

# WOODSPRING SUITES

210 CHIEFS WAY ▲

ESCAMBIA COUNTY, PENSACOLA, FLORIDA

PROPERTY ID #37-2S-30-5002-000-057 & 37-2S-30-5002-000-067 ▲

OWNER:

VANSI LLC

3 N NEW WARRINGTON ROAD

PENSACOLA, FL 32506

EMAIL: gsbishop.engineering@gmail.com

ZONED: COMM

FLU: COMMERCIAL

SUBMITTED: SEPTEMBER 2021

RESUBMITTED: DECEMBER 16, 2021

## CONSTRUCTION NOTES

1. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.

2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

3. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.

5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.

6. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.

7. ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.

8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

9. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.

10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.

11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

12. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).

13. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.

14. THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.

15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.

16. THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.

17. NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.

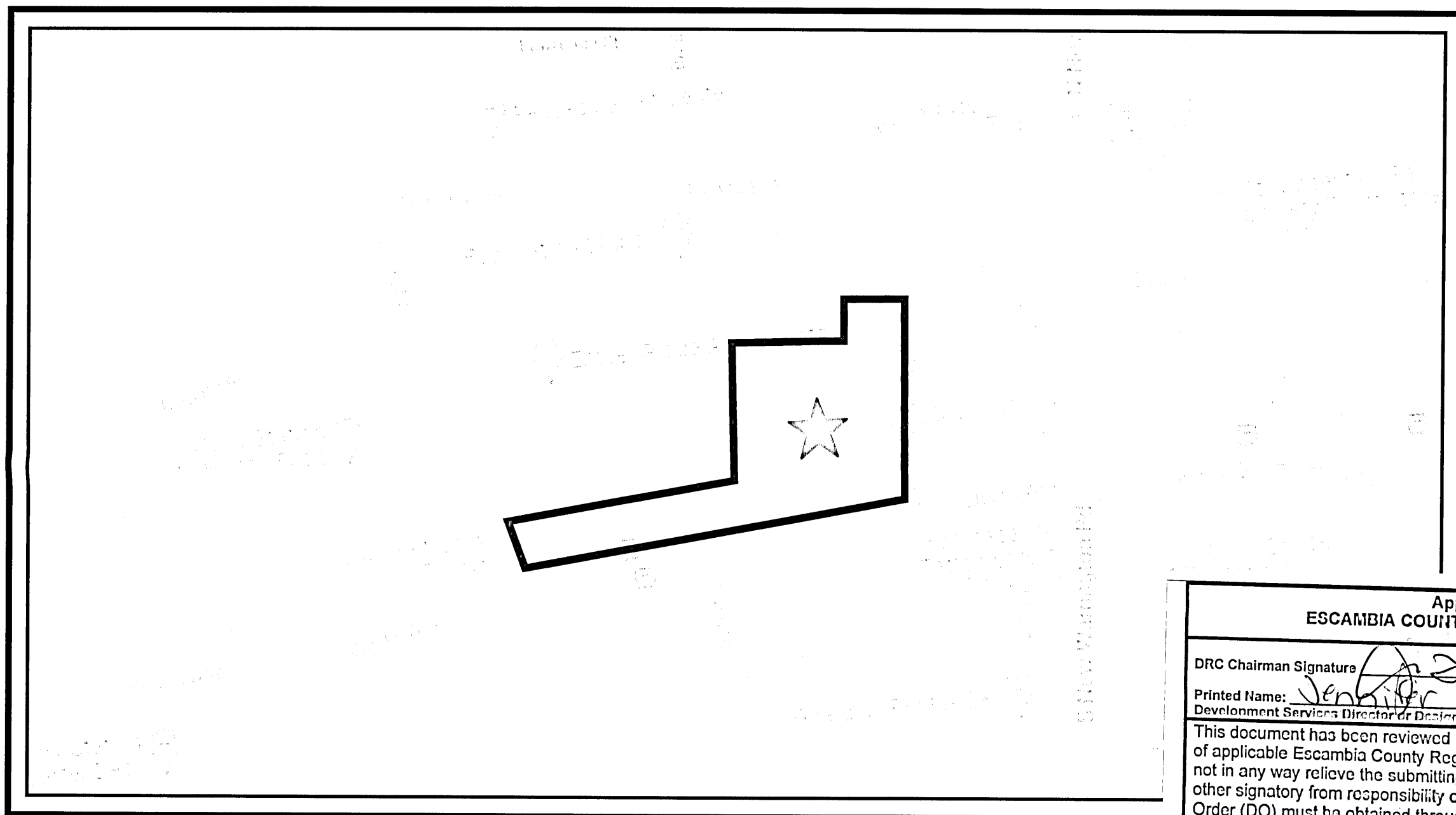
18. THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.

19. CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.

20. A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.

21. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED, BY THE DEVELOPER, PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF PROTECTED TREES TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.



## VICINITY MAP

APPROXIMATE SCALE: 1" ~ 250'

## LEGAL DESCRIPTION:

(AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY)

PARCEL 1:  
BEGIN AT THE SOUTHEAST CORNER OF PARCEL "B", TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 03 DEGREES 56 MINUTES 45 SECONDS EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NEW WARRINGTON ROAD (200' RIGHT OF WAY) FOR A DISTANCE OF 155.20 FEET; THENCE NORTH 86 DEGREES 03 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 300.00 FEET; THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST FOR A DISTANCE OF 208.96 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF THE LOUISVILLE RAILROAD (200' RIGHT OF WAY); THENCE NORTH 83 DEGREES 47 MINUTES 15 SECONDS EAST ALONG SAID RIGHT OF WAY LINE FOR A DISTANCE OF 304.80 FEET TO THE POINT OF BEGINNING.

PARCEL 2:  
BEGIN AT A 6 INCH CONCRETE MONUMENT MARKED "INTERSECTION OF THE EAST BOUNDARY OF CORRY FIELD AND THE NORTH BOUNDARY OF THE FRISCO SYSTEM RIGHT-OF-WAY"; THENCE NORTH 83 DEGREES 47 MINUTES 15 SECONDS EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF THE FRISCO SYSTEM- ALSO BEING THE SOUTH BOUNDARY OF TWIN OAKS VILLAS SUBDIVISION ACCORDING TO PLAT RECORDED IN PLAT BOOK 8, AT PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA- FOR A DISTANCE OF 1,204.75 FEET TO THE WEST RIGHT-OF-WAY LINE OF NEW WARRINGTON ROAD (200 FOOT RIGHT-OF-WAY); THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE FOR 101.59 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID FRISCO SYSTEM; THENCE SOUTH 83 DEGREES 47 MINUTES 15 SECONDS WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE FRISCO SYSTEM- ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF CORRY FIELD ENTRANCE ROAD (60 FOOT RIGHT-OF-WAY)- FOR A DISTANCE OF 1,169.19 FEET TO THE EAST BOUNDARY OF CORRY FIELD; THENCE NORTH 16 DEGREES 17 MINUTES 00 SECONDS WEST ALONG THE EAST BOUNDARY OF SAID CORRY FIELD FOR 101.55 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL 3:  
COMMENCE AT THE SOUTHEAST CORNER OF PARCEL "B", TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 57, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8 AT PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 83 DEGREES 47 MINUTES 15 SECONDS WEST ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE ST. LOUIS AND SAN FRANCISCO RAILROAD (100' R/W) FOR A DISTANCE OF 431.79 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 83°47'15" WEST FOR A DISTANCE OF 126.99 FEET; THENCE NORTH 03°56'45" EAST FOR A DISTANCE OF 331.49 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 125.00 FEET; THENCE SOUTH 03°56'45" WEST FOR A DISTANCE OF 309.08 FEET TO THE POINT OF BEGINNING.

(OFFICIAL RECORDS BOOK 7314 AT PAGE 1374)

PARCEL 4:  
COMMENCE AT THE SOUTHEAST CORNER OF PARCEL B, TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 83°47'15" WEST ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE ST. LOUIS AND SAN FRANCISCO RAILROAD (100 FEET RIGHT OF WAY) FOR A DISTANCE OF 304.80 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 83°47'15" WEST FOR A DISTANCE OF 126.99 FEET; THENCE NORTH 03°56'45" EAST FOR A DISTANCE OF 331.49 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 125.00 FEET; THENCE SOUTH 03°56'45" WEST FOR A DISTANCE OF 309.08 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN INGRESS/EGRESS EASEMENT OVER THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 5:  
COMMENCING AT THE SOUTHEAST CORNER OF PARCEL B TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY, FLORIDA; THENCE NORTH 03°56'45" EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF NEW WARRINGTON ROAD (200 FOOT RIGHT OF WAY) FOR A DISTANCE OF 280.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 03°56'45" EAST ALONG SAID RIGHT OF WAY LINE FOR A DISTANCE OF 30.00 FEET; THENCE NORTH 86°03'15" WEST FOR A DISTANCE OF 320.00 FEET; THENCE SOUTH 03°56'45" WEST FOR A DISTANCE OF 55.00 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 20.00 FEET; THENCE NORTH 03°56'45" EAST FOR A DISTANCE OF 25.00 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING.

## POST OFFICE CONTACT NOTES:

IN ORDER FOR THE USPS TO MAKE CONTACT WITH THE BUILDER EARLY IN THE PROCESS, THEIR CONTACT INFORMATION WOULD BE VERY HELPFUL IF PROVIDED. DELIVERY WILL BEGIN IN THE NEWLY DEVELOPED AREA ONLY UPON APPROVAL FROM THE USPS REPRESENTATIVE AND ONLY TO LOCATIONS AND EQUIPMENT PROVIDED BY THE USPS. STREET DELIVERY WILL BE HELD UNTIL SUCH TIME AS AN APPROVED SITE LOCATION IS AGREED UPON.

CONTACT:  
ANDRA BRIDGES  
GROWTH MANAGEMENT COORDINATOR | GFA DISTRICT | JACKSONVILLE FL 32203-9998  
OFFICE HOURS: MON-FRI 8:00 AM - 17:00 PM  
PHONE: 904-366-4924 FAX: 904-359-2979 EMAIL: ANDRA.R.BRIDGES@USPS.GOV

## UTILITY CONTACTS

GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FL 32520-0316	CONTACT: MR. DON SCHOFIELD PHONE: (850) 444-6555 FAX: (850) 444-6432
COX CABLE 2205 LAVISTA AVE. PENSACOLA, FL 32504	CONTACT: RICHARD EMMONS PHONE: (850) 477-2695 FAX: (850) 479-3912
FOR SEWER: EMERALD COAST UTILITIES AUTHORITY 9500 STURDEVANT STREET 2ND FLOOR PENSACOLA, FL 32514	PHONE: (850) 969-3310
FOR WATER: PEOPLES WATER SERVICE 905 LOWNDE AVE PENSACOLA, FL 32507	PHONE: (850) 455-8552
ENERGY SERVICES GAS 1625 ATWOOD DR. PENSACOLA, FL 32504	CONTACT: JOHN DeMARS PHONE: (850) 474-5322 FAX: (850) 474-5330
BELLSOUTH 605 W. GARDEN ST. PENSACOLA, FL 32501	CONTACT: SHARON BLACKMAN PHONE: (850) 436-1662
SPRINT	PHONE: (850) 599-1582
MCi	PHONE: 1-800-624-9675
AT&T	PHONE: 1-800-252-1133
SUNSHINE UTILITIES (ONE CALL)	PHONE: 1-800-432-4770

The parcel shown for development is located within the following flood zone(s) as detailed by FEMA FIRM (Flood Insurance Rate Map) information described below:

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	12033	12033C	0370	G	9/29/2006

If site lies within more than one flood zone, please delineate & label each zone & include information in legend. Include all FEMA Panel #'s parcel falls within.

## WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

## SCHEDULE OF DRAWINGS

- C0 ~ TITLE PAGE
- C1 ~ EXISTING CONDITION/DEMO PLAN
- C1.1- LOCATIONAL CRITERIA MAP
- C1.2-WELL HEAD PROTECTION MAP
- C2 ~ DIMENSION PLAN
- C3 ~ GRADING PLAN
- C4 ~ UTILITY PLAN
- C5 ~ LANDSCAPE PLAN

NO.	DATE	REVISIONS
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS

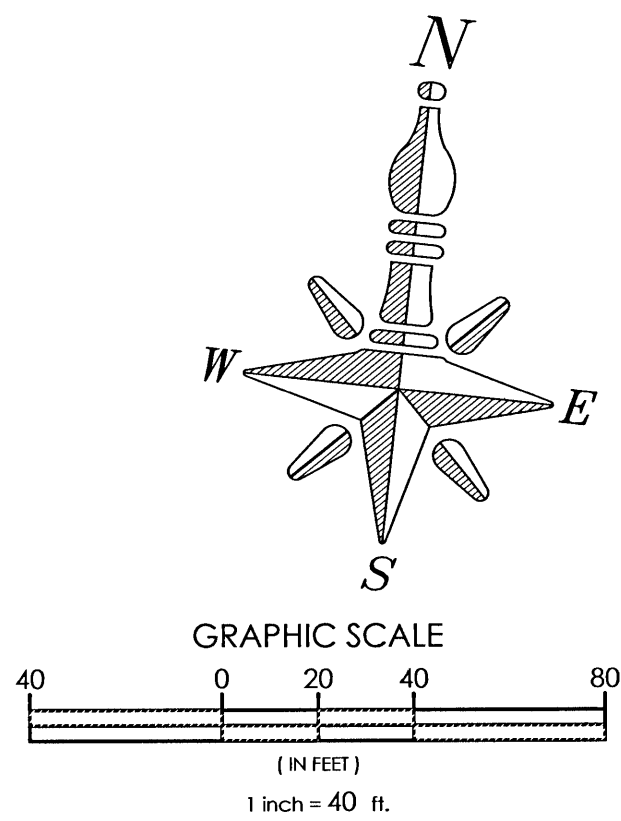


GARY S. BISHOP, P.E.  
CONSULTING ENGINEERING  
6010 JAMESON CIRCLE PACE, FL 32571  
PHONE: (850) 712-7618  
E-MAIL: gsbishop@anooc.com & gsbishop.engineering@gmail.com

WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

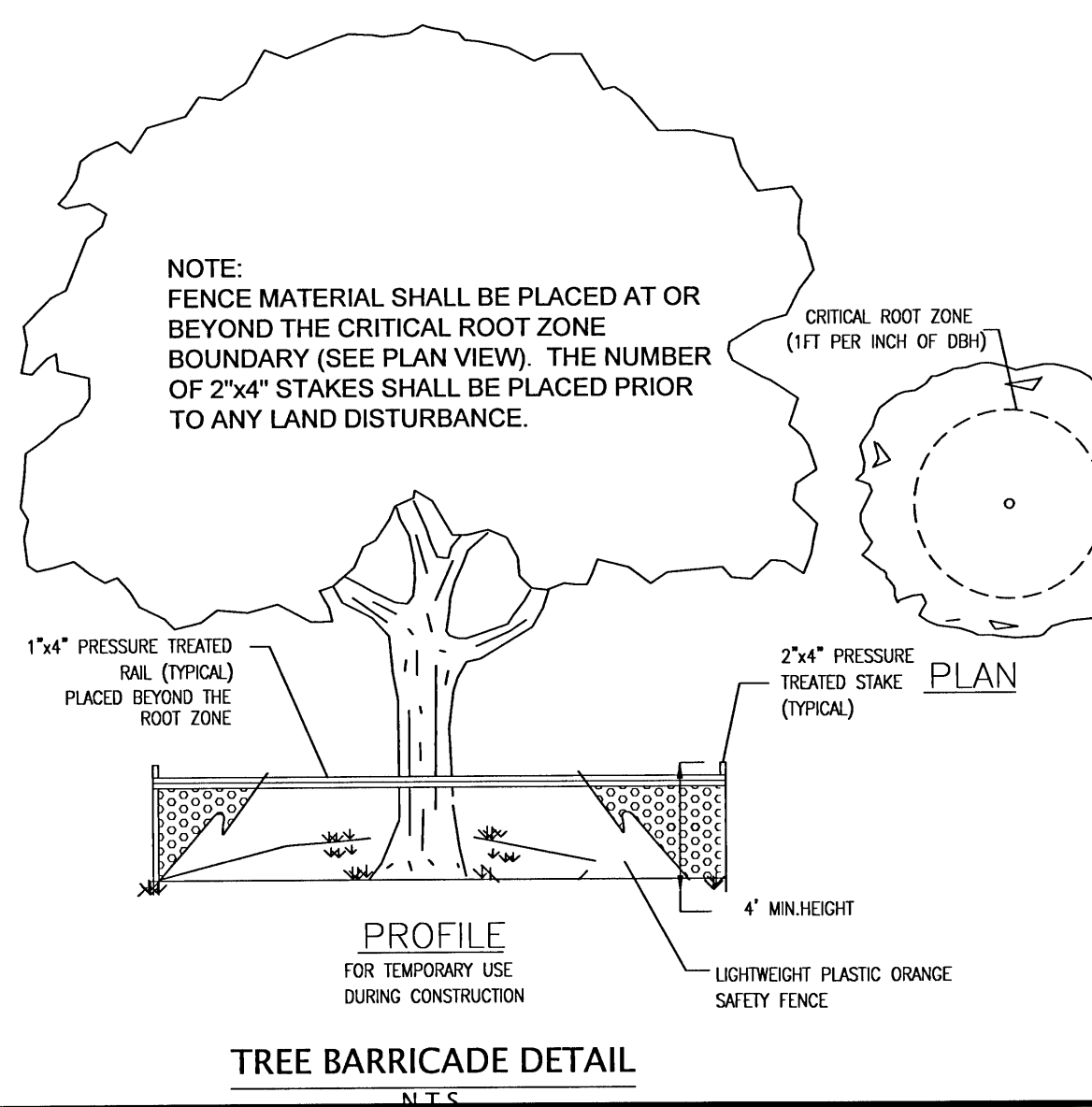
DRAWN BY: GSB	PROJECT NO:
CHECKED BY: GSB	FILE NO: 2020 WOODSPRINGS.SITE
SEPTEMBER 2021	SHEET NO: C0
SCALE: AS NOTED	





#### GENERAL NOTES:

1. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
5. ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
6. THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
8. ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
10. ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
11. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
12. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
14. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.



#### SURVEYOR NOTES:

1. NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE DEED BEARING OF N 83°47'15" E ALONG THE SOUTHERLY LINE OF PARCEL 'B' BETWEEN 6"x6" CONCRETE MONUMENT FOUND MARKED INTERSECTION OF THE EAST BOUNDARY OF CORRY FIELD AND THE NORTH BOUNDARY OF THE FRISCO SYSTEM RIGHT-OF-WAY AND A 4"x4" CONCRETE MONUMENT FOUND MARKED WITH SURVEYOR NO. 1872 OFFSET S 83°47'15" W FOR A DISTANCE OF 0.37' FROM THE SE CORNER OF PARCEL "B" AS SHOWN ON A COPY OF THE PLAT OF TWIN OAKS VILLAS, AS RECORDED IN PLAT BOOK 8, AT PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. A COPY OF TAX MAP SHEET NO. 183, COPYRIGHTED, OWNED AND REVISED BY R.D. HINSON, A PREVIOUS SURVEY OF THE SUBJECT PROPERTY BY LANDS END SURVEYING, INC. ORDER NO. 29-10, DATED 2-21-2010; A PREVIOUS SURVEY OF THE ADJUTING PROPERTY TO THE NORTH OF PARCEL 1 BY SCHUMER'S PROFESSIONAL SURVEYING, INC., JOB NO. 96F-176, DATED 5-6-96; DEEDS OF RECORD, AND EXISTING FIELD MONUMENTATION.
2. ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) VERTICAL CONTROL NETWORK BENCH MARK NUMBER 48-11-F01V HAVING A PUBLISHED ELEVATION OF 29.16 FEET.
3. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
4. VISIBLE UTILITIES WITHIN THE TOPOGRAPHIC LIMITS ARE AS SHOWN HEREON.
5. STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
6. VISIBLE IMPROVEMENTS WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON.
7. IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C0370G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
8. GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
9. A TITLE COMMITMENT WAS FURNISHED AND USED IN PREPARING THIS SURVEY, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FOR PARCELS 1, 2, AND 3, FUND FILE NUMBER 253113, AGENT'S FILE REFERENCE 15-00818.RC WITH AN EFFECTIVE DATE OF NOVEMBER 18, 2015, AT 11:00 P.M.
10. IT IS THE OPINION OF THE UNDERSIGNED PROFESSIONAL SURVEYOR & MAPPER THAT THE DESCRIPTION OF PARCEL 3 AS PROVIDED IN THE TITLE COMMITMENT BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY (FUND FILE NUMBER 253113) AND AS RECORDED IN OFFICIAL RECORD BOOK 7148, AT PAGE 1304 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA HAS MULTIPLE APPARENT ERRORS RESULTING IN A DEED CLOSURE BELOW THE ACCEPTABLE TOLERANCES OF THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. IT IS ALSO THE OPINION OF THE UNDERSIGNED THAT THE DESCRIPTION OF SAID PARCEL 3 AS SHOWN ON A PREVIOUS SURVEY BY LANDS END SURVEYING, INC. (AS REFERENCED IN THE TITLE COMMITMENT PROVIDED) AS RECORDED IN OFFICIAL RECORD BOOK 2239, AT PAGE 718 OF THE PUBLIC RECORDS OF THE AFORESAID COUNTY BE CONSIDERED AS A REPLACEMENT TO MORE ACCURATELY DESCRIBE SAID PARCEL 3.
11. PARCELS 1, 2, AND 3 AS SHOWN HEREON WERE PREVIOUSLY SURVEYED BY THIS FIRM IN JANUARY OF 2016 (RBA PROJECT NUMBER 2015.238) AND NOT RESURVEYED IN 2017. PARCELS 1 AND 2 WERE SURVEYED BY THIS FIRM IN JULY OF 2017 (RBA PROJECT NUMBER 2017.126). THE SURVEY AS SHOWN HEREON IS A COMPILED OF BOTH SURVEYS BY RBA AS REQUESTED BY THE CLIENT FOR PLANNING AND DESIGN PURPOSES.
12. THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.

#### TREE INVENTORY

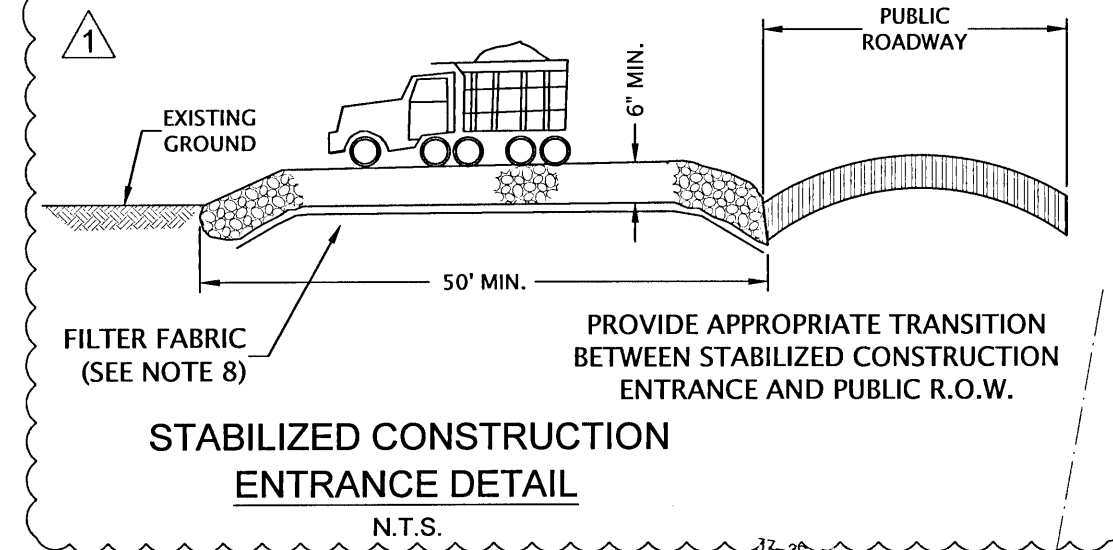
Tree #	Size	Type	Remove/Protect
T-1	7"	BIRCH	REMOVE (NP)
T-2	11"	LAU OAK	PROTECT (NP)
T-3	10"	LIVE OAK	PROTECT (NP)
T-5	11"	LIVE OAK	PROTECT (NP)
T-6	25"	LIVE OAK	PROTECT
T-9	14"	LIVE OAK	PROTECT
T-10	42"	LIVE OAK	PROTECT
T-11	11"	LIVE OAK	REMOVE (NP)
T-12	12"	LAU OAK	PROTECT (NP)
T-13	11"	BIRCH	PROTECT
T-14	9"	CEDAR	REMOVE (NP)
T-15	10"	CEDAR	REMOVE (NP)
T-16	10"	CEDAR	PROTECT (NP)
T-17	12"	CEDAR	PROTECT (P)
T-18	7"	LAU OAK	REMOVE (NP)
T-19	11"	LAU OAK	PROTECT (NP)
T-20	12"	LAU OAK	REMOVE
T-21	12"	LAU OAK	REMOVE
T-22	12"	LAU OAK	PROTECT (NP)
T-25	12"	LAU OAK	PROTECT
T-26	13"	LAU OAK	PROTECT
T-27	14"	LAU OAK	REMOVE
T-28	14"	LAU OAK	PROTECT
T-32	15"	LAU OAK	REMOVE
T-40	18"	LAU OAK	PROTECT
T-45	31"	LAU OAK	REMOVE
T-51	13"	LIVE OAK	PROTECT
T-52	13"	LIVE OAK	PROTECT
T-54	14"	LIVE OAK	PROTECT
T-56	14"	LIVE OAK	REMOVE
T-59	18"	LIVE OAK	PROTECT
T-63	24"	LIVE OAK	PROTECT
T-66	15"	MAG	REMOVE
T-84	17"	PALM	REMOVE (NP)
T-85	17"	PALM	REMOVE (NP)
T-87	24"	PALM	PROTECT
T-101	N/A	C MYRTLE	PROTECT (NP)
T-102	N/A	C MYRTLE	PROTECT (NP)
T-103	N/A	C MYRTLE	PROTECT (NP)
T-104	N/A	C MYRTLE	PROTECT (NP)
T-105	N/A	C MYRTLE	REMOVE (NP)
T-106	N/A	C MYRTLE	REMOVE (NP)
T-107	N/A	C MYRTLE	REMOVE (NP)
T-108	N/A	C MYRTLE	REMOVE (NP)
T-109	N/A	C MYRTLE	PROTECT (NP)
T-111	N/A	C MYRTLE	PROTECT (NP)
T-112	N/A	C MYRTLE	PROTECT (NP)

#### TREE TABLE NOTES:

- PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE IF REQUIRED SEE DETAIL
- PROTECT (NP): INDICATES TREE CONSIDERED NOT PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE IF REQUIRED SEE DETAIL
- REMOVE (P): INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & REQUIRES MITIGATION.
- REMOVE (NP): INDICATES TREE NOT CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & DOES NOT REQUIRE MITIGATION.
- MITIGATION REQUIREMENTS:**  
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 125"  
REPLACEMENT RATIO 50% OF INCHES = 125"x0.5=62.5" (63")
- PER ESCAMBIA COUNTY LDC SECTION 2.5.2(c) MITIGATION PLANTINGS:  
LIMITED TO 25" PER DEVELOPED ACRE
- TOTAL DEVELOPMENT AREA 2.92 AC:  
2.92x25"=73" MITIGATION REQ'D
- PLANTING OPTIONS:**  
2.5" TREES = 63" / 2.5" = 25.2 (26) MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER

#### TREE PROTECTION NOTE:

ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

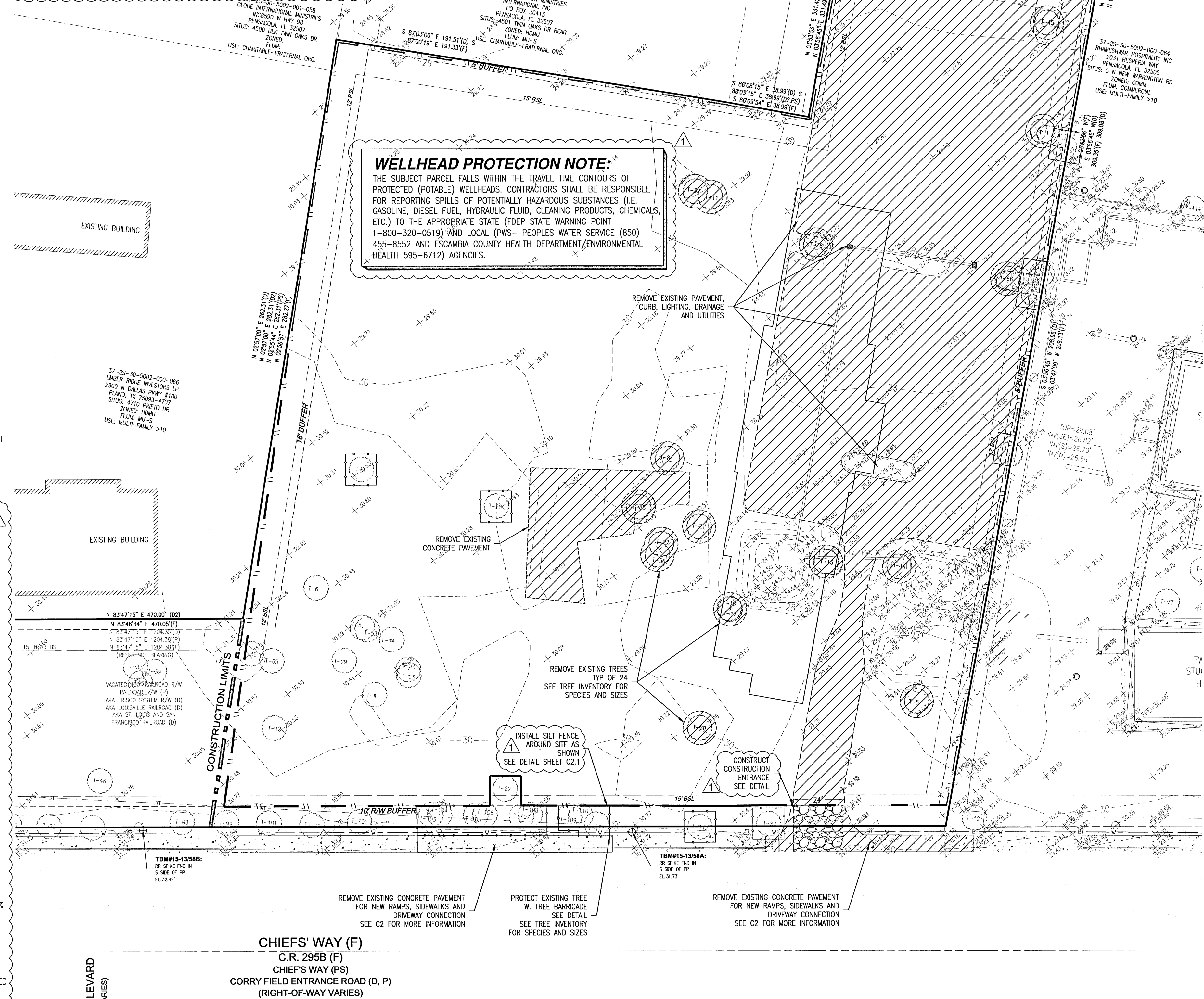


#### FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0370G, MAP REVISION DATED SEPTEMBER 29, 2006.

#### WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS-PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



#### CHIEFS' WAY (F)

C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORRY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF PROTECTED TREES TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

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WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: CSL  
DESIGNED BY: GSB  
CHECKED BY: GSB  
SEPTEMBER 2021  
SCALE: AS NOTED

PROJECT NO:  
FILE NO: 2020 WOODSPRINGS-SITE  
SHEET NO: C1



NO.	DATE	REVISIONS
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS

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#### EXISTING CONDITION/DEMO PLAN



# WOODSPRING SUITES

210 CHIEFS WAY

ESCAMBIA COUNTY, PENSACOLA, FLORIDA

PROPERTY ID #37-2S-30-5002-000-057 & 37-2S-30-5002-000-067

OWNER:

VANSHI LLC

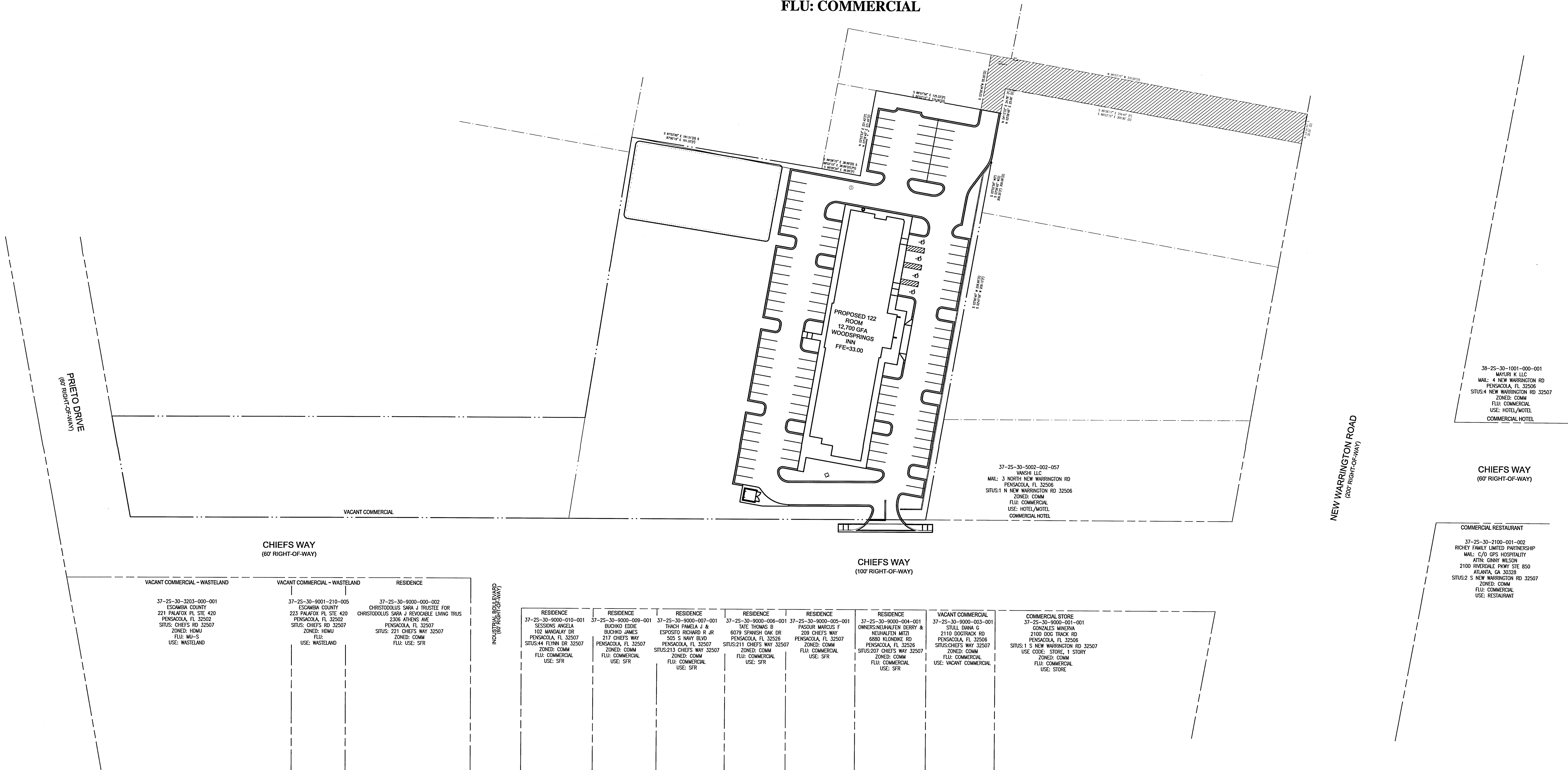
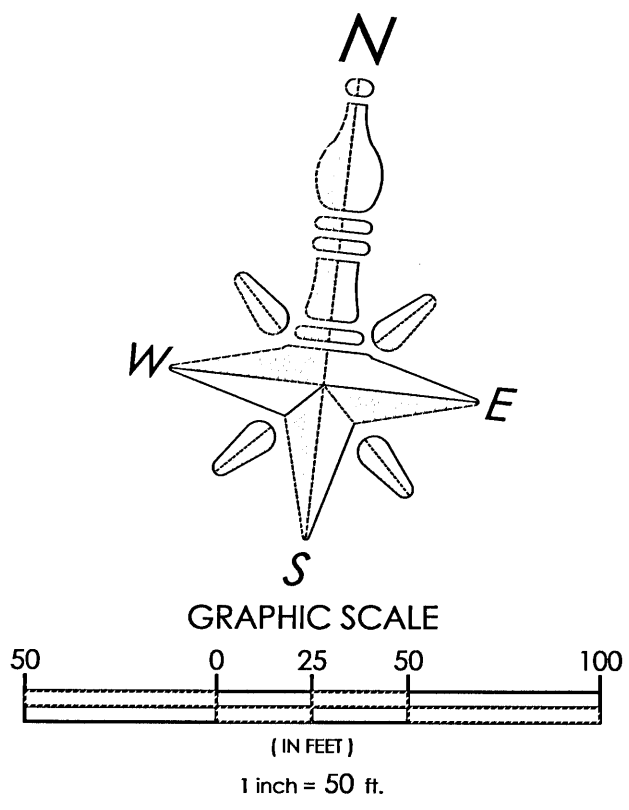
3 N NEW WARRINGTON ROAD

PENSACOLA, FL 32506

EMAIL: gsbishop.engineering@gmail.com

ZONED: COMM

FLU: COMMERCIAL



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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: CSL  
DESIGNED BY: GSB  
CHECKED BY: GSB  
DATE: SEPTEMBER 2021  
SCALE: AS NOTED

PROJECT NO:  
FILE NO: 2020 WOODSPRINGS\_SITE  
SHEET NO: C1.1

LOCATIONAL CRITERIA MAP

Restaurants Hotels Attractions Transit Parking Pharmacies ATMs

7 YEAR WELL HEAD  
PROTECTION ZONE

20 YEAR WELL HEAD  
PROTECTION ZONE

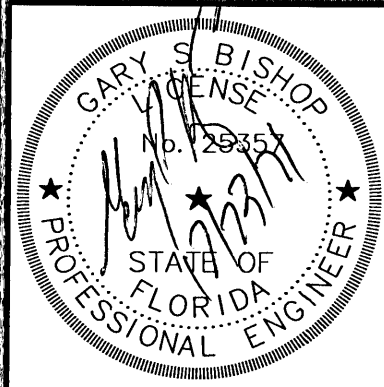
PROPOSED  
PROJECT  
LOCATION

20 YEAR WELL HEAD  
PROTECTION ZONE

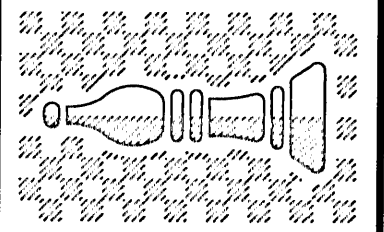
7 YEAR WELL HEAD  
PROTECTION ZONE

20 YEAR WELL HEAD  
PROTECTION ZONE

7 YEAR WELL HEAD  
PROTECTION ZONE



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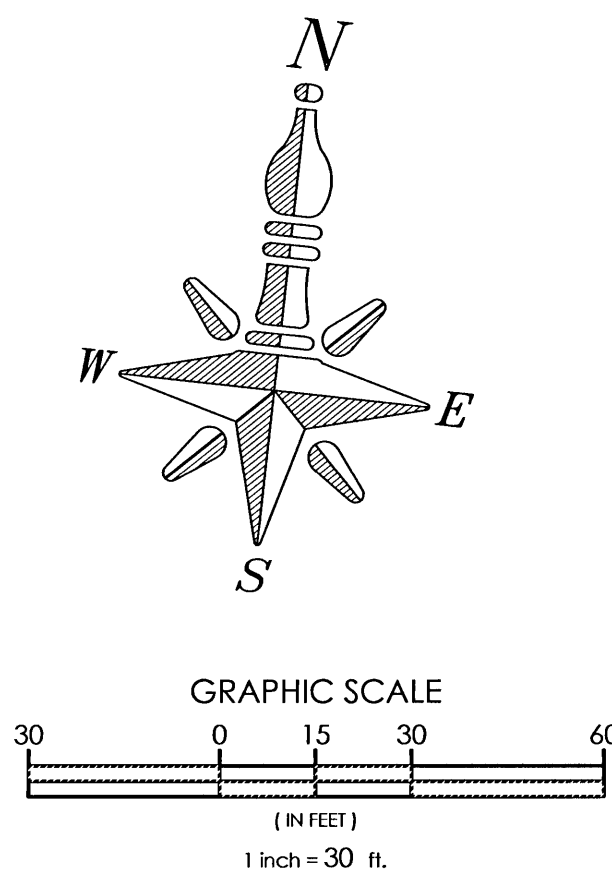
WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: CSL	PROJECT NO:
DESIGNED BY: GSB	FILE NO: 2020 WOODSPRINGS_SITE
CHECKED BY: GSB	SHEET NO: C1.1
DATE: DECEMBER 22, 2021	
SCALE: AS NOTED	

NO.	DATE	REVISIONS
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS

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CONSTRUCTION NOTES:

1. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE GOVERNING AUTHORITY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

3. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.

4. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE GOVERNING AUTHORITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS.

5. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W, 811.

6. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

7. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL SIGN OFF FROM THE GOVERNING AUTHORITY.

EXTERIOR LIGHTING NOTES:

1. EXTERIOR LIGHTING IN AND AROUND BUILDINGS AND IN PARKING LOTS IS PERMITTED IN ALL DISTRICTS. LIGHTING IS TO BE LOCATED FOR SAFETY AND VISUAL EFFECT. WITH THE EXCEPTION OF STREET LIGHTS, IT SHALL BE INSTALLED SO AS TO NOT SHINE DIRECTLY ON ADJACENT PROPERTY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE.

2. ILLUMINATIONS: IN THE CASE OF EXTERNAL LIGHTING SUCH AS FLOODLIGHTS, THIN LINE AND GOOSE NECK REFLECTORS, THESE ARE PERMITTED, PROVIDED THAT THE LIGHT SOURCE IS DIRECTED ON THE FACE OF THE SIGN AND IS EFFECTIVELY SHIELDED SO AS TO PREVENT BEAMS OR RAYS OF LIGHT FROM BEING DIRECTED ONTO ANY PORTION OF ANY RIGHT-OF-WAY. INTERNALLY LIT SIGNS ARE PERMITTED. ALL SIGNS SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE ELECTRICAL AND BUILDING CODES AND MUST BE LISTED AND INSTALLED IN CONFORMANCE WITH THAT LISTING.

3. PHOTOMETRIC PLAN REQUIRED PRIOR TO ISSUANCE OF ELECTRICAL PERMIT.

4. ALL LIGHTING SHALL BE PLACED IN A MANNER AS TO NOT INTERFERE WITH THE GROWTH OF LANDSCAPE TREES.

PARKING CALCULATION:

1 PER GUEST ROOM OR  
1 PER BEDROOM IF SUITES  
PLUS 50 PERCENT FOR RESTAURANTS, MEETING  
ROOMS AND OTHER ASSOCIATED USES

122 ROOMS PROPOSED

TOTAL PARKING REQUIRED: 124 SPACES

TOTAL PROVIDED: 111 SPACES  
107 STANDARD SPACES  
4 HANDICAPPED SPACES

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT  
ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER  
17355, SHEET 3 OF 8, FTP-25 SIGN.

NOTE: REGULAR PARKING SPACES ARE 9' X 18'.  
HANDICAPPED PARKING SPACES ARE 12' X 18'  
WITH A 5' AISLE.

NOTE: NON-HANDICAP PARKING SPACES LINES  
ARE TO BE WHITE.

LAND CLEARING NOTE:

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY  
OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE  
APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

BUILDING SETBACK REQUIREMENTS

LOCATION	REQUIREMENT
FRONT	20
REAR	15
SIDES	15

BENCHMARK DATA:

TBM#15-13/58B: RR SPIKE FOUND IN S SIDE OF PP EL: 32.49'	
TBM#15-13/58A: RR SPIKE FOUND IN S SIDE OF PP EL: 31.73'	

TOTAL SITE AREAS ~PRE-DEVELOPMENT

TOTAL CONSTRUCTION LIMITS (SF):	135,921		
TOTAL CONSTRUCTION LIMITS (AC):	3.12		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	37,070	27.3	0.851
EXISTING BUILDINGS	0		0.000
EXISTING GRAVEL AREA	0		0.000
EXISTING ASPHALT / CONCRETE AREA	37,070		0.851
TOTAL PERVIOUS /LANDSCAPE AREA	98,851	72.7	2.269

TOTAL SITE AREAS ~ POST-DEVELOPMENT

TOTAL SITE ACREAGE (SF):	135,921		
TOTAL SITE ACREAGE (AC):	3.12		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	84,103	61.9	1.931
BUILDING AREA	12,700		0.292
GRAVEL AREA	0		0.000
ASPHALT / CONCRETE AREA	71,403		1.639
LANDSCAPED AREA	40,464	29.8	0.929
POND AREA	11,349	8.3	0.261
TOTAL PERVIOUS AREA	51,813	38.1	1.169

BUILDING SETBACK REQUIREMENTS

LOCATION	REQUIREMENT
FRONT	20
REAR	15
SIDES	15

BENCHMARK DATA:

TBM#15-13/58B: RR SPIKE FOUND IN S SIDE OF PP EL: 32.49'	
TBM#15-13/58A: RR SPIKE FOUND IN S SIDE OF PP EL: 31.73'	

INDUSTRIAL BOULEVARD  
(RIGHT-OF-WAY VARIES)

CHIEFS' WAY (F)  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF  
PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE  
FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E.  
GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS,  
ETC.) TO THE APPROPRIATE STATE (DEP STATE WARNING POINT  
1-800-320-0519) AND LOCAL (PWS - PEOPLES WATER SERVICE (850)  
455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL  
HEALTH 595-6712) AGENCIES.

RETAINING WALL NOTES: ALL  
RETAINING WALLS TO BE OVER 2 FEET  
TALL SHALL REQUIRE BUILDING PERMIT  
APPROVAL PRIOR TO CONSTRUCTION.

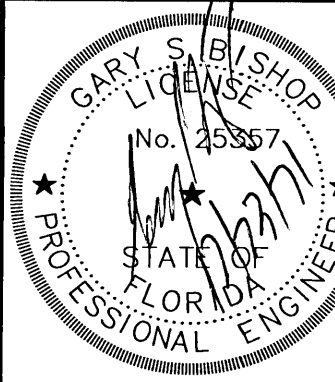
R/W NOTES: CONTRACTOR SHALL  
NOTIFY FDOT & COUNTY PRIOR TO ANY  
WORK IN THE STATE R/W.

A UTILITY PERMIT FROM THE ESCAMBIA  
COUNTY ROAD AND BRIDGE DEPT WILL  
BE REQUIRED FOR OFFSITE WORK  
WITHIN THE PUBLIC RIGHT OF WAY.

DIMENSION PLAN

WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

GARY S. BISHOP, P.E.  
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gsbishop.engineering@gmail.com



REVISIONS

NO. DATE

1 12-15-2021

RESPOND TO COUNTY REVIEW COMMENTS

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DRAWN BY: CSB

DESIGNED BY: GSB

CHECKED BY: GSB

SEPTEMBER 2021

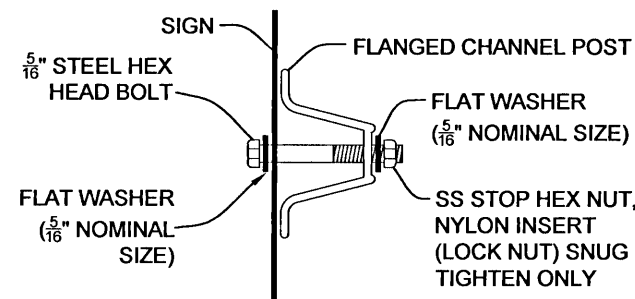
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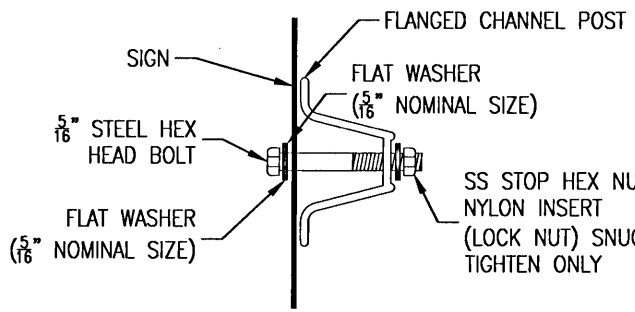
FILE NO: 2020 WOODSPRINGS SITE

SHEET NO: C2

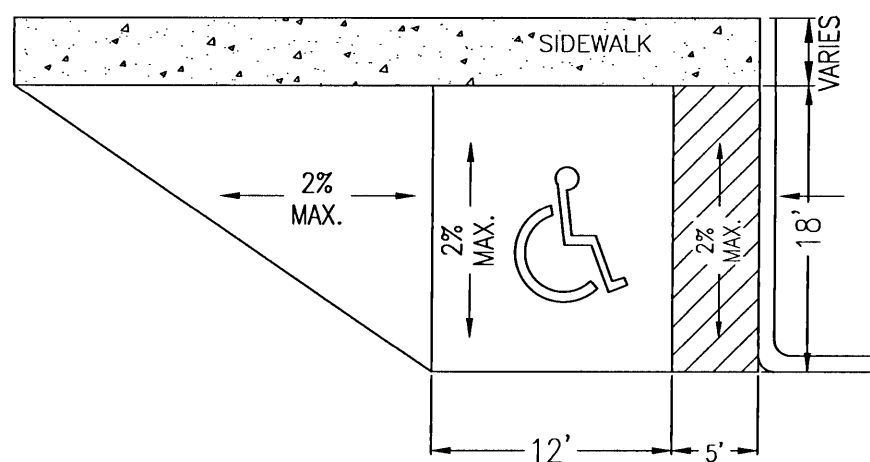




SIGN MOUNTING DETAIL  
NTS



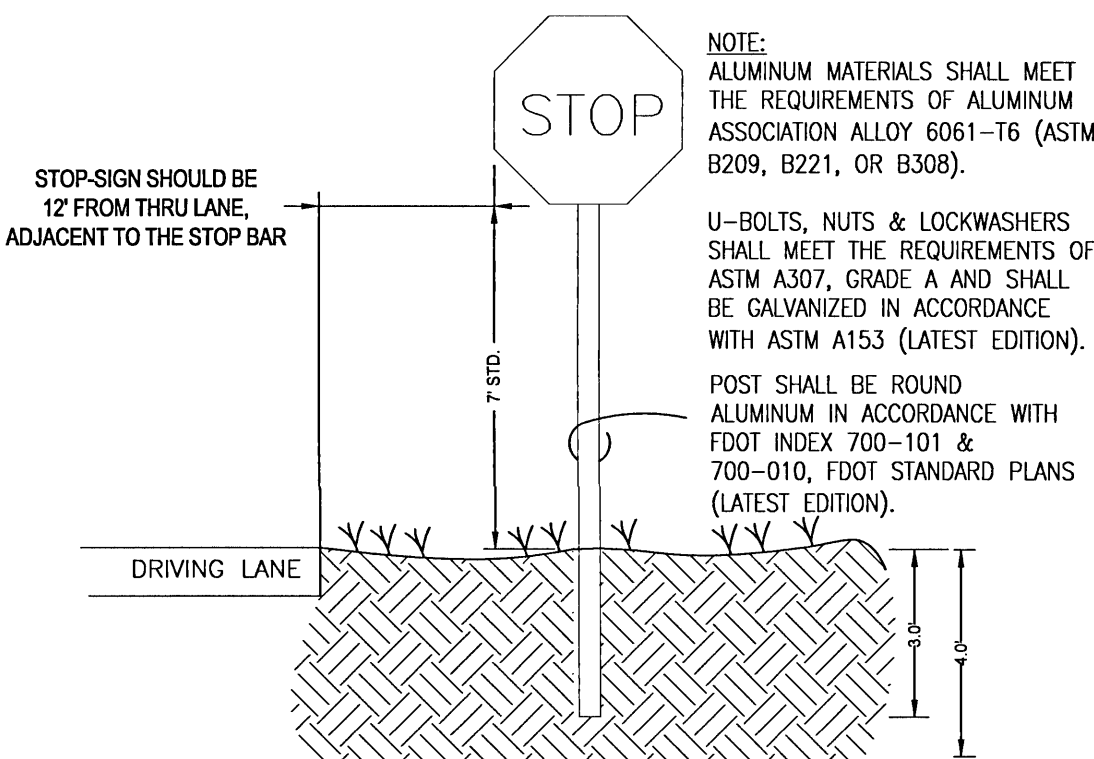
SIGN MOUNTING DETAIL  
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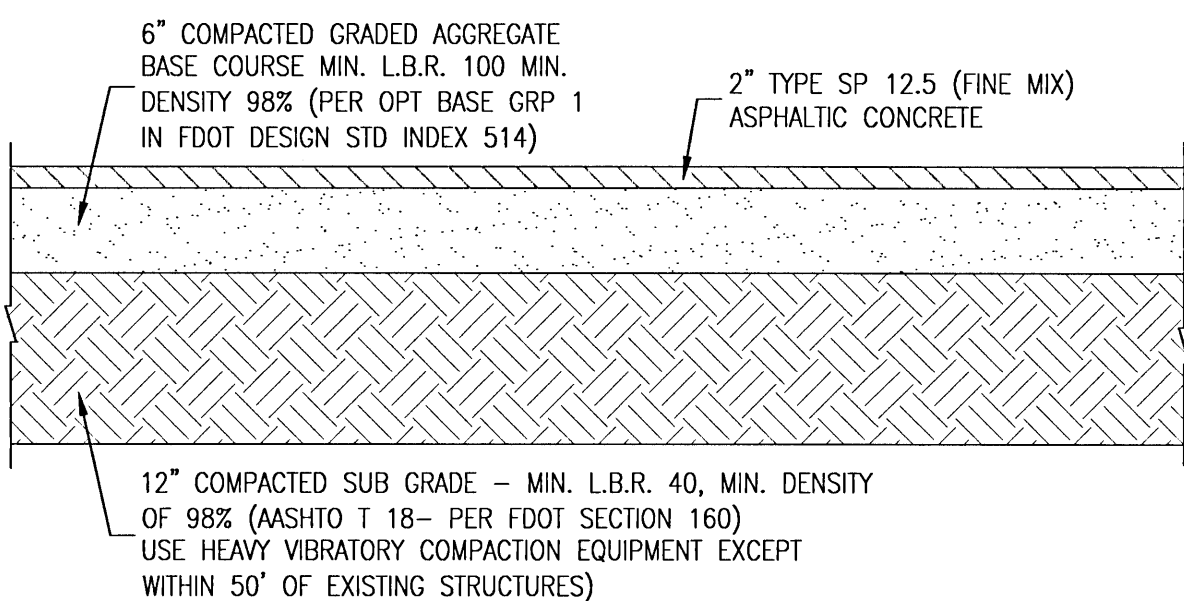
PLAN VIEW OF HANDICAP SPACE  
WITH SLOPES & STRIPING  
NTS



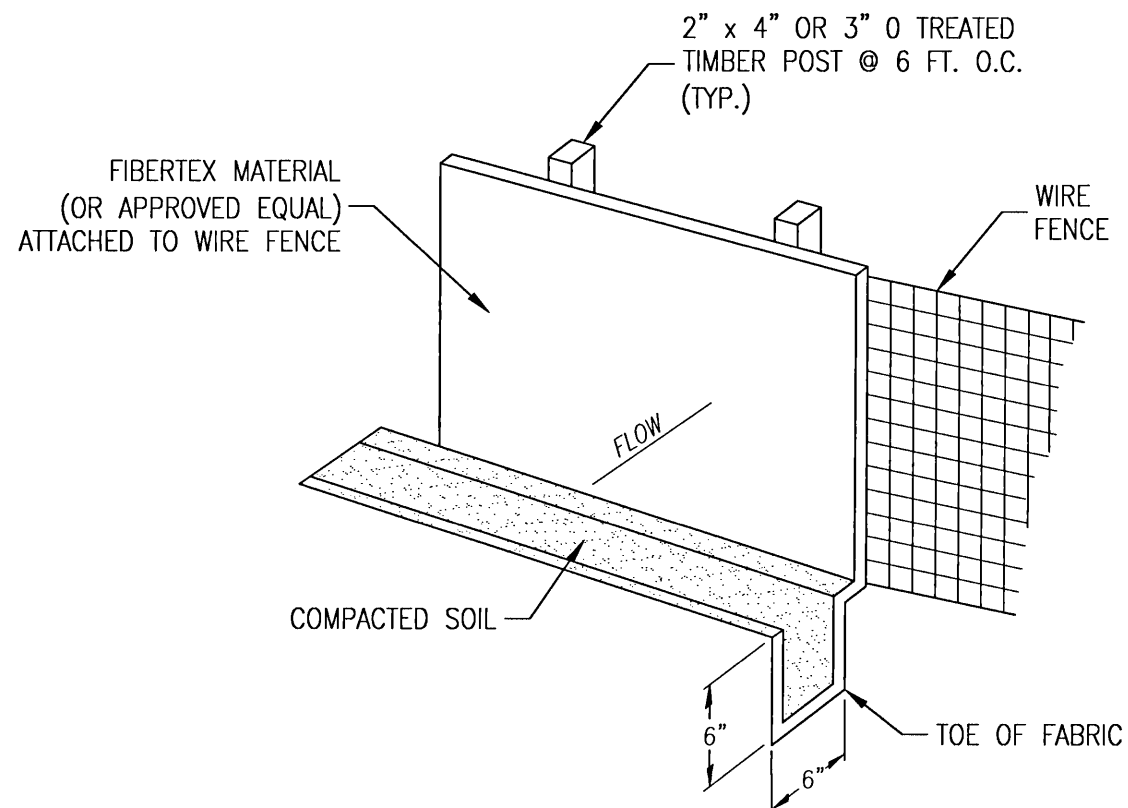
R1-1  
NTS.  
30" X 30"



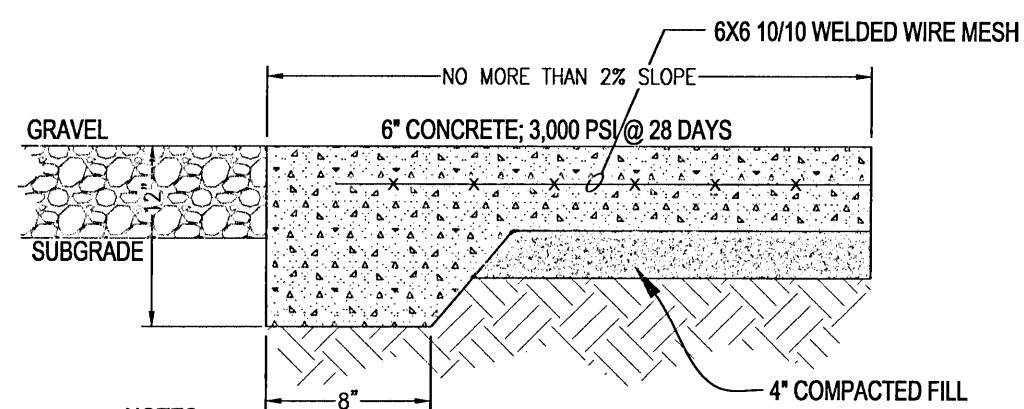
STOP SIGN DETAIL  
NTS



ASPHALT PAVEMENT DETAIL  
NTS.

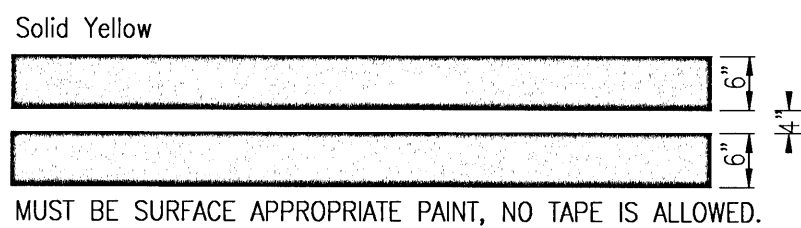


SILT FENCE DETAIL  
NTS.

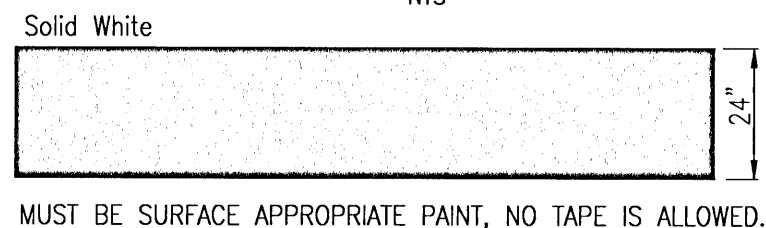


NOTES:  
1. CONTROL JOINTS - SAW JOINT @ 1 1/2" DEEP ON A 5X5' OR SMALLER GRID PATTERN  
2. CONTROL JOINTS TO BE CUT AS SOON AS POSSIBLE AFTER POURING CONCRETE BUT NOT TO EXCEED 24 HOURS  
3. CONTRACTOR SHALL COMPACT BASE AND SUBBASE TO MIN. 98% STANDARD PROCTOR

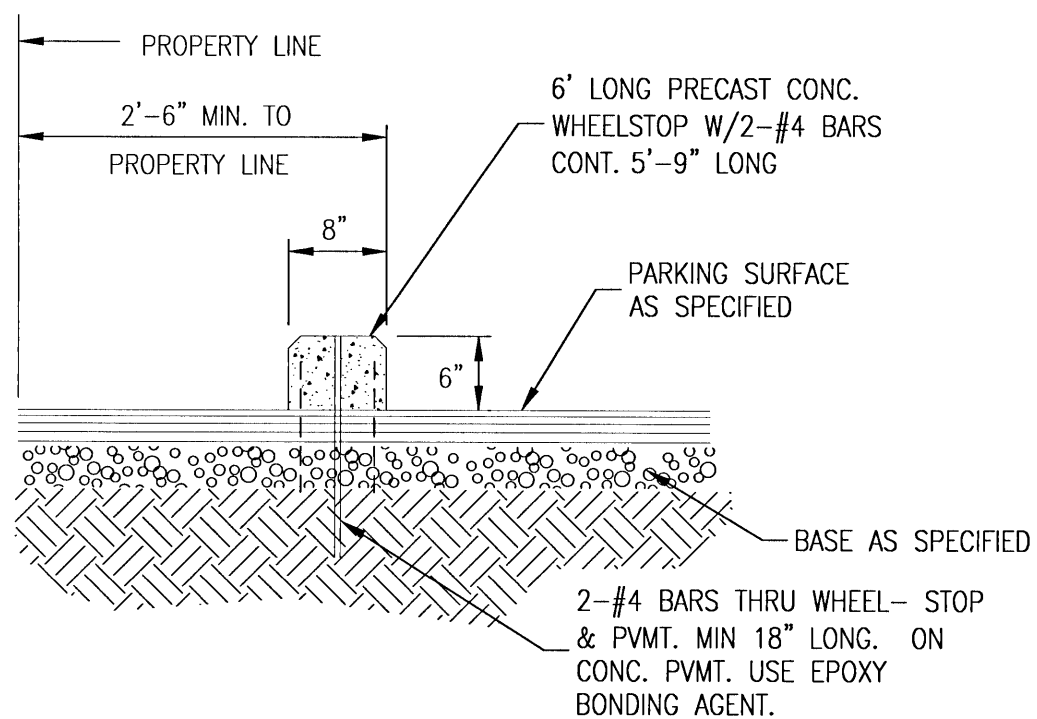
CONCRETE SIDEWALK / PAD DETAIL  
NTS.



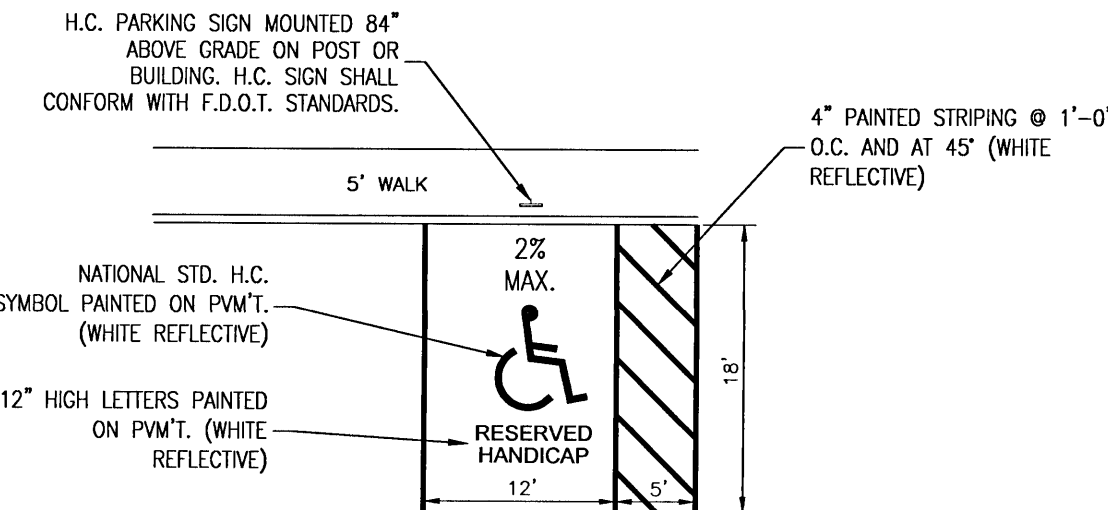
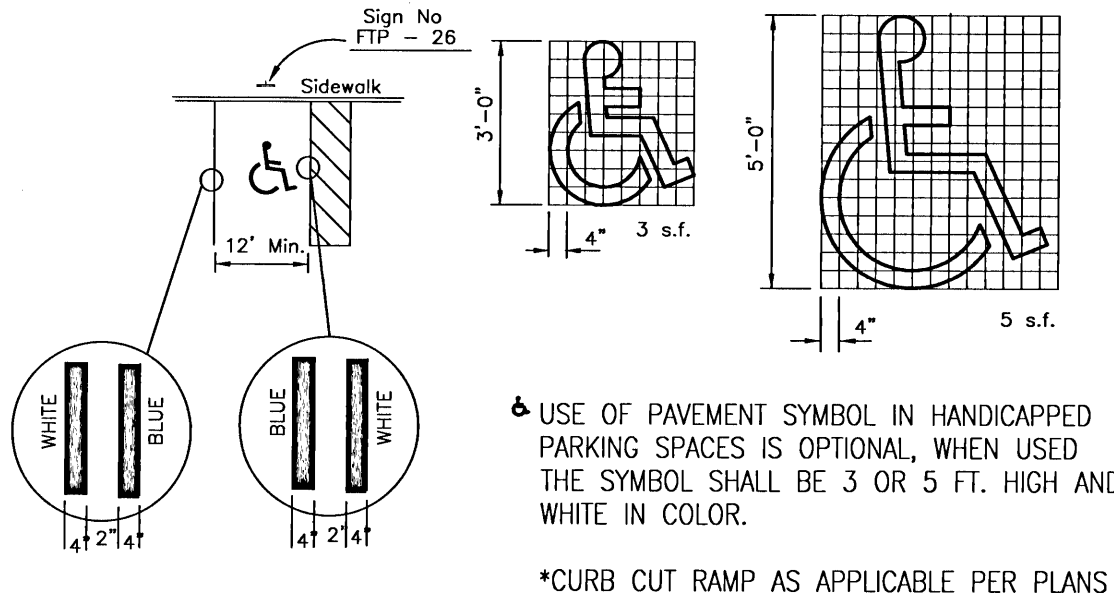
LANE STRIPING DETAIL  
NTS



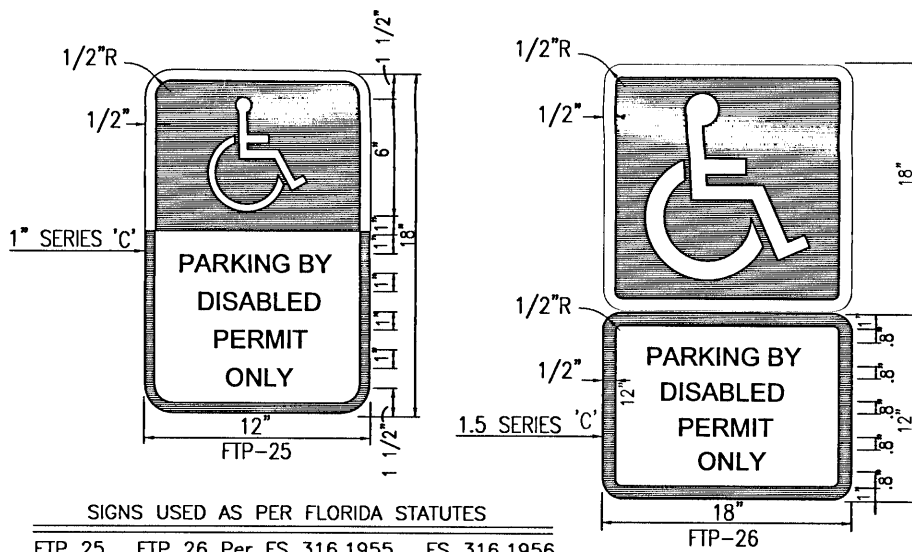
LANE STOP BAR DETAIL  
NTS



CONCRETE WHEELSTOP/BUMPER BLOCK DETAIL  
NTS



HANDICAPPED PARKING & PAVEMENT DETAIL  
NTS

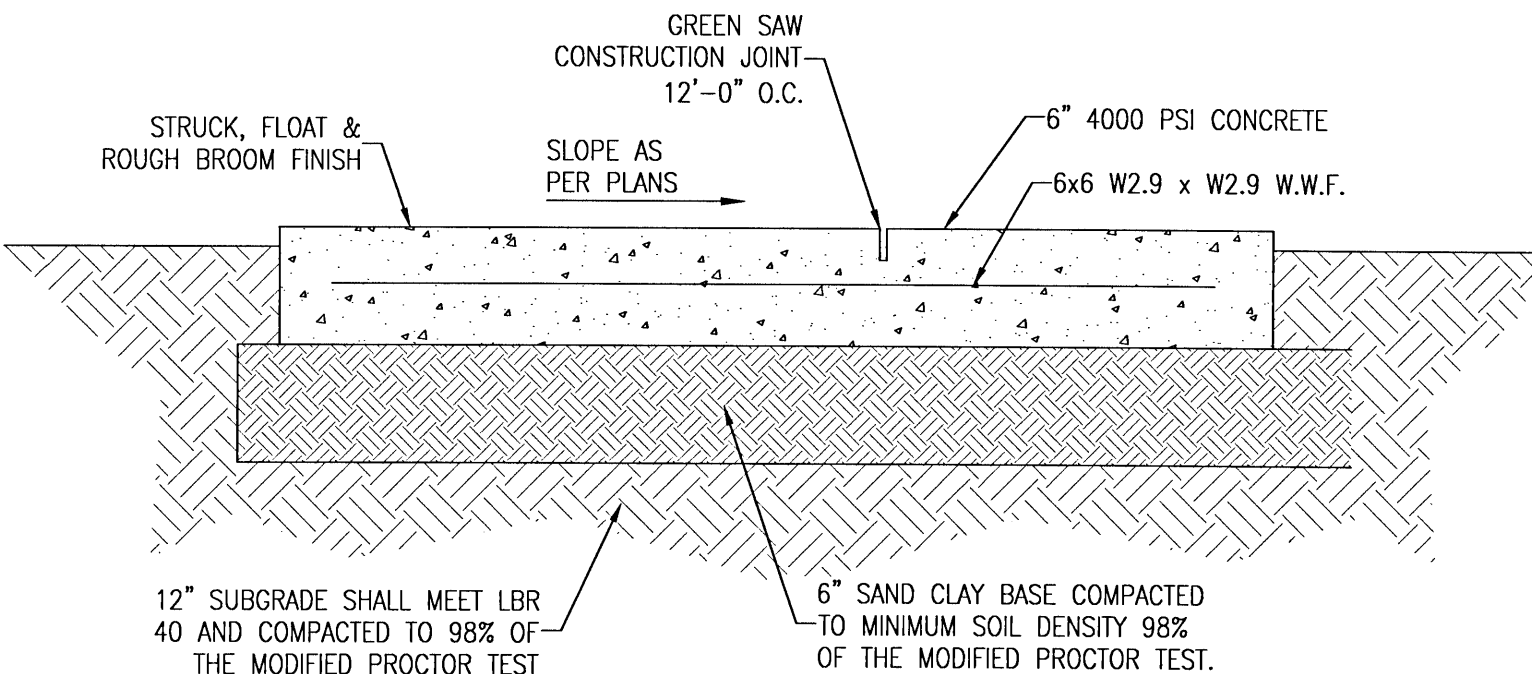


SIGNS USED AS PER FLORIDA STATUTES  
FTP 25, FTP 26 Per FS 316.1955, FS 316.1956

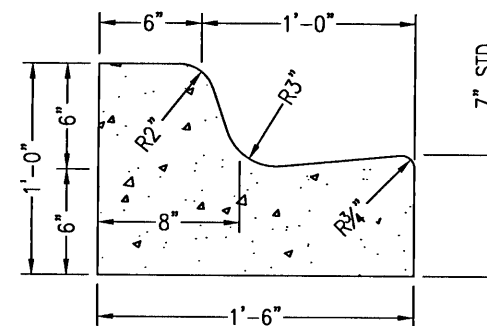


NOTES:  
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER  
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER  
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO  
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED  
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT, (7' FROM PAVEMENT TO BOTTOM OF SIGN).

HANDICAPPED PARKING SIGN DETAIL  
NTS

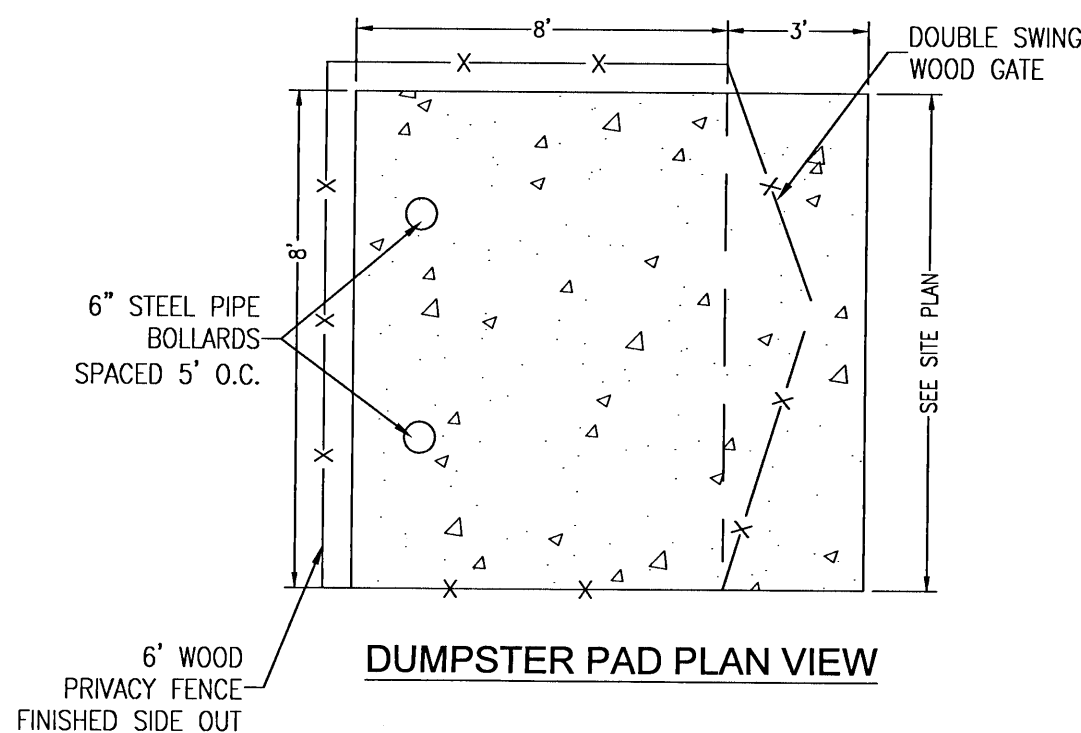


CONCRETE PAVEMENT DETAIL  
NTS.

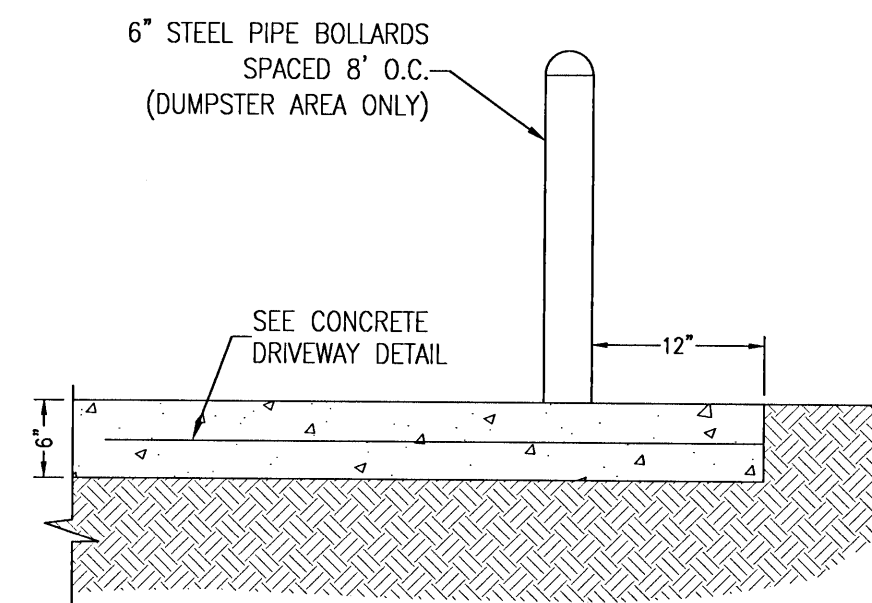


NOTES:  
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.  
2. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".  
3. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

MODIFIED TYPE 'F' CURB & GUTTER  
NTS.

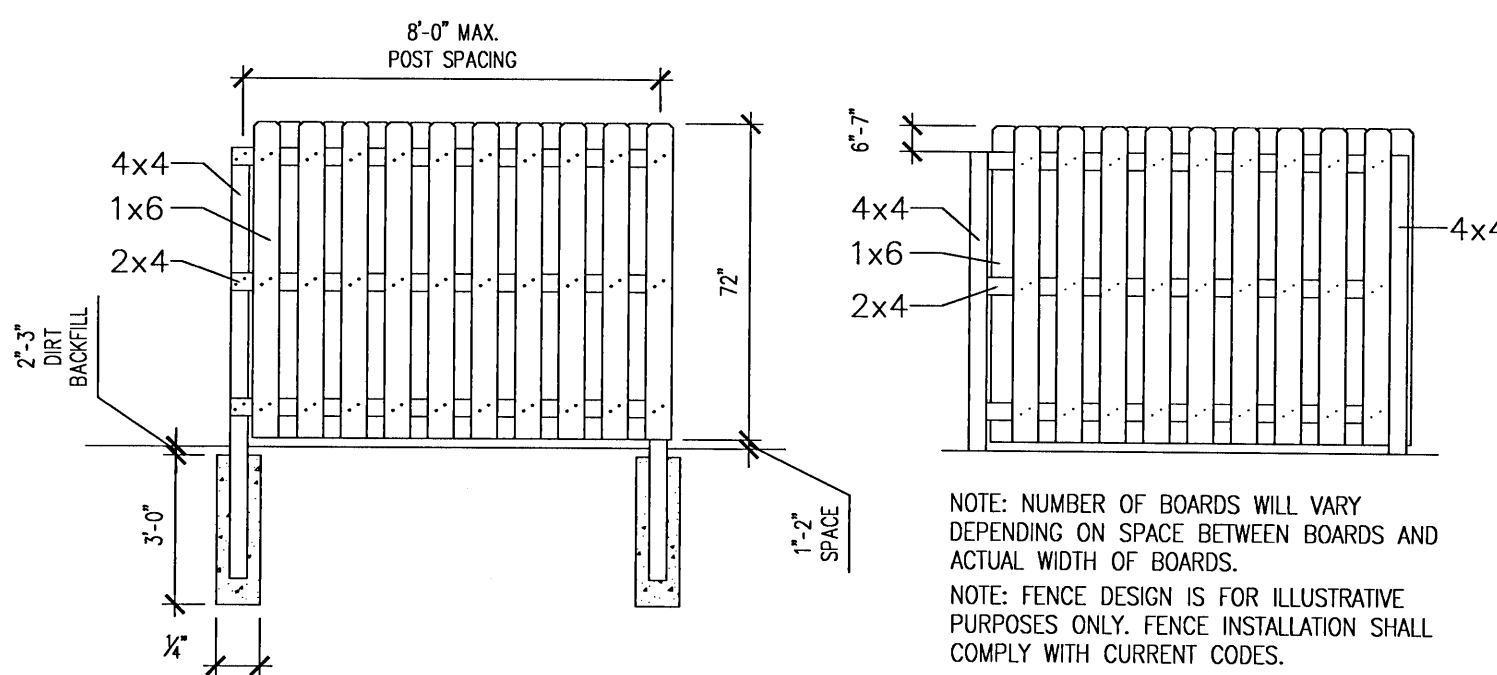


DUMPSTER PAD PLAN VIEW



DUMPSTER PAD SECTION

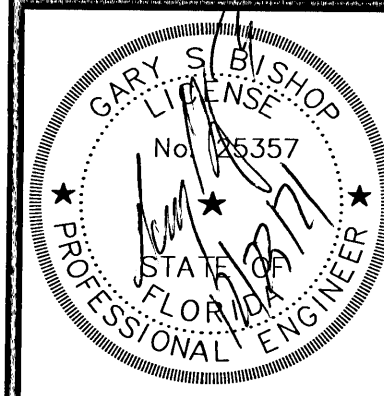
DUMPSTER PAD DETAIL  
NTS.



FRONT VIEW

REAR VIEW

6' PRIVACY FENCE AND DUMPSTER ENCLOSURE  
NTS.

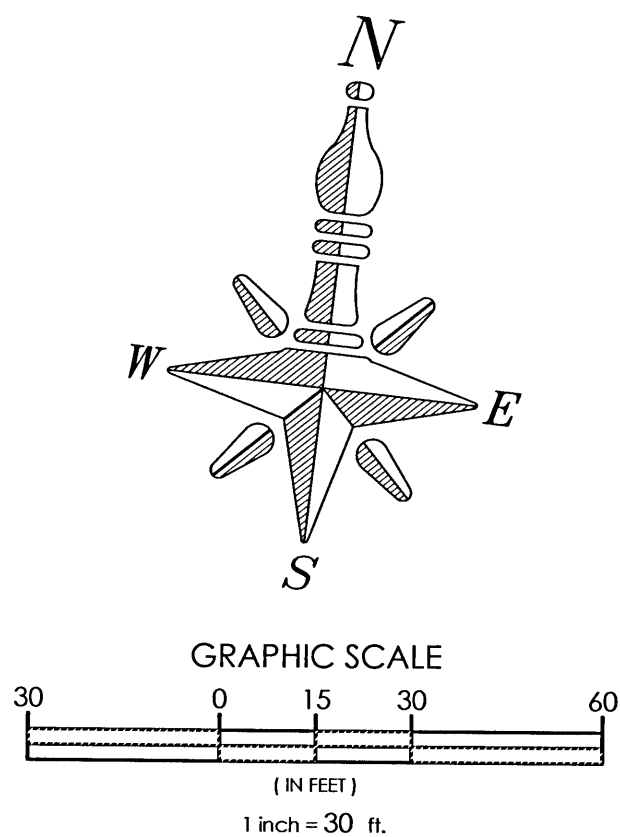


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WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENNSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

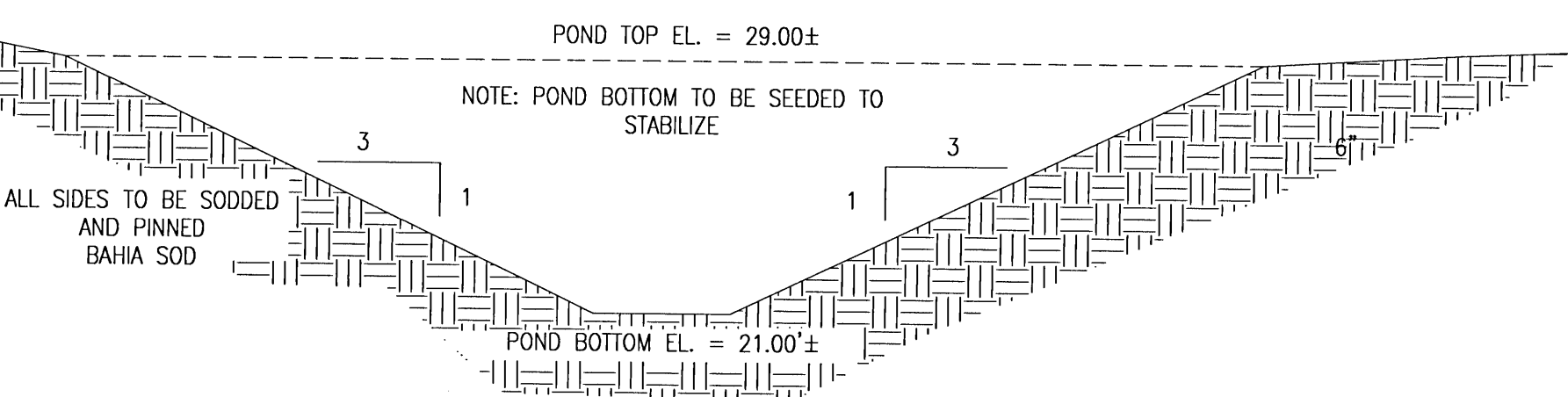
DRAWN BY: GSB  
DESIGNED BY: GSB  
CHECKED BY: GSB  
SEPTEMBER 2021  
SCALE: AS NOTED  
PROJECT NO:  
FILE NO: 2020 WOODSPRINGS SITE  
SHEET NO: C2.1



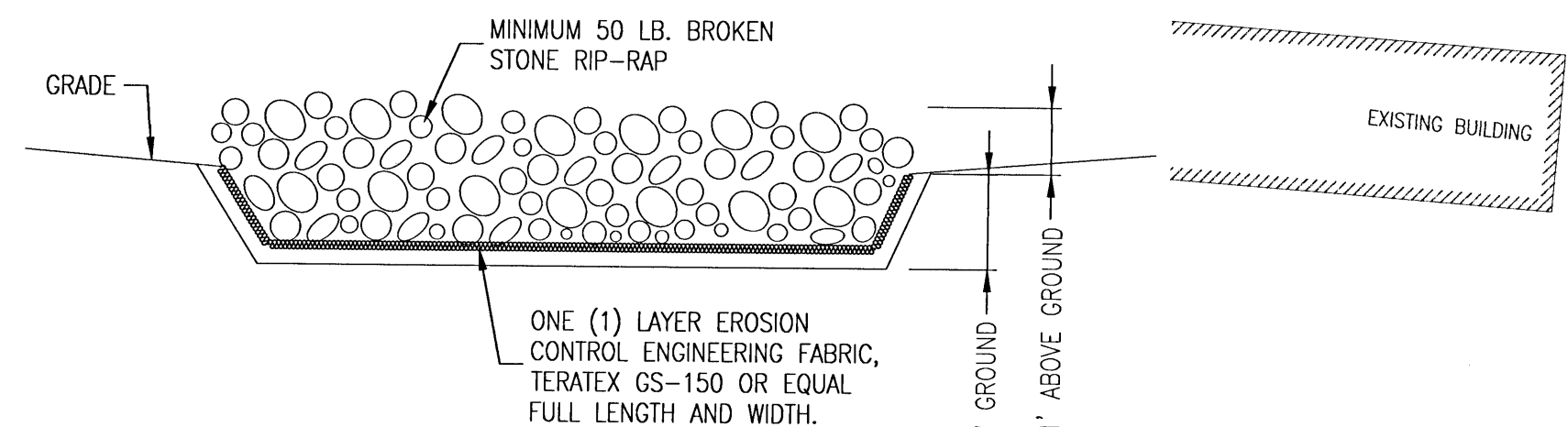


### GRADING NOTES:

1. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
6. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
7. ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
9. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
12. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
13. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
14. THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
16. THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
17. NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
18. THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
19. CONTRACTOR MUST PROVIDE AN APPROVED IRRIGATION SYSTEM TO WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
20. A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
21. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

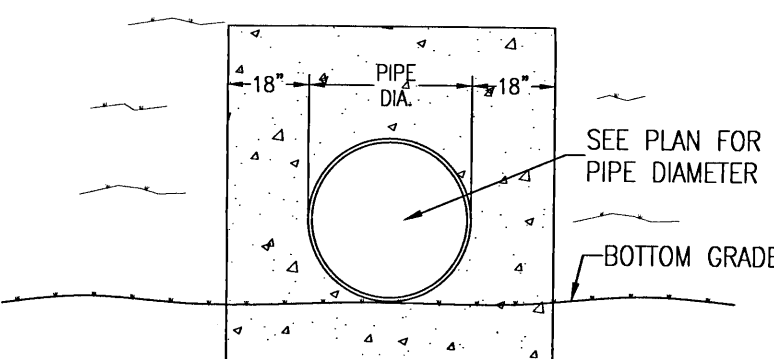


TYPICAL POND CROSS-SECTION A-A



NOTE: RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FROM THIN OR ELONGATED PIECES.

RIP-RAP PAD DETAIL



TYPICAL SECTION

MITERED END SECTION

N.T.S.



INDUSTRIAL BOULEVARD  
(RIGHT-OF-WAY VARIES)

CHIEFS' WAY (F)  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

### WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (DEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

R/W NOTES: CONTRACTOR SHALL NOTIFY FDOT & COUNTY PRIOR TO ANY WORK IN THE STATE R/W.

RETAINING WALL NOTES: ALL RETAINING WALLS OVER 2 FEET TALL SHALL REQUIRE BUILDING PERMIT APPROVAL PRIOR TO CONSTRUCTION.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

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WOODSPRING SUITES  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: CFS

DESIGNED BY: GSB

CHECKED BY: GSB

SEPTEMBER 2021

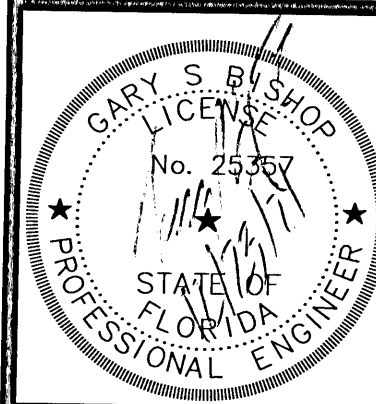
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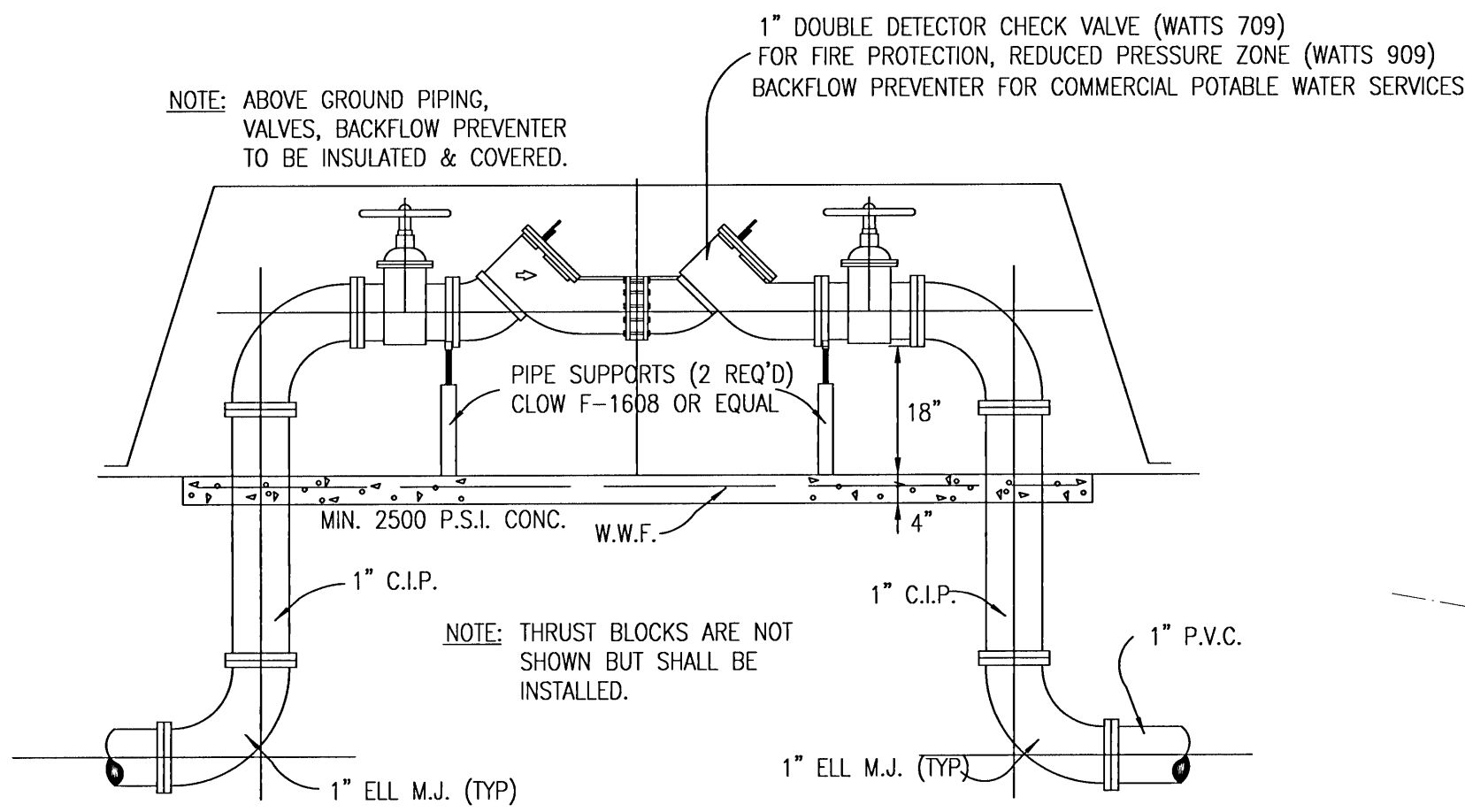
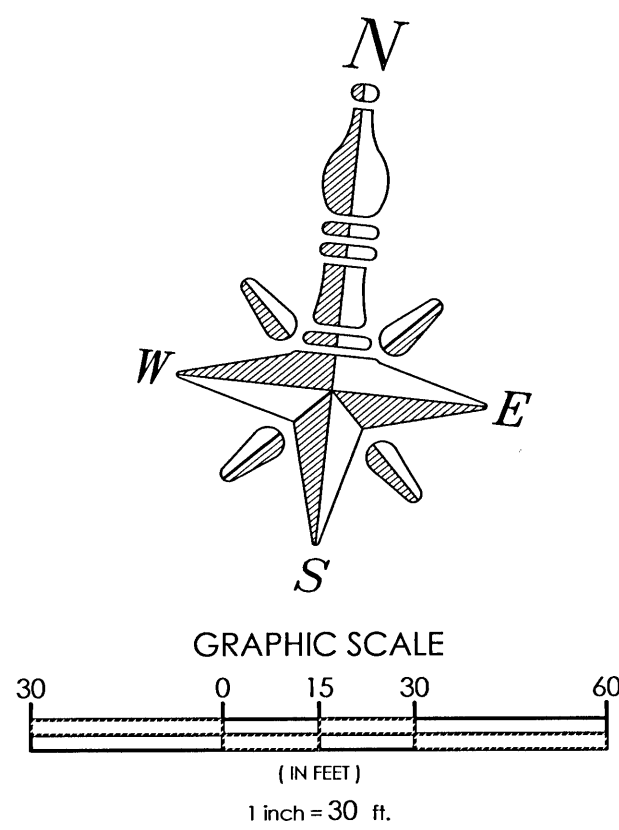
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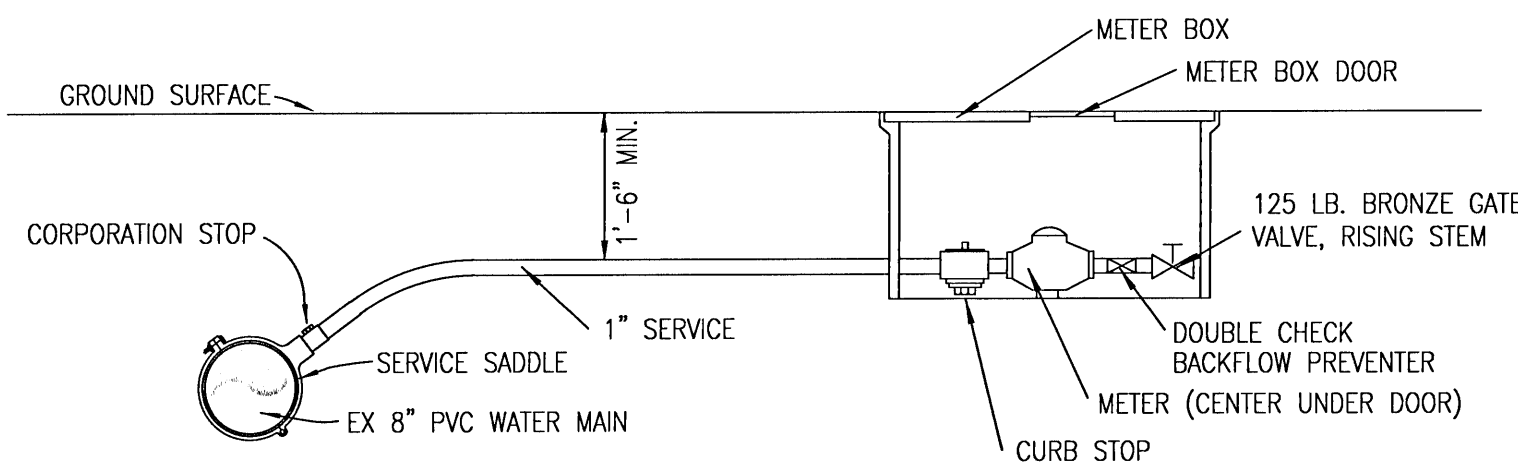
GRADING PLAN





BACKFLOW PREVENTER DETAIL

NTS

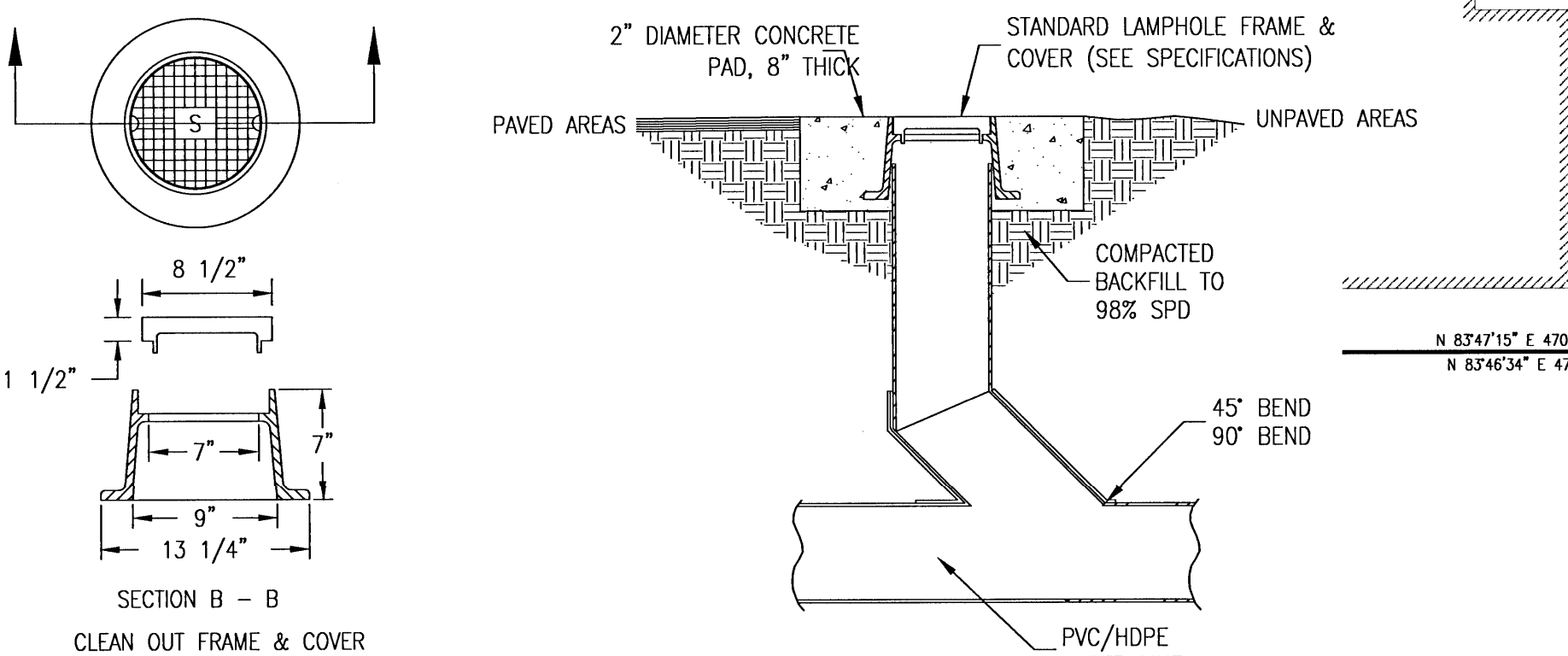


WATER SERVICE CONNECTION

NOTE:

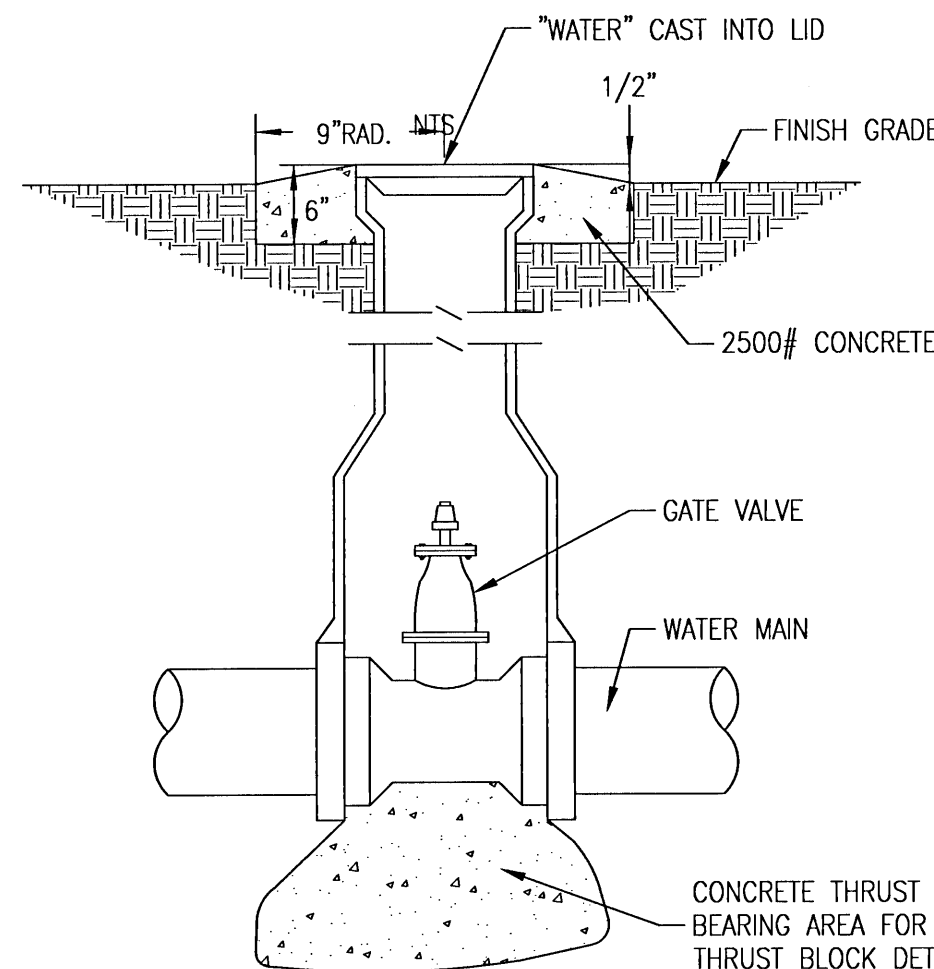
NTS

1. CONTRACTOR TO MARK LOCATION OF SERVICES WITH A 2x4 STAKE 6" ABOVE THE GROUND AND PAINTED RED.
2. ACCEPTABLE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED WHERE REQUIRED BY UTILITY.
3. INSTALLATION BY DEVELOPER UNLESS OTHERWISE NOTED.



CLEAN OUT DETAIL

NTS

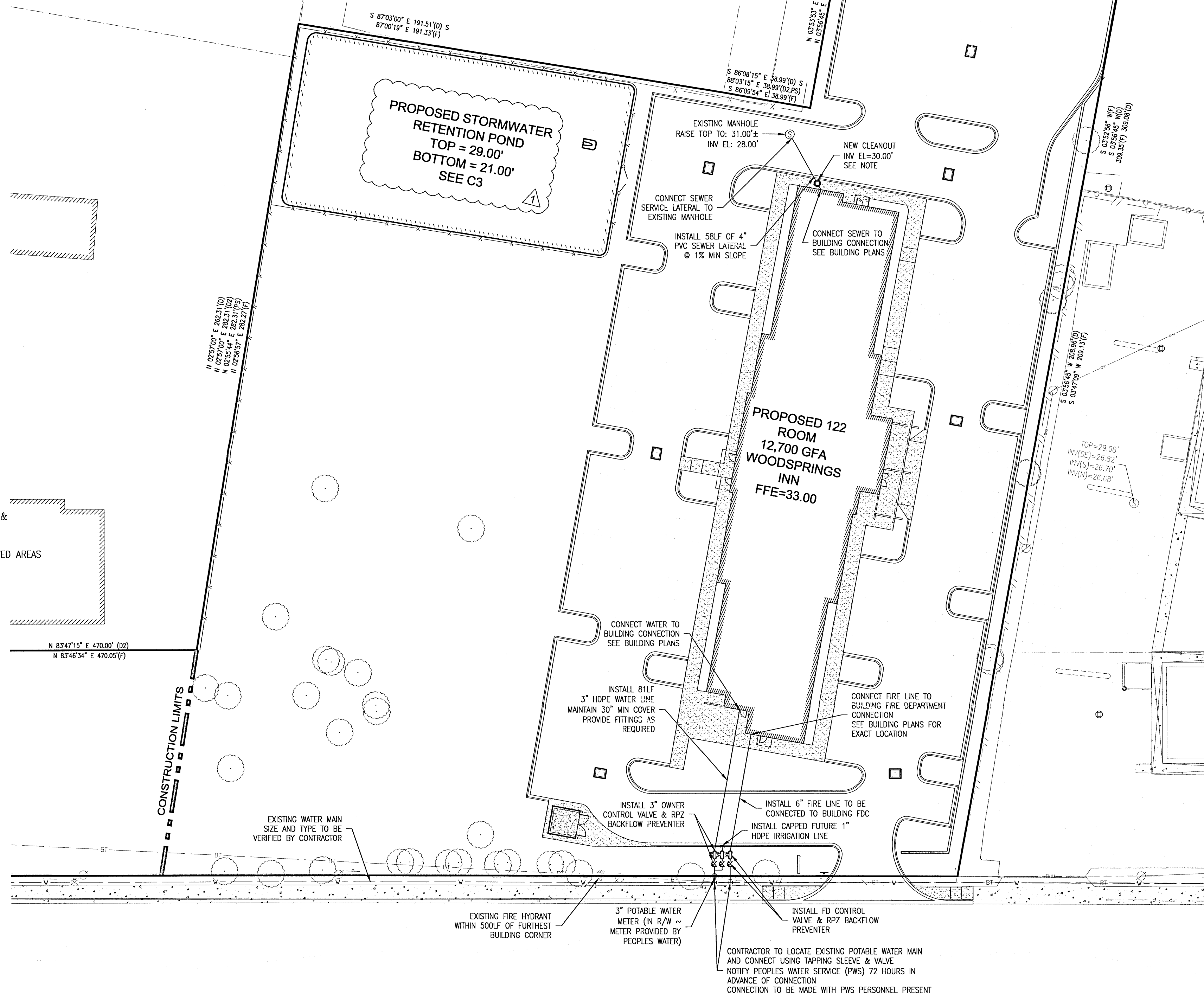


VALVE BOX DETAIL

NTS

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CHIEFS' WAY (F)

C.R. 295B (F)

CHIEF'S WAY (PS)

CORRY FIELD ENTRANCE ROAD (D, P)

(RIGHT-OF-WAY VARIES)

INDUSTRIAL BOULEVARD  
(RIGHT-OF-WAY VARIES)

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

UTILITY PLAN

GARY S. BISHOP, P.E.

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WOODSPRING SUITES

210 CHIEFS WAY

ESCAMBIA COUNTY, PENSACOLA, FLORIDA

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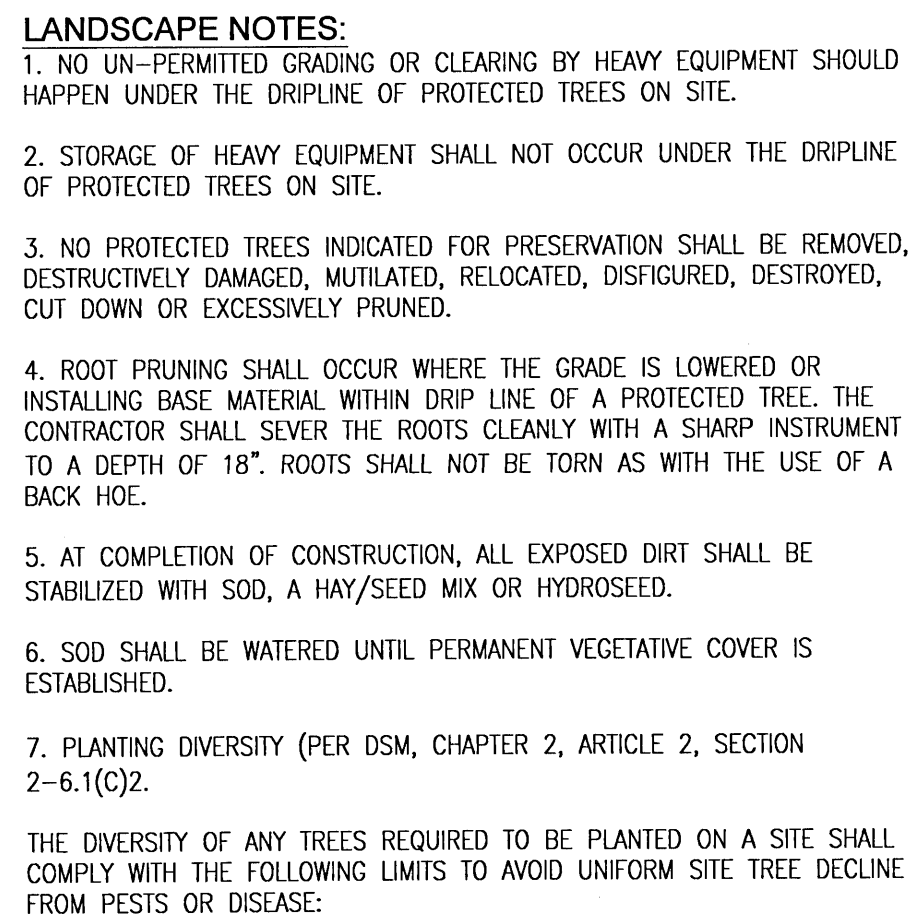
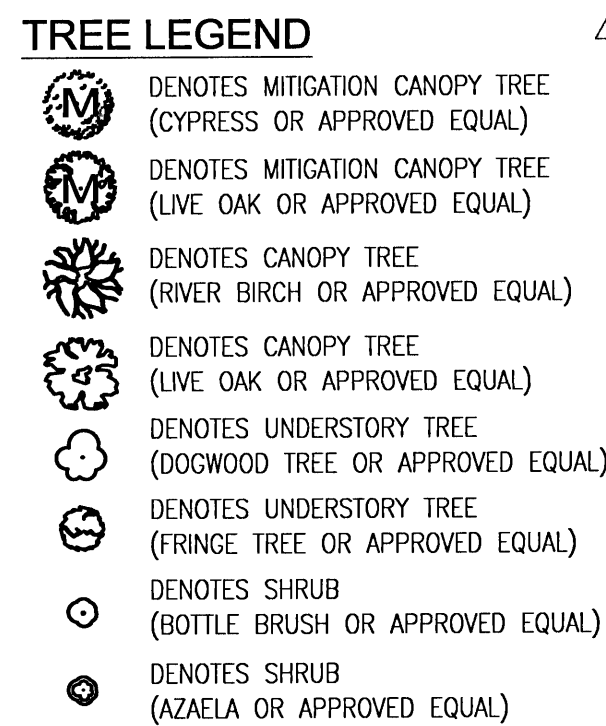
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FILE NO: 2020 WOODSPRINGS\_SITE

SHEET NO: C4





DIVERSITY TABLE	
# OF NEW TREES PLANTED ONSITE	MAX % OF ANY ONE SPECIES
5-19	67%
20-49	40%
50+	30%

8. CONTRACTOR SHALL PROVIDE ADEQUATE IRRIGATION TO ALL LANDSCAPED AREAS.
9. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.
10. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.
11. ANY SPECIES SELECTED FOR TREE PLANTINGS DIFFERENT THAN THOSE INDICATED ON THIS PLAN, SHALL BE FROM THE "NATIVE TREES APPROPRIATE FOR ESCAMBA COUNTY SITE DEVELOPMENT" FROM THE ESCAMBA COUNTY'S DEVELOPMENT SERVICES DEPARTMENT. CHANGES MUST BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION FOR APPROVAL, IN WRITING. NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES.
12. REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.
13. MINIMUM TREE PLANTING SPACING IS 12 FEET 0.0" W/ A 6 FOOT RADIUS (MIN) AREA FREE OF OBSTRUCTIONS.

**LANDSCAPE PLANTING:**

AVOID PLANTING REQUIRED LANDSCAPE TREES UNDER THE FOLLOWING CONDITIONS:

- UNDER THE SHADE OF EXISTING TREES TO REMAIN ONSITE (TO AVOID COMPETITION, SLOW OR REACHING GROWTH, ETC.).
- UNDER PARKING LOT LIGHTING OR OTHER SITE OR SAFETY LIGHTING FEATURES,
- CONCRETE, ASPHALT, PARKINGS OR SIDEWALKS
- OVER, AROUND OR NEAR SITE SIGNAGE (EXISTING OR PROPOSED),
- ALONG STEEP SLOPES OF STORMWATER PONDS, ATOP NARROW BERMS FOR SUCH OR ON ANY OTHER UNLEVEL &/OR NARROW LAND AREAS, IN OR NEAR SWALES, DITCHES, OR OTHER AREAS OF POTENTIAL CONFLICT WITH/IN PLANTING TREES, THEIR ROOTS, OR OTHER VEGETATION.

(HOWEVER, IF COMPATIBLE MITIGATION TREES (CYPRESS, OTHERS) CAN BE PLANTED WITHIN SW POND(S) OR AT A SAFE, CODE-COMPLAINT DISTANCE FROM SW OUTFALLS, ETC. TO HELP ABSORB WATER, NUTRIENTS & PROVIDE A MUTUAL BENEFIT IN THE FUTURE, PLEASE CONSIDER DOING SO.)

TREE INVENTORY			
Tree #	Size	Type	Remove/Protect
T-1	7"	BIRCH	REMOVE (NP)
T-2	11"	LAU OAK	PROTECT (NP)
T-3	10"	LIVE OAK	PROTECT (NP)
T-5	11"	LIVE OAK	PROTECT (NP)
T-6	25"	LIVE OAK	PROTECT
T-9	14"	LIVE OAK	PROTECT
T-10	42"	LIVE OAK	PROTECT
T-11	11"	LIVE OAK	REMOVE (NP)
T-12	12"	LAU OAK	PROTECT (NP)
T-13	11"	BIRCH	PROTECT
T-14	9"	CEDAR	REMOVE (NP)
T-15	10"	CEDAR	REMOVE (NP)
T-16	10"	CEDAR	PROTECT (NP)
T-17	12"	CEDAR	PROTECT (P)
T-18	7"	LAU OAK	REMOVE (NP)
T-19	11"	LAU OAK	PROTECT (NP)
T-20	12"	LAU OAK	REMOVE
T-21	12"	LAU OAK	REMOVE
T-22	12"	LAU OAK	PROTECT (NP)
T-25	12"	LAU OAK	PROTECT
T-26	13"	LAU OAK	PROTECT
T-27	14"	LAU OAK	REMOVE
T-28	14"	LAU OAK	PROTECT
T-32	15"	LAU OAK	REMOVE
T-40	18"	LAU OAK	PROTECT
T-45	31"	LAU OAK	REMOVE
T-51	13"	LIVE OAK	PROTECT
T-52	13"	LIVE OAK	PROTECT
T-54	14"	LIVE OAK	PROTECT
T-56	14"	LIVE OAK	REMOVE
T-59	18"	LIVE OAK	PROTECT
T-63	24"	LIVE OAK	PROTECT
T-66	15"	MAG	REMOVE
T-84	17"	PALM	REMOVE (NP)
T-85	17"	PALM	REMOVE (NP)
T-87	24"	PALM	PROTECT
T-101	N/A	C MYRTLE	PROTECT (NP)
T-102	N/A	C MYRTLE	PROTECT (NP)
T-103	N/A	C MYRTLE	PROTECT (NP)
T-104	N/A	C MYRTLE	PROTECT (NP)
T-105	N/A	C MYRTLE	REMOVE (NP)
T-106	N/A	C MYRTLE	REMOVE (NP)
T-107	N/A	C MYRTLE	REMOVE (NP)
T-108	N/A	C MYRTLE	REMOVE (NP)
T-109	N/A	C MYRTLE	PROTECT (NP)
T-111	N/A	C MYRTLE	PROTECT (NP)
T-112	N/A	C MYRTLE	PROTECT (NP)

TREE TABLE NOTES:

PROTECT: INDICATES TREE  
CONSIDERED PROTECTED BY  
THE LDC AND IS PROPOSED  
TO REMAIN ONSITE UPON  
DEVELOPMENT. CONTRACTOR  
SHALL INSTALL TREE  
BARRICADES  
SEE DETAIL

PROTECT (NP): INDICATES  
TREE CONSIDERED NOT  
PROTECTED BY THE LDC AND  
IS PROPOSED TO REMAIN  
ONSITE UPON DEVELOPMENT.  
CONTRACTOR SHALL INSTALL  
TREE BARRICADES PER TREE  
BARRICADE IF REQUIRED  
SEE DETAIL

REMOVE (P): INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & REQUIRES MITIGATION.

REMOVE (NP): INDICATES TREE NOT CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & DOES NOT REQUIRE MITIGATION.

## MITIGATION

**REQUIREMENTS:**  
TOTAL CALIPER OF PROTECT  
TREE REMOVAL IS 113"  
REPLACEMENT RATIO 5  
OF INCHES =  
 $125" \times 0.5 = 56.5" (57")$

PER ESCAMBIA COUNTY LDC  
SECTION 2.5.2(C) MITIGATION  
PLANTINGS:  
LIMITED TO 25" PER DEVELOP  
ACRE

TOTAL DEVELOPMENT AREA  
AC:  
2.92x25"=73" MITIGATION  
REQ'D

PLANTING OPTIONS:  
2.5" TREES = 63" /  
2.5" = 25.2  
(26) MITIGATION TREE  
REQUIRED W/ MIN 2"  
CALIPER

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

NO MORE THAN 40% OF REQUIRED  
LANDSCAPING MATERIAL MAY BE OF THE  
SAME SPECIES

**WELLHEAD PROTECTION NOTE:**

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FULLY GATED PROPOSED  
STORMWATER RETENTION  
POND  
TOP = 29.00'  
BOTTOM = 21.00'  
SEE C3

**NOTE: ALL TREES REQUIRED TO BE PLANTED AS NOTED HEREIN ARE CONSIDERED PROTECTED PER THE ESCAMBIA COUNTY LDC. AS SUCH, ANY PROPOSED REMOVAL OR ADVERSE IMPACTS TO THEM WILL REQUIRE PROPER REVIEW, PERMITTING OR WRITTEN APPROVAL BY THE COUNTY PROPR TO INIATION OF ANY PROPOSED TREE WORK**

PLANT MITIGATION TREE  
TYP OF 26  
SEE MITIGATION NOTES  
ON SHEET C1

350LF R/W BUFFER  
1 TREE TREE & 10 SHRUBS  
PER 100LF OF BUFFER LENGTH  
 $350/100 = 3.5 * 1 \text{ TREE}$   
 $= 4 \text{ TREES REQUIRED}$   
 $350/100 = 3.5 * 4 \text{ SHRUBS}$   
 $= 14 \text{ SHRUBS REQUIRED}$   
\*0 PLANTINGS PROPOSED  
\*PLANTINGS SATISFIED WITH  
EXISTING VEGETATION

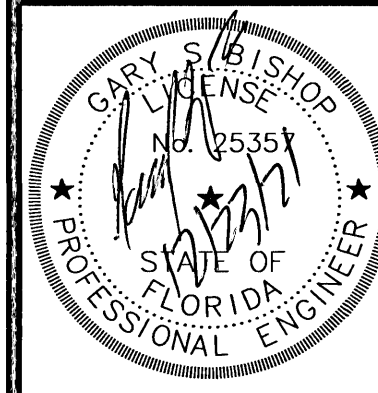
CHIEFS' WAY (F)  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
RY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

**TREE PROTECTION NOTE:**

**ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.**

REVISIONS	
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# LANDSCAPE PLAN