENO PROPERTY LINE)
	14	FIRE HYDRANT
	15	8" POTABLE WATER (SEE U
	16	8" SANITARY SEWER MANI
	17	12' WIDE SECURED CHAIN
	18	6-FT CHAIN LINK SECURIT
	19	CONCRETE BARRIER CUR
	20	CONCRETE CURB AND GU
	21	ADA RAMP (FDOT TYPA A)

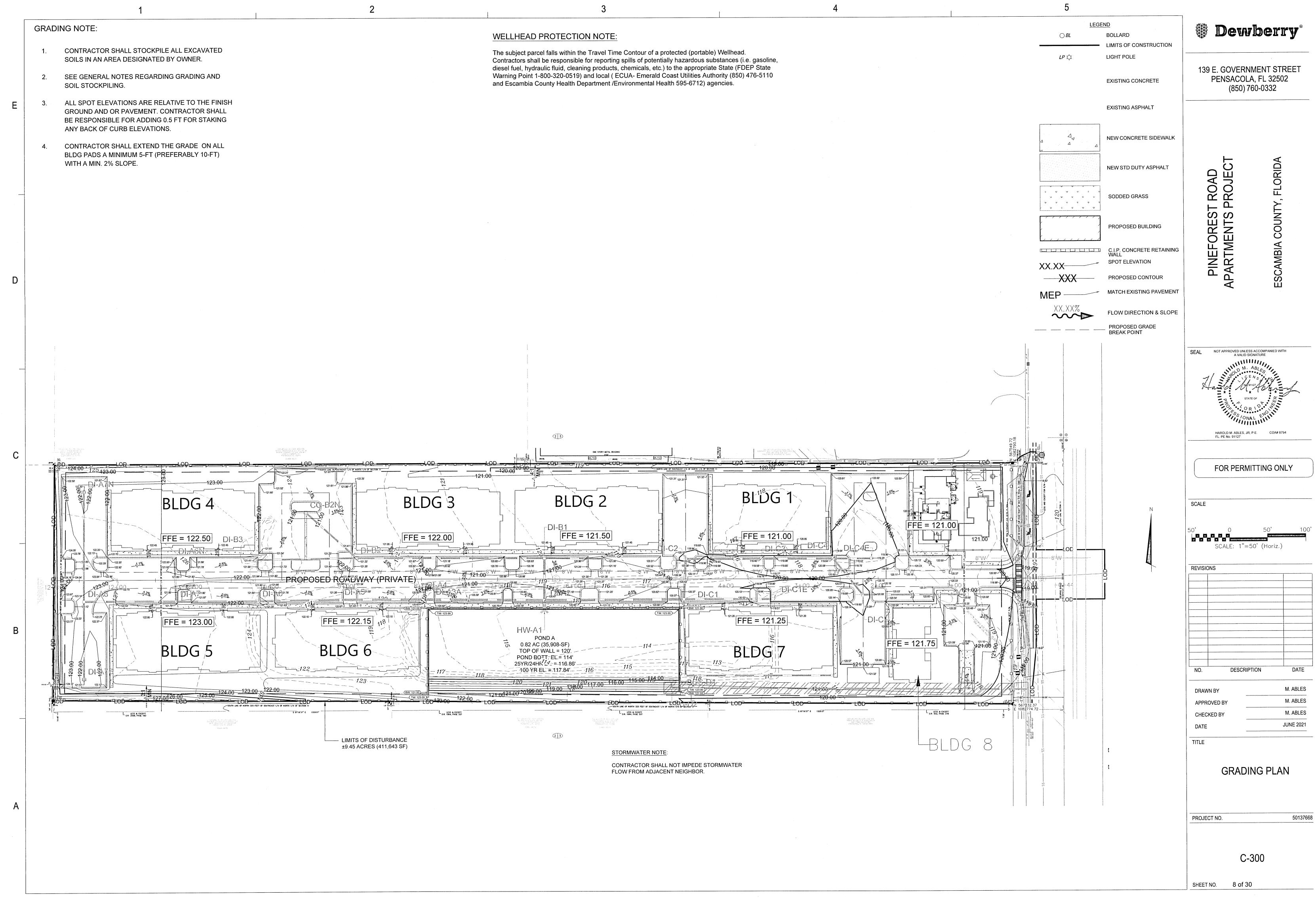


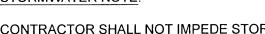


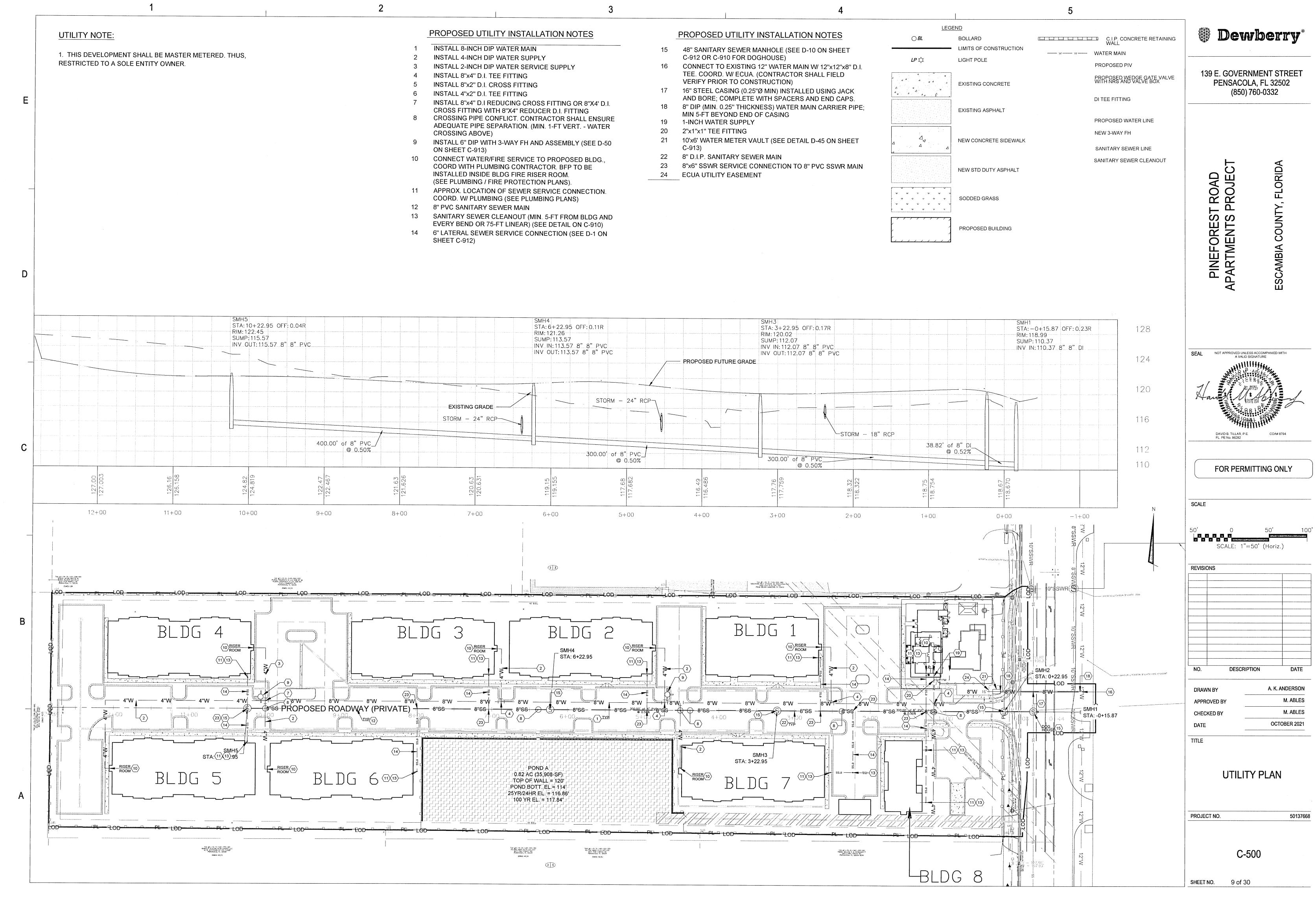
I	3		4
L			PROPOSED SIGNAGE
	NOTES:	1	STOP SIGN R1-1 (SEE DETAIL
	1. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT	2	12 INCH WHITE STOP BAR
	THERMOPLASTIC MARKING STANDARDS.	3	ADA CROSSWALK (SEE FDOT
	2. ALL SIGNAGE TO CONFORM TO FDOT AND OR MUTCD STANDARDS.	4	ADA SIDEWALK RAMP (FDOT
	STANDARDS.	5	ADA PARKING SIGN (SEE DET
	3. SEE TYPICAL ROADWAY SECTION DETAIL (SHEET C-902)	6	BLUE ADA HANDICAP PARKIN
		7	SPEED LIMIT SIGN R2-1
		8	NO PARKING SIGN R7-1
		9	4 INCH SOLID YELLOW STRIP
		10	4 INCH SOLID YELLOW DIAGC
		11	5 INCH SOLID WHITE STRIPE
		12	5 INCH SKIP WHITE STRIPE
		13	WHITE RIGHT TURN ARROW
		14	MATCH TO EXISTING STRIPIN TRANSITION AS NECESSARY
PROPOS	SED ROADWAY PROFILE		
LOW PT. STA: 6+9 LOW PT ELEV: 121 PVI STA: 6+98.4	LOW PT. STA: 5+50.18 LOW PT. STA:		
PVI STA: 6+98.4 PVI ELEV: 120.8 K: 197.06 LVC: 200.00	5 PVI STA: 5+33.65 200 200 200 200 200 200 200 200 200 20	42.30 19.76 -5	: 2+42.31 E: 120.09
	AC S: AC S: E		BACS: BACS: BACS:

.









1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.

2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.

3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING

4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

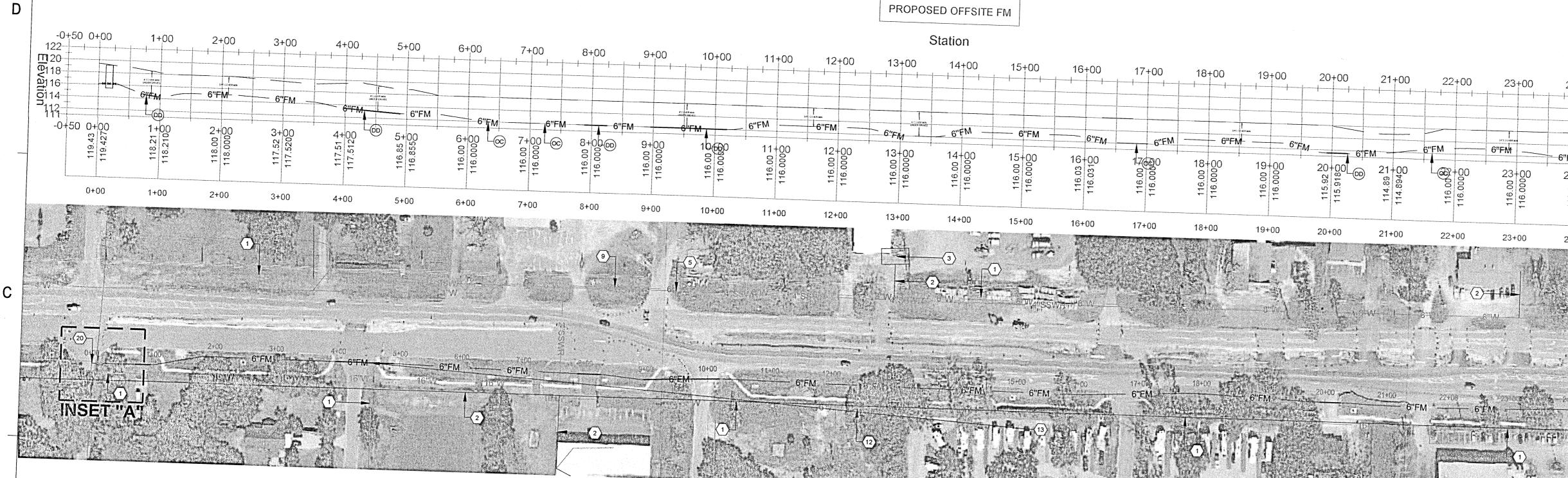
PROFILE NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTURCTION.

ECUA NOTE:

1. ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.





BLDG 4

SMH5

STA: 10+22.95

BLDG 5

BLDG 3

BLDG 6

BLDG 2

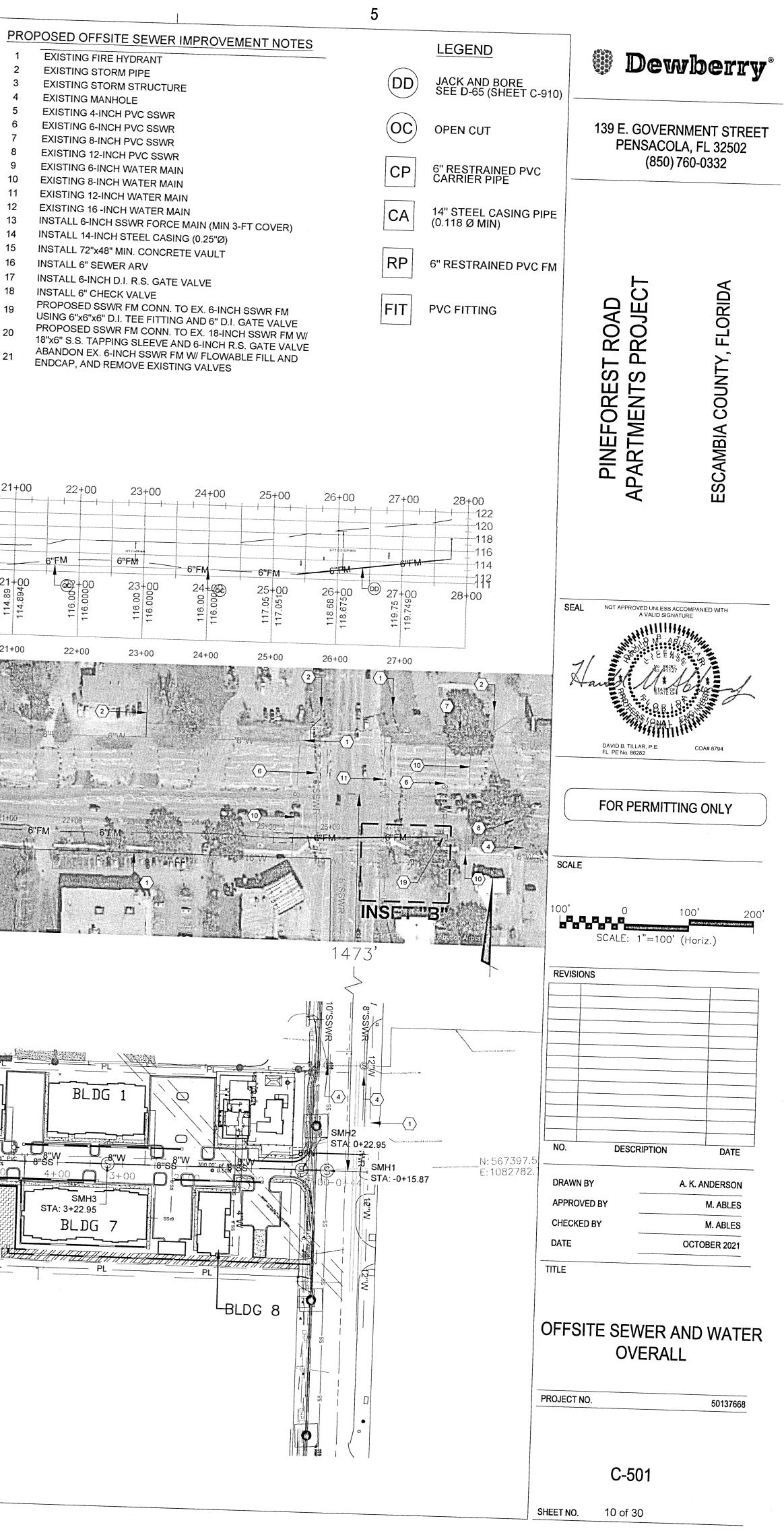
00

SMH4 STA: 6+22.95

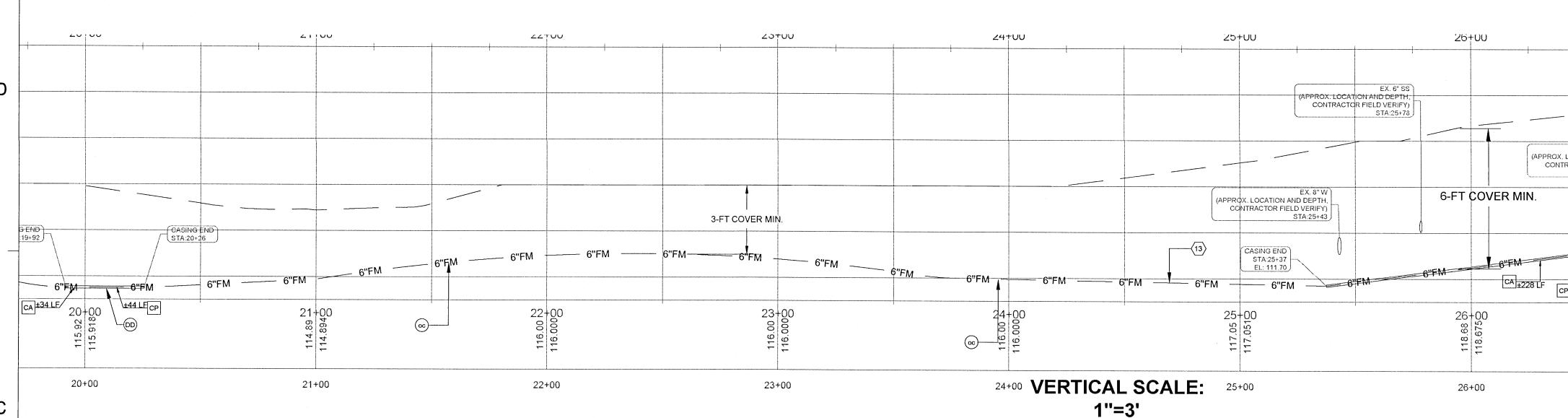
Г.Г.Г.РОМО А.Г.Г.Г. Г. 042 А.С. (35 908-95). Г. 091 ОР ОР УАЦ. 4 100 Г. 091 ОР ОР УАЦ. 4 100 РОМО 80 Т.Г. с. 5 1 4. 25 УБУ24НЯ ЕЦ. 4 14 86 Г. 100 УВ ЕЦ.

۲

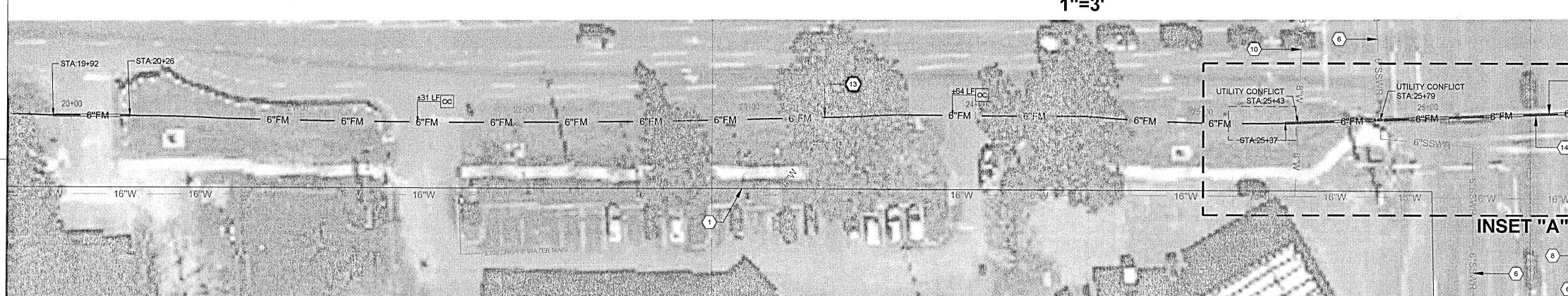


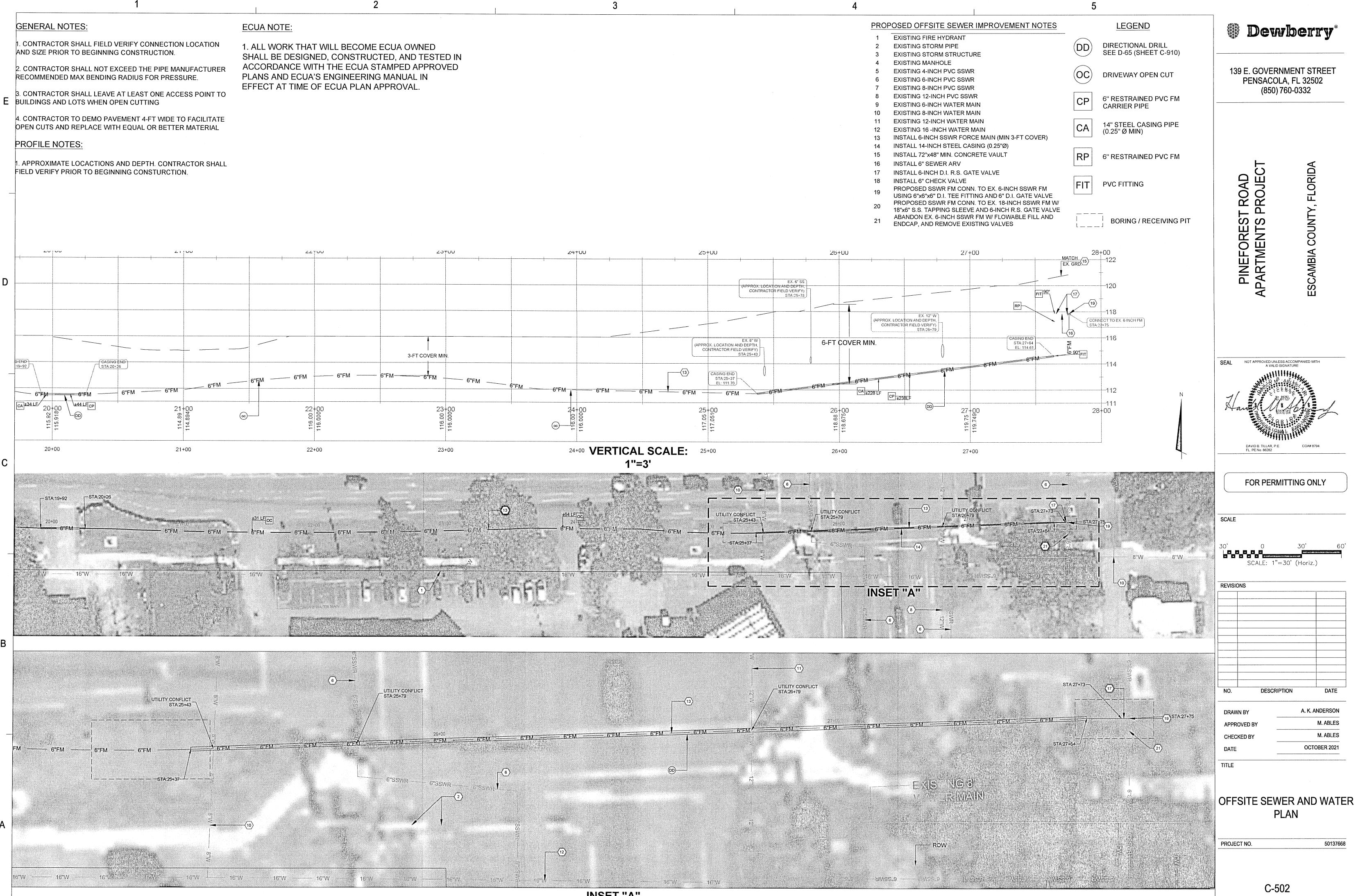


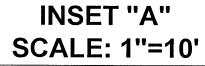












PROF	POSED OF
1	EXISTING
2	EXISTING
3	EXISTING
4	EXISTING
5	EXISTING
6	EXISTING
7	EXISTING
8	EXISTING
9	EXISTING
10	EXISTING
11	EXISTING
12	EXISTING
13	INSTALL 6
14	INSTALL 1
15	INSTALL 7
16	INSTALL 6
17	INSTALL 6
18	INSTALL 6
19	PROPOSE USING 6"x
20	PROPOSE 18"x6" S.S.
21	ABANDON

SHEET NO. 11 of 30
--------------------

### ECUA NOTE:

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.

2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.

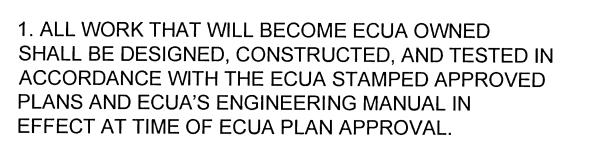
3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO E BUILDINGS AND LOTS WHEN OPEN CUTTING

4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

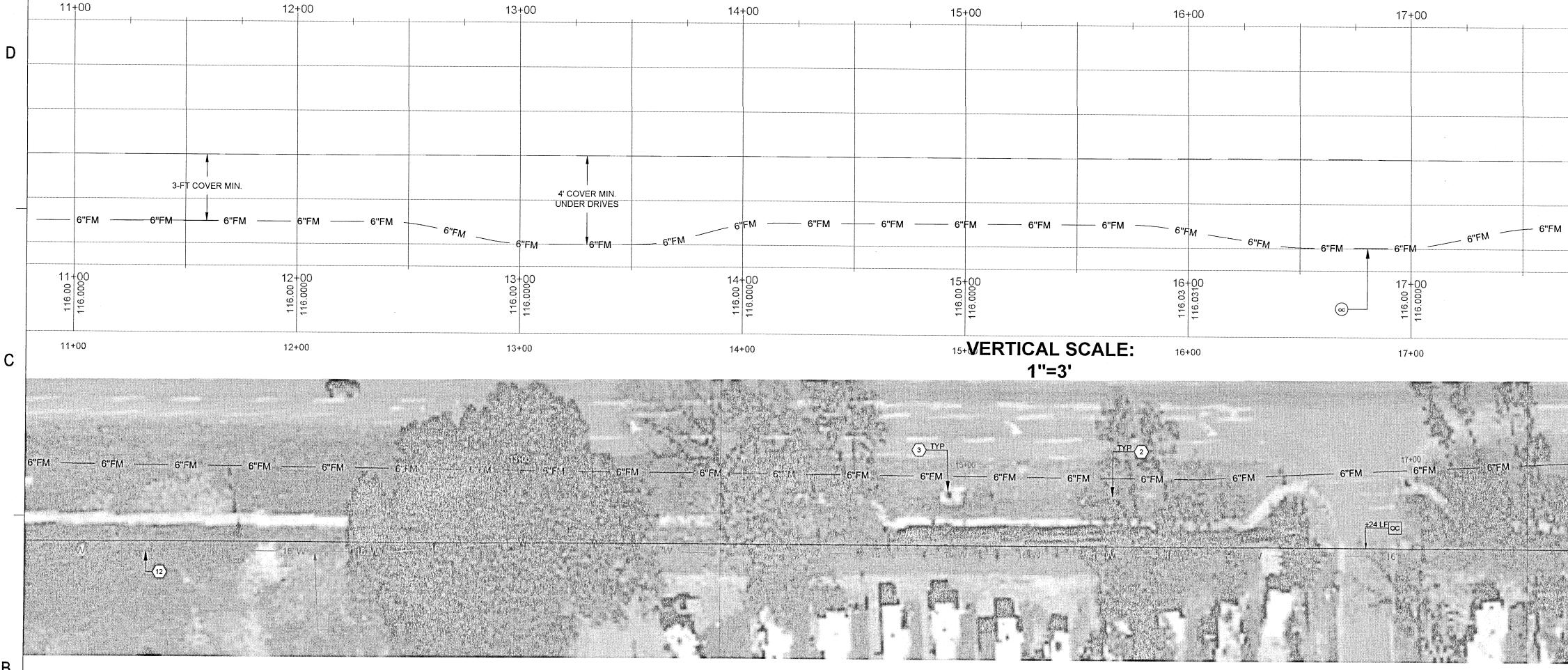
### PROFILE NOTES:

GENERAL NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTURCTION.



2



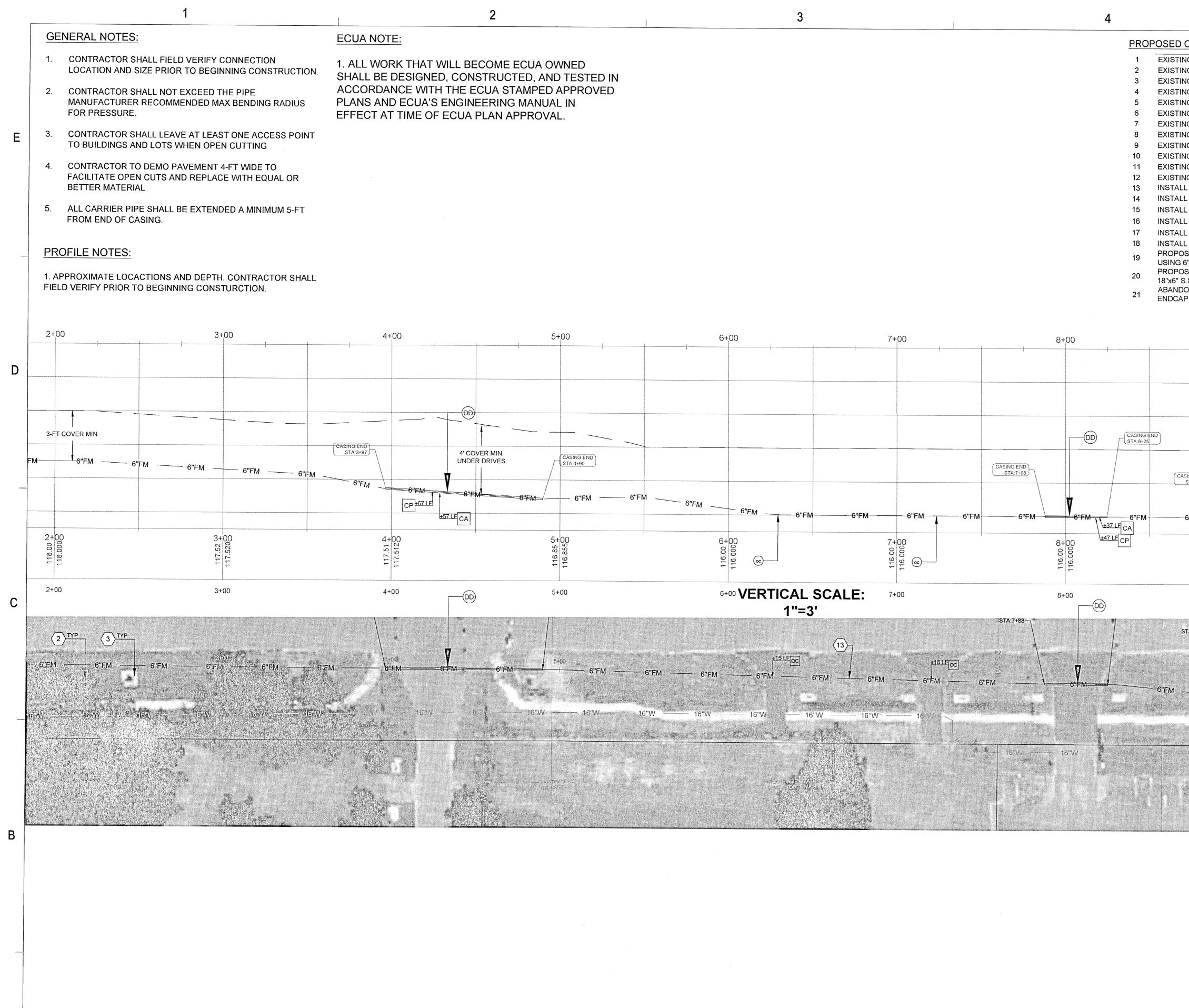
PROPOSED O 1 EXISTING 2 EXISTING 3 EXISTING EXISTING 4 EXISTING 5 EXISTING 6 EXISTING 7 EXISTING 8 EXISTING 9 10 EXISTING EXISTING 11 12 EXISTING INSTALL 13 14 INSTALL 15 INSTALL INSTALL 16 INSTALL 17 INSTALL 18 PROPOSE 19 USING 6" PROPOSE 20 18"x6" S.S

21

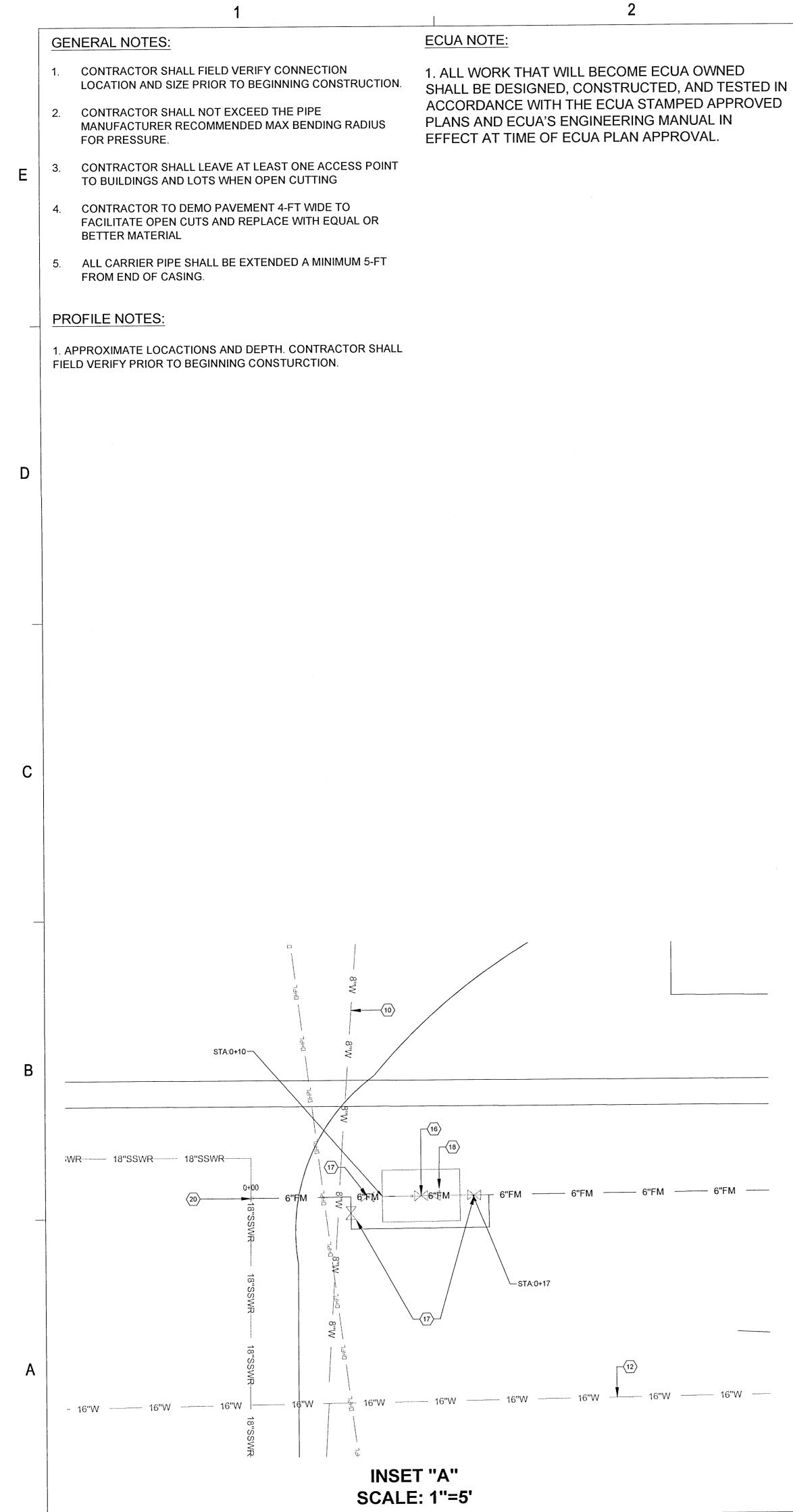
		, i i i i i i i i i i i i i i i i i i i	5				
-	OSED OFFSITE SEWER IMPROVEMEN EXISTING FIRE HYDRANT	T NOTES	$\frown$	LEGE	ND	I Dev	<i>w</i> berry <sup>®</sup>
	EXISTING STORM PIPE EXISTING STORM STRUCTURE EXISTING MANHOLE			DIRECT SEE D-6	IONAL DRILL 65 (SHEET C-910)		
	EXISTING 4-INCH PVC SSWR EXISTING 6-INCH PVC SSWR EXISTING 8-INCH PVC SSWR		ÓC	OPEN C	UT	PENSACO	RNMENT STREET OLA, FL 32502 )) 760-0332
	EXISTING 12-INCH PVC SSWR EXISTING 6-INCH WATER MAIN EXISTING 8-INCH WATER MAIN		CP	6" REST CARRIE	rained PVC R Pipe		
	EXISTING 12-INCH WATER MAIN EXISTING 16 -INCH WATER MAIN INSTALL 6-INCH SSWR FORCE MAIN (MIN 3-FT	COVER)	CA	14'' STE (0.118 Ø	EL CASING PIPE MIN)		
	INSTALL 14-INCH STEEL CASING (0.25"Ø) INSTALL 72"x48" MIN. CONCRETE VAULT INSTALL 6" SEWER ARV		RP	6" REST	RAINED PVC FM	F	A
	INSTALL 6-INCH D.I. R.S. GATE VALVE INSTALL 6" CHECK VALVE PROPOSED SSWR FM CONN. TO EX. 6-INCH S& USING 6"x6"x6" D.I. TEE FITTING AND 6" D.I. GA PROPOSED SSWR FM CONN. TO EX. 18-INCH S 18"x6" S.S. TAPPING SLEEVE AND 6-INCH R.S. ( ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE ENDCAP, AND REMOVE EXISTING VALVES	TE VALVE SSWR FM W/ GATE VALVE	FIT	PVC FIT	TING	OREST ROAD IENTS PROJEC	COUNTY, FLORIDA
	18+00	19+0	00		; 	IEFO (TME	
						PINEFO	ESCAMBIA
	3-FT C	 OVER MIN. 			CASING END STA:19+92	SEAL NOT APPROVED UN A VALI	ILESS ACCOMPANIED WITH ID SIGNATURE
		● 6"FM 6"FM	6"F	Μ	6"FM N6"₽		P A BI 158 E E N 8 8 7 88 899257
	116.00 00+81	16.00 16.00 16.00				Haw M	STATE OF DE LA COMPANY
	18+00					DAVID B. TILLAR, P FL. PE No. 86282	2114 Г. П. Н. К.
						FOR PER	MITTING ONLY
Λ			16"	'FM		SCALE	
						30' 0 T T T T T SCALE: 1'	30' 60'
						REVISIONS	
ĺ		SEV AND AND AND					
				ander i Alfred and Alfred Alfred A Alfred Alfred Alfred Alfred Alfred Alfred Alfred Alfred Al			
						NO. DESCR	IPTION DATE
						DRAWN BY APPROVED BY	A. K. ANDERSON M. ABLES
						CHECKED BY DATE	M. ABLES OCTOBER 2021
						TITLE	
							WER AND WATE PLAN II
						PROJECT NO.	50137668
						C-5	503

5

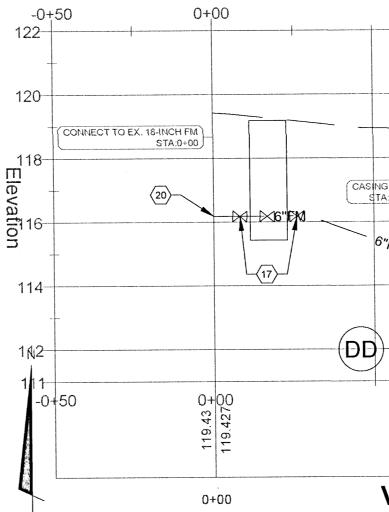
SHEET NO. 12 of 30

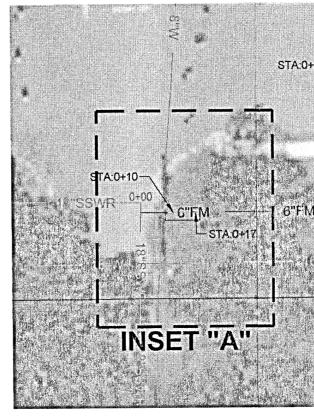


	5					
OFFSITE SEWER IMPROVEMENT NOTES	<u></u>		LEGEND		Dewb	o rraz <sup>®</sup>
IG FIRE HYDRANT IG STORM PIPE IG STORM STRUCTURE	-	DD	DIRECTIONAL DRILL SEE D-65 (SHEET C-910)			епи у
IG MANHOLE IG 4-INCH PVC SSWR IG 6-INCH PVC SSWR IG 8-INCH PVC SSWR		() OC)	OPEN CUT		GOVERNMEN ENSACOLA, FL	32502
IG 6-INCH PVC SSWR IG 12-INCH PVC SSWR IG 6-INCH WATER MAIN IG 8-INCH WATER MAIN		СР	6" RESTRAINED PVC CARRIER PIPE		(850) 760-0	332
IG 12-INCH WATER MAIN IG 16 -INCH WATER MAIN _ 6-INCH SSWR FORCE MAIN (MIN 3-FT COVER)		CA	14" STEEL CASING PIPE (0.118 Ø MIN)			
- 14-INCH STEEL CASING (0.25"Ø) - 72"x48" MIN. CONCRETE VAULT - 6" SEWER ARV		RP	6" RESTRAINED PVC FM		F.	A
6-INCH D.I. R.S. GATE VALVE 6" CHECK VALVE SED SSWR FM CONN. TO EX. 6-INCH SSWR FM S"x6"x6" D.I. TEE FITTING AND 6" D.I. GATE VALVE SED SSWR FM CONN. TO EX. 18-INCH SSWR FM W/ .S. TAPPING SLEEVE AND 6-INCH R.S. GATE VALVE ON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND P, AND REMOVE EXISTING VALVES		FIT	PVC FITTING	REST		COUNTY, FLORIDA
9+00	10+00		1	bINEFO	APARTMEI	ESCAMBIA C
	(DD)					
6"FM 6"FM 6"FM 6"FM 6"FM		/1	CASING END STA:10+19 6"FM - 6"FM N	SEAL NOT	APPROVED UNLESS ACCOMP A VALID SIGNATURE	PANIED WITH
CA <sup>±</sup> 123 LF 9+00 CF <sup>±</sup> 133 LF 00.9 1 1 1	116.0000 116.0000		1		NG 61127 B B FIATE OF B B B B B B B B B B B B B B B B B B B	сол# 8794
9+00	10+00 DD	S	ΓΑ:10+19	1		
TA:8+96				FC	OR PERMITTIN	GONLY
8"FM 8"FM	10+00 		6"FM6"FM	SCALE		
						50' 60' Pretvolovivitudovi preskoju podoro Poriz
	16"V.	te <b>B</b> Second Second Se	-n WY	REVISIONS		
(12)-1						
		o.				
				NO.	DESCRIPTION	DATE
				DRAWN BY		A. K. ANDERSON M. ABLES
				CHECKED BY		M. ABLES
				DATE		OCTOBER 2021
				OFFRITE		
				UFFOILE	E SEWER A PLAN III	ND WATEF
				PROJECT NO.		50137668
					C-504	
				SHEET NO.	13 of 30	



PROP	OSED OF
1	EXISTING F
2	EXISTING S
3	EXISTING S
4	EXISTING M
5	EXISTING 4
6	EXISTING 6
7	EXISTING 8
8	EXISTING 1
9	EXISTING 6
10	EXISTING 8
11	EXISTING 1
12	EXISTING 1
13	INSTALL 6-I
14	INSTALL 14
15	INSTALL 72
16	INSTALL 6"
17	INSTALL 6-
18	INSTALL 6"
19	PROPOSED
20	PROPOSEI 18"x6" S.S.
21	ABANDON ENDCAP, A





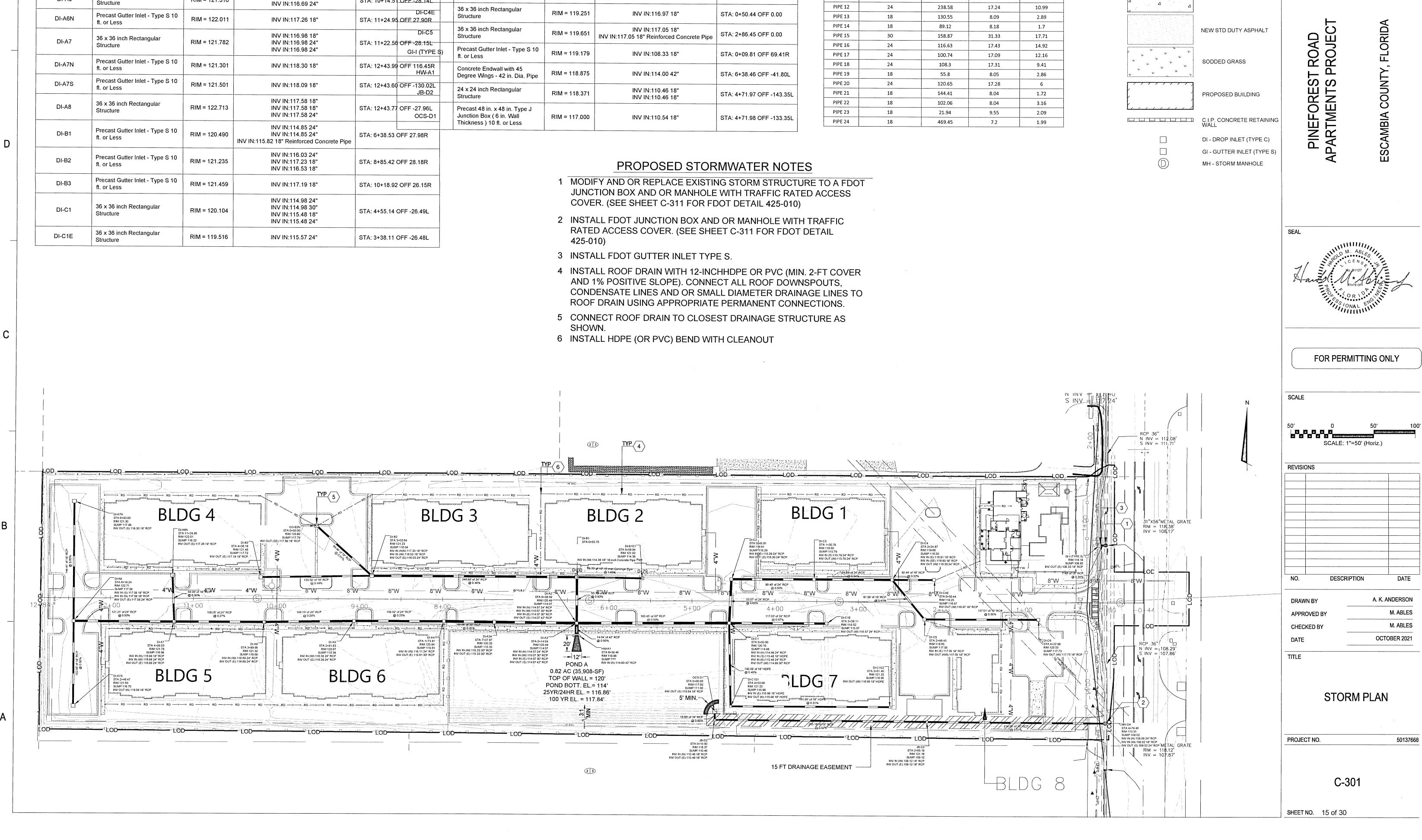
J			
FSITE SEWER IMPROVEMENT NOTES		LEGEND	③ Dewberry <sup>®</sup>
TIRE HYDRANT STORM PIPE		DIRECTIONAL DRILL	
STORM STRUCTURE		DIRECTIONAL DRILL SEE D-65 (SHEET C-910)	
/ANHOLE I-INCH PVC SSWR	$(\mathbf{OC})$	OPEN CUT	139 E. GOVERNMENT STREET
3-INCH PVC SSWR 3-INCH PVC SSWR			PENSACOLA, FL 32502 (850) 760-0332
2-INCH PVC SSWR S-INCH WATER MAIN	CP	6" RESTRAINED PVC CARRIER PIPE	()
3-INCH WATER MAIN	[]		
12-INCH WATER MAIN 16 -INCH WATER MAIN	CA	14" STEEL CASING PIPE (0.118 Ø MIN)	
INCH SSWR FORCE MAIN (MIN 3-FT COVER) I-INCH STEEL CASING (0.25"Ø)	[]		
2"x48" MIN. CONCRETE VAULT	RP	6" RESTRAINED PVC FM	
SEWER ARV INCH D.I. R.S. GATE VALVE	[]		
CHECK VALVE D SSWR FM CONN. TO EX. 6-INCH SSWR FM	FIT	PVC FITTING	PINEFOREST ROAD APARTMENTS PROJECT ESCAMBIA COUNTY, FLORIDA
5"x6" D.I. TEE FITTING AND 6" D.I. GATE VALVE D SSWR FM CONN. TO EX. 18-INCH SSWR FM W/			ла Ла С К С К С К С К С К С К С К С К С К С
TAPPING SLEEVE AND 6-INCH R.S. GATE VALVE EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND			ST SP NTY
AND REMOVE EXISTING VALVES			A COUNTS
1+00	2+00		
			AR AR
			PINEFO
4' COVER MIN. UNDER DRIVES	3-FT CO	l VER MIN.	
FM 6"FM 6"FM 6"FM 6"FM	M	6"FM 6"FM	SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE
±34 LFCP			Att DAR ARI
			A NEENSE B
			And Marshall
1+00	118.0000 118.00000		SHATE ON B.B. 18
118.21 118.210000	118.0		111144 BNAL FILM
			DAVID B. TILLAR, P.E. COA# 8794 FL. PE No. 86282
/ERTICAL SCALE:	2+00		
1"=3'			FOR PERMITTING ONLY
+71-7			
			SCALE
	- 6"FM	6"FM — 6"FM —	
6"FM			30' 0 30' 60'
1			SCALE: $1''=30'$ (Horiz.)
		107W	
The same and a second for the			REVISIONS
	eller Monte Statistic Martine		
		an a	
			NO. DESCRIPTION DATE
			DRAWN BY A. K. ANDERSON
			APPROVED BY M. ABLES
			CHECKED BY M. ABLES
			DATE OCTOBER 2021
			TITLE
			OFFSITE SEWER AND WATE
			PLAN IV
			PROJECT NO. 5013766
			C-505
			SHEET NO. 14 of 30

1

1			2			3	4						
		Struc	ture Table				Struct	ure Table				STORM PIPE TABL	LE
Structure Name	e Structure Type	Rim Elevation	Inverts	St	tati <b>Str</b> ucture Nam	ne Structure Type	Rim Elevation	Inverts	Station	NAME	DIAMETER (INCHES)	LENGTH (FEET)	,
CO-B2N	Precast Gutter Inlet - Type S 10	RIM = 120.886	INV IN:117.69 18"	CTA: 0: 52.24		24 x 24 inch Rectangular	DIM - 404.005	INV IN:115.98 18"		PIPE 1	18	32.92	
	ft. or Less	1/10/ = 120.000		STA: 9+52.3	1 OFF 88294274 S1	Structure	RIM = 121.225	INV IN:115.98 18"	STA: 4+53.09 OFF -127.06L	PIPE 2	18	49.34	
			INV IN:114.07 42"		DI-C1S2	24 x 24 inch Rectangular	RIM = 121.231	INV IN:116.95 18"		PIPE 3	24	102.92	
DI-A2	36 x 36 inch Rectangular Structure	RIM = 120.490	INV IN:114.57 24" INV IN:115.07 30"	STA: 6+38.59	9 OFF -27.77L	Structure	1(10) - 121.231	110 110.110.95 18	STA: 2+61.40 OFF -127.01L	PIPE 4	24	99.99	
			INV IN:115.07 30 INV IN:114.07 30"		DI-C2	36 x 36 inch Rectangular	RIM = 119.909	INV IN:115.30 24"		PIPE 5	24	61.17	
	36 x 36 inch Rectangular					Structure	RIN - 119.909	INV IN:115.29 24"	STA: 4+52.77 OFF 26.52R	PIPE 6	24	117	
DI-A4	Structure	RIM = 120.839	INV IN:115.61 30" INV IN:116.11 24"	STA: 7+98.35	5 OFF -26.63L DI-C3	36 x 36 inch Rectangular		INV IN:115.79 24"		PIPE 7	18	194.69	
	26 x 26 inch Doctongular				DI-C3	Structure	RIM = 119.495	INV IN:115.79 24"	STA: 3+53.37 OFF 26.81R	PIPE 8	18	99.33	
DI-A5	36 x 36 inch Rectangular Structure	RIM = 120.974	INV IN:116.38 24" INV IN:116.38 24"	STA: 9+06.37	7 OFF -26.56L			INV IN:116.81 18"		PIPE 9	30	182.52	
					DI-C4	36 x 36 inch Rectangular Structure	RIM = 119.665	INV IN:116.30 24"	STA: 2+24.87 OFF 0.00	PIPE 10	42	14.04	
DI-A6	36 x 36 inch Rectangular Structure	RIM = 121.316	INV IN:116.69 24" INV IN:116.69 24"	STA: 10+14.5	51 OFF -28.14L			INV IN:116.80 18"		PIPE 11	24	55.75	
					DI-C4E	36 x 36 inch Rectangular	RIM = 119.251	INV IN:116.97 18"	STA: 0+50 44 OFF 0.00	PIPE 12	24	238.58	
DI-A6N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 122.011	INV IN:117.26 18"	STA: 11+24.9	95 OFF 27.90R	Structure	1101201	110.97 10	STA: 0+50.44 OFF 0.00	PIPE 13	18	130.55	
					DI-C5	36 x 36 inch Rectangular	DIM - 110 651	INV IN:117.05 18"		PIPE 14	18	89.12	
DI-A7	36 x 36 inch Rectangular	RIM = 121.782	INV IN:116.98 18" INV IN:116.98 24"		Stru	Structure	RIM = 119.651	INV IN:117.05 18" Reinforced Concrete Pipe	STA: 2+86.45 OFF 0.00	PIPE 15	30	158.87	
DEAT	Structure	121.702	INV IN. 110.96 24 INV IN:116.98 24"	STA: 11+22.5 <del>6 OFF -28.15</del> GI-I (TYI		Precast Gutter Inlet - Type S 10				PIPE 16	24	116.63	
	Precast Gutter Inlet - Type S 10					ft. or Less	RIM = 119.179	INV IN:108.33 18"	STA: 0+09.81 OFF 69.41R	PIPE 17	24	100.74	
DI-A7N	ft. or Less	RIM = 121.301	INV IN:118.30 18"	STA: 12+43.9	9 OFF 116.45R	Concrete Endwall with 45				PIPE 18	24	108.3	
	Broasst Cutter Jalet - Turs - 0.40				HW-A1	Degree Wings - 42 in. Dia. Pipe	RIM = 118.875	INV IN:114.00 42"	STA: 6+38.46 OFF -41.80L	PIPE 19	18	55.8	
DI-A7S	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.501	INV IN:118.09 18"	STA: 12+43.6	0 OFF -130.02L	24 x 24 inch Rectangular				PIPE 20	24	120.65	
					JB-D2	Structure	RIM = 118.371	INV IN:110.46 18" INV IN:110.46 18"	STA: 4+71.97 OFF -143.35L	PIPE 21	18	144.41	
DI-A8	36 x 36 inch Rectangular	RIM = 122.713	INV IN:117.58 18" INV IN:117.58 18"	STA: 12+42 7	77 OFF -27.96L	Precast 48 in. x 48 in. Type J				PIPE 22	18	102.06	
	Structure		INV IN:117.58 24"	51A. 12+43.7	OCS-D1	Junction Box ( 6 in. Wall	RIM = 117.000	INV IN:110.54 18"	STA: 4+71.98 OFF -133.35L	PIPE 23	18	21.94	
			INV IN:114.85 24"			Thickness ) 10 ft. or Less			31A. 4+71.90 OFF -133.33L	PIPE 24	18	469.45	
DI-B1	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 120.490		STA: 6+38.53	3 OFF 27.98R		1	I					
DI-B2	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.235	INV IN:116.03 24" INV IN:117.23 18" INV IN:116.53 18"	STA: 8+85.42	2 OFF 28.18R			PROPOSED STOP	RMWATER NOTE	S			
DI-B3	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.459	INV IN:117.19 18"	STA: 10+18.9	92 OFF 26.15R			FY AND OR REPLACE EXIST TION BOX AND OR MANHOL			Т		
DI-C1	36 x 36 inch Rectangular Structure	RIM = 120.104	INV IN:114.98 24" INV IN:114.98 30" INV IN:115.48 18" INV IN:115.48 24"	STA: 4+55.14	I OFF -26.49L		COVE	ER. (SEE SHEET C-311 FOR F	DOT DETAIL 425-010)				
DI-C1E	36 x 36 inch Rectangular Structure	RIM = 119.516	INV IN:115.57 24"	STA: 3+38.11	OFF -26.48L		RATE 425-0	D ACCESS COVER. (SEE SHI 10)	EET C-311 FOR FDOT [	DETAIL			







_		

<u>LEGEND</u>

BOLLARD

LIGHT POLE

Dewberry<sup>®</sup>

139 E. GOVERNMENT STREET PENSACOLA, FL 32502

(850) 760-0332

DESIGN FLOW PEAK FLOW (CFS) CAPACITY (CFS) 7.93 3.74 5.17 8.1 8.88 17.25 17.33 12.43 17.45 14.07 10.96 1.3 8.05 2.21 8.05 4.3 31.38 20.97 76.96 55.16 17.37 15.38

5

⊖ BL

LP 🗘

4

4 6 4 6 

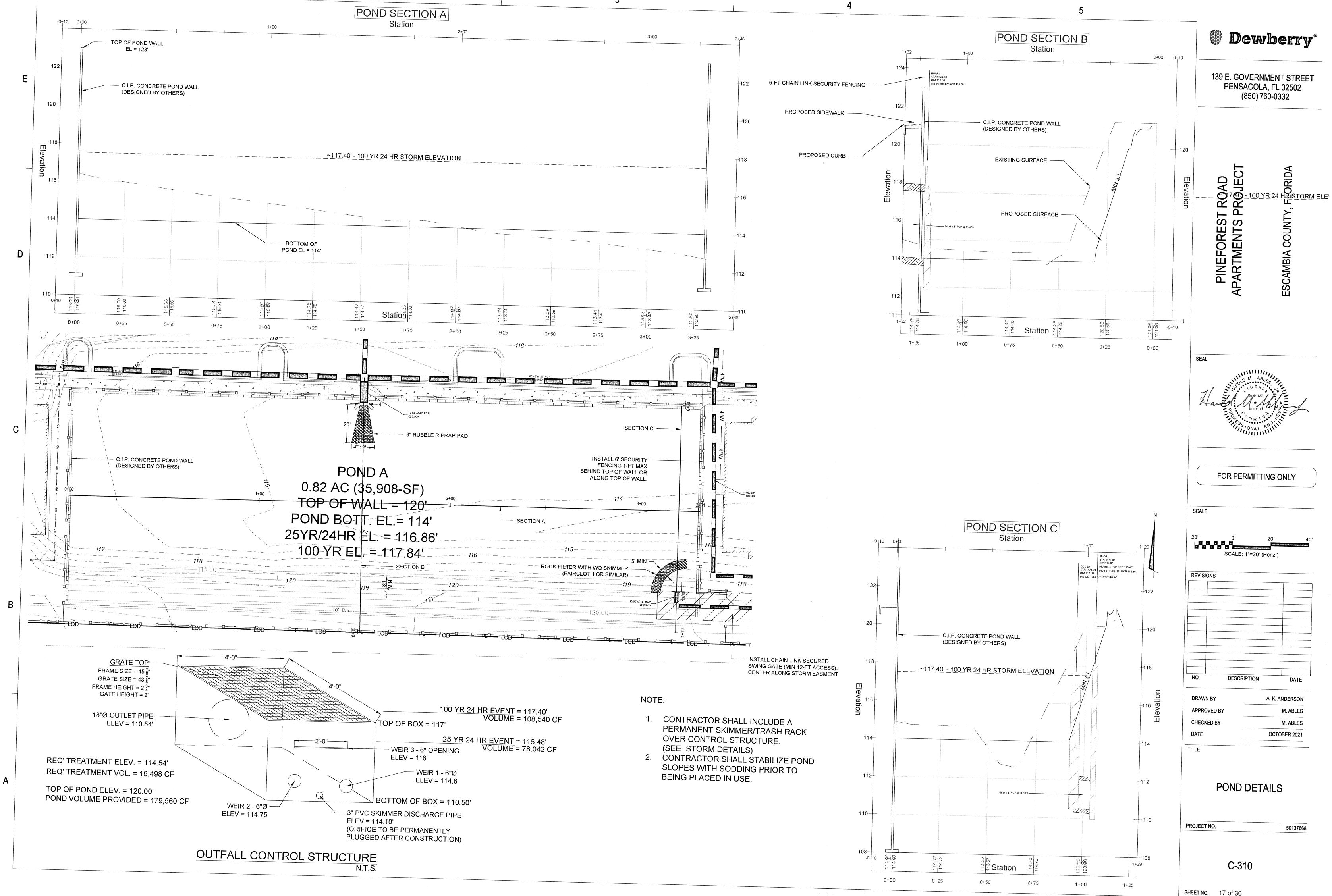
EXISTING ASPHALT

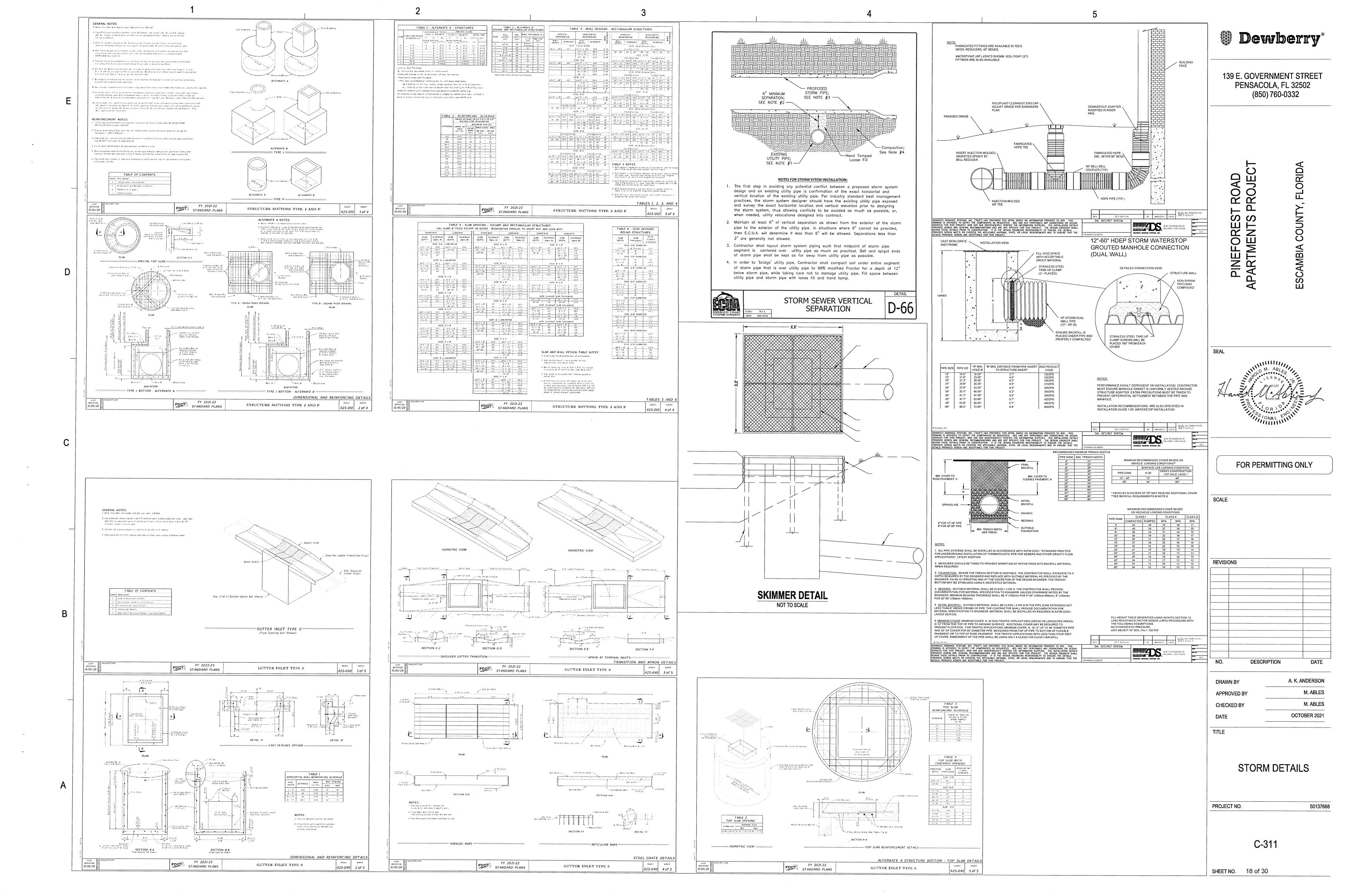
EXISTING CONCRETE

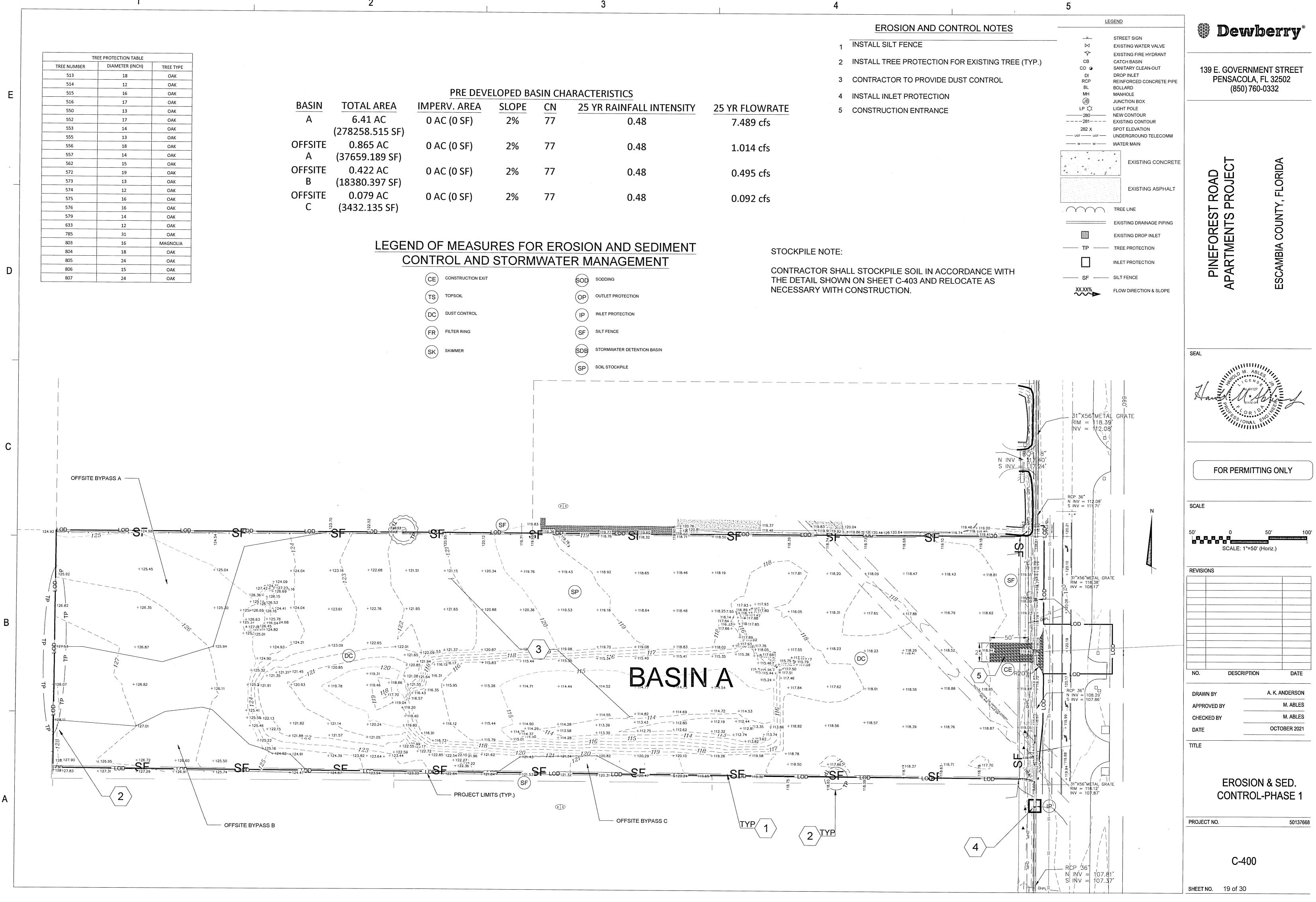
LIMITS OF CONSTRUCTION

NEW CONCRETE SIDEWALK

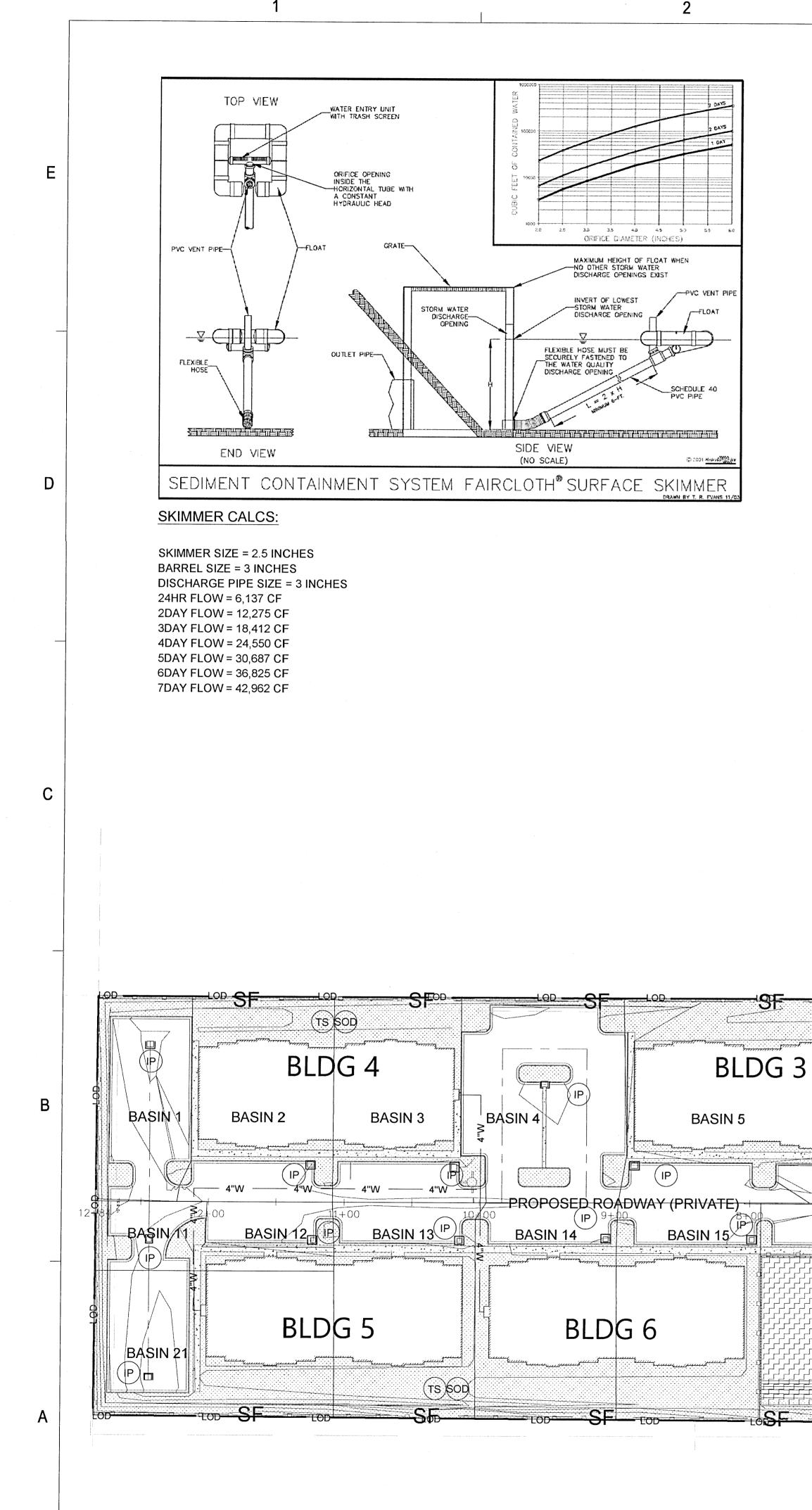








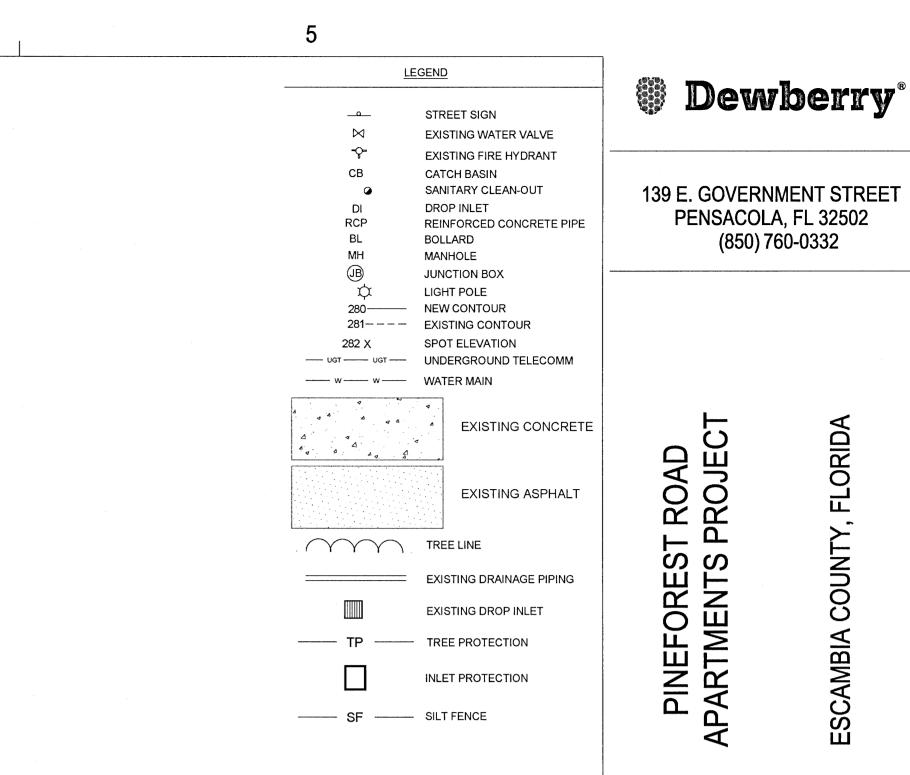
1						
						ER
					1	INSTALL S
					2	INSTALL T
					3	CONTRAC
PRE DEV	ELOPED BA	SIN CH	ARACTERISTICS		4	INSTALL IN
IMPERV. AREA	SLOPE	CN	25 YR RAINFALL INTENSITY	<b>25 YR FLOWRATE</b>	5	CONSTRU
0 AC (0 SF)	2%	77	0.48	7.489 cfs		
0 AC (0 SF)	2%	77	0.48	1.014 cfs		
0 AC (0 SF)	2%	77	0.48	0.495 cfs		
0 AC (0 SF)	2%	77	0.48	0.092 cfs		



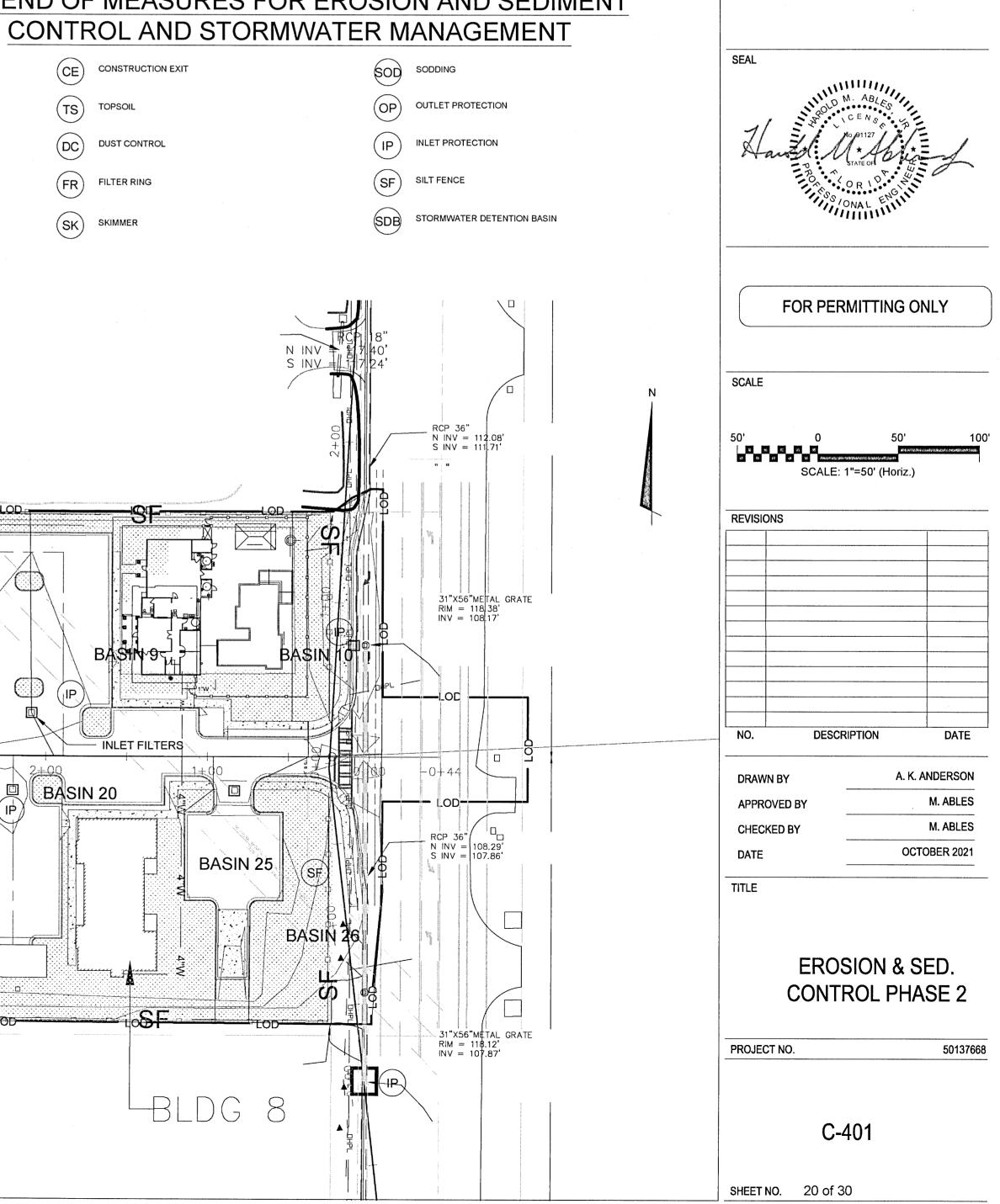
<u></u>				ວ			
POST DEVELOPED BASIN CHARACTERISTICS							
BASIN	TOTAL AREA	IMPERV. AREA	SLOPE	CN	25 YR RAINFALL INTENSITY	25 YR FLOWRATE	
1	0.2361 AC (10285.168 SF)	0.1471 AC (6409.246 SF)	1.50%	75.76	0.48	1.76 cfs	
2	0.3686 AC (16058.068 SF)	0.2549 AC (11104.069 SF)	1.50%	79.8	0.48	2.9 cfs	
3	0.3813 AC (16610.358 SF)	0.2549 AC (11103.494 SF)	2%	78.44	0.48	2.950 cfs	
4	0.1983 AC (8638.283 SF)	0.1808 AC (7874.98 SF)	2.50%	92.79	0.48	1.720 cfs	
5	0.8178 AC (35624.672 SF)	0.5795 AC (25243.236 SF)	1.50%	81.38	0.48	6.520 cfs	
6	0.7242 AC (31545.367 SF)	0.4887 AC (21286.854 SF)	1.50%	65.69	0.48	4.560 cfs	
7	0.4489 AC (19555.552 SF)	0.3541 AC (15422.455 SF)	1.50%	81.43	0.48	3.620 cfs	
8	0.3139 AC (13672.135 SF)	0.2461 AC (10718.185 SF)	2%	85.26	0.48	2.590 cfs	
9	0.4696 AC (20457.576 SF)	0.3547 AC (15448.896 SF)	2%	83.56	0.48	3.800 cfs	
10	0.3381 AC (14725.706 SF)	0.0935 AC (4071.243 SF)	2%	55.32	0.48	1.630 cfs	
11	0.1443 AC (6285.659 SF)	0.0987 AC (4301.378 SF)	4%	79.36	0.48	1.140 cfs	
12	0.0697 AC (3037.111 SF)	0.0613 AC (2671.259 SF)	1.50%	90.91	0.48	0.610 cfs	
13	0.3861 AC (16817.373 SF)	0.2428 AC (10575.31 SF)	2.50%	76.1	0.48	2.860 cfs	
14	0.3834 AC (16701.394 SF)	0.2368 AC (10395.487 SF)	1.50%	76.09	0.48	2.860 cfs	
15	0.3931 AC (17121.474 SF)	0.2452 AC (10682.674 SF)	1%	76.09	0.48	2.910 cfs	
16	0.1426 AC (6210.114 SF)	0.1238 AC (5391.366 SF)	1.50%	90.33	0.48	1.210 cfs	
17	0.1995 AC (8690.365 SF)	0.1701 AC (7410.523 SF)	2.00%	89.3	0.48	1.690 cfs	
18	0.1660 AC (7216.471 SF)	0.1380 AC (6009.347 SF)	1.50%	88.05	0.48	1.400 cfs	
19	0.1537 AC (6697.247 SF)	0.1355 AC (5901.378 SF)	1.50%	91.01	0.48	1.320 cfs	
20	0.6080 AC (26485.452 SF)	0.5336 AC (23244.23 SF)	1.50%	90.78	0.48	5.220 cfs	
21	0.4371 AC (19040.783 SF)	0.2732 AC (11898.474 SF)	2%	75.88	0.48	3.240 cfs	
22	0.9382 AC (40866.447 SF)	0 AC (0 SF)	0%	39	0.48	2.100 cfs	
23	0.3080 AC (13414.672 SF)	0.1711 AC (7454.626 SF)	0.50%	71.78	0.48	2.150 cfs	
24	0.3099 AC (13499.269 SF)	0.1902 AC (8283.935 SF)	4%	75.21	0.48	2.260 cfs	
25	0.3818 AC (16629.558 SF)	0.0547 AC (2383.0 SF)	2.50%	48.76	0.48	1.270 cfs	

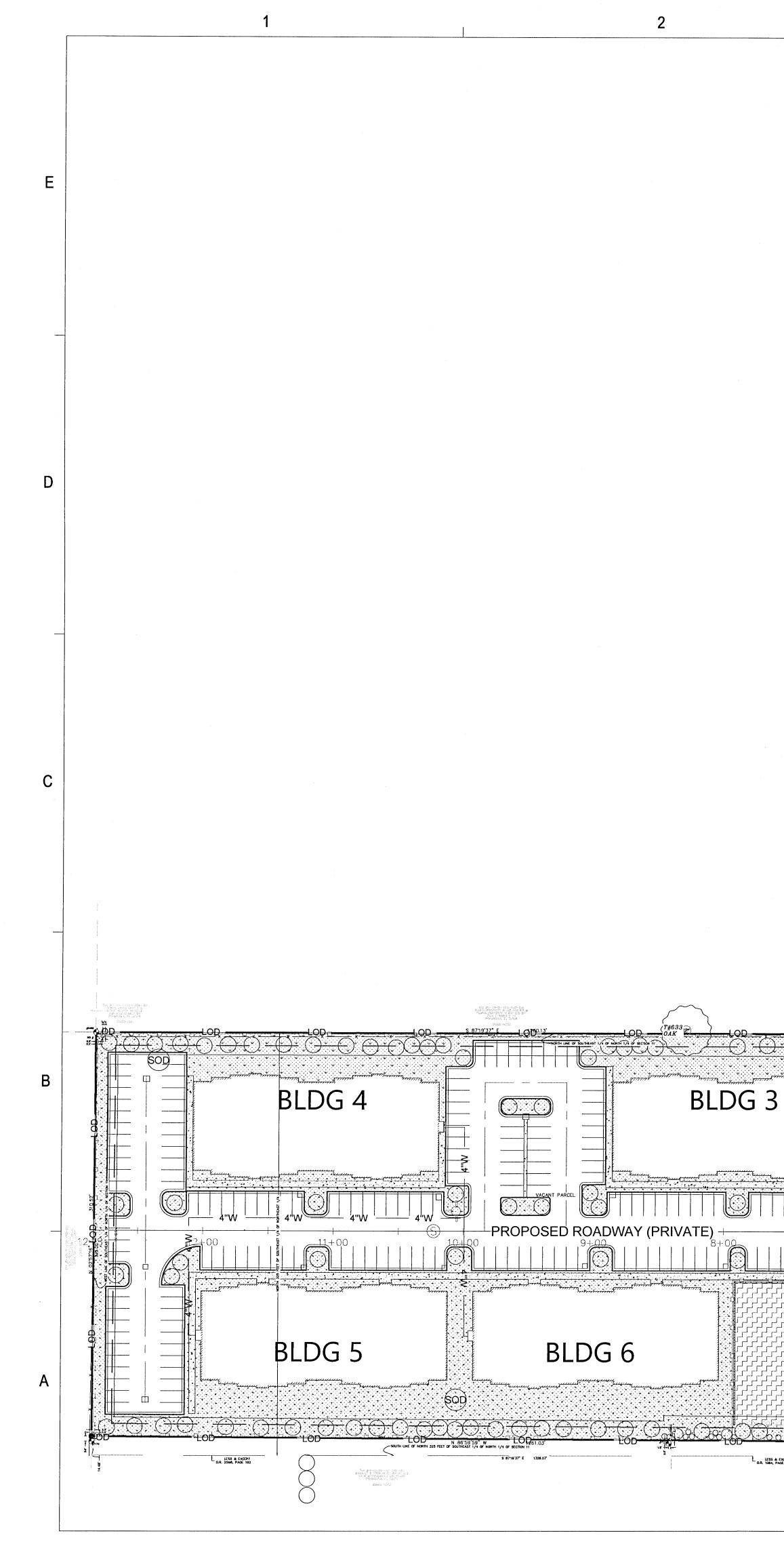
CE TS TOPSOIL

SF 70 0.31 BLDG 1 BLDG 2 BASIN 6 BASIN 7 BASIN'8 (IP) İP BASIN 17 7+00 BASIN 16 6+00, 5+00 4+00 3+00 BASIN 19 BASIN 20 BASIN-18 Π IP - BASIN 22-BLDG 7 (FR)(SK) BASIN 23 BASIN 24 nr SE QE SF ROCK FILTER WITH WQ SKIMMER (FAIRCLOTH OR SIMILAR) ্ৰি



## LEGEND OF MEASURES FOR EROSION AND SEDIMENT



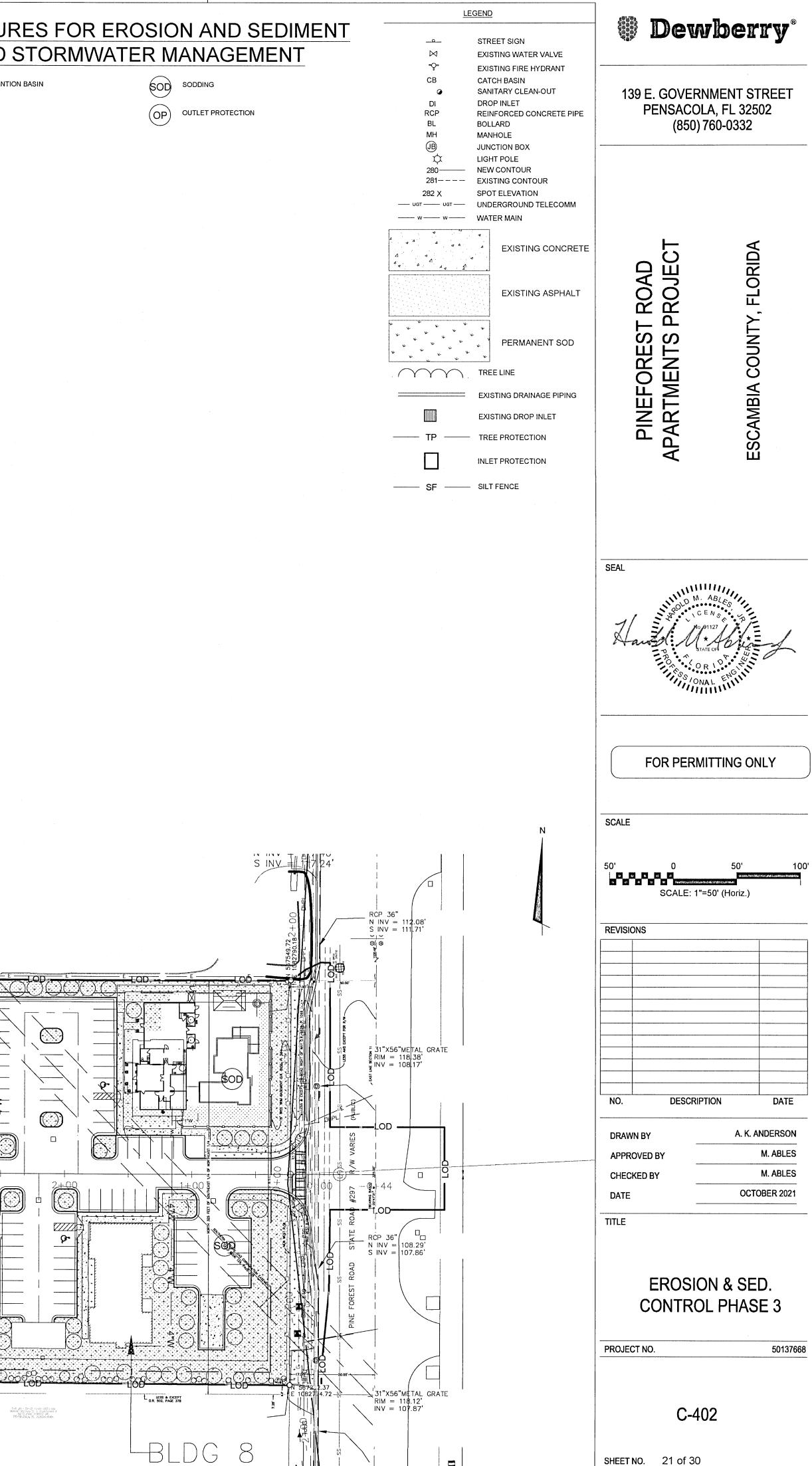




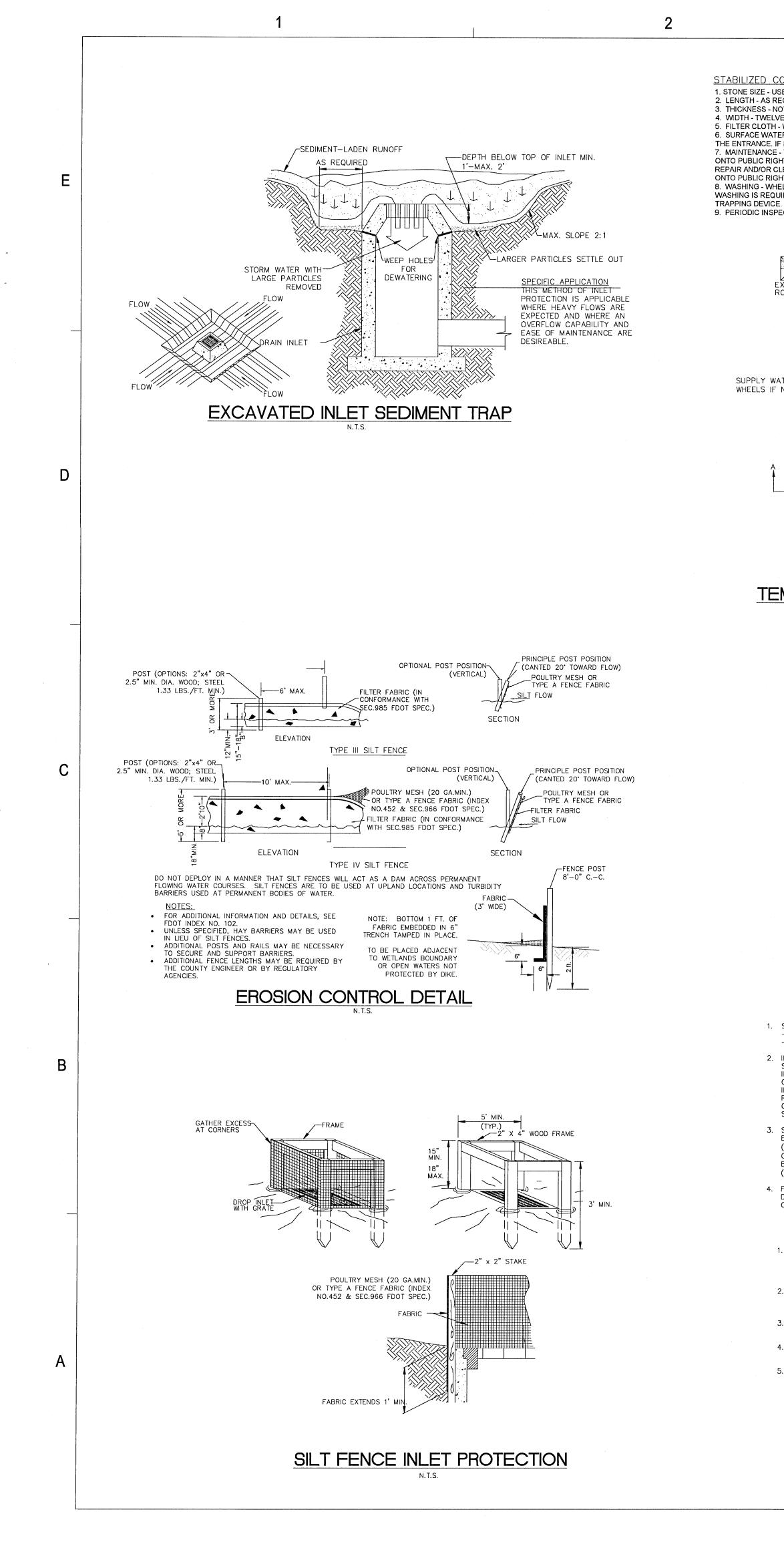
### LEGEND OF MEASURES FOR EROSION AND SEDIMENT **CONTROL AND STORMWATER MANAGEMENT**

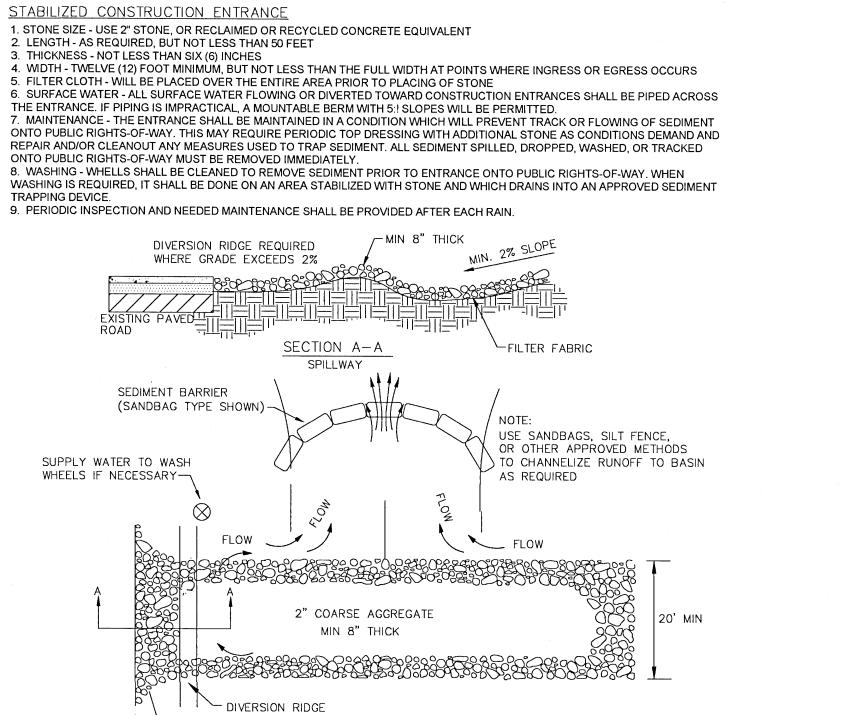
SDB STORMWATER DETENTION BASIN

23 ONE STORY METAL BUILDING A/C sure N V V - VORTE LINE OF SOUTHRASE 1/4.00 (ORTH 1) OF SECTION 11 ŚŎD BLDG 1 BLDG 2  $\bigcirc$ 4 ₹ ------\_\_\_\_ િક્રિટિ  $\bigcirc$ 2+00 9 P  $\bigcirc$  $\bigcirc$ (OP) - O BLDG 7 SDB Bartin A. Bartin A. Bartin and State and St 548,411-36-31,4500-4000 800000 35,1500 5,470,4500 9 8973 9166 1/2017 20 8973 9166 1/2017 20 89730,260,0 21, 3,803-4040 23



SHEET NO. 21 of 30



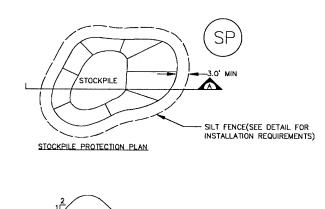


**TEMPORARY CONSTRUCTION ACCESS DETAIL** 

N.T.S.

50' MIN

PLAN



SECTION A

STOCKPILE PROTECTION INSTALLATION NOTES

- SILT FENCE(SEE DETAIL FOR INSTALLATION REQUIREMENTS)

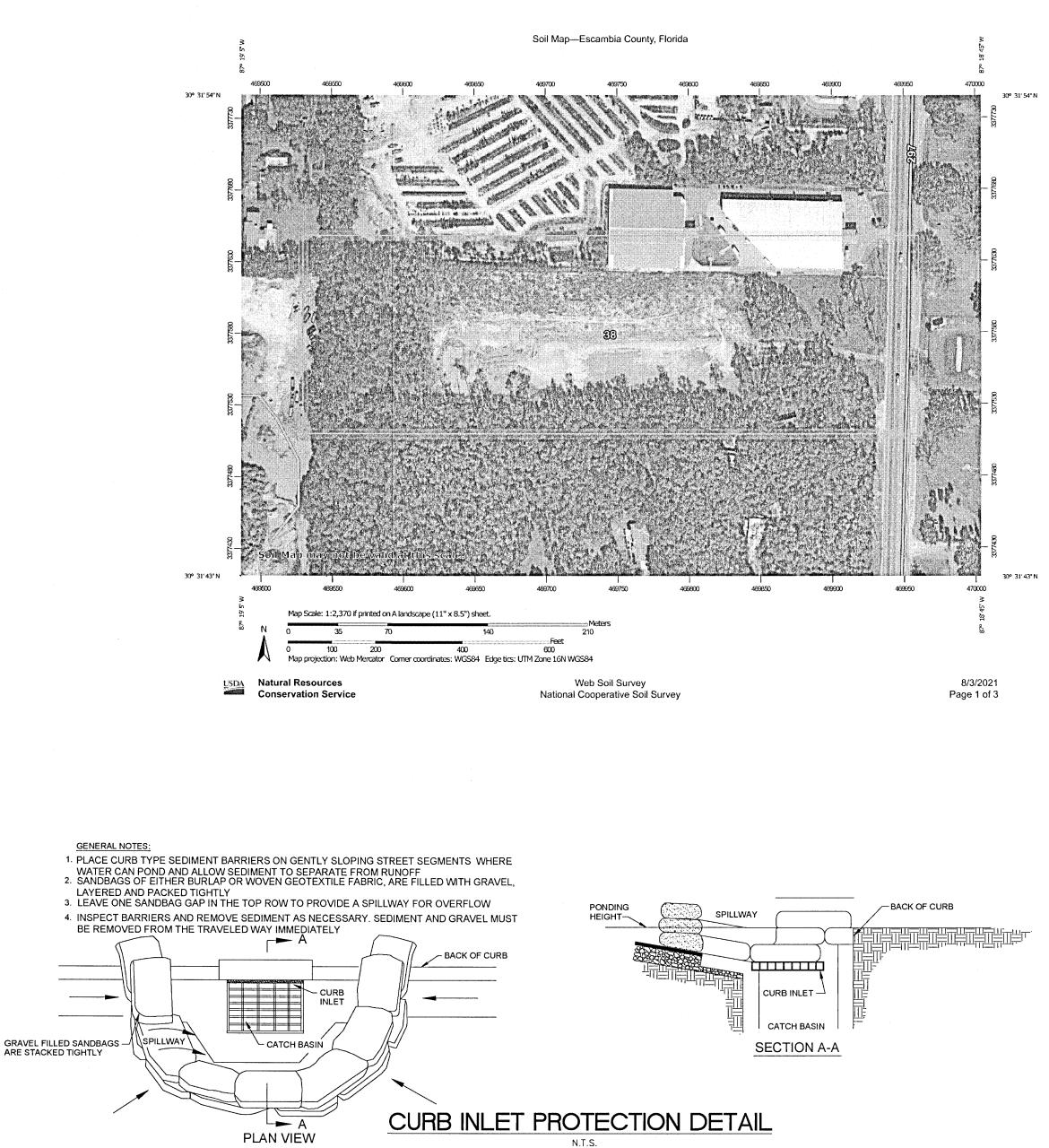
### 1. SEE PLAN VIEW FOR: -LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION.

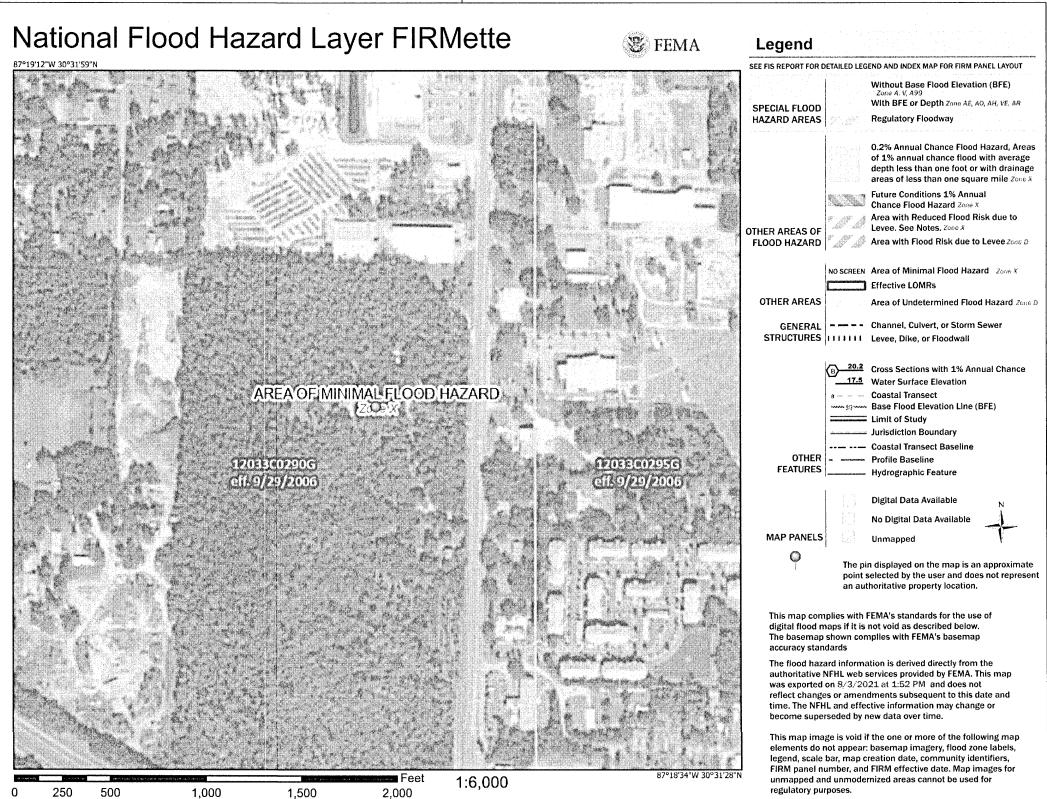
20'R MIN.

- 2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
- 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS). SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS).USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
- 4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

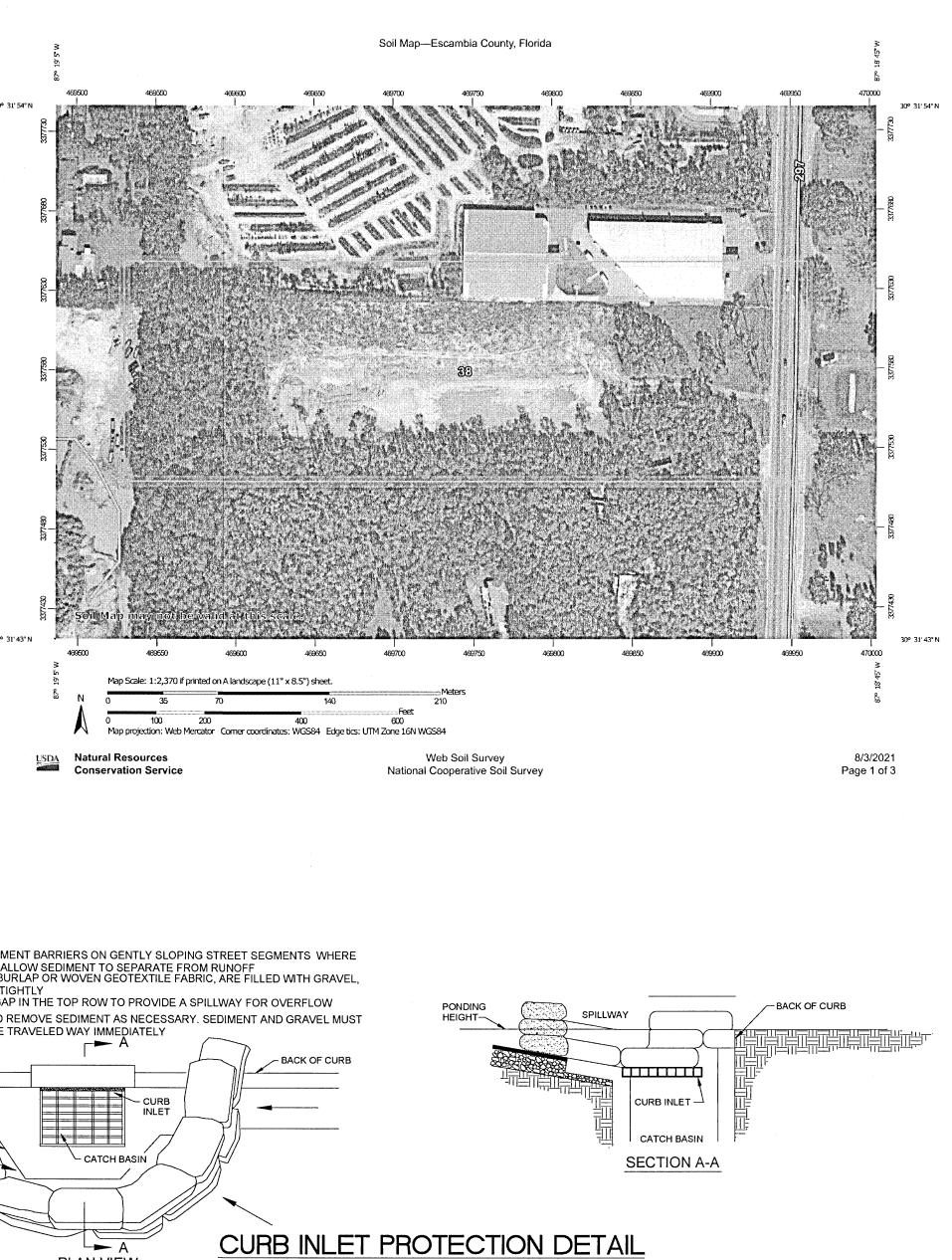
### STOCKPILE PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE
- 4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
- 5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.





Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020



PINEFORES PARTMENTS

Dewberry\*

139 E. GOVERNMENT STREET

PENSACOLA, FL 32502

()

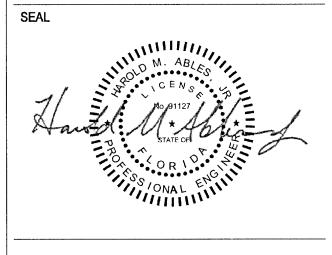
Ο

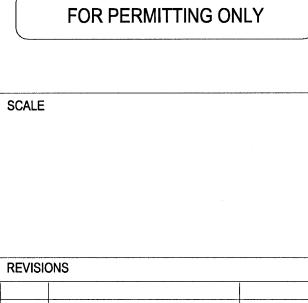
۵\_

AD

RO NO

(850) 760-0332





	·····	
	nna n 10 - 1 - 1 - 1 - 1 - 1 - 1	
NO.	DESCRIPTION	DATE

DRAWN BY	A. K. ANDERSON
APPROVED BY	M. ABLES
CHECKED BY	M. ABLES
DATE	OCTOBER 2021
TITLE	

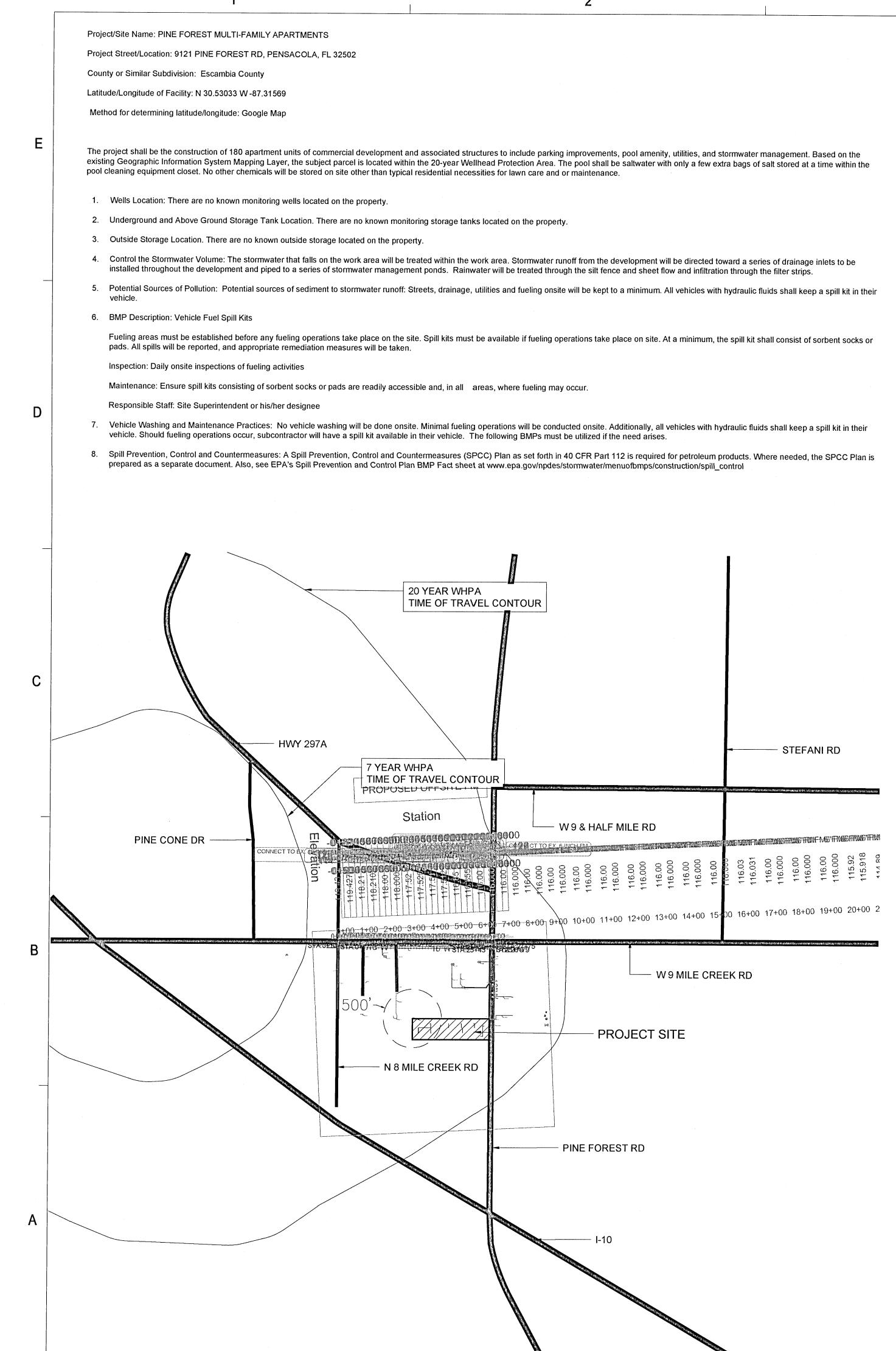
### **EROSION & SED. CONTROL NOTES**

PROJECT NO.

50137668

### C-403

SHEET NO. 22 of 30



Dewberry chemicals (tightly sealed) in the covered area. Any hazardous or toxic materials must be collected by a licensed or approved handler. All domestic, construction and demolition debris will be contained onsite in a dumpster and disposed of at a permitted landfill appropriate to the materials disposed. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an appropriate dirt storage facility. **139 E. GOVERNMENT STREET** PENSACOLA, FL 32502 Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained (850) 760-0332 facilities, and arranging for regular service and disposal. Sanitary septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary waste systems. Sanitary facilities shall be at least 10 feet from any inlets and on a flat surface. Inspection: Inspect and verify waste receptacles are in place before commencement of disturbance activities. Responsible Staff: Site Superintendent or his/her designee Install construction exit at the location of the access driveway to reduce vehicle tracking. Install CE prior to site disturbance at the main entrance to the project. CE shall be a minimum of 20 feet long and 12 feet wide for residential construction and 50' long and 20' wide for infrastructure and commercial applications. It shall consist of filter cloth SID N ROAD covered with an FDOT No 1 coarse aggregate 1 (gravel 1 1/2" - 3 1/2") to a minimum depth of 6 inches. 2 Inspection Check daily to ensure adequate coverage to eliminate vehicle tracking. Maintenance: Remove mud or sediment tracked onto public road. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an Ω appropriate dirt storage facility. Top-dress with clean stone as needed to maintain effectiveness of the BMP. Reshape pad as needed for drainage runoff and control. PINEFOREST PARTMENTS | Responsible Staff: Site Superintendent or his/her designee Prior to land disturbance activities, install Drop Inlet Protection, which is pre-construction inlet protection. This prevents sediment-laden runoff from entering the stormwater conveyance systems. Ensure the height of the structure when fully ponded does not cause unintentional damage or hazards to adjacent areas. Remove accumulated sediment when it reaches half the height of the structure. Inspection: Inspect weekly and after any rain event. Maintenance: Maintain all devices to allow adequate pooling of water to allow sediment to settle before reaching inlet and clear water to flow into the inlet. Remove sediment that accumulates behind device immediately to allow for adequate water flow. Sediment must be returned to suitable onsite sediment stockpile or trucked off site and deposited in an appropriate dirt storage facility. Responsible Staff: Site Superintendent or his/her designee Remove topsoil immediately after clearing of vegetation. Store topsoil in a designated stockpile and stabilize with temporary vegetation. Locate stockpile out of drainageways and traffic routes. Do not place stockpiles on steep slopes. Seed stockpile and install silt fences around base of stockpile to prevent sediment movement. Inspection: Inspect topsoiled areas weekly and after any rain event, until vegetation is established. NOT APPROVED UNLESS ACCOMPANIED WITH SEAL A VALID SIGNATURI Maintenance: Repair eroded or damaged areas and revegetate. Responsible Staff: Site Superintendent or his/her designee Install a concrete washout basin before concrete work begins. Do not place concrete washout facilities adjacent to storm drains, open ditches, or water bodies. Allow convenient access for concrete trucks, preferably near the area where the concrete is being poured. If trucks need to leave a paved area to access washout, prevent track-out with a construction exit. Vehicle tracking control shall utilize exit pad with 1.5" - 3.5" crushed stones. Washout size is a minimum of 3' x 3' but shall be sized to adequately retain solids, DAVID B. TILLAR, P.E FL. PE No. 86282 Inspection: Inspections shall be made daily while concrete activity is onsite. Do not place washout facilities adjacent to storm drains, open ditches or water bodies. Maintenance: The facility needs to be cleaned or changed when 75% full. Inspect self- installed washouts daily to ensure that plastic linings are intact, and sidewalls have not additional signage, or place additional washouts in more convenient locations. Do not discharge liquids to waterways, storm drains or directly onto ground. Do not use sanitary FOR PERMITTING ONLY inspect for signs of weakening or damage, and rebuild structure or make necessary repairs. Install a new plastic liner after every cleaning. Vacuum waste liquids and slurry. SCALE 1000' 2000' dan de 176 ki 20 Ale ide ide ide de de SCALE: 1"=1000' (Horiz.) Responsible Staff: Site Superintendent or his/her designee REVISIONS

### 10. BMP Description Sanitary Wastes:

11. BMP Description: Construction Exit (CE)

Maintenance: Arrange for regular waste collection. If high winds are expected, portable sanitary facilities must be secured with spikes or weighed down to prevent overturning. slurry and rainwater. Minimum depth of the washout is 2 feet. The impermeable plastic sheeting liner shall be a minimum of 10 millimeters thick and free of any holes or tears. Class A silt fence shall be utilized for perimeter control. Signs shall be placed to indicate location of wash out. been damaged by construction activities. If contractors have washed out chutes or hoppers in other unapproved locations, set up a site meeting with the contractors, install sewer without local approval. Remove liquids or cover the structures before predicted storms to prevent overflows. When you remove materials from the concrete washout, Hardened concrete may be disposed of by a licensed hauler. Responsible Staff: Site Superintendent or his/her designee and basins, weir and dewatering tanks, filters and chemical treatment. Inspection: Inspect BMPs until dewatering operations are complete Maintenance: Uncontaminated sediment removed during maintenance may be removed to a suitable stockpile facility or disposed offsite.

12. BMP Description: Drop Inlet Protection (DIP)

14. BMP Description: Concrete Wastes

15. BMP Description: Dewatering:

9. Material Handling and Waste Management: All hazardous materials must be tightly sealed and covered by a tarp. Once the roof of the structure is complete, store all paint and 13. BMP Description: Top Soiling (TS) Removal: Dewatering BMPS must be maintained throughout the duration of dewatering operations. The most common BMPs for treating dewatering discharges include sediment traps 16. Inspection Procedures and Requirements: Retain a qualified inspector to conduct precipitation and weekly inspections in compliance with NPDES General Permit Part 6.

- reports will be reviewed, and corrective actions taken immediately, but no later than 7 calendar days following
- 17. Recordkeeping: The permit requires that the Permittee shall retain records of all:
- Inspection records
- Monitoring information (if applicable)
- Grading and Stabilization Log Copy of NOI acknowledgement letter
- Copy of NOI
- Inspection reports
- Rainfall data Dewatering log

Retain records of all inspection records, monitoring information, copies of all reports required by the permit, and records of all data used to create such reports, for a period of three years from the date of the inspection or report. This period may be extended by request of the Director at any time. If litigation or other enforcement action, under the AWPCA and/or the FWPCA, is ongoing which involves any of these records, the records shall be kept until the litigation is resolved.

- 18. List of State or federal permits the facility operates under:
- NPDES Stormwater FDOT Drainage Connection

### WELLHEAD PROTECTION NOTE:

The subject parcel falls within the Travel Time Contour of a protected (portable) Wellhead. Contractors shall be responsible for reporting spills of potentially hazardous substances (i.e. gasoline, diesel fuel, hydraulic fluid, cleaning products, chemicals, etc.) to the appropriate State (FDEP State Warning Point 1-800-320-0519) and local (ECUA- Emerald Coast Utilities Authority (850) 476-5110 and Escambia County Health Department /Environmental Health 595-6712) agencies.

Inspections shall be made weekly (once every seven calendar days) and after every 0.5" rain. Inspections shall be completed within 24 hours of qualifying event. Time spent between inspections shall never exceed 7 days. An inspection report will be sent to the responsible official with deficiencies noted and corrective action to be taken. Inspection

**ENVIRONMENTAL INFORMATION PLAN** 

DESCRIPTION

PROJECT NO.

NO.

DRAWN BY

APPROVED BY

CHECKED BY

DATE

TITLE

50137668

DATE

M. ABLES

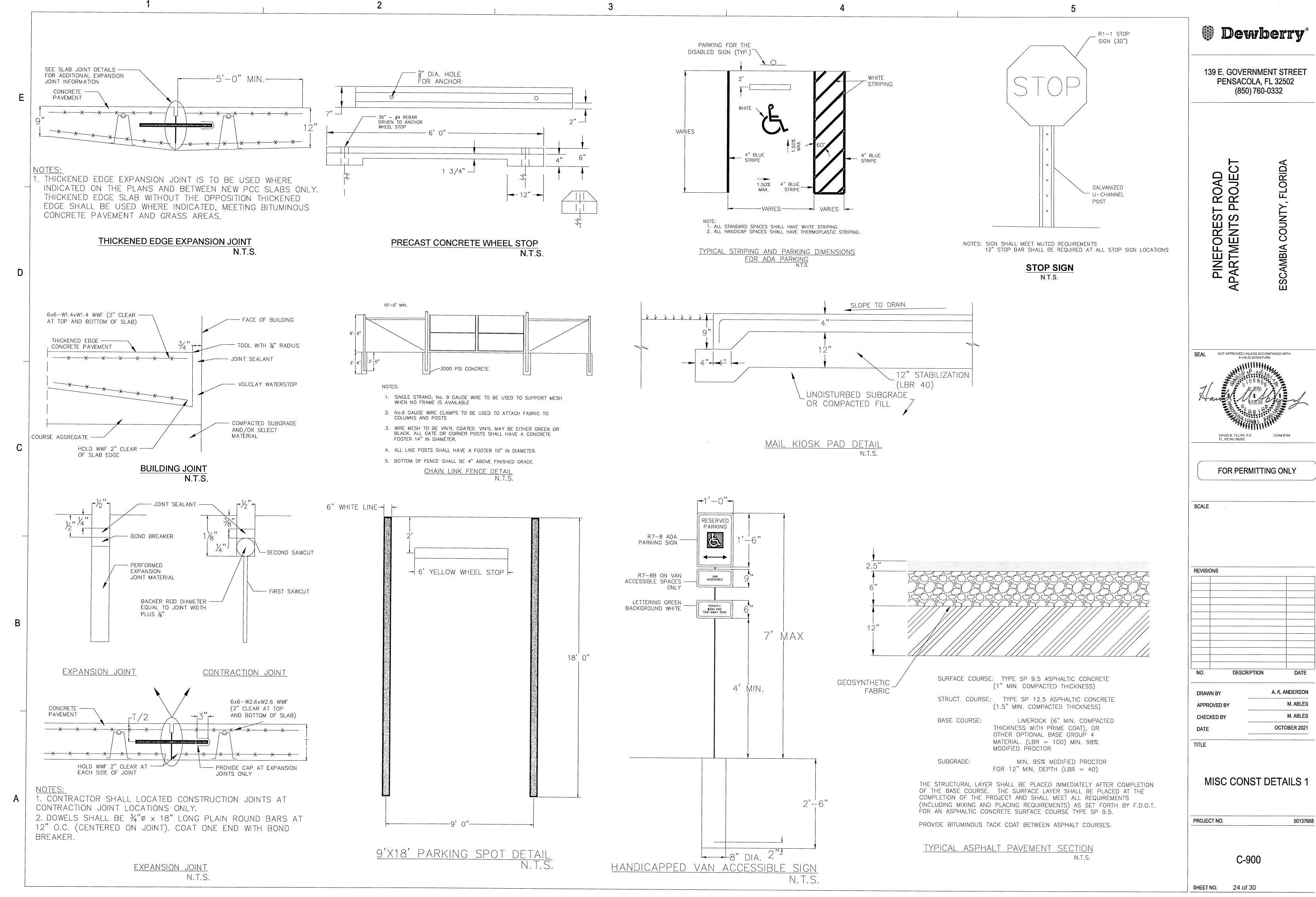
M. ABLES

A. K. ANDERSON

OCTOBER 2021

### C-410

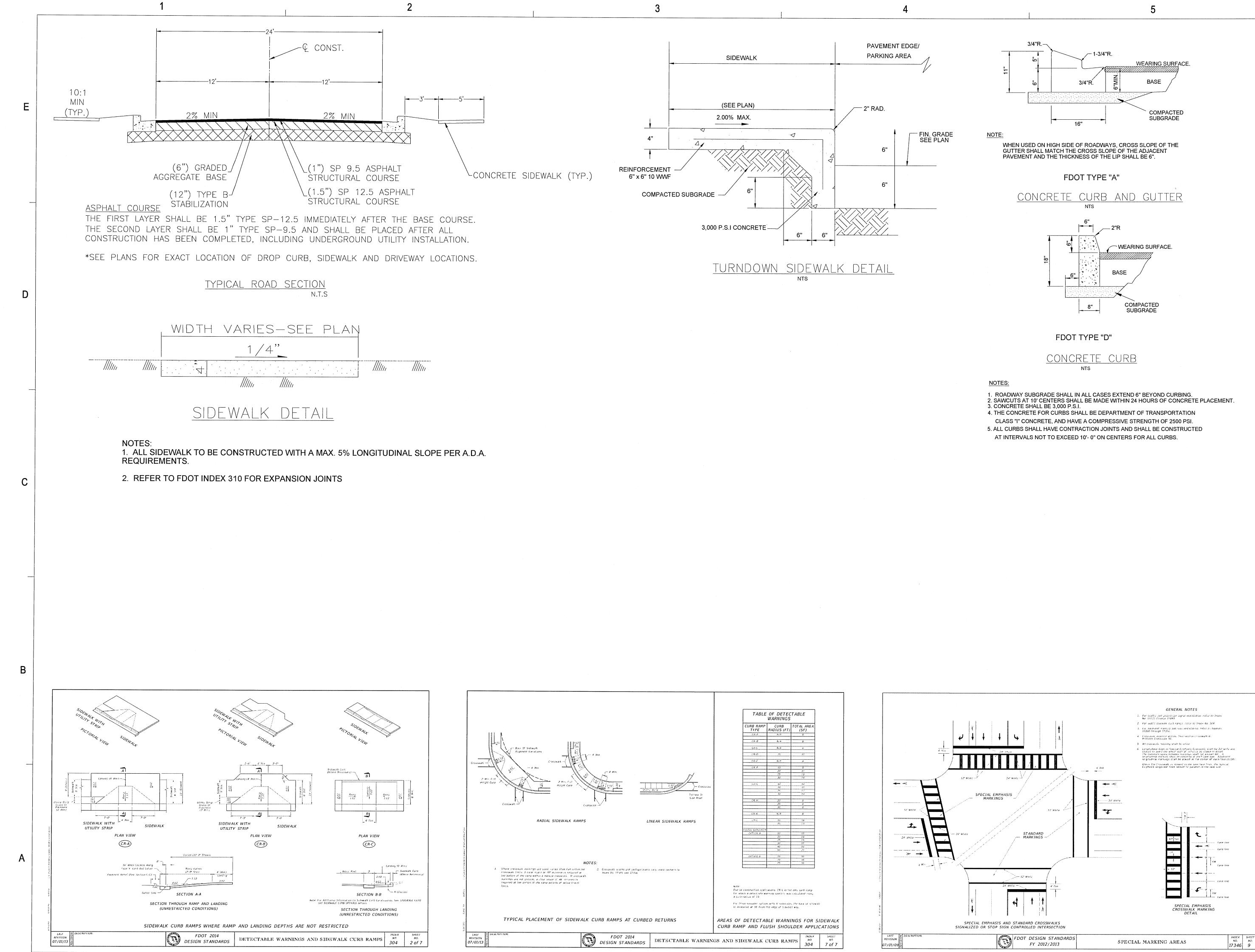
SHEET NO. 23 of 30

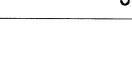










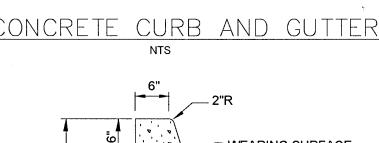


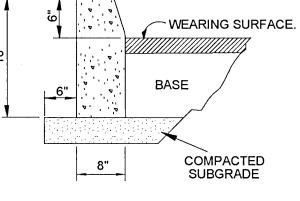












	E. GOVERNMEN PENSACOLA, FI (850) 760-0	_ 32502
DINIFFOREST ROAD	<sup>S</sup>	ESCAMBIA COUNTY, FLORIDA
SEAL	NOT APPROVED UNLESS ACCOM A VALID SIGNATURE BURNEL	
	DAVID B. TILLAR, P.E. FL. PE No. 86282	COA# 8794
	FL. PE No. 86282	
SCALE	FL. PE No 86282	

### MISC CONST DETAILS 2

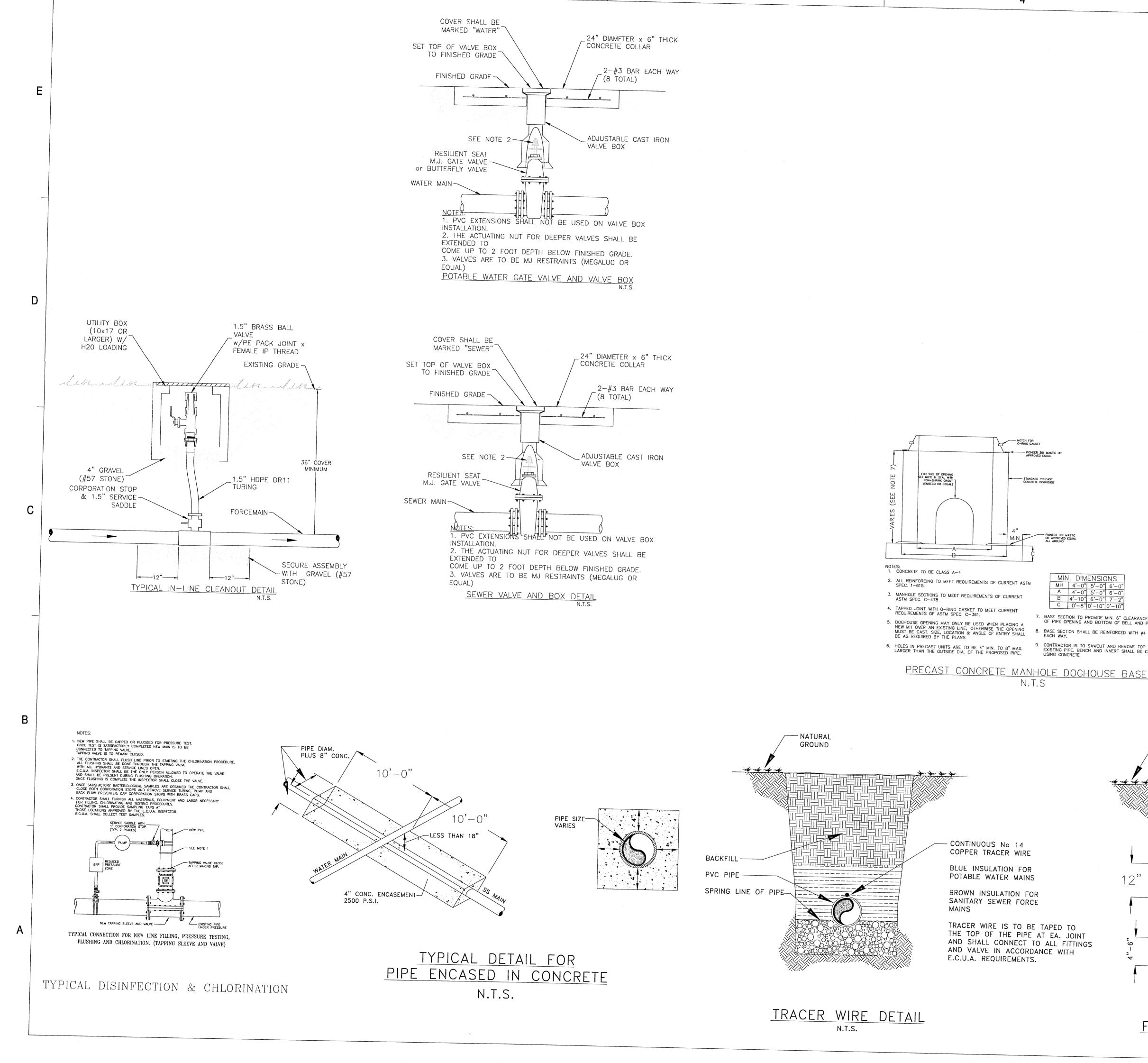
PROJECT NO.

50137668

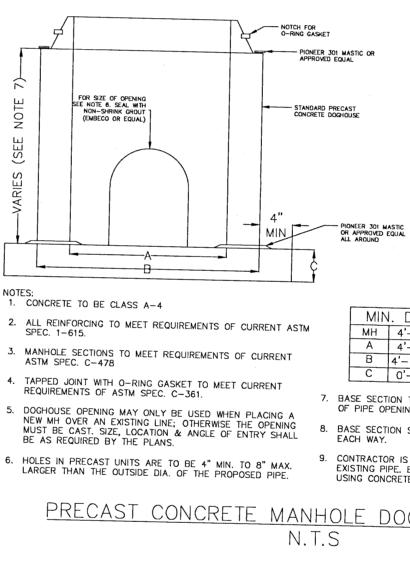
C-901

SHEET NO.

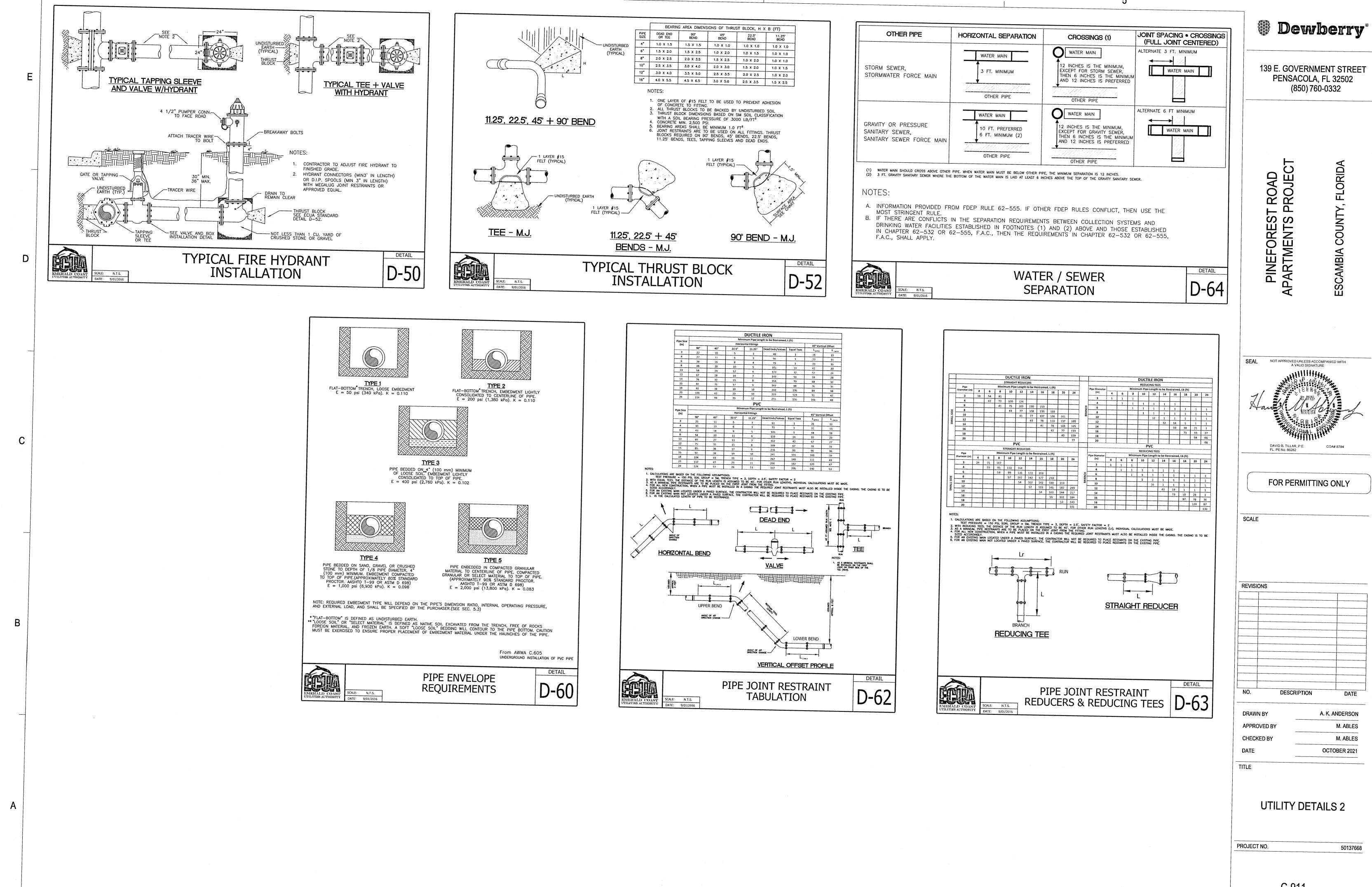
25 of 30



-



 Dewberry<sup>®</sup> 139 E. GOVERNMENT STREET PENSACOLA, FL 32502 (850) 760-0332 T ROAD PROJECT  $\cap$ PINEFOREST I APARTMENTS PI () $\overline{\mathbf{m}}$ ဟ SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE DAVID B. TILLAR, P.E. FL. PE No. 86282 COA# 8794 FOR PERMITTING ONLY MIN. DIMENSIONS SCALE BASE SECTION TO PROVIDE MIN. 6" CLEARANCE BETWEEN TOP OF PIPE OPENING AND BOTTOM OF BELL AND PIVOT JOINT. 8. BASE SECTION SHALL BE REINFORCED WITH #4 AT 6' O.C. EACH WAY. CONTRACTOR IS TO SAWCUT AND REMOVE TOP HALF OF EXISTING PIPE. BENCH AND INVERT SHALL BE CONSTRUCTED USING CONCRETE REVISIONS - NATURAL -SUBSEQUENT BACKFILL: GROUND COMPACT AS INDICATED IN SPECIFICATIONS. (MAXIMUM 12" LIFTS) NO. DESCRIPTION DATE A. K. ANDERSON DRAWN BY APPROVED BY M. ABLES CHECKED BY M. ABLES \_\_\_\_\_ DATE OCTOBER 2021 - INITIAL BACKFILL: \_\_\_\_\_ 12'COMPACT AS INDICATED \_\_\_\_\_ TITLE \_\_\_\_\_ IN SPECIFICATIONS. (MAXIMUM 6" LIFTS) \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_(FLEXIBLE PIPE -----UTILITY DETAILS 1 BEDDING: UNDISTURBED SOIL IF ACCEPTABLE DENSITY. REMOVE AND REPLACE PROJECT NO. 50137668 WITH COMPACTED GRANULAR MATERIAL ASNECESSARY FOR UNACCEPTABLE SOILS. FLEXIBLE PIPE BEDDING C-910 N.T.S. SHEET NO. 26 of 30



•

50137668

DATE

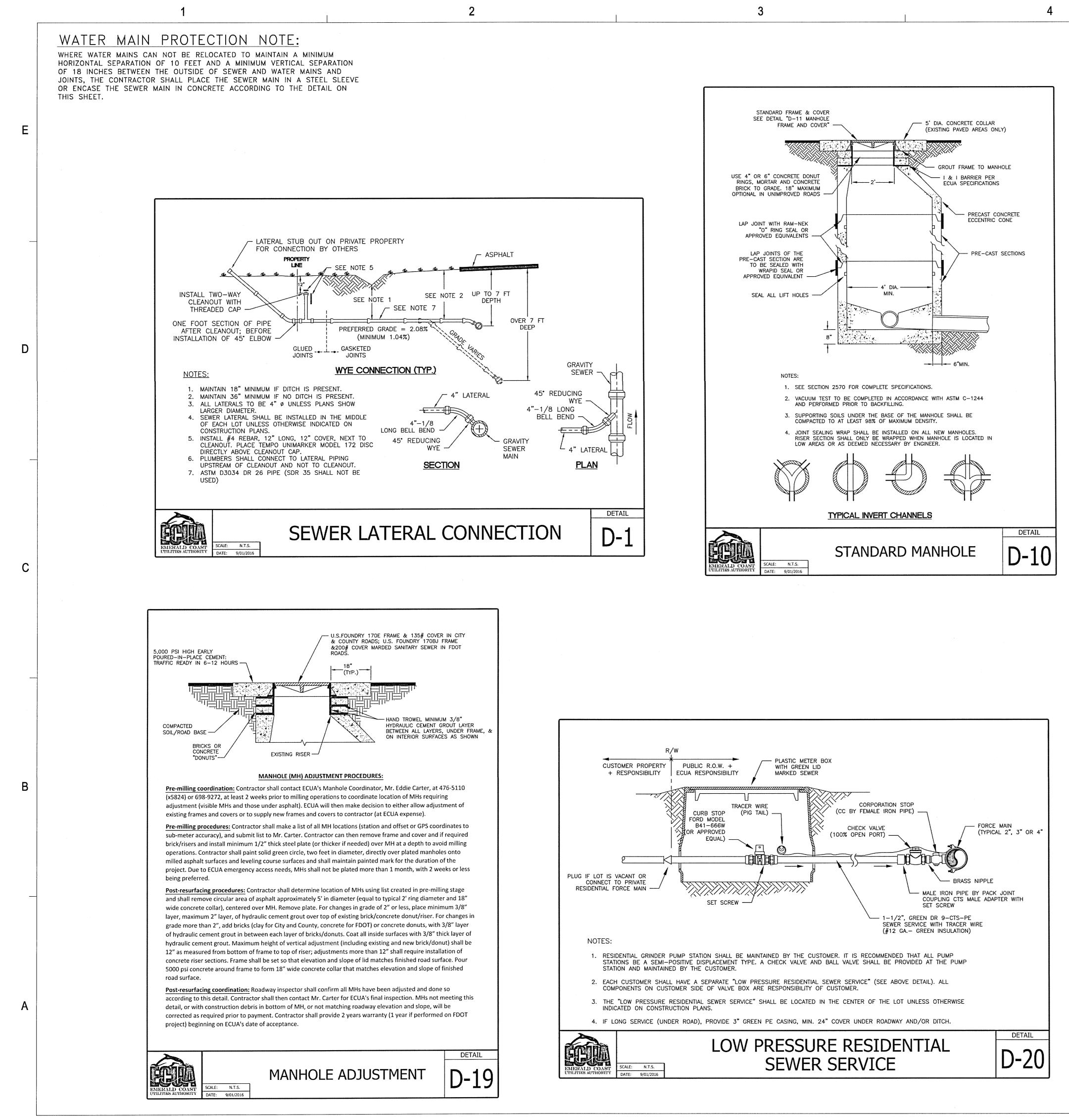
M. ABLES

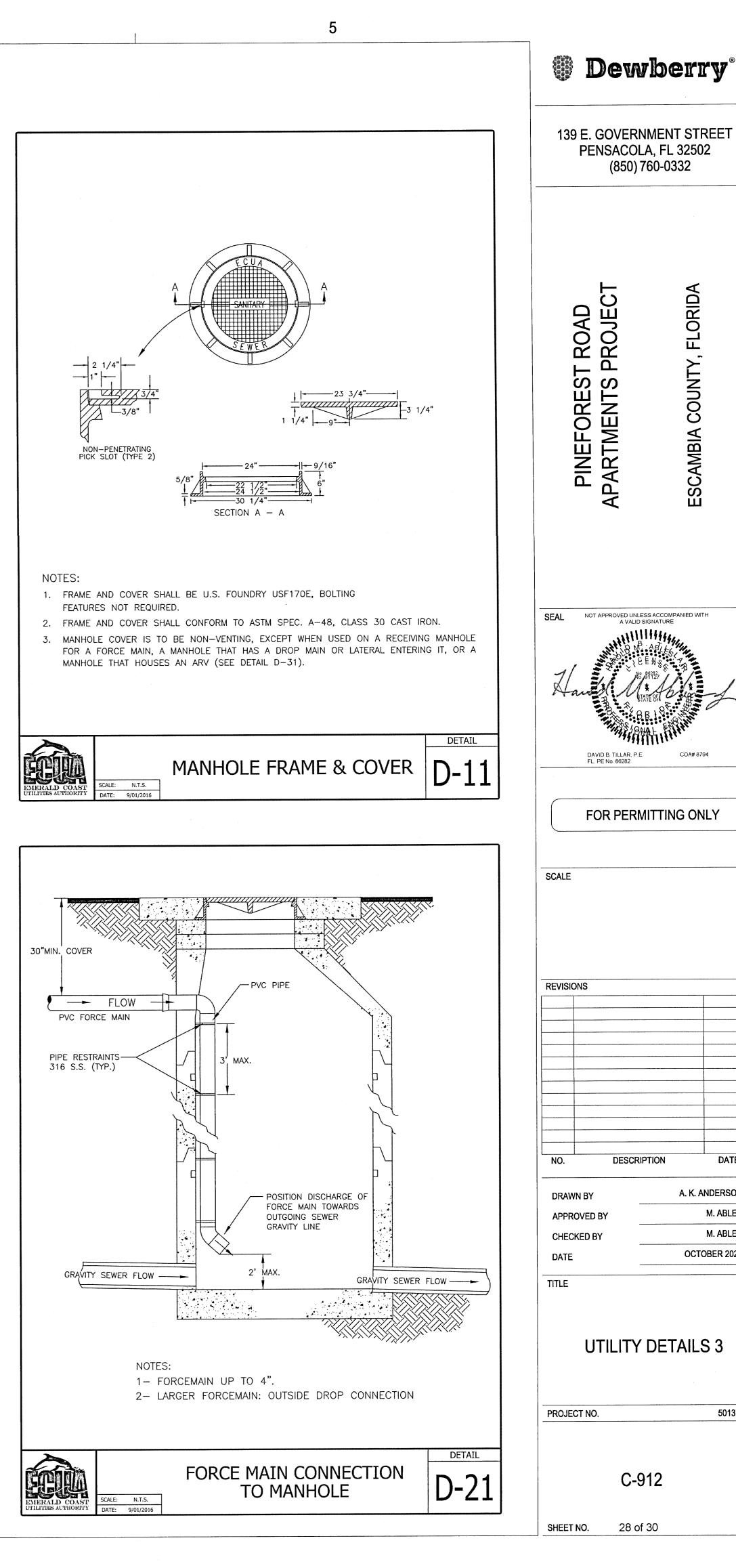
FLORIDA

BIA

### C-911

SHEET NO. 27 of 30





ORID,

Ö

ESCAMBIA

COA# 8794

DATE

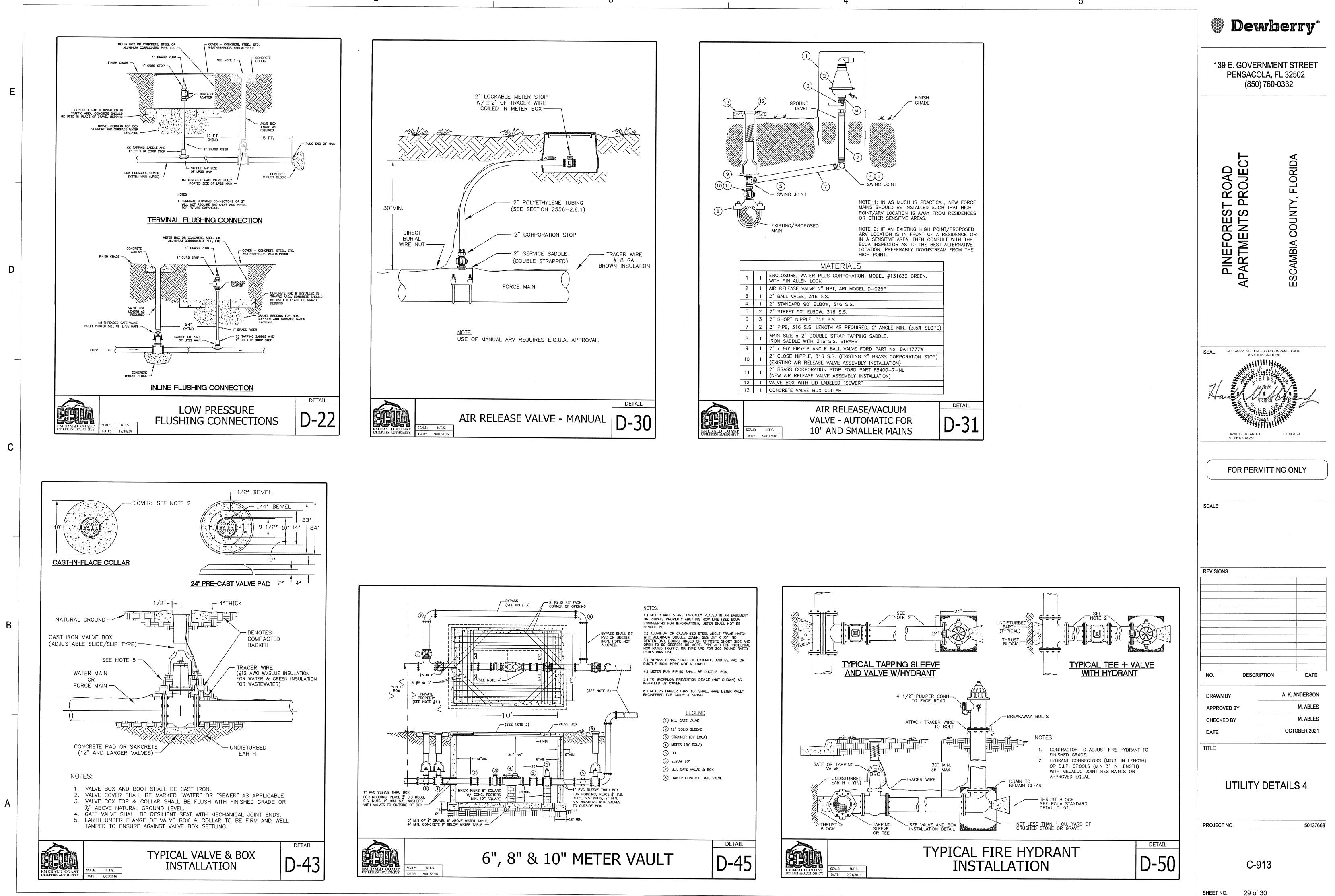
M. ABLES

M. ABLES

50137668

A. K. ANDERSON

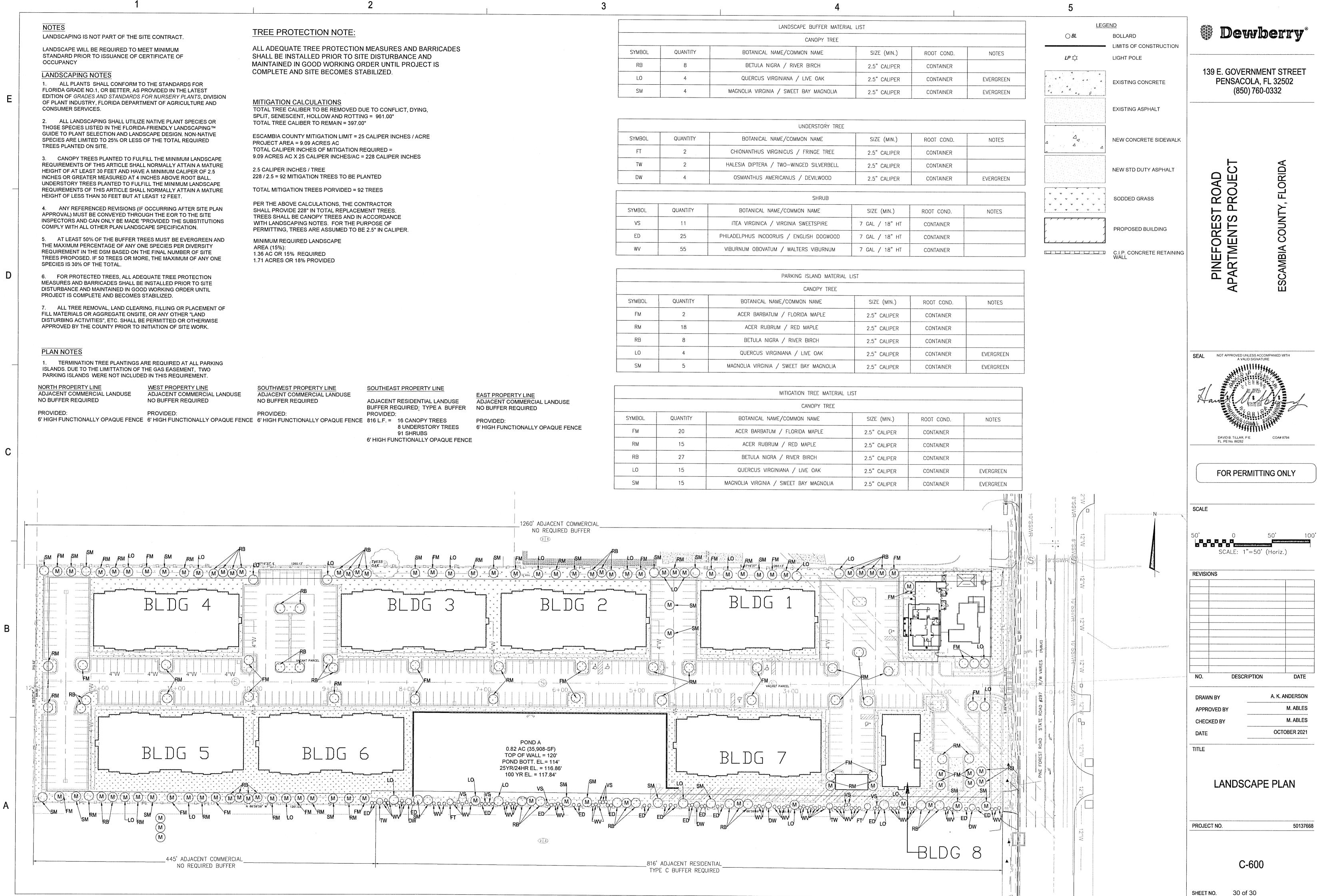
OCTOBER 2021



NO BUFFER REQUIRED

PROVIDED:

PROVIDED:



BARRICADES	
ND	
ECT IS	

	LANDSCAPE BUFFER MATERIAL LIST					
		CANOPY TREE				
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)			
RB	8	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER			
LO	4	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER			
SM	4	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER			

		UNDERSTORY TREE	
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)
FT	2	CHIONANTHUS VIRGINICUS / FRINGE TREE	2.5" CALIPER
TW	2	HALESIA DIPTERA / TWO-WINGED SILVERBELL	2.5" CALIPER
DW	4	OSMANTHUS AMERICANUS / DEVILWOOD	2.5" CALIPER

	SHRUB				
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)		
VS	11	ITEA VIRGINICA / VIRGINIA SWEETSPIRE	7 GAL / 18" HT		
ED	25	PHILADELPHUS INODORUIS / ENGLISH DOGWOOD	7 GAL / 18" HT		
WV	55	VIBURNUM OBOVATUM / WALTERS VIBURNUM	7 GAL / 18" HT		

	·····				
	PARKING ISLAND MATERIAL LIST				
	CANOPY TREE				
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)		
FM	2	ACER BARBATUM / FLORIDA MAPLE	2.5" CALIPER		
RM	18	ACER RUBRUM / RED MAPLE	2.5" CALIPER		
RB	8	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER		
LO	4	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER		
SM	5	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER		

ſ						
	MITIGATION TREE MATERIAL LIST					
	•••••••	CANOPY TREE				
SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)			
FM	20	ACER BARBATUM / FLORIDA MAPLE	2.5" CALIPER			
RM	15	ACER RUBRUM / RED MAPLE	2.5" CALIPER			
RB	27	BETULA NIGRA / RIVER BIRCH	2.5" CALIPER			
LO	15	QUERCUS VIRGINIANA / LIVE OAK	2.5" CALIPER			
SM	15	MAGNOLIA VIRGINIA / SWEET BAY MAGNOLIA	2.5" CALIPER			