

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 22 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION, AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SLIP-BASE/BASE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TRENCING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

PERMITTED SIGNAGE SHALL BE LIMITED TO TWO (2) IDENTIFICATION SIGNS WITH THE FOLLOWING LIMITATIONS:

- A. AREA MAXIMUM...32 SF
- B. HEIGHT MAXIMUM...6 FT FROM GRADE
- C. SETBACK MINIMUM...10 FT FROM PROPERTY LINES

SETBACK SHALL BE MEASURED FROM THE FORWARD-MOST EDGE OF THE SIGN FROM RIGHTS OF WAY AND MUST MAINTAIN VISUAL CLEARANCE ALONG RIGHTS OF WAY AND AT INTERSECTIONS. A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES
3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY
9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-476-5110
FAX NO.: (850)-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
700 US HIGHWAY 331 SOUTH
DEPUKIA SPRINGS, FL 32435
PHONE NO.: (850)-951-4660
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-336-6312
FAX NO.: (850)-297-1211

FLORIDA DEPARTMENT OF TRANSPORTATION
6025 OLD BAGDAD HIGHWAY
PENSACOLA, FL 32503
PHONE NO.: (850)-981-3000
FAX NO.: (850)-981-2719

PROJECT DIRECTORY:

CIVIL ENGINEER
HAMMOND ENGINEERING, INC.
3802 NORTH "S" ST.
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650

SURVEYOR
NORTHWEST FLORIDA LAND SURVEYING, INC.
7142 BELGIUM CIRCLE
PENSACOLA, FL 32526
PHONE NO.: (850)-432-1052

GEOTECHNICAL ENGINEER
NOVA ENGINEERING & ENVIRONMENTAL, LLC.
140-A LURTON STREET
PENSACOLA, FL 32501
PHONE NO.: (850)-607-7782
FAX NO.: (850)-249-6683

ENVIRONMENTAL CONSULTANT
WETLAND SCIENCES, INC.
3308 GULF BEACH HIGHWAY
PENSACOLA, FL 32507
PHONE NO.: (850)-453-4700
FAX NO.: (850)-453-1010

SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES

SECTION 17 TOWNSHIP 1 SOUTH, RANGE 30 WEST
ESCAMBIA COUNTY, FLORIDA

8431 CAMINITTI LANE
PENSACOLA, FL 32514

OWNER/DEVELOPER:
SHALINI VERMA
YELLOW HAT CONSTRUCTION LLC.
3063 PELICAN LANE
PENSACOLA, FL 32514
(850)-382-1477

PROPERTY ID NO: 17-1S-30-2101-001-001
ZONING DESIGNATION: HDR
ADJACENT ZONING: HDR
FLU DESIGNATION: MU-U
ADJACENT FLU: MU-U

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE PLAN
- C5 ~ GRADING & DRAINAGE PLAN
- C6 ~ UNDERGROUND STORMWATER PLAN
- C7 ~ UTILITY PLAN
- C8 ~ LANDSCAPING PLAN
- C9 ~ ENVIRONMENTAL IMPACT PLAN
- C10 ~ EROSION CONTROL DETAILS
- C11 ~ CONSTRUCTION DETAILS
- C12 ~ CONSTRUCTION DETAILS
- C13 ~ DRAINAGE DETAILS
- C14 ~ UTILITY DETAILS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
Tom@selanddesign.com

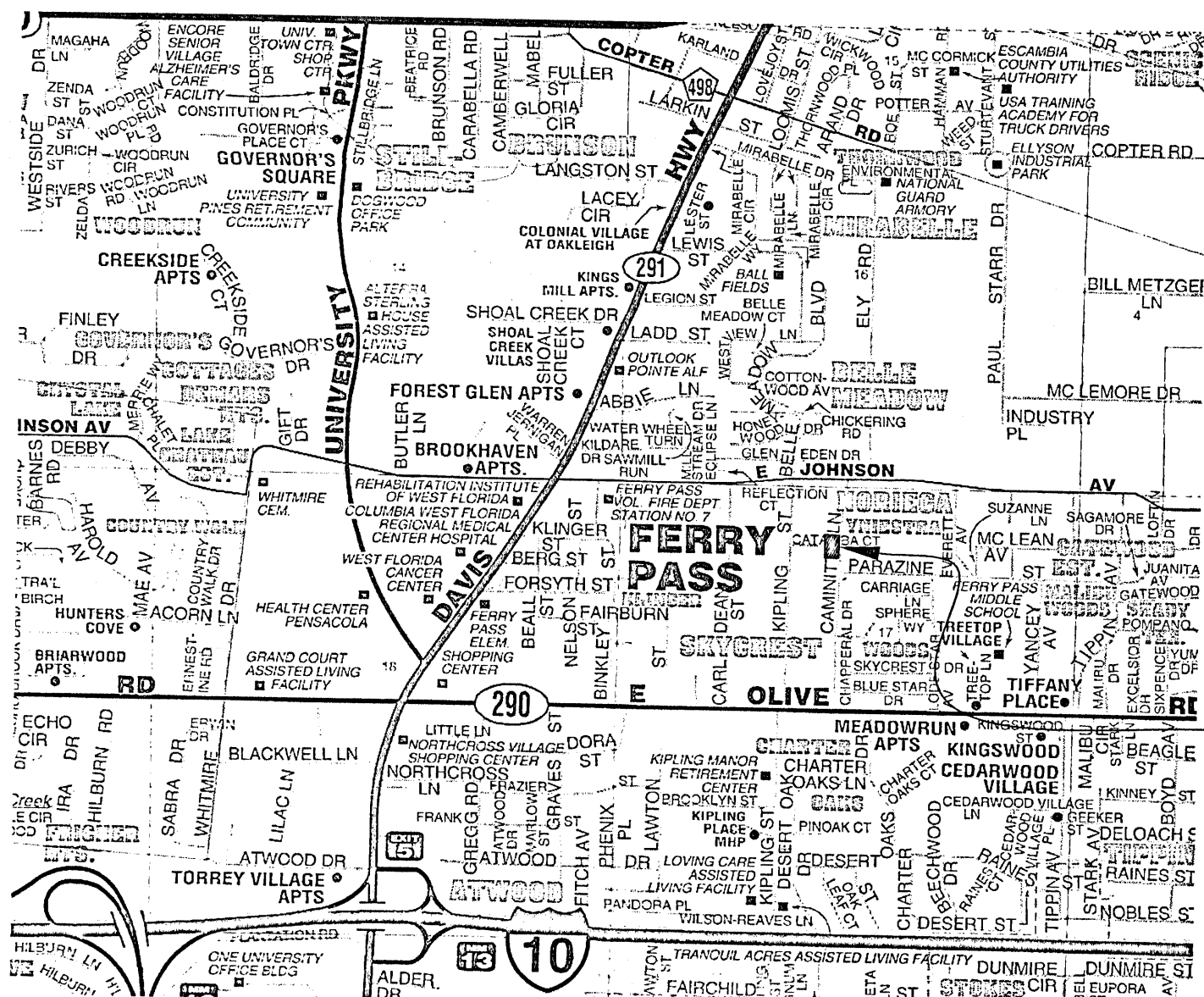
REVISED FEBRUARY 16, 2022
HEI PROJECT #: 21-034

GENERAL NOTES:

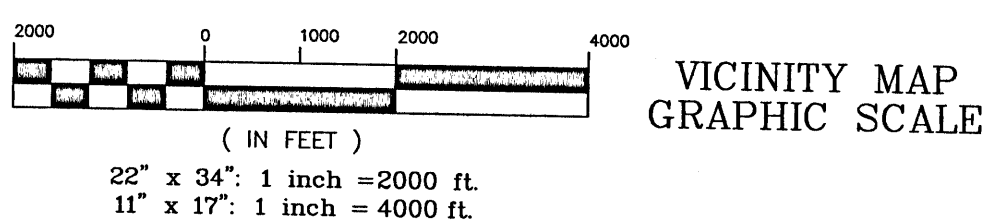
32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (DEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROTECTION STRUCTURES WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PROVED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT OF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A RATE OF TWO (2) TONS PER ACRE TEMPORARY SEEDING. THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A SOIL TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (i.e. SLOPES GREATER THAN 3:1).
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECUA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

FLOOD ZONE DATA

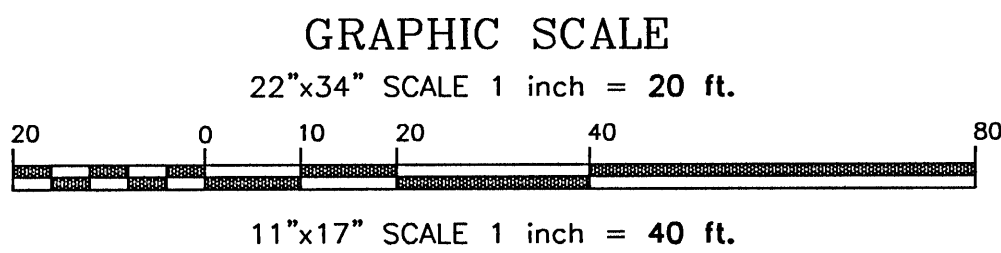
THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X. (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BAYS OR BAYS FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C031556, MAP REVISIONS DATED SEPTEMBER 29, 2006.					
FLOOD ZONE(S)	AFIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0315	G	SEPTEMBER 29, 2006



PROJECT LOCATION



SHEET
C1



BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 97.41' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 97.98' (NAVD88)

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 6486, PAGE: 282)

PARCEL 2
BEGINNING AT THE INTERSECTION OF THE EAST LINE OF THE NORTHWEST QUARTER AND SOUTH LINE OF JOHNSON AVENUE WEST 15 FEET,
SOUTH 409 FEET FOR POINT OF BEGINNING, CONTINUE SOUTH 226 FEET, WEST 193 FEET, NORTH 226 FEET, EAST 193 FEET TO THE POINT
OF BEGINNING, BEING LOT 2 OF AN UNRECORDED PLAT IN SECTION 17, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.
LESS AND EXCEPT THE EAST 10.00 FEET.

GENERAL NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE
MAPPING ZONE FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE EAST LINE
OF THE SUBJECT PROPERTY HAVING A BEARING OF SOUTH 03 DEGREES 44 MINUTES 55 SECONDS WEST.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED
AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING,
INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS,
RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH
COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF
FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF
ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0315 G, REVISED
SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF
PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE
CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE
FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO
BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER
PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R.
THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE
WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE
THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE
MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST
COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS
WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE
SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988,
FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED
ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY
BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND
THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48
HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

DENOTES:

- ⊕ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 8584 (FOUND)
⊖ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
Ⓢ ~ DEED INFORMATION
(F) ~ FIELD INFORMATION
R/W ~ RIGHT OF WAY
P.O.B. ~ POINT OF BEGINNING
SEC. ~ SECTION
TWP. ~ TOWNSHIP
RGE. ~ RANGE
O.R. ~ OFFICIAL RECORD
PG. ~ PAGE

⊕ ~ BENCHMARK

SPECIAL LINES:

- EE — EE — ~ OVERHEAD ELECTRICAL
— v — v — ~ POTABLE WATER SERVICE LINE
— SS — SS — ~ SANITARY SEWER FORCE MAIN

LEGEND:

- 123 ~ MAIL BOX
Ⓜ ~ WATER METER
Ⓢ ~ FIRE HYDRANT
Ⓜ ~ WATER VALVE
Ⓢ ~ SANITARY SEWER MANHOLE
Ⓢ ~ UTILITY POLE
BFO ~ BURIED FIBER OPTIC CABLE MARKER
Ⓢ ~ STORM DRAIN MANHOLE

TREE ID TABLE		
TREE #	TYPE	SIZE (DBH)
1	WATER OAK	40.5"
2	LIVE OAK	25"
3	WATER OAK	31"
4	LIVE OAK	29"
5	LIVE OAK	30"
6	WATER OAK	28.5"
7	LIVE OAK	36"
8	LIVE OAK	28"
9	LIVE OAK	19"
10	WATER OAK	23"
11	WATER OAK	18"
12	WATER OAK	15.5"
13	WATER OAK	21.5"
14	WATER OAK	15.5"
15	WATER OAK	17.5"
16	WATER OAK	24.5"
17	WATER OAK	18.5"
18	WATER OAK	15.5"
19	WATER OAK	15"
20	WATER OAK	18"
21	WATER OAK	16"
22	WATER OAK	14"
23	WATER OAK	14"
24	WATER OAK	15"
25	LIVE OAK	20.1"
26	WATER OAK	14"
27	WATER OAK	12.5"
28	WATER OAK	17.5"
29	WATER OAK	15.5"
30	WATER OAK	12.5"
31	WATER OAK	20"
32	LIVE OAK	14"
33	WATER OAK	17"
34	LAUREL OAK	17.5"
35	WATER OAK	38"
36	WATER OAK	13"

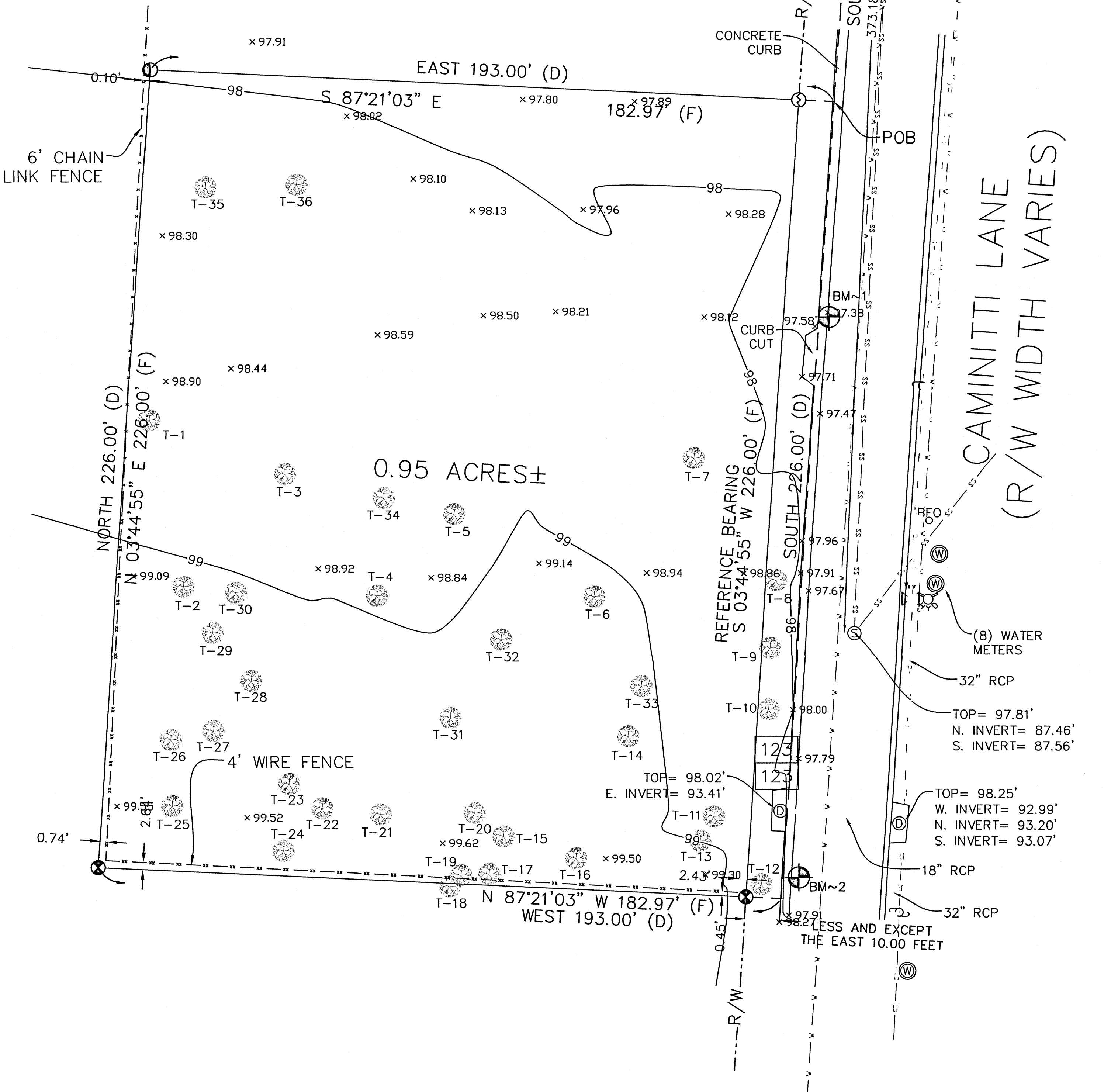
PROTECTED TREE ASSESSMENT COMPLETED BY:



SURVEYING COMPLETED BY:

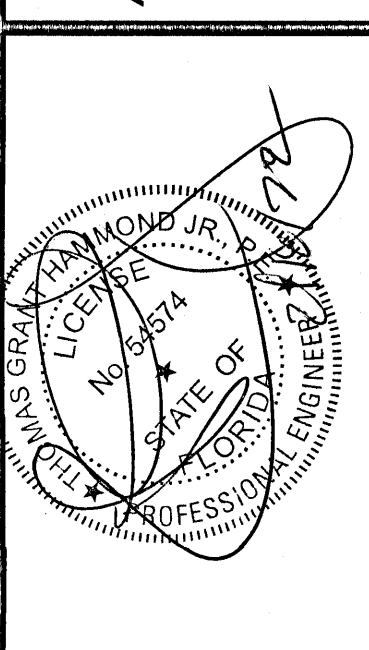


NORTHWEST FLORIDA LAND SURVEYING, INC.
7142 BELGIUM CIRCLE
Pensacola, FL 32526
(850) 432-1052



REVISIONS		DATE	REVISIONS
NO.	DATE	REVISIONS	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS	
2	02/16/2022	REVISED PLANS AS PER ECIA UTILITY PERMIT REVIEW COMMENTS	

HAMMOND ENGINEERING, INC.
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SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
EXISTING CONDITIONS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: DUG	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 01-12-22
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-034

SHEET: C2

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.



11"x17" SCALE 1 inch = 20 ft.

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING WIRE FENCE
	DENOTES EXISTING CONCRETE TO BE REMOVED		DENOTES EXISTING 6' CHAIN LINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE TO REMAIN
	DENOTES EXISTING STORMWATER INLET		DENOTES EXISTING TREE TO BE REMOVED
	DENOTES EXISTING STORM PIPE		DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION
	DENOTES PROPOSED SILT FENCE		DENOTES PROPOSED TREE PROTECTION BARRIER

DEMOLITION/EROSION CONTROL NOTES

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3' STOP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO DEEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

Know what's below
Call before you digCONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2
BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN
THE RIGHT OF WAY; 1-800-432-4770

TREE ID/REMOVAL TABLE

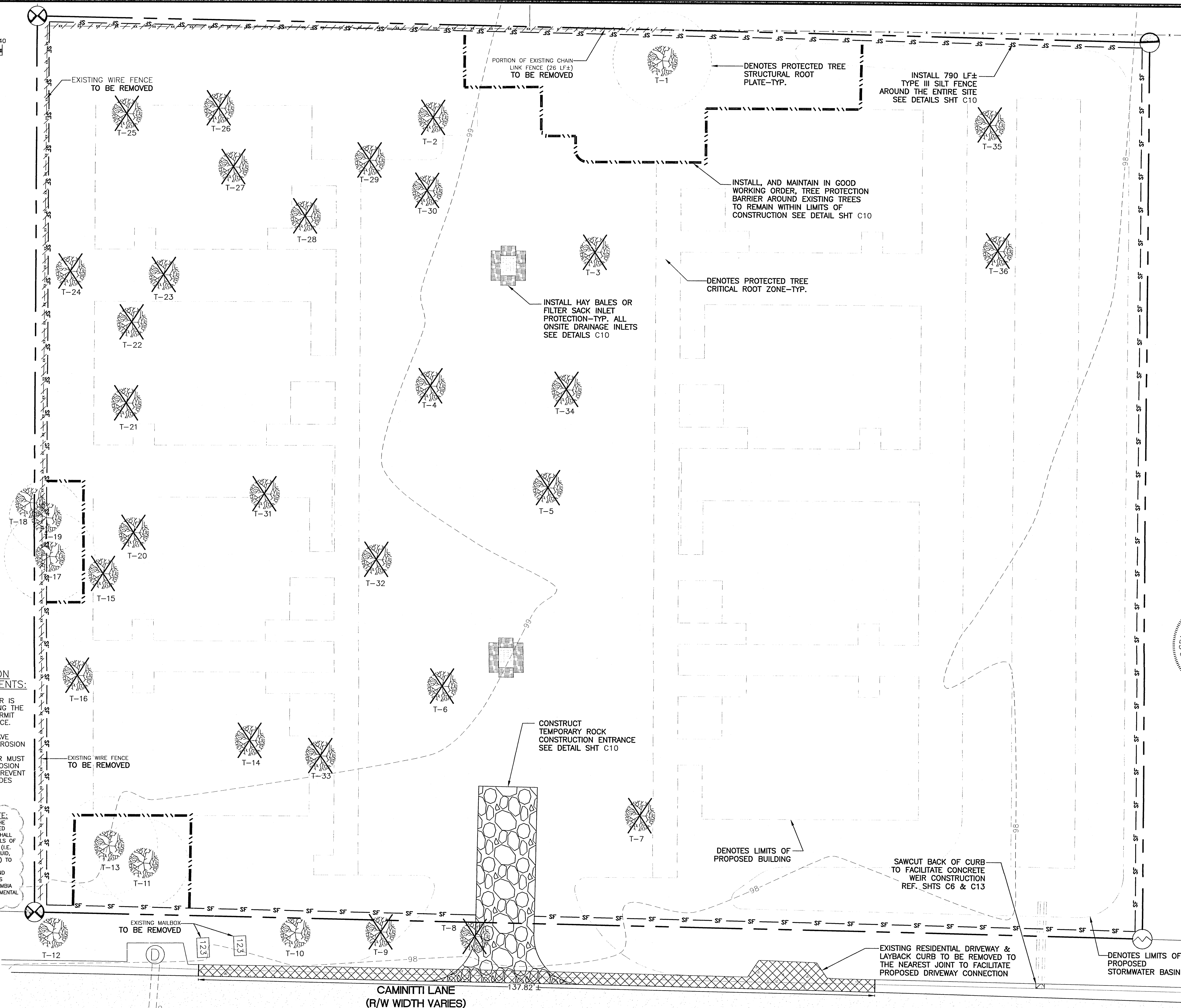
TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL
1	WATER OAK	40.5"	TO REMAIN
2	LIVE OAK	25"	PARKING LOT
3	WATER OAK	31"	PARKING LOT
4	LIVE OAK	29"	PARKING LOT
5	LIVE OAK	30"	PARKING LOT
6	WATER OAK	28.5"	PARKING LOT
7	LIVE OAK	36"	PARKING LOT
8	LIVE OAK	28"	DRIVEWAY
9	LIVE OAK	19"	DRIVEWAY
10	WATER OAK	23"	TO REMAIN
11	WATER OAK	18"	TO REMAIN
12	WATER OAK	15.5"	TO REMAIN
13	WATER OAK	21.5"	TO REMAIN
14	WATER OAK	15.5"	BUILDING
15	WATER OAK	17.5"	BUILDING
16	WATER OAK	24.5"	BUILDING
17	WATER OAK	18.5"	TO REMAIN
18	WATER OAK	15.5"	TO REMAIN
19	WATER OAK	15"	TO REMAIN
20	WATER OAK	18"	BUILDING
21	WATER OAK	16"	BUILDING
22	WATER OAK	14"	BUILDING
23	WATER OAK	14"	BUILDING
24	WATER OAK	15"	STORMWATER INLET
25	LIVE OAK	20.1"	BUILDING
26	WATER OAK	14"	BUILDING
27	WATER OAK	12.5"	BUILDING
28	WATER OAK	17.5"	BUILDING
29	WATER OAK	15.5"	BUILDING
30	WATER OAK	12.5"	BUILDING
31	WATER OAK	20"	BUILDING
32	LIVE OAK	14"	BUILDING
33	WATER OAK	17"	BUILDING
34	LAUREL OAK	17.5"	PARKING LOT
35	WATER OAK	38"	STORMWATER POND
36	WATER OAK	13"	STORMWATER POND

CONTRACTOR EROSION
CONTROL REQUIREMENTS:

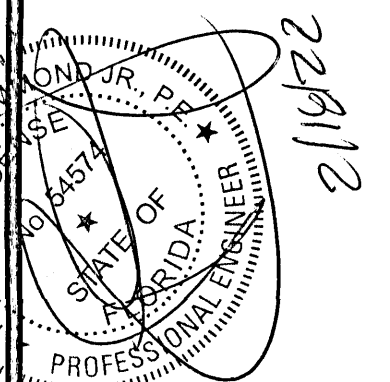
- IF APPLICABLE, CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED FDEP NPDES PERMIT PRIOR TO LAND DISTURBANCE.
- THE CONTRACTOR MUST HAVE TECHNICAL EXPERTISE IN EROSION PREVENTION AND SEDIMENT CONTROL. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN EROSION CONTROL METHODS THAT PREVENT ANY VIOLATION OF THE NPDES PROGRAM.

WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECOA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 995-6712) AGENCIES.



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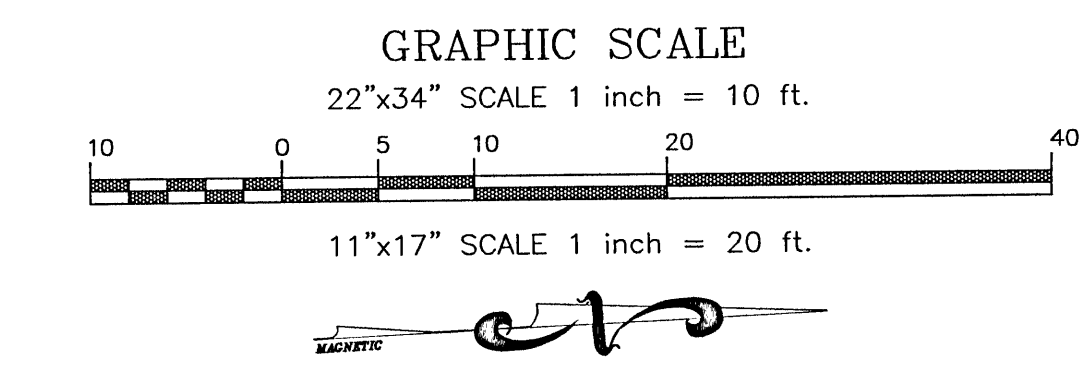
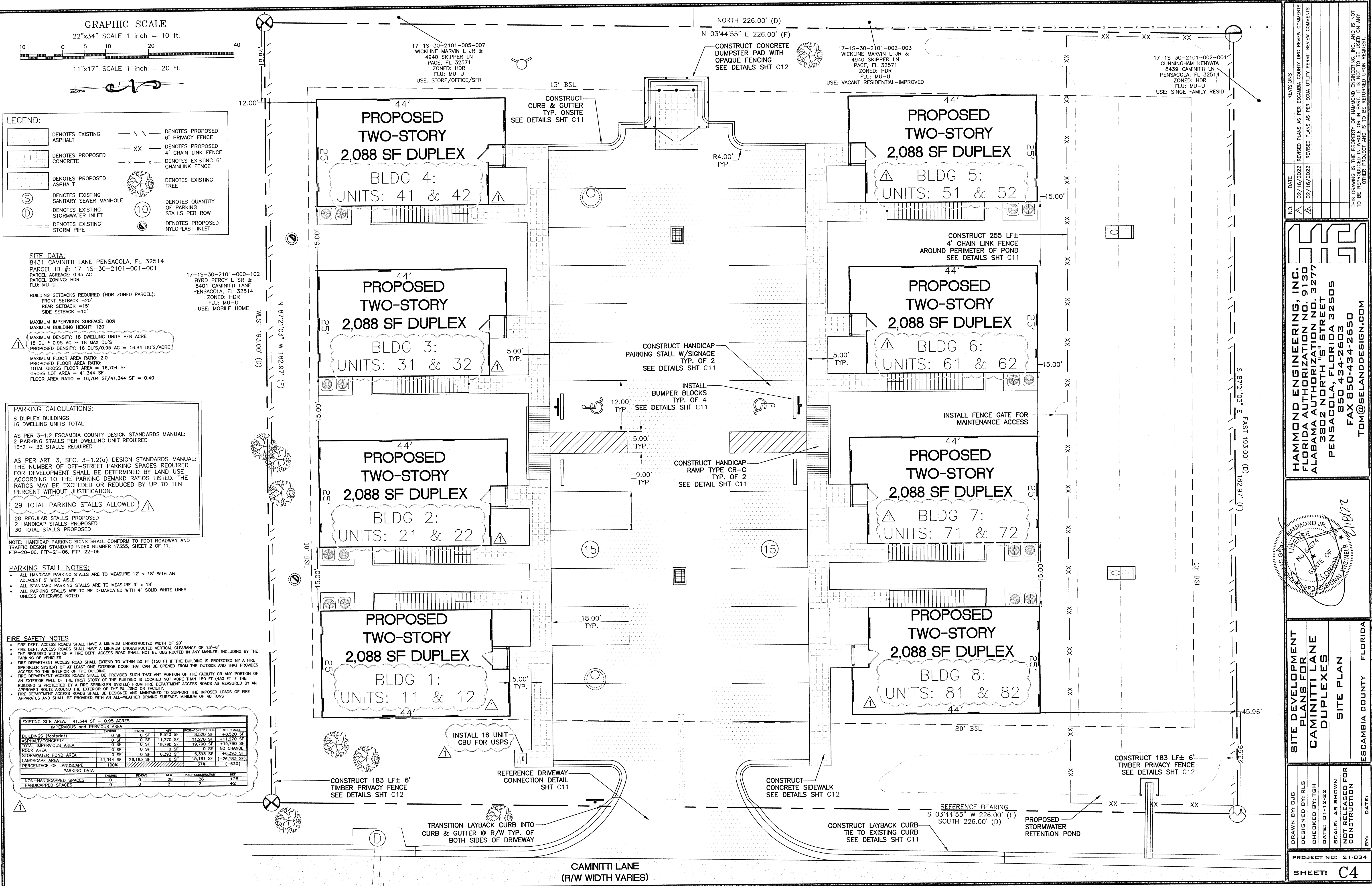


SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
DEMOLITION & EROSION
CONTROL PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CUB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 01-12-22
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 21-034

SHEET: C3



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6" PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6' CHAINLINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE
	DENOTES EXISTING STORMWATER INLET		DENOTES QUANTITY OF PARKING STALLS PER ROW
	DENOTES EXISTING STORM PIPE		DENOTES PROPOSED NYLOPLAST INLET

SITE DATA:
8431 CAMINITTI LANE PENSACOLA, FL 32514
PARCEL ID #: 17-15-30-2101-001-001
PARCEL ACREAGE: 0.95 AC
PARCEL ZONING: HDR
FLU: MU-U
BUILDING SETBACKS REQUIRED (HDR ZONED PARCEL):
FRONT SETBACK = 20'
REAR SETBACK = 15'
SIDE SETBACK = 10'
MAXIMUM IMPERVIOUS SURFACE: 80%
MAXIMUM BUILDING HEIGHT: 120'
MAXIMUM DENSITY: 18 DWELLING UNITS PER ACRE
18 DU * 0.95 AC = 18 MAX DU'S
PROPOSED DENSITY: 16 DU'S/0.95 AC = 16.84 DU'S/ACRE
MAXIMUM FLOOR AREA RATIO: 2.0
PROPOSED FLOOR AREA RATIO:
TOTAL GROSS FLOOR AREA = 16,704 SF
GROSS LOT AREA = 41,344 SF
FLOOR AREA RATIO = 16,704 SF/41,344 SF = 0.40

PARKING CALCULATIONS:
8 DUPLEX BUILDINGS
16 DWELLING UNITS TOTAL
AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
2 PARKING STALLS PER DWELLING UNIT REQUIRED
16 * 2 = 32 STALLS REQUIRED
AS PER ART. 3, SEC. 3-1.2(a) DESIGN STANDARDS MANUAL:
THE NUMBER OF OFF-STREET PARKING SPACES REQUIRED FOR DEVELOPMENT SHALL BE DETERMINED BY LAND USE ACCORDING TO THE PARKING DEMAND RATIOS LISTED. THE RATIOS MAY BE EXCEEDED OR REDUCED BY UP TO TEN PERCENT WITHOUT JUSTIFICATION.
29 TOTAL PARKING STALLS ALLOWED
28 REGULAR STALLS PROPOSED
2 HANDICAP STALLS PROPOSED
30 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 2 OF 11, FTP-20-06, FTP-21-06, FTP-22-06

PARKING STALL NOTES:
• ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
• ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
• ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

FIRE SAFETY NOTES:
• FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
• FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
• THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES
• FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING
• FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY
• FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE, MINIMUM OF 40 TONS

EXISTING SITE AREA: 41,344 SF - 0.95 ACRES				
IMPERVIOUS and PAVEMENT AREA				
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION
BUILDINGS (footprint)	0 SF	0 SF	8,520 SF	+8,520 SF
ASPHALT/CONCRETE	0 SF	0 SF	11,270 SF	+11,270 SF
TOTAL IMPERVIOUS AREA	0 SF	0 SF	19,790 SF	+19,790 SF
ROCK AREA	0 SF	0 SF	0 SF	NO CHANGE
STORMWATER POND AREA	0 SF	0 SF	6,393 SF	+6,393 SF
LANDSCAPE AREA	41,344 SF	26,183 SF	15,161 SF	(-26,183 SF)
PERCENTAGE OF LANDSCAPE	100%		37%	(-63%)
PARKING DATA				
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION
NON-HANDICAPPED SPACES	0	0	28	+28
HANDICAPPED SPACES	0	0	2	+2

REVISIONS

NO.	DATE	REVISIONS
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SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
SITE PLAN

DRAWN BY: CUB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 01-12-22
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 21-034
SHEET: C4

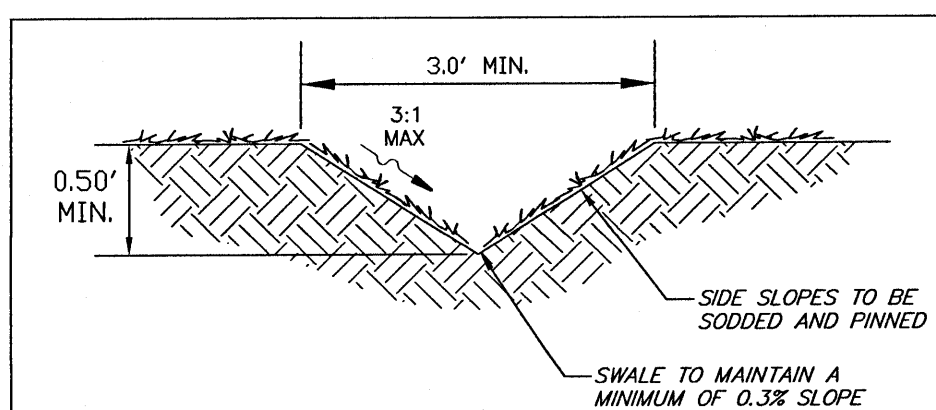
GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.

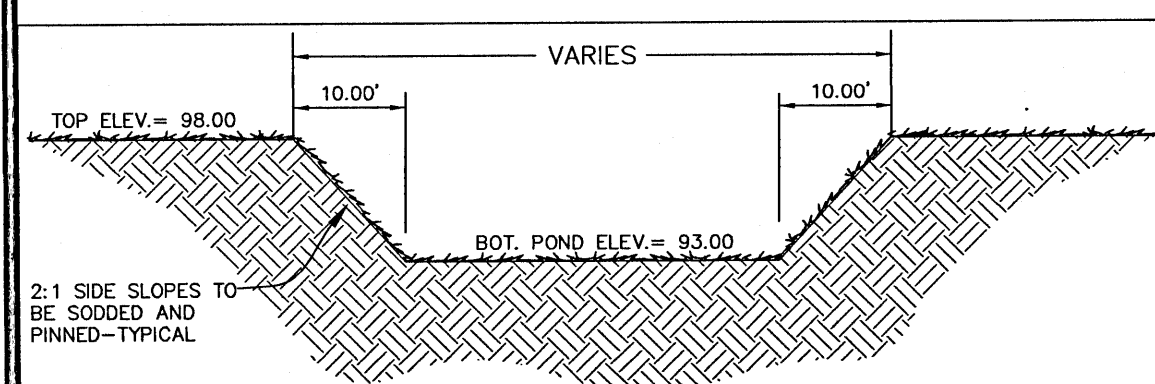
LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6" PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4" CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6" CHAINLINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE
	DENOTES EXISTING STORMWATER INLET		DENOTES BENCHMARK LOCATION
	DENOTES EXISTING STORM PIPE		DENOTES SOIL BORING LOCATION
	DENOTES PROPOSED STORM PIPE		MATCH EXISTING GRADE
	DENOTES PROPOSED DUAL SPOT ELEVATION		DENOTES PROPOSED SPOT ELEVATION
	TOP # = TOP OF CURB/SIDEWALK		DENOTES PROPOSED NYLOPLAST INLET
	BOTTOM # = ASPHALT/CONC. ELEV		



TYPICAL SWALE X-SECTION

NTS



DETENTION BASIN CONSTRUCTION

1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C5)
2. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
3. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
4. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
5. FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTPEDE OR OTHER SUITABLE GRASS.

STORMWATER RETENTION POND

TYPICAL CROSS SECTION

NTS

BENCHMARKS

BENCHMARK "A"
NAIL & DISK IN
EXISTING ASPHALT
ELEV. = 97.41'

BENCHMARK "B"
NAIL & DISK IN
EXISTING ASPHALT
ELEV. = 97.98'

CONSTRUCT DRAINAGE
SWALE @ MIN. 0.30% GRADE
SEE DETAIL SHT C5

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.50

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.50

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.50

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.50

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.17

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.17

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.17

PROPOSED
TWO-STORY
2,088 SF DUPLEX
FFE: 100.17

CAMINITTI LANE
(R/W WIDTH VARIES)

CONSTRUCT STORMWATER DETENTION
POND WITH 2:1 SIDE SLOPES TO BE
SODDED AND PINNED
TOP ELEV=98.00
BOTTOM ELEV=93.00
SEE DETAIL SHT C5

!!ATTENTION!!
CONTRACTOR TO ASSURE
GRADES ALONG NORTH
PROPERTY LINE ARE NO
LESS THAN ELEV=98.0

NO.	DATE	REVISIONS
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SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
GRADING &
DRAINAGE PLAN

DRAWN BY: CUG	DESIGNED BY: RLS
CHECKED BY: TSH	DATE: 01-12-22
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-034

SHEET: C5

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6" PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4" CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6" CHAINLINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE
	DENOTES EXISTING STORMWATER INLET		DENOTES BENCHMARK LOCATION
	DENOTES EXISTING STORM PIPE		DENOTES SOIL BORING LOCATION
	DENOTES PROPOSED NYLOPLAST INLET		
	DENOTES PROPOSED STORM PIPE		

STORM STRUCTURE DATA TABLE

PROPOSED INLETS & STORM STRUCTURES TO CONSIST OF:

- 24" NYLOPLAST DRAIN BASIN W/24" STANDARD GRATE
- TYPE "C" DITCH BOTTOM INLET W/USF NO. 6212 CAST IRON TRAFFIC RATED GRATE

1 TYPE "C" INLET TOP ELEV=98.00 INV ELEV IN (S)=95.00 INV ELEV OUT (N)=95.00	2 TYPE "C" INLET TOP ELEV=98.00 INV ELEV IN (S)=95.00 INV ELEV OUT (N)=95.00
3 24" NYLOPLAST DRAIN BASIN TOP ELEV=98.75 INV ELEV OUT (N)=96.25 BOTTOM ELEV=95.75	4 24" NYLOPLAST DRAIN BASIN TOP ELEV=98.75 INV ELEV IN (E)=97.25 INV ELEV OUT (N)=96.25 BOTTOM ELEV=95.75

BENCHMARKS

BENCHMARK "A"
NAIL & DISK IN
EXISTING ASPHALT
ELEV. = 97.41"
BENCHMARK "B"
NAIL & DISK IN
EXISTING ASPHALT
ELEV. = 97.98"

INSTALL 6" DUAL
WALL MITERED
90° BEND

EXISTING STORM INLET
TOP ELEV= 98.02'
E. INVERT ELEV = 93.41'

INSTALL 85 LF±
6" N-12 HDPE
(WT) PIPE @ 1.25%

INSTALL
CLEANOUT
INV ELEV=98.33

INSTALL 90 LF±
12" N-12 HDPE
(WT) PIPE @ 1.40%

INSTALL 105 LF±
12" N-12 HDPE
(WT) PIPE @ 1.90%

INSTALL 90 LF±
12" N-12 HDPE
(WT) PIPE @ 1.40%

INSTALL 105 LF±
12" N-12 HDPE
(WT) PIPE @ 1.90%

CONSTRUCT CONCRETE
OVERFLOW WEIR W/TIMBER
OIL SKIMMER
SEE DETAILS SHT C13

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.50

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.50

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.50

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.50

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.17

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.17

44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.17

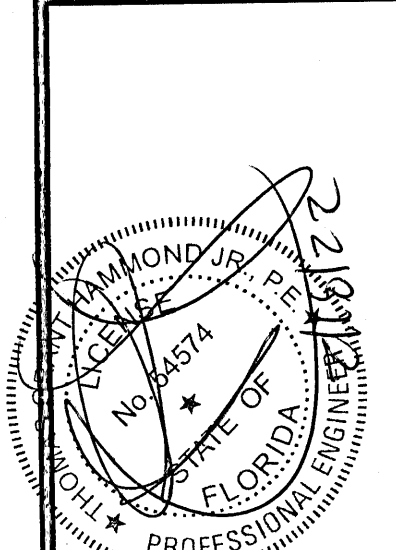
44'
25'
**PROPOSED
TWO-STORY
2,088 SF DUPLEX**
FFE: 100.17

CONSTRUCT 12" MITERED
END TREATMENT W/SPLASH
PAD & RIP RAP
INV ELEV=93.00
SEE DETAIL SHT C13

CONSTRUCT 12" MITERED
END TREATMENT W/SPLASH
PAD & RIP RAP
INV ELEV=93.00
SEE DETAIL SHT C13

NO.	DATE	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
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TOM@SELANDDESIGN.COM



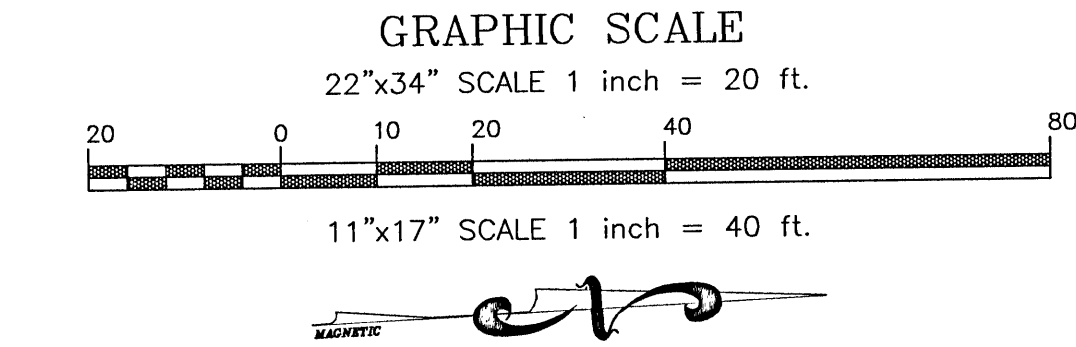
**SITE DEVELOPMENT
PLANS FOR
CAMINITI LANE
DUPLEXES
UNDERGROUND
STORMWATER PLAN**
FLORIDA

DRAWN BY: CUB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 01-12-22
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-034

SHEET: **C6**

CAMINITI LANE
(R/W WIDTH VARIES)



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING 6' CHAINLINK FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 6' PRIVACY FENCE
	DENOTES PROPOSED ASPHALT		DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES ASPHALT TO BE RESURFACED		DENOTES EXISTING WATER LINE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES PROPOSED WATER LINE
	DENOTES PROPOSED NYLOPLAST INLET		DENOTES EXISTING SANITARY SEWER LINE
			DENOTES PROPOSED SANITARY SEWER LINE
			DENOTES PROPOSED FLUSH HYDRANT
			DENOTES EXISTING TREE

GENERAL UTILITY NOTES:

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W. 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C14.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434
- All sewer is private, including connection to the manhole.

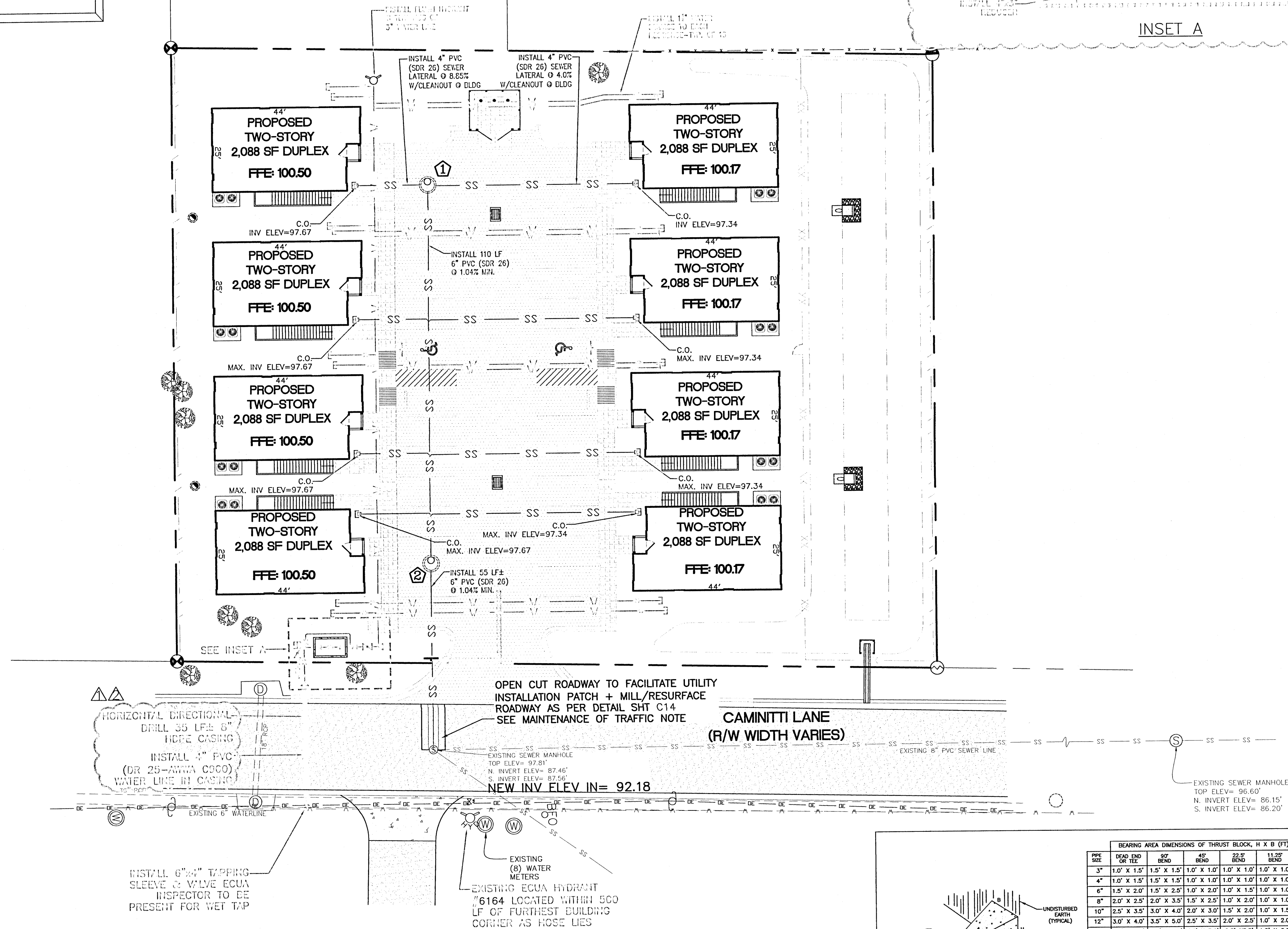
CAMINITTI LANE
MAINTENANCE OF TRAFFIC NOTE:

CONTRACTOR IS REQUIRED TO PROVIDE A MAINTENANCE OF TRAFFIC PLAN TO ESCAMBIA COUNTY TRAFFIC ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO COMMENCING ANY WORK IN THE CAMINITTI LANE RIGHT OF WAY THAT INCLUDES LANE CLOSURES OR RE-ROUTING OF TRAFFIC.

SEWER STRUCTURE DATA TABLE

PROPOSED SEWER STRUCTURES TO CONSIST OF:

	48" DIA. SEWER MANHOLE TOP ELEV=98.70 INV ELEV IN (N)=94.94 INV ELEV IN (S)=95.90 INV ELEV OUT (E)=94.00		48" DIA. SEWER MANHOLE TOP ELEV=98.70 INV ELEV IN (W)=92.85 INV ELEV OUT (E)=92.75
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BEARING AREA DIMENSIONS OF THRUST BLOCK, H X B (FT)

PVC SIZE	90° BEND	45° BEND	22.5° BEND	11.25° BEND
3"	1.0' x 1.5'	1.5' x 1.5'	1.0' x 1.0'	1.0' x 1.0'
4"	1.0' x 1.5'	1.5' x 1.5'	1.0' x 1.0'	1.0' x 1.0'
6"	1.5' x 2.0'	2.0' x 2.0'	1.5' x 1.5'	1.0' x 1.0'
8"	2.0' x 2.5'	2.0' x 3.0'	1.5' x 2.0'	1.0' x 1.0'
10"	2.5' x 3.0'	3.0' x 4.0'	2.0' x 2.0'	1.5' x 1.5'
12"	3.0' x 4.0'	3.5' x 5.0'	2.5' x 2.5'	2.0' x 2.0'
16"	4.0' x 5.5'	4.5' x 6.5'	3.0' x 3.0'	2.5' x 2.5'

NOTES:

- ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
- ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL.
- THRUST BLOCK DIMENSIONS BASED ON SM SOIL CLASSIFICATION WITH A SOIL BEARING PRESSURE OF 3000 LB/FT².
- CONCRETE MIN. 2500 PSI.
- BEARING AREAS SHALL BE MINIMUM 1.0 FT.
- JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS. THRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, 22.5° BENDS, 11.25° BENDS, TEES, TAPPING SLEEVES AND DEAD ENDS.

THRUST BLOCK DETAILS

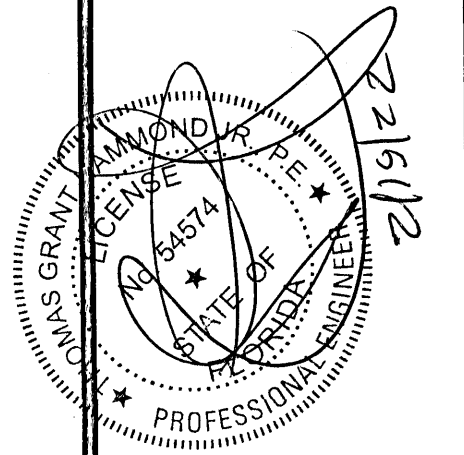
TEE - M.J.

90° BEND - M.J.

REVISIONS

NO.	DATE	REVISIONS
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2	02/16/2022	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

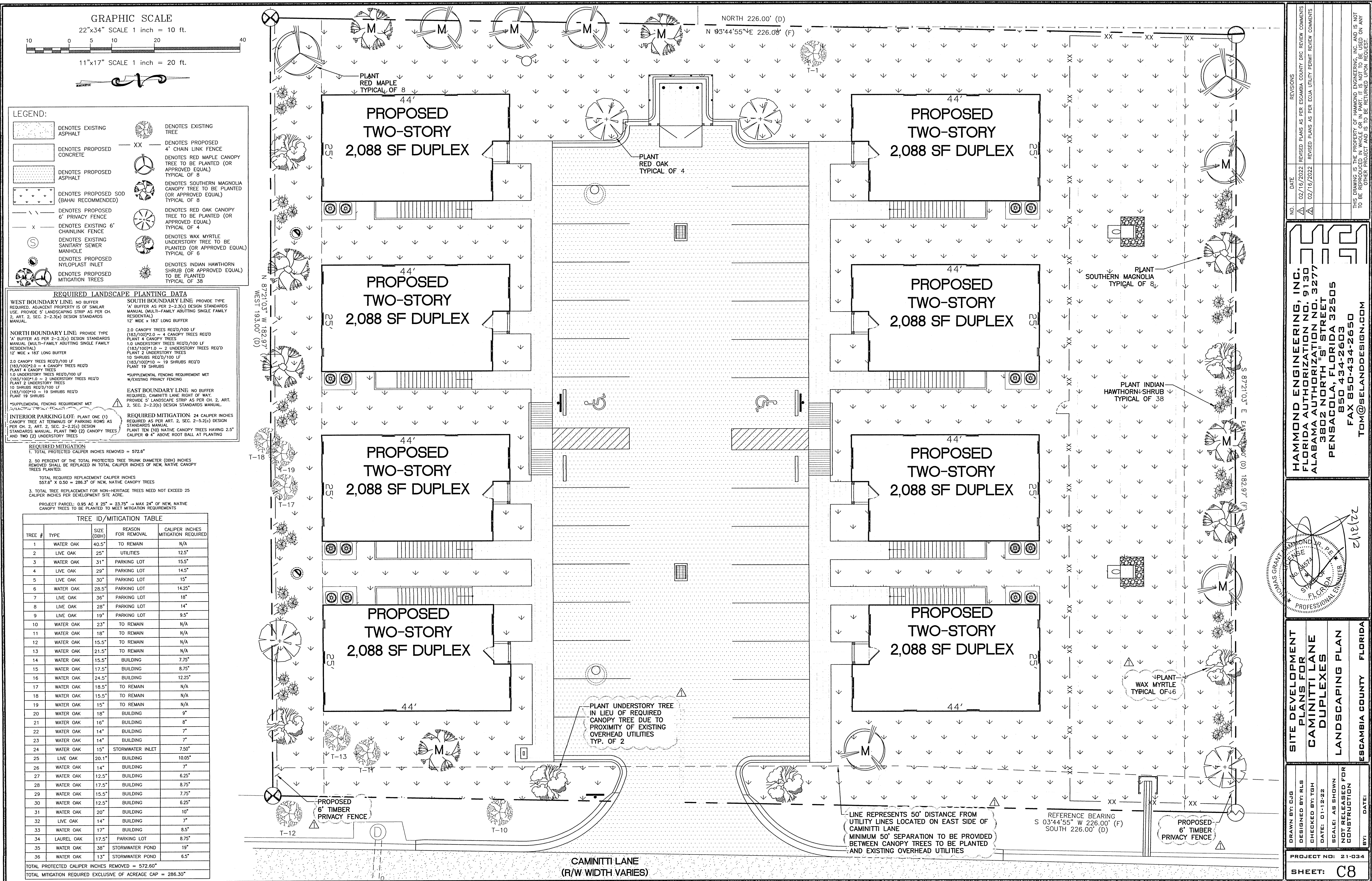
HAMMOND ENGINEERING, INC.
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FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
UTILITY PLAN
FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 01-12-22
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-034
SHEET: C7



REVISIONS

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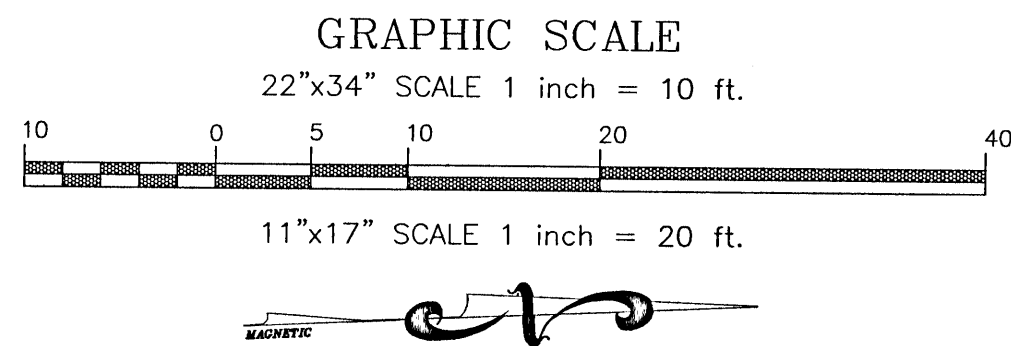
2/21/22

SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES LANDSCAPING PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 01-12-22
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

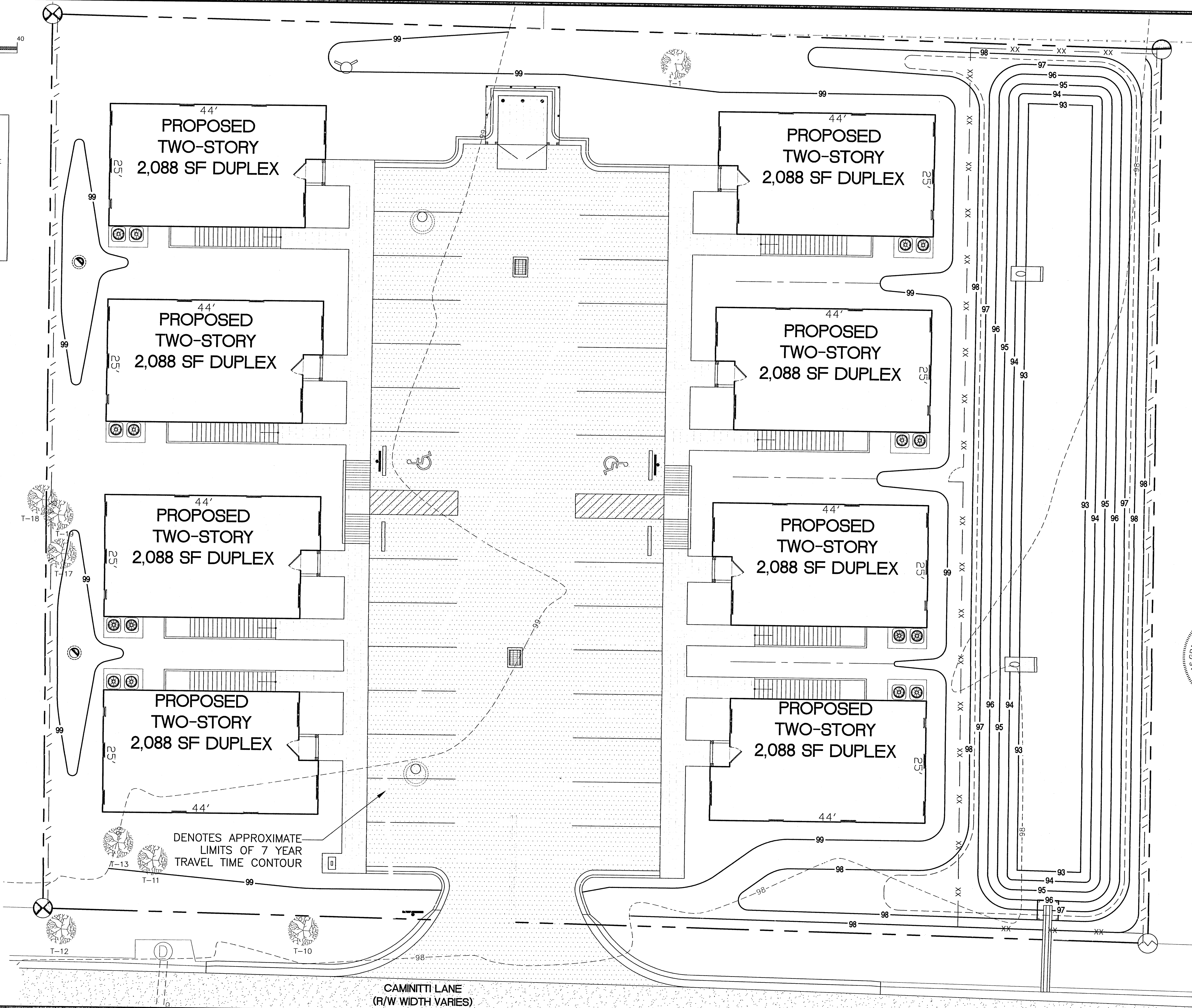
PROJECT NO: 21-034
SHEET: C8



LEGEND:

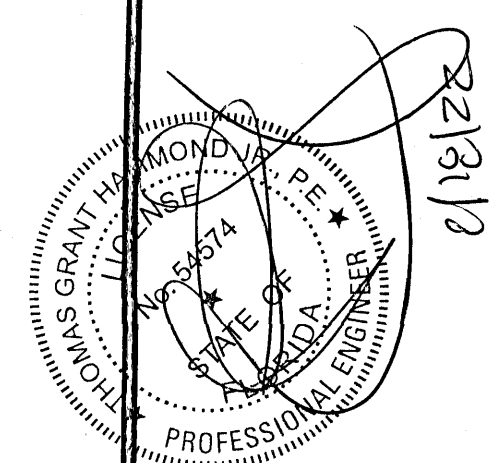
	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6' PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6' CHAINLINK FENCE
	DENOTES WELLHEAD PROTECTION AREA, 20 YEAR TRAVEL TIME CONTOUR		DENOTES EXISTING TREE
	DENOTES WELLHEAD PROTECTION AREA, 7 YEAR TRAVEL TIME CONTOUR		DENOTES EXISTING SANITARY SEWER MANHOLE
			DENOTES PROPOSED NYLOPLAST INLET

WELLHEAD PROTECTION NOTE:
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



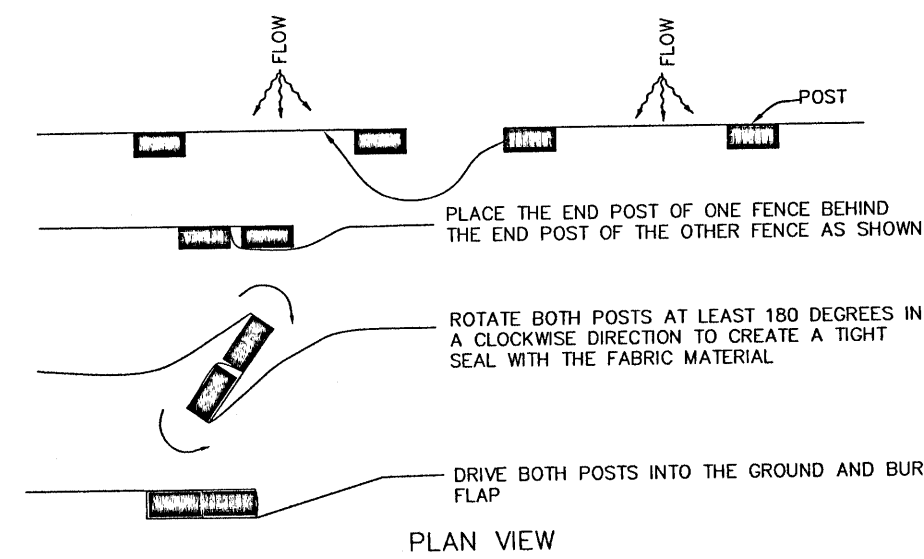
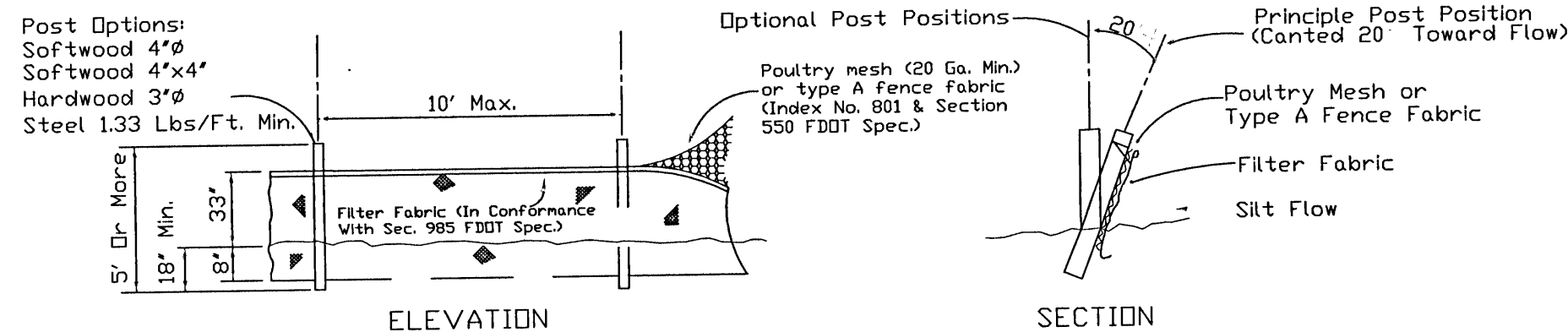
REVISIONS	
NO.	DATE
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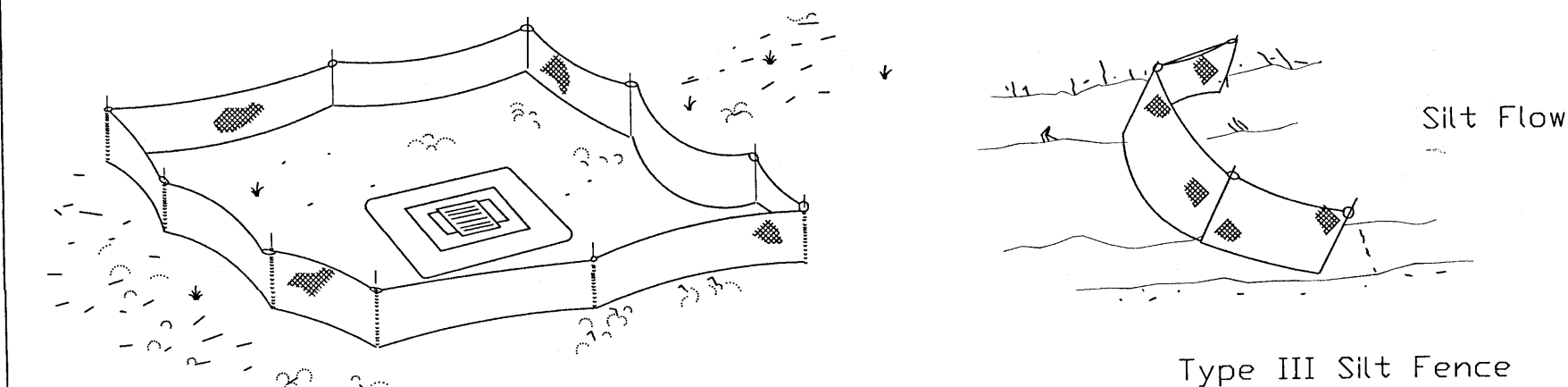
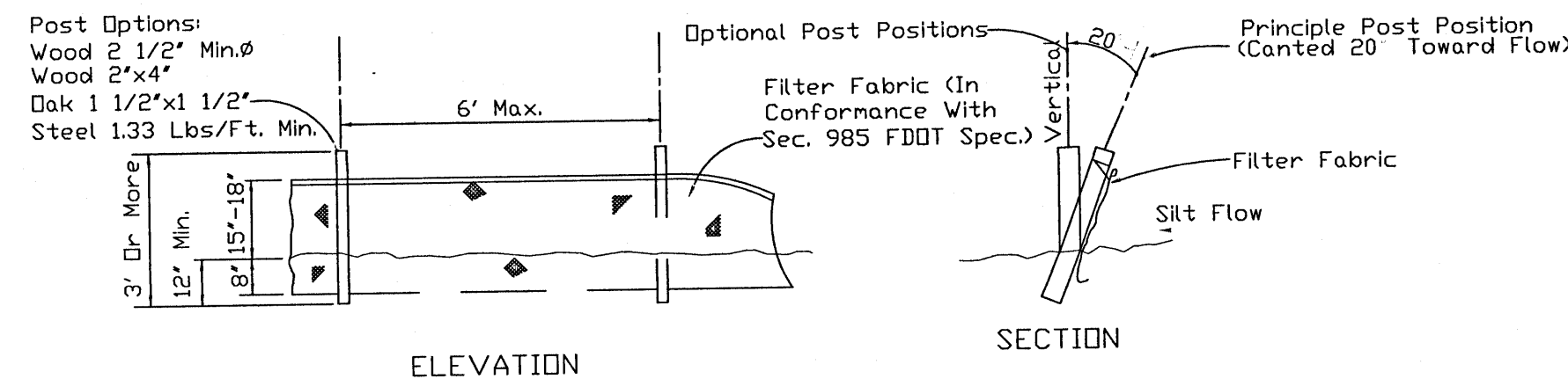


SITE DEVELOPMENT
PLANS FOR
CAMINITTI LANE
DUPLEXES
ENVIRONMENTAL
IMPACT PLAN
FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 01-12-22
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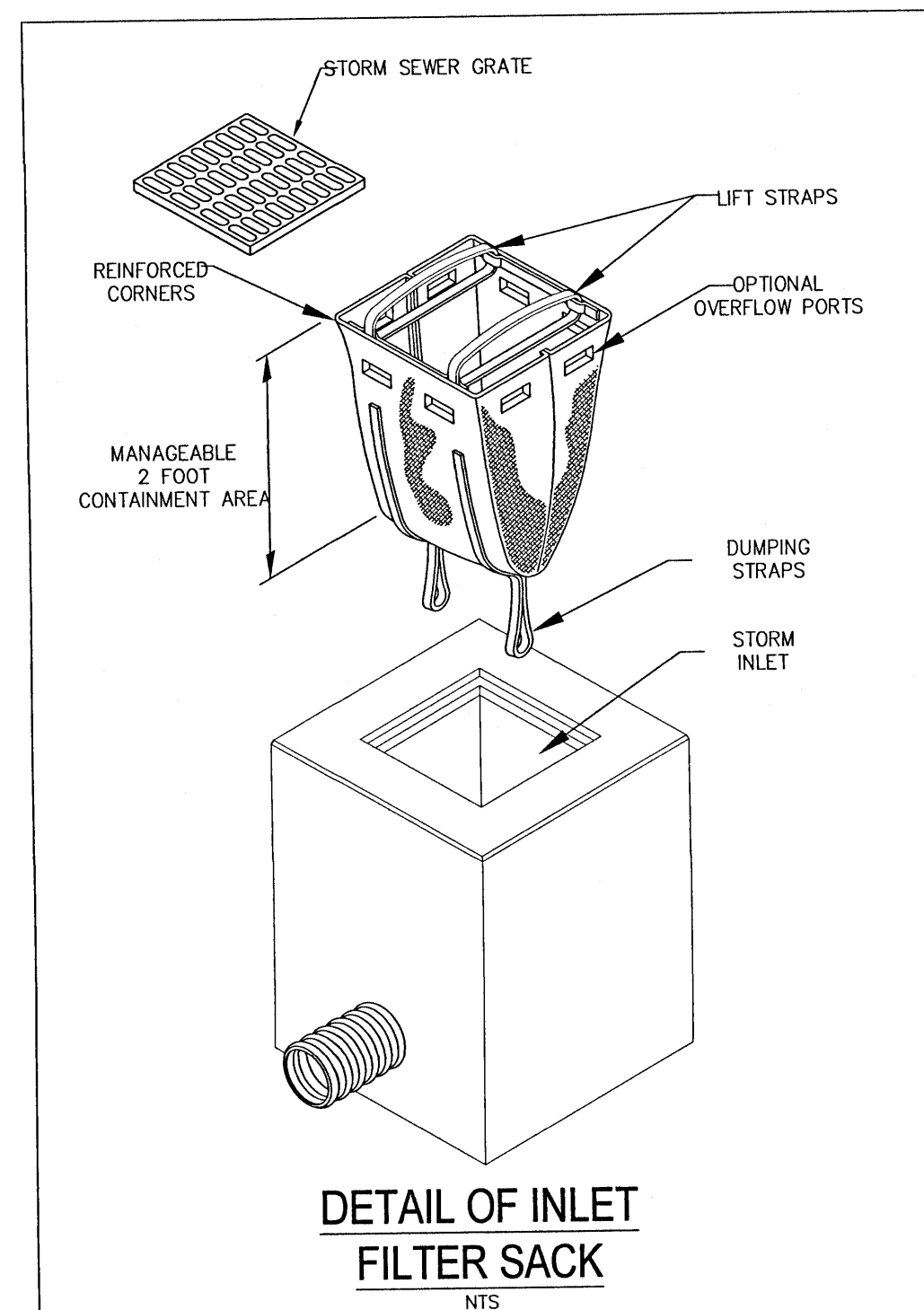
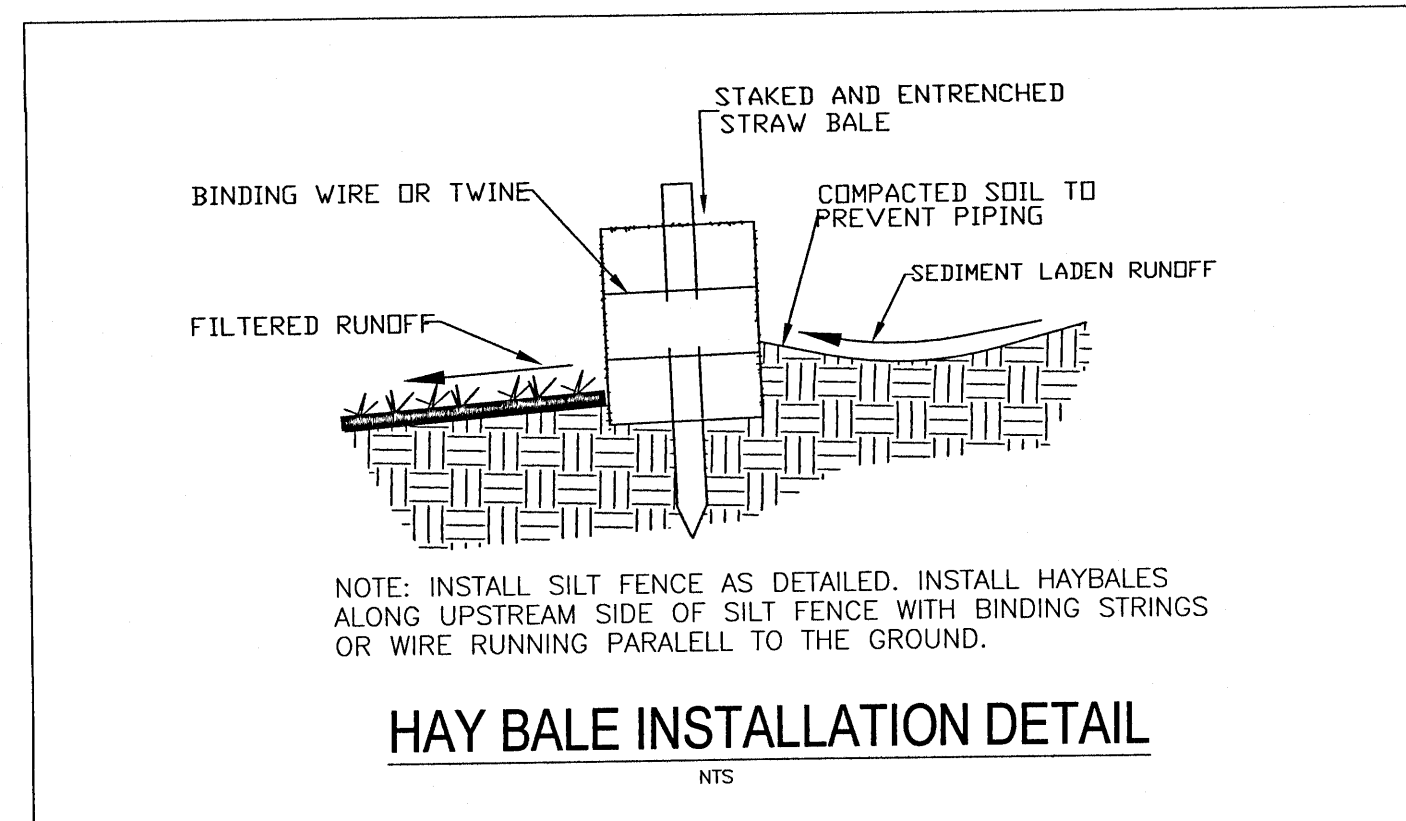
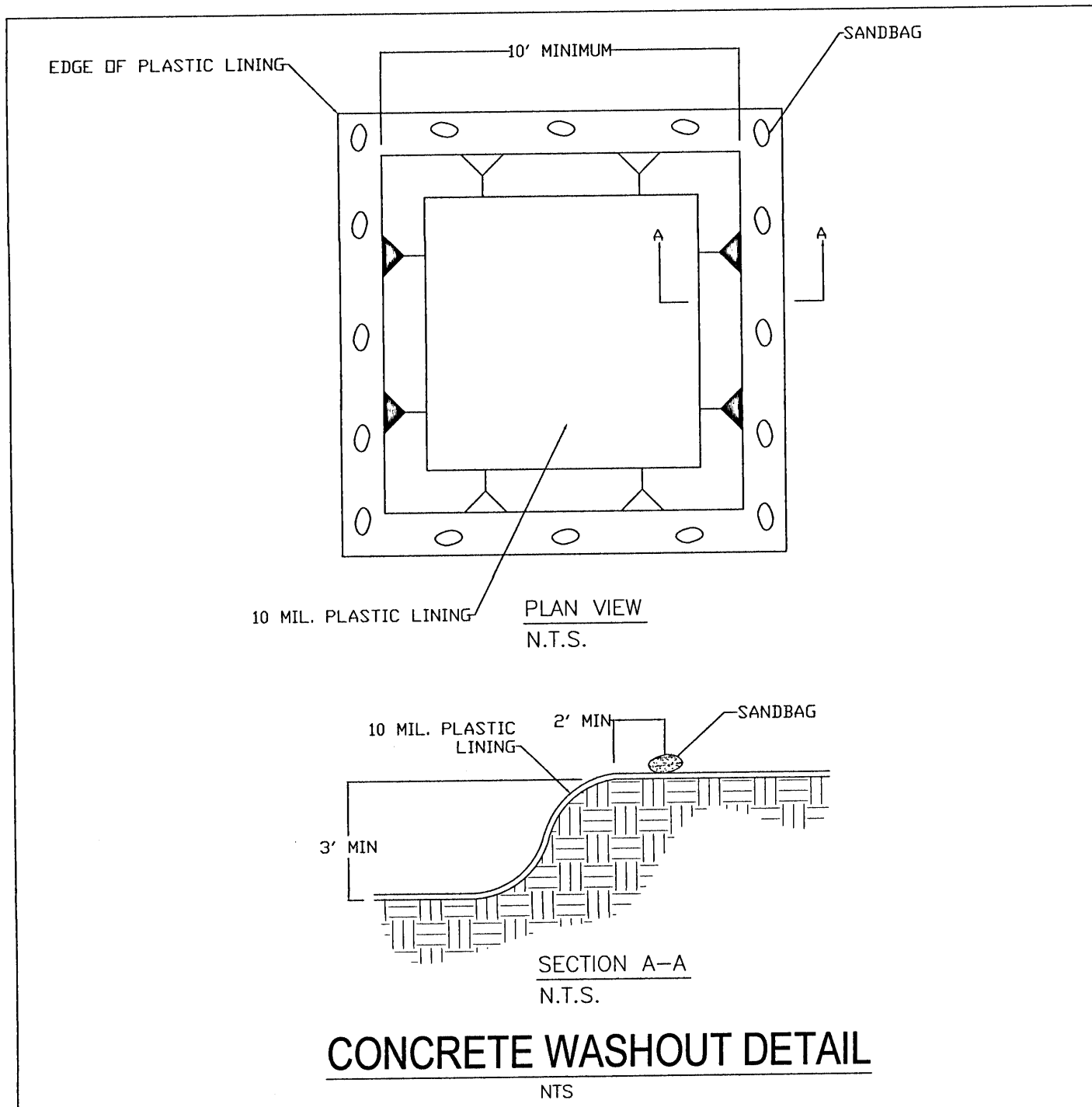
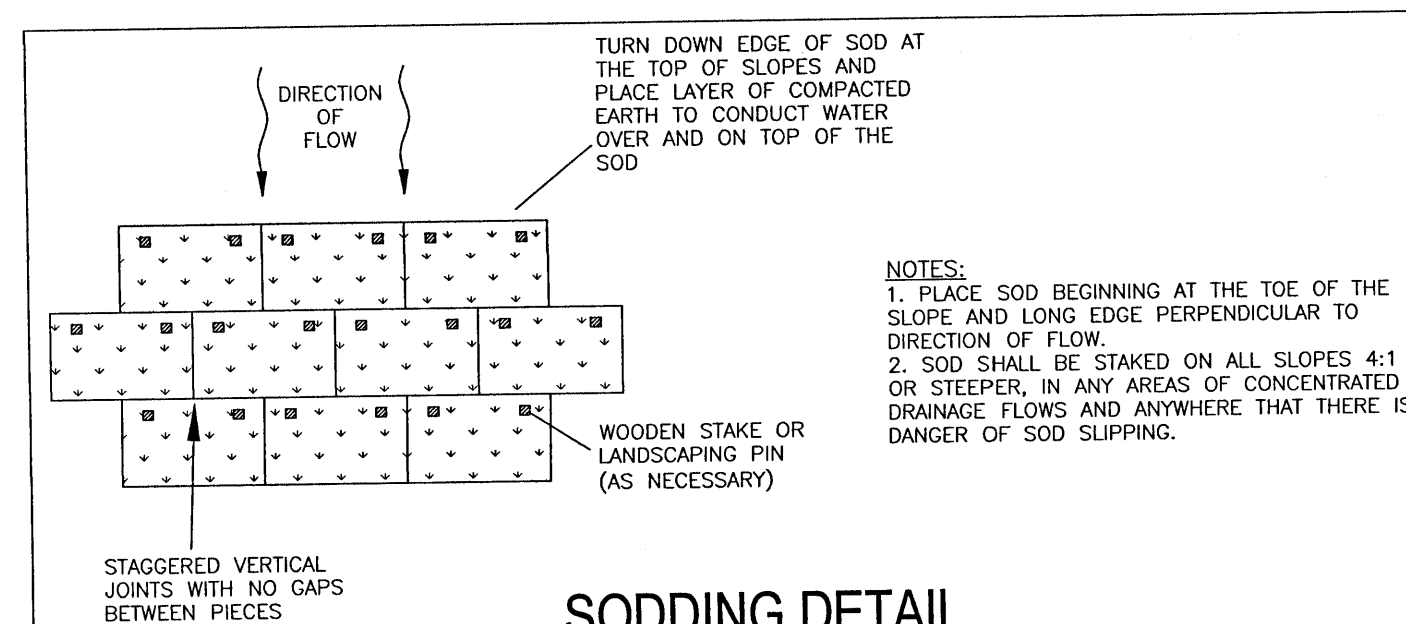
- NOTES FOR SILT FENCES:
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1 (FOUND BELOW)
 2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
 3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



Type III Silt Fence Protection Around Ditch Bottom Inlets.

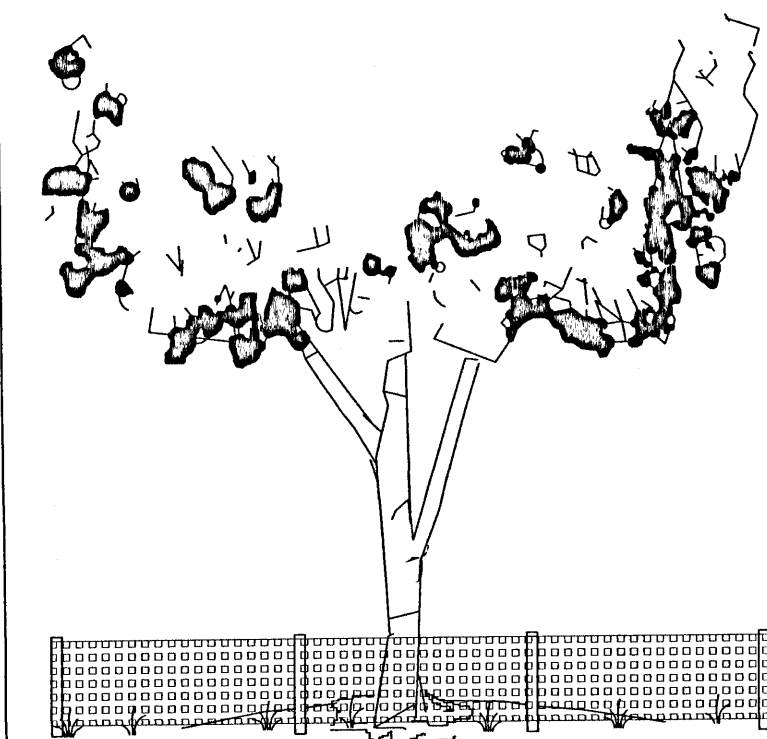
SILT FENCE APPLICATIONS

NTS



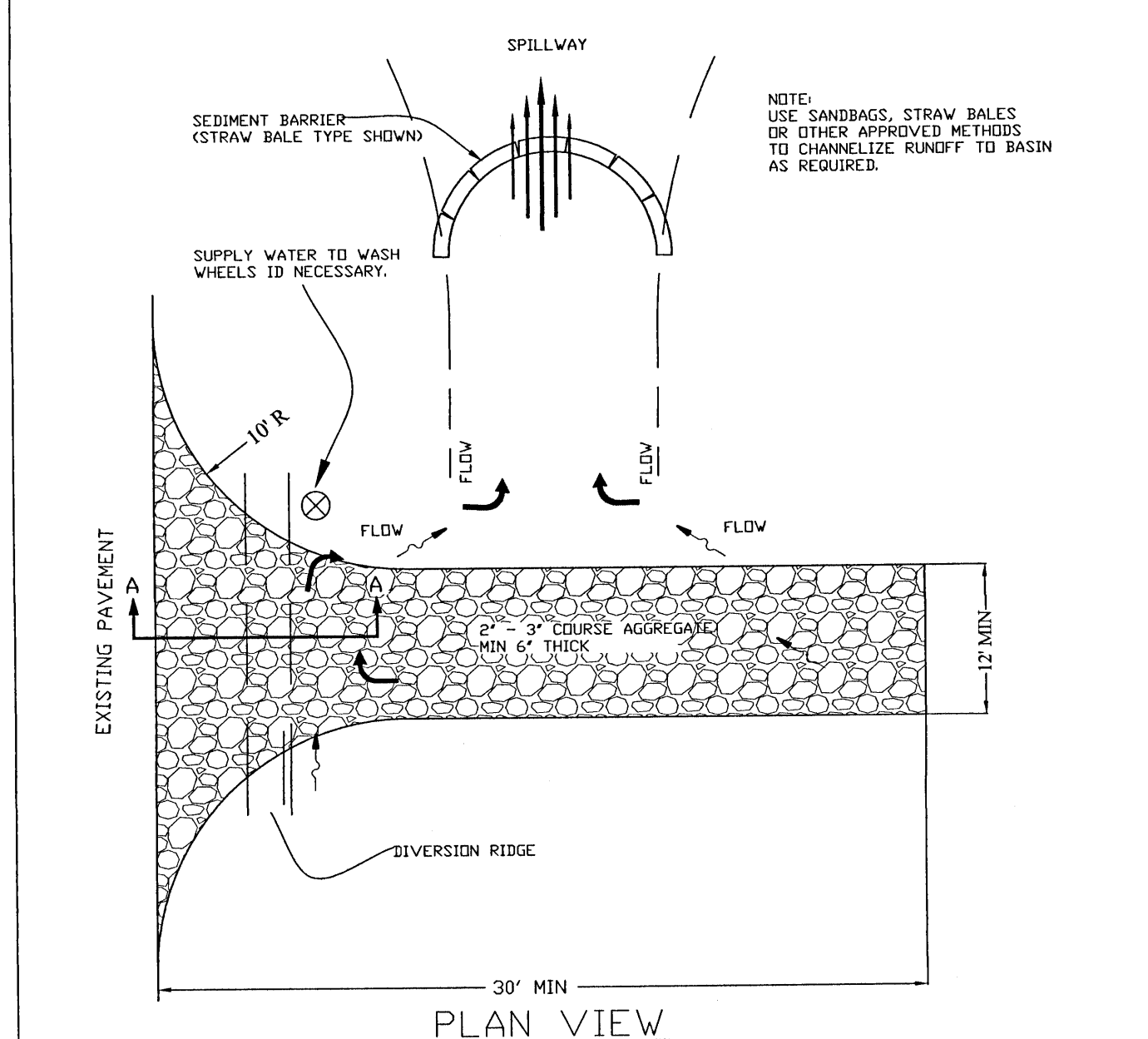
TREE PROTECTION BARRICADES SHOULD BE PLACED AT THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).

NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.

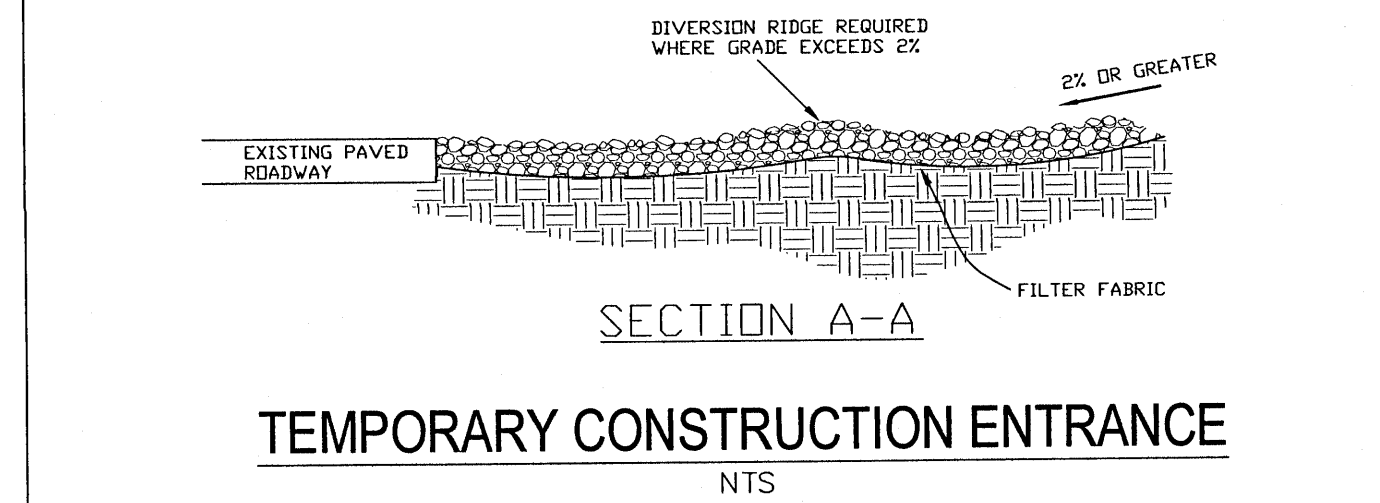


PROPERLY CONSTRUCTED BARRICADE PROTECTS THE TOTAL AREA WITHIN THE CRITICAL ROOT ZONE. CRITICAL ROOT ZONE OF A TREE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).

TREE PROTECTION BARRIER

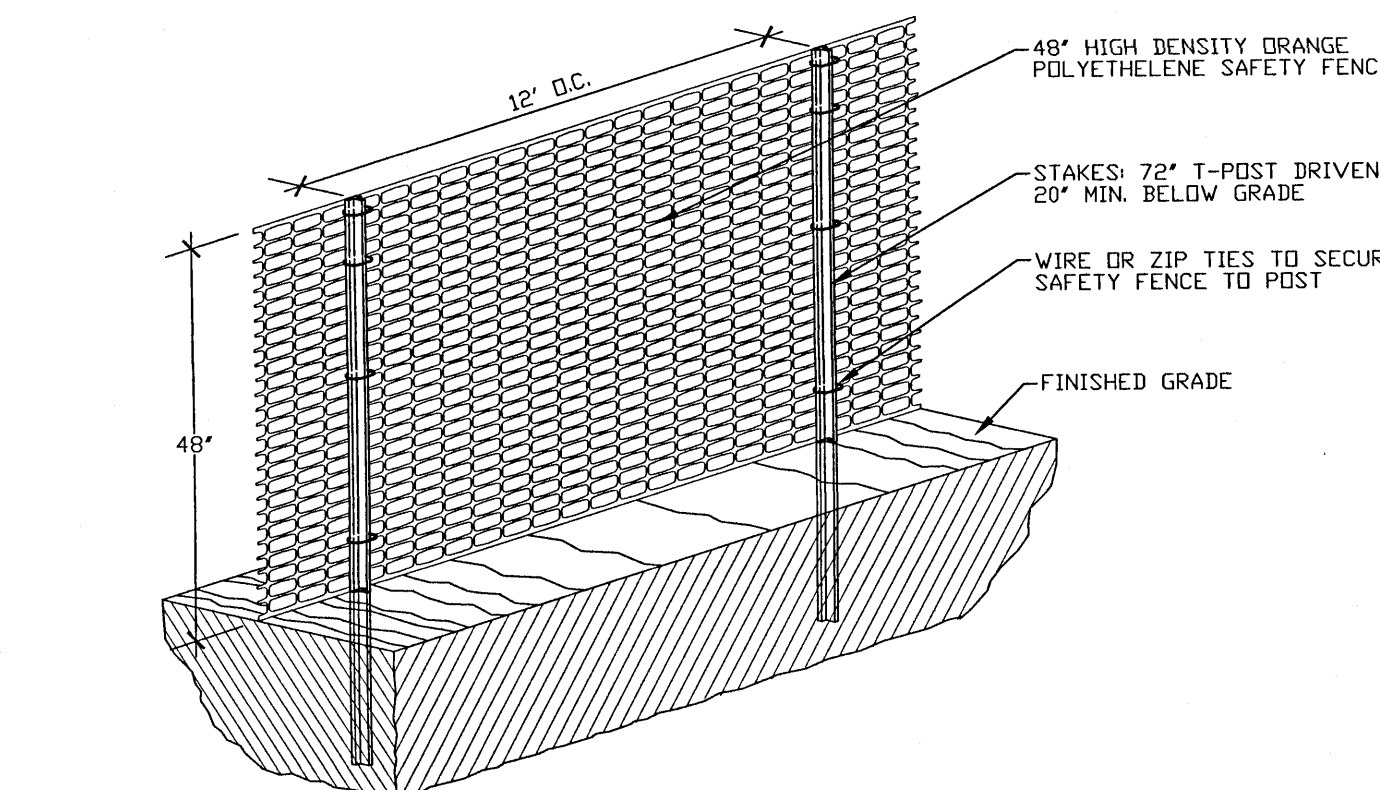


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.

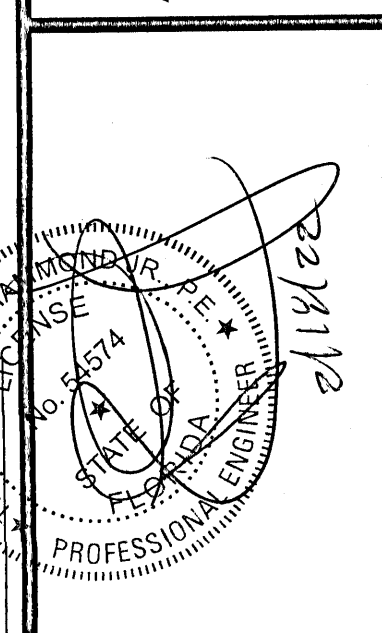


SENSITIVE AREA/TREE PROTECTION BARRIER

- NOTES:
1. ALL SENSITIVE AREAS SHALL BE PROTECTED INCLUDING DEEP EXCAVATIONS AND AS INDICATED ON PLANS.
 2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
 3. TREE PROTECTION BARRIER SHOULD BE PLACED, AND MAINTAINED IN GOOD WORKING ORDER, AROUND THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT PERMIT.
 4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
 5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
 6. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.
 7. ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY (NOT TORN). ROOTS SHALL BE PRUNED CLEANLY TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM EXISTING GRADE.

NO.	DATE	REVISIONS	REVIEW COMMENTS
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SITE DEVELOPMENT
PLANS FOR
CAMINITI LANE
DUPLEXES
EROSION CONTROL
DETAILS
ESCAMBIA COUNTY FLORIDA

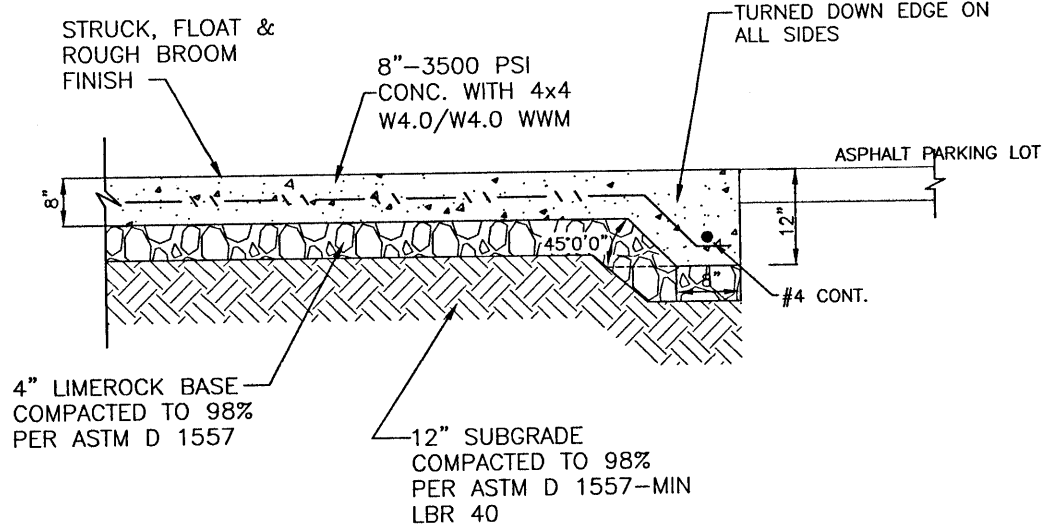
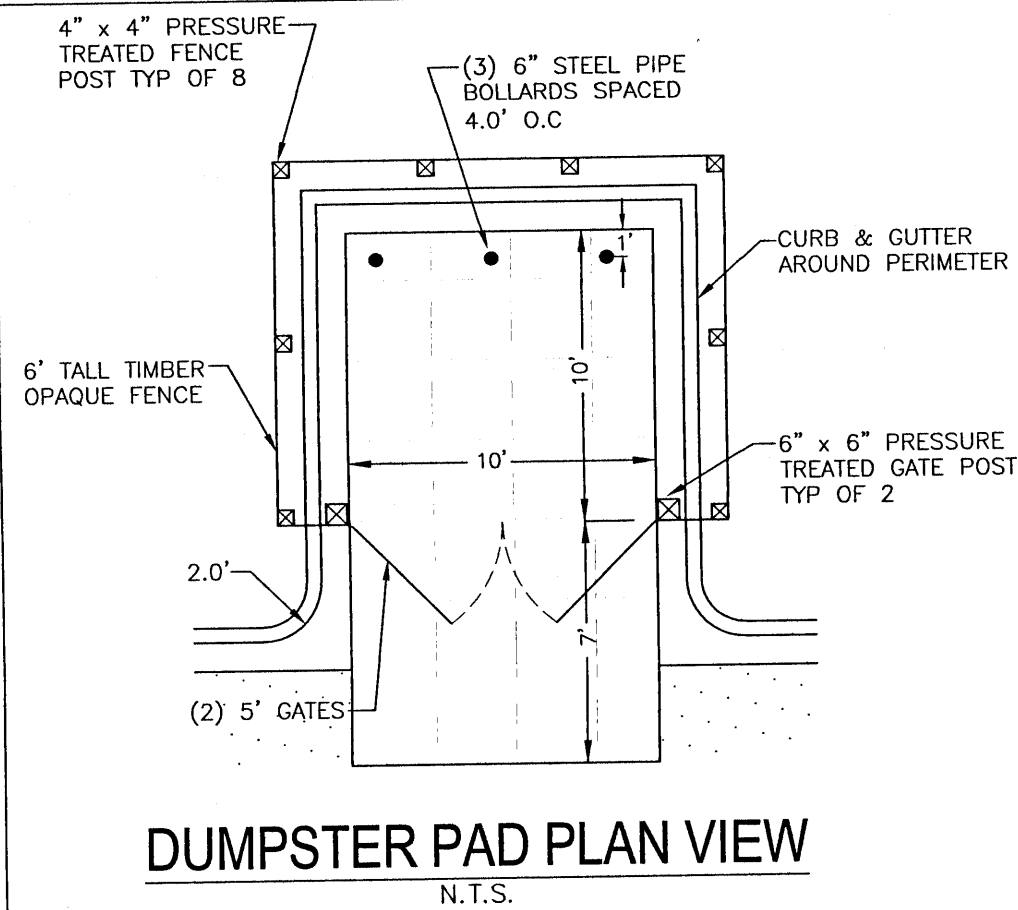
DRAWN BY: CJB	DESIGNED BY: RLS
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SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-034
SHEET: C10

List of Recommended Native and Non-Invasive Plants		
Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia <i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
Aucuba japonica <i>Aucuba</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
Barberry <i>Berberis sp.</i>	American Holly <i>Nex opaca</i>	American Hombear <i>Carpinus caroliniana</i>
Japanese Boxwood <i>Buxus microphylla</i>	Dahoon Holly <i>Nex cassine</i>	Southern Red Cedar <i>Juniperus silicicola</i>
Beauty Berry <i>Callicarpa Americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressocyparis leylandii</i>
Japanese Plum-Yew <i>Cephalotaxus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
Silverhorn Elaeagnus <i>Elaeagnus pungens</i>	Saucer Magnolia <i>Magnolia x soulangiana</i>	Pignut Hickory <i>Carya glabra</i>
Fatsia <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
Gardenia <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
Burford Holly <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
Japanese Privet <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus calleryana</i>	Tulip Poplar <i>Liriodendron tulipif</i>
Southern Wax Myrtle <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
Firethorn <i>Pyracantha coccin</i>	Loquat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
Dwarf Japanese Holly <i>Nex crenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Slash Pine <i>Pinus elliotii</i>
Chinese Holly <i>Nex Cornula</i>	Fringe Tree <i>Chlonanthus virginicus</i>	Longleaf Pine <i>Pinus palustris</i>
Dwarf Yaupon Holly <i>Nex vomitoria 'Nana'</i>	Hawthorn <i>Crataegus spp.</i>	Sycamore <i>Plantanus occidentalis</i>
Chinese Juniper <i>Juniperus chinensis</i>	Silverbell <i>Halesia caroliniana</i>	White Oak <i>Quercus alba</i>
Indian Hawthorn <i>Raphiolepis sp.</i>		Live Oak <i>Quercus virginiana</i>
Red-Tip Photinia <i>Photinia</i>		Shumard Oak <i>Quercus shumardii</i>
Rhododendron/Azalea <i>Rhododendron sp.</i>		Southern Red Oak <i>Quercus falcata</i>

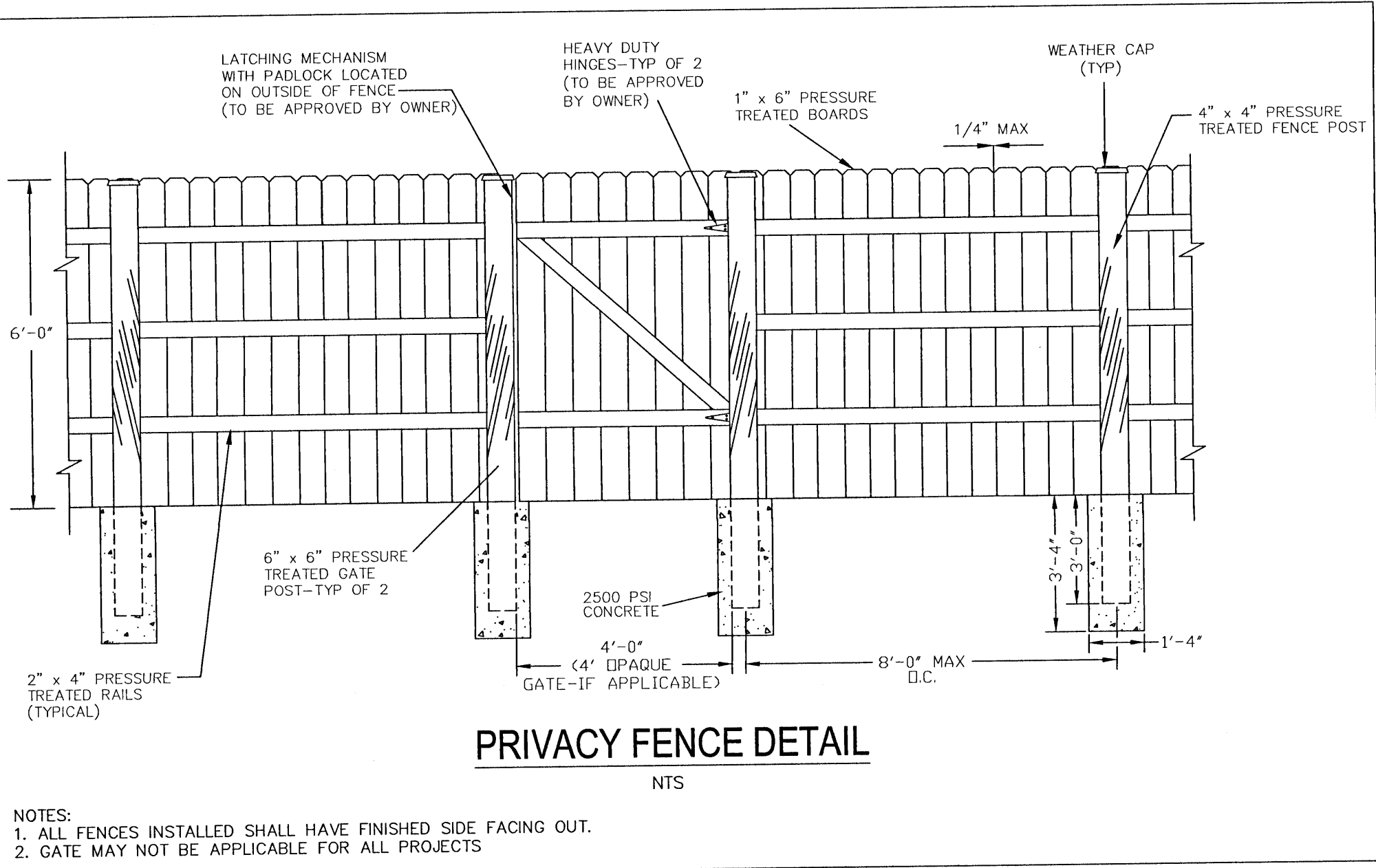
LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOO AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEIOUS MATERIAL NOT CONDUCIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDDED.

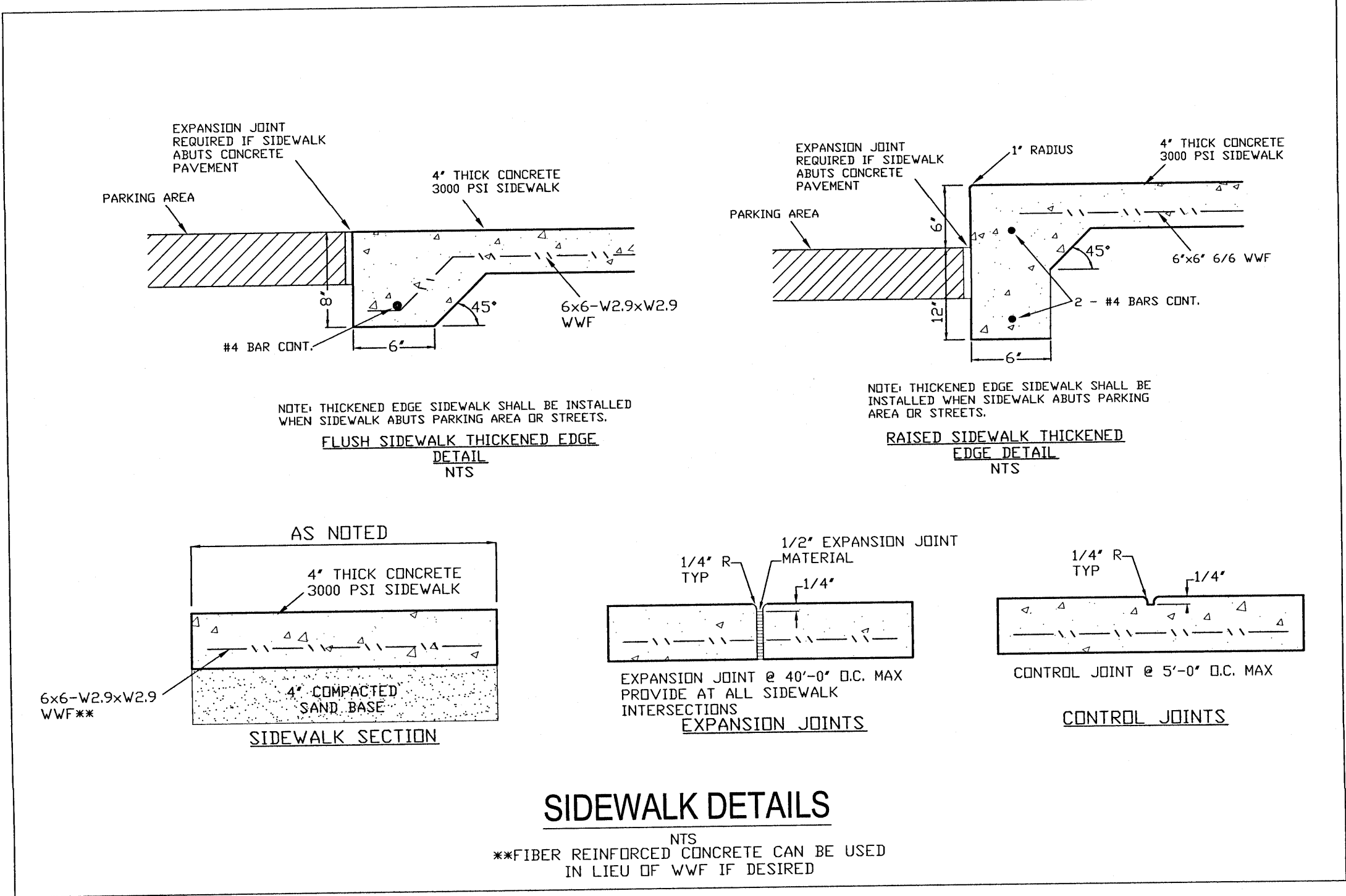


DUMPSTER PAD X-SECT

- N.T.S.
- SPACING FOR EXPANSION JOINTS SHALL NOT EXCEED 30 LF
 - SPACING FOR CONTROL JOINTS SHALL NOT EXCEED 12 LF

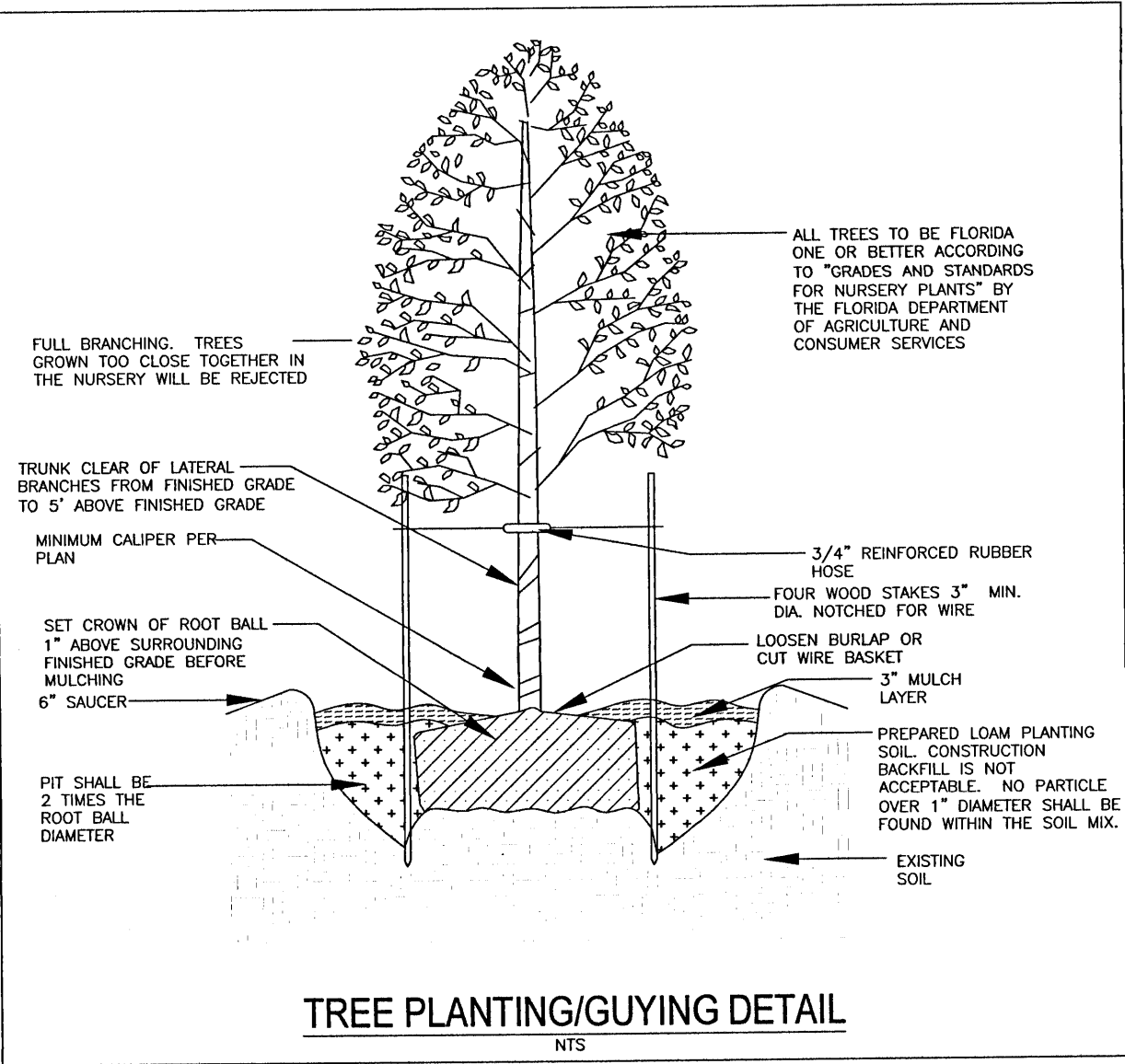


- NOTES:
- ALL FENCES INSTALLED SHALL HAVE FINISHED SIDE FACING OUT.
 - GATE MAY NOT BE APPLICABLE FOR ALL PROJECTS



SIDEWALK DETAILS

N.T.S.
**FIBER REINFORCED CONCRETE CAN BE USED IN LIEU OF WWF IF DESIRED



ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

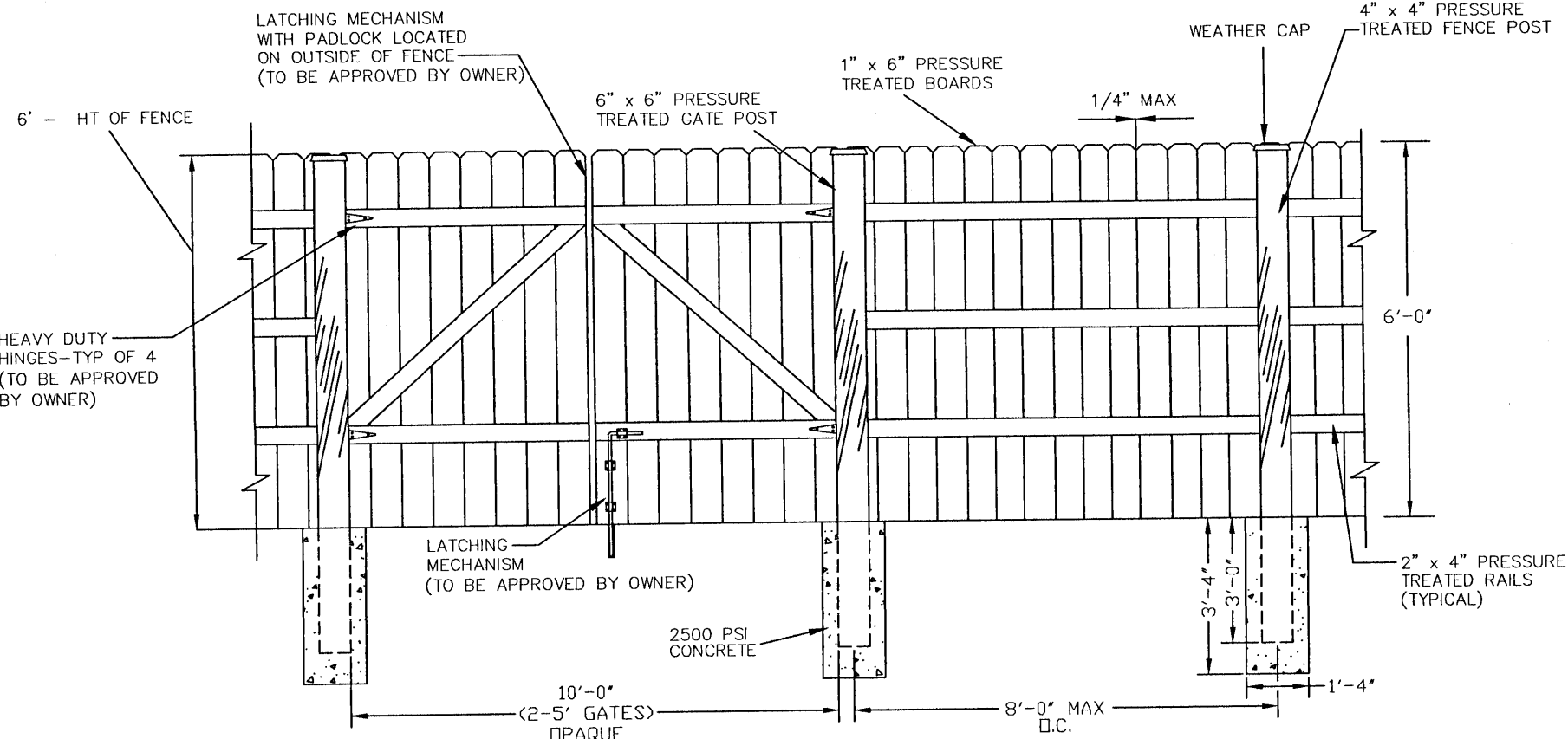
- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.

- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 40% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.

- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. REQUINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).

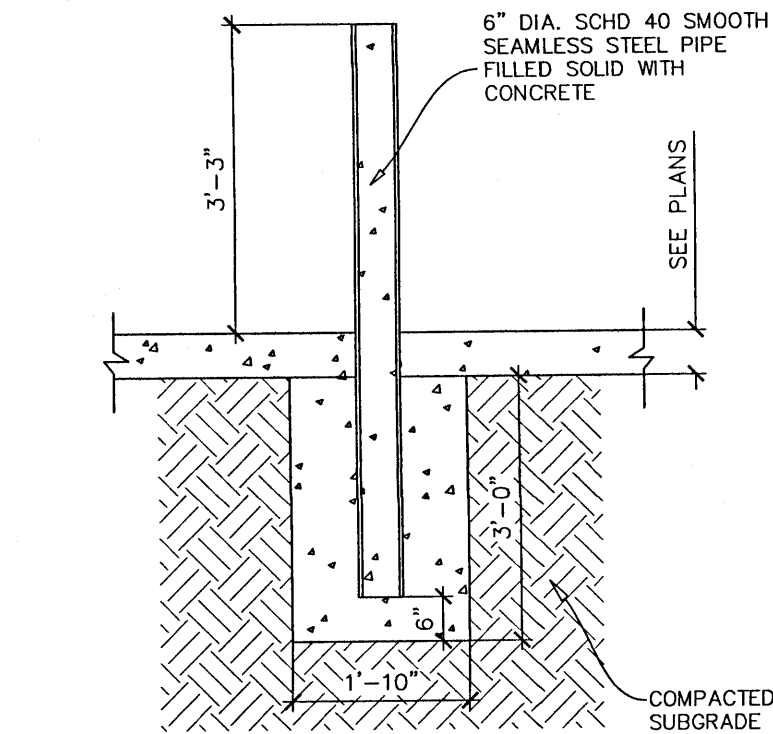
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.

- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.



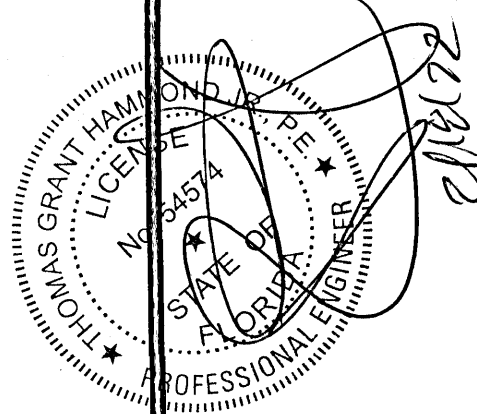
DUMPSTER FENCE DETAIL

N.T.S.
NOTE: ALL FENCES INSTALLED SHALL HAVE FINISHED SIDE FACING OUT.



TYP. BOLLARD DETAIL

- N.T.S.
- 6"Ø, SCHEDULE 40 STEEL PIPE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
 - BOLLARDS TO BE PLUMB AND ALIGNED IN A STRAIGHT LINE AND FILLED WITH CONCRETE.
 - TOPS TO BE GROUND SMOOTH W/SQUARE EDGE, THEN PRIMED WITH "END RUST" BY DURO AND PAINTED WITH INDUSTRIAL OIL BASED ENAMEL.



SITE DEVELOPMENT
PLANS FOR
CAMINITI LANE
DUPLEXES
CONSTRUCTION
DETAILS

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	CONTRACTOR:
DATE: 01-12-22	DATE: 01-12-22
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
DATE:	DATE:

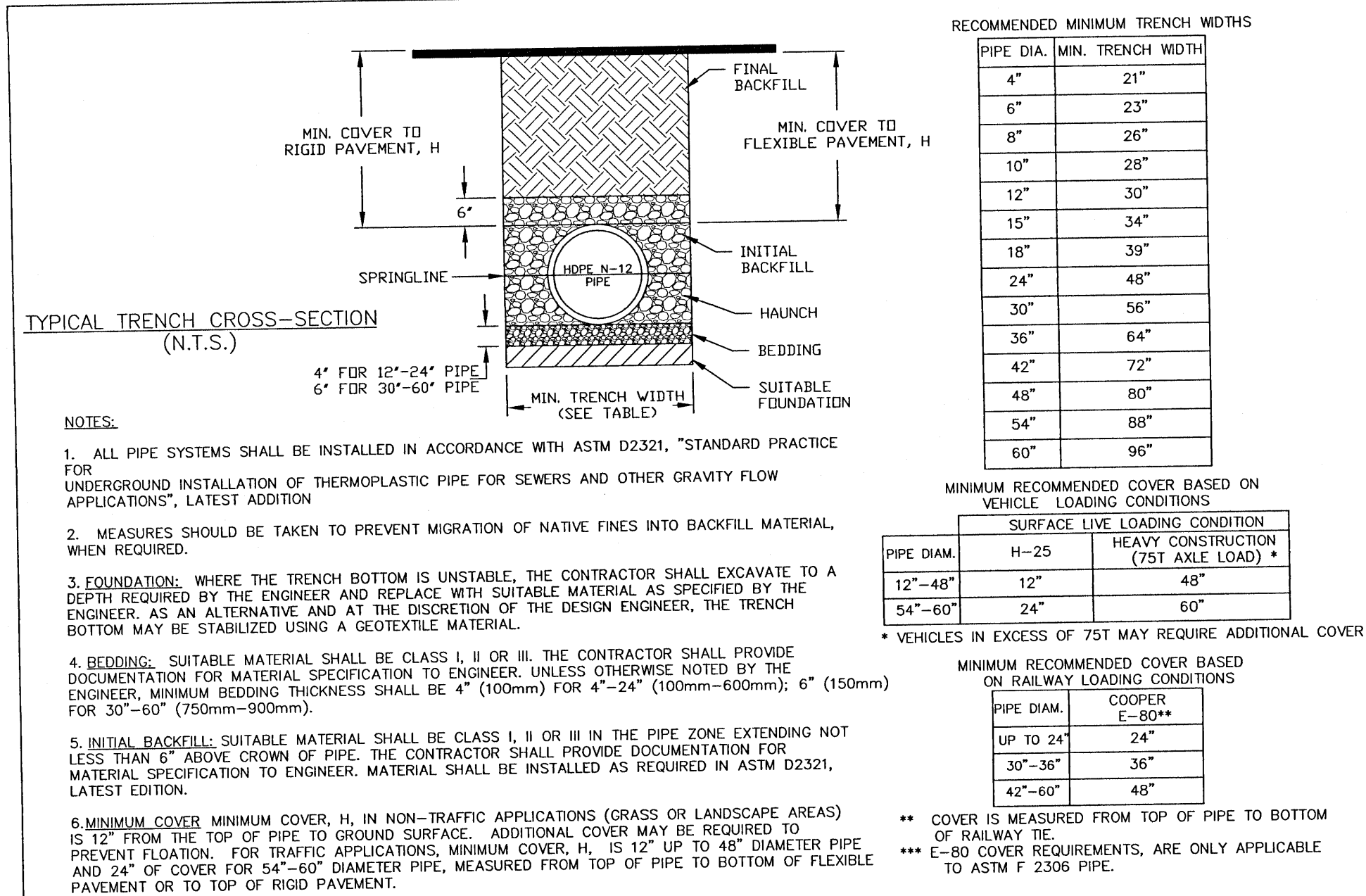
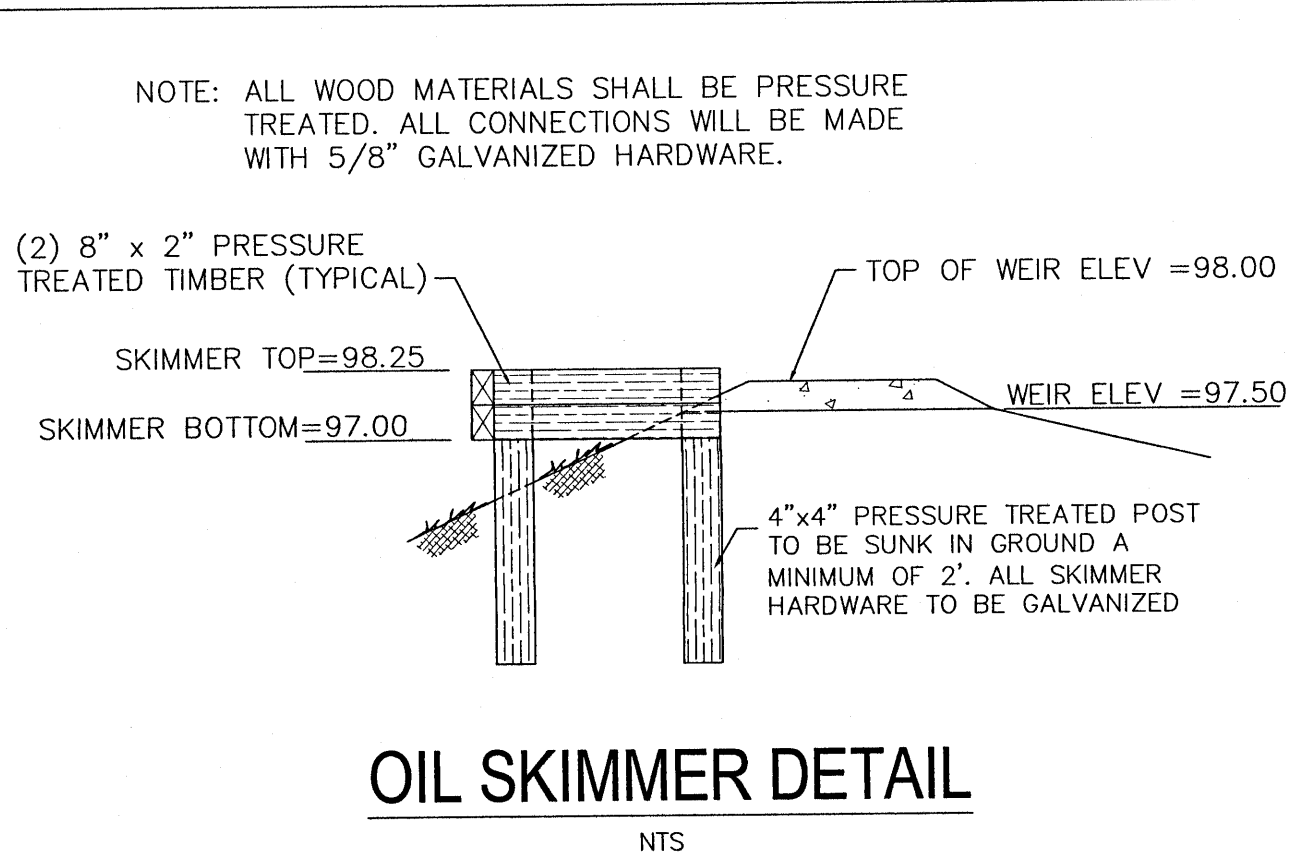
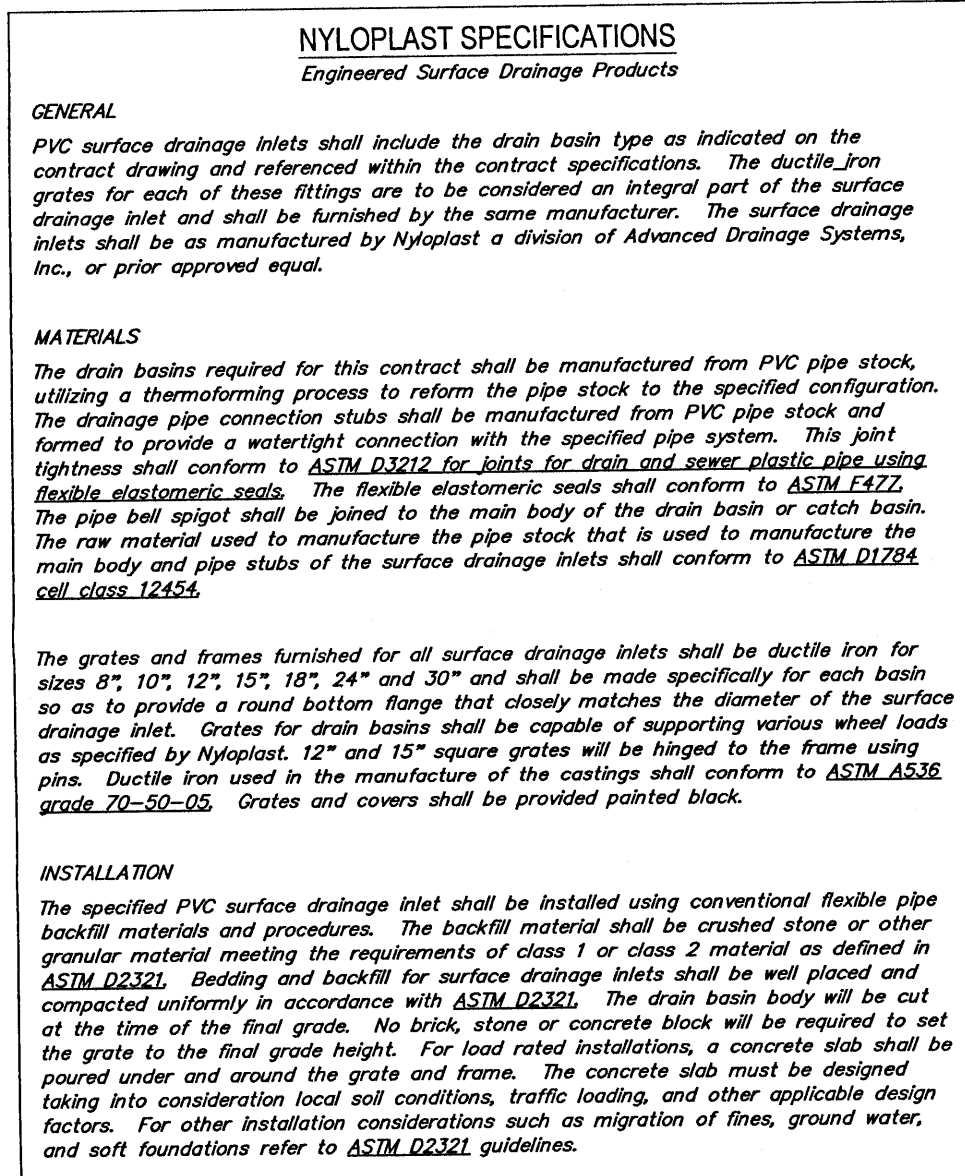
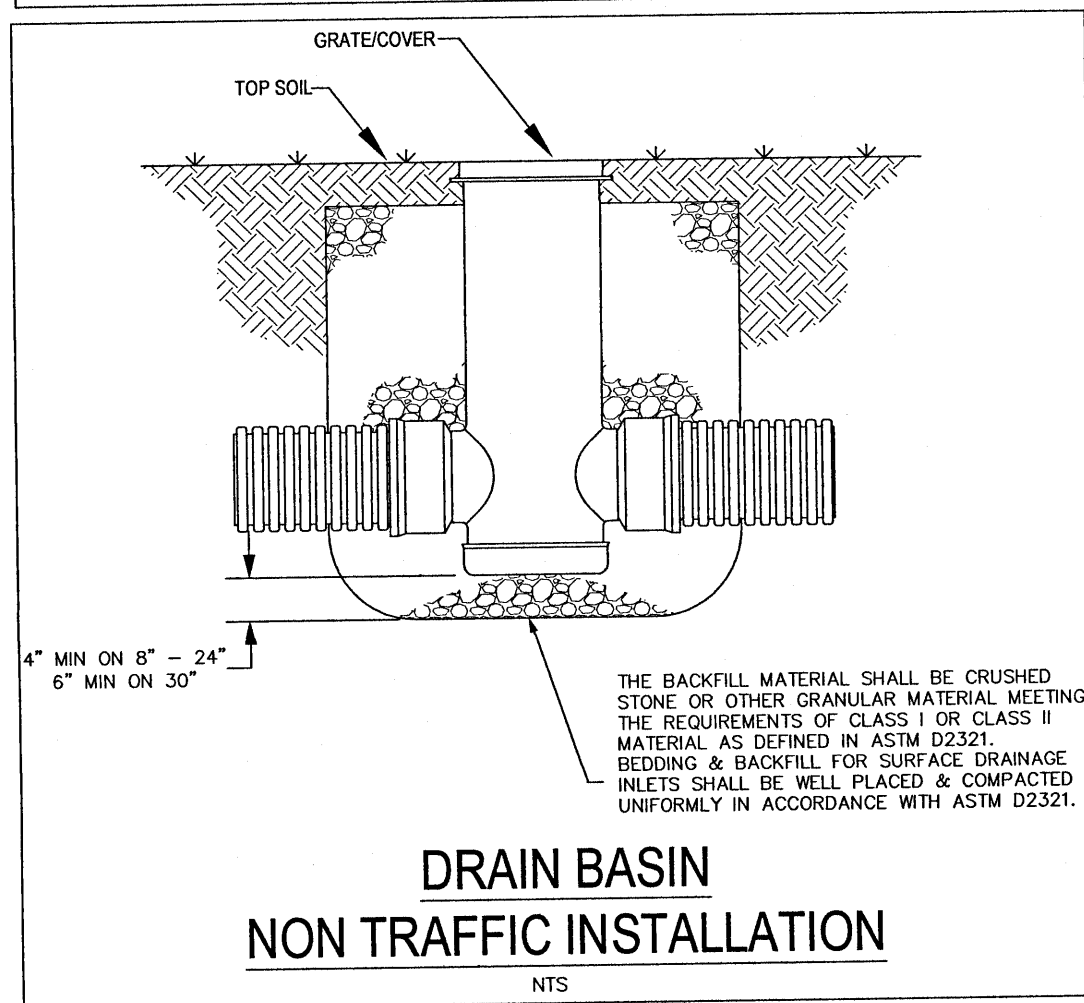
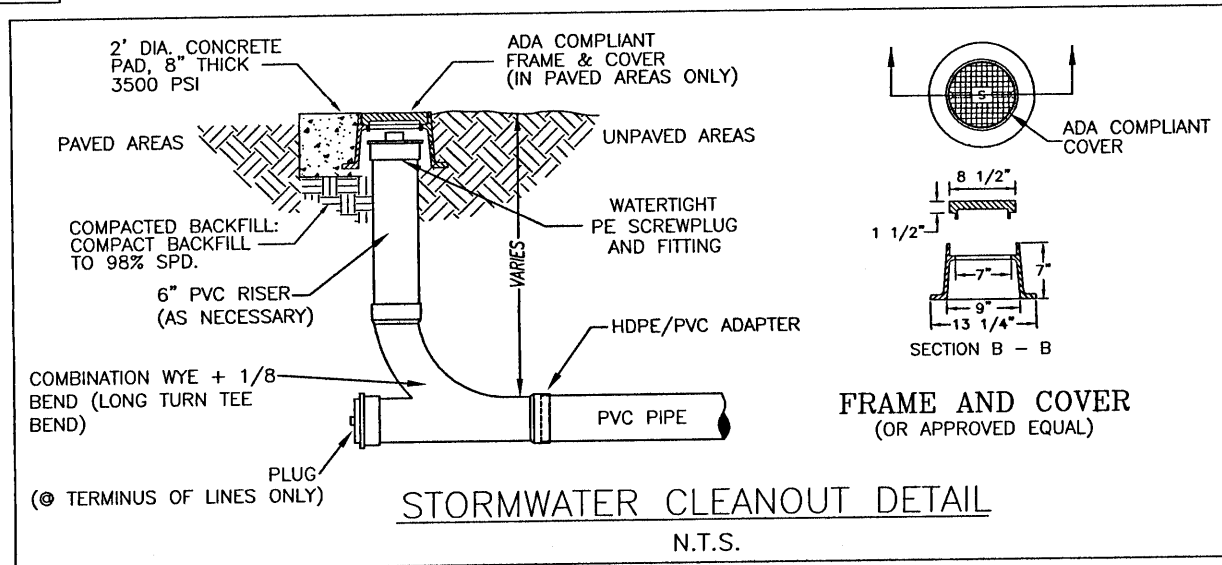
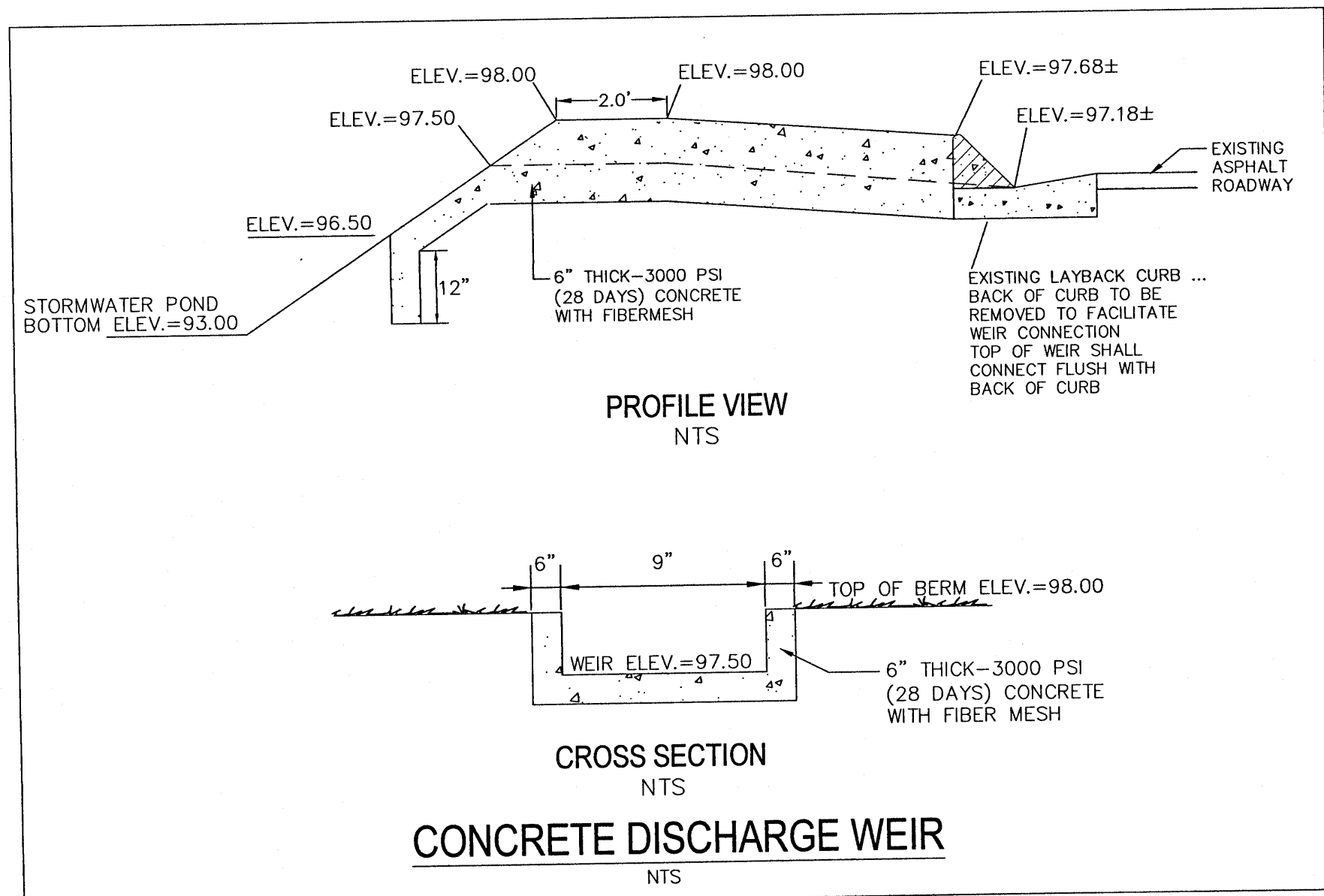
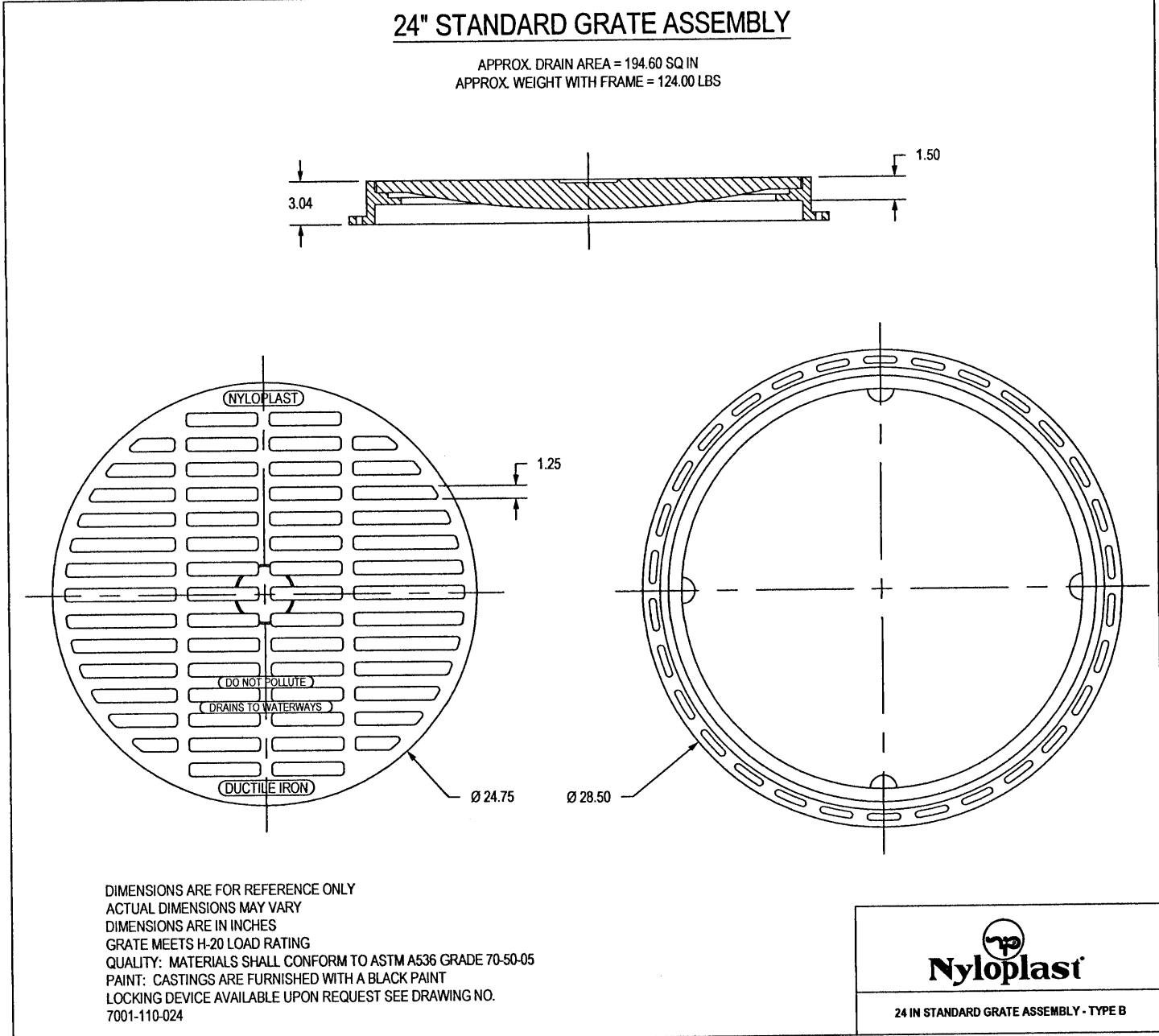
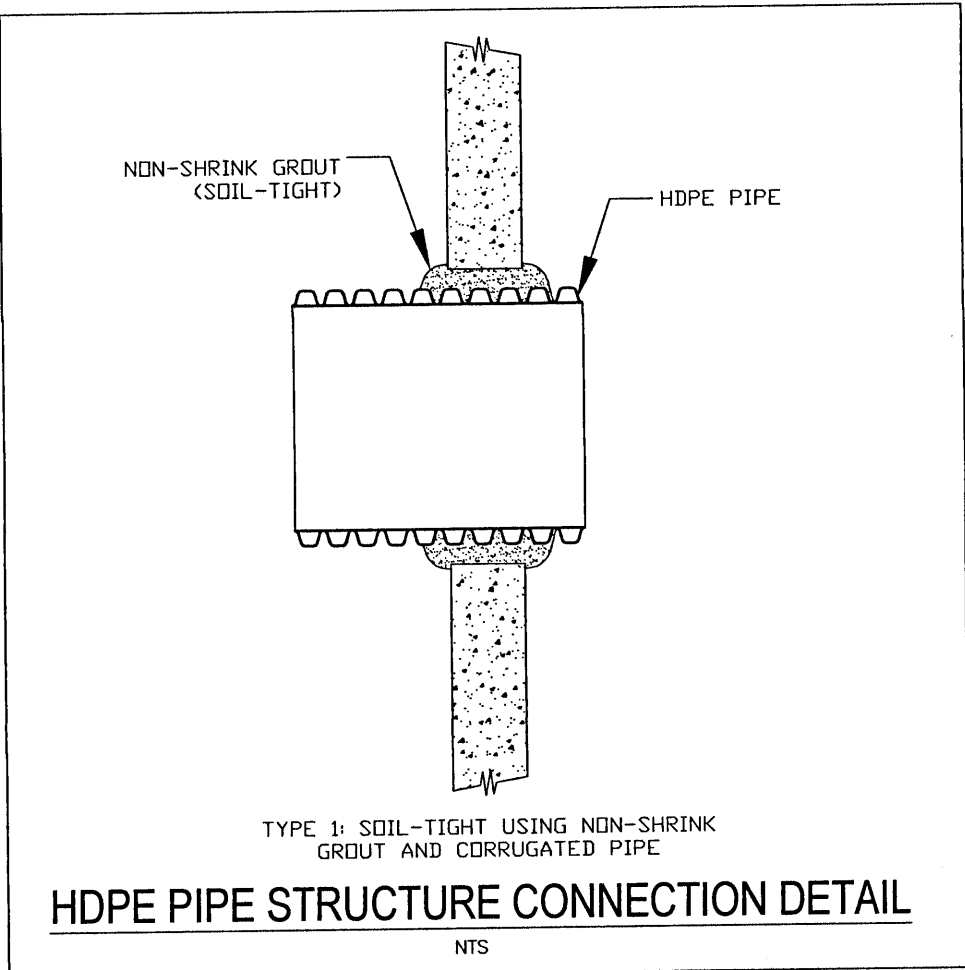
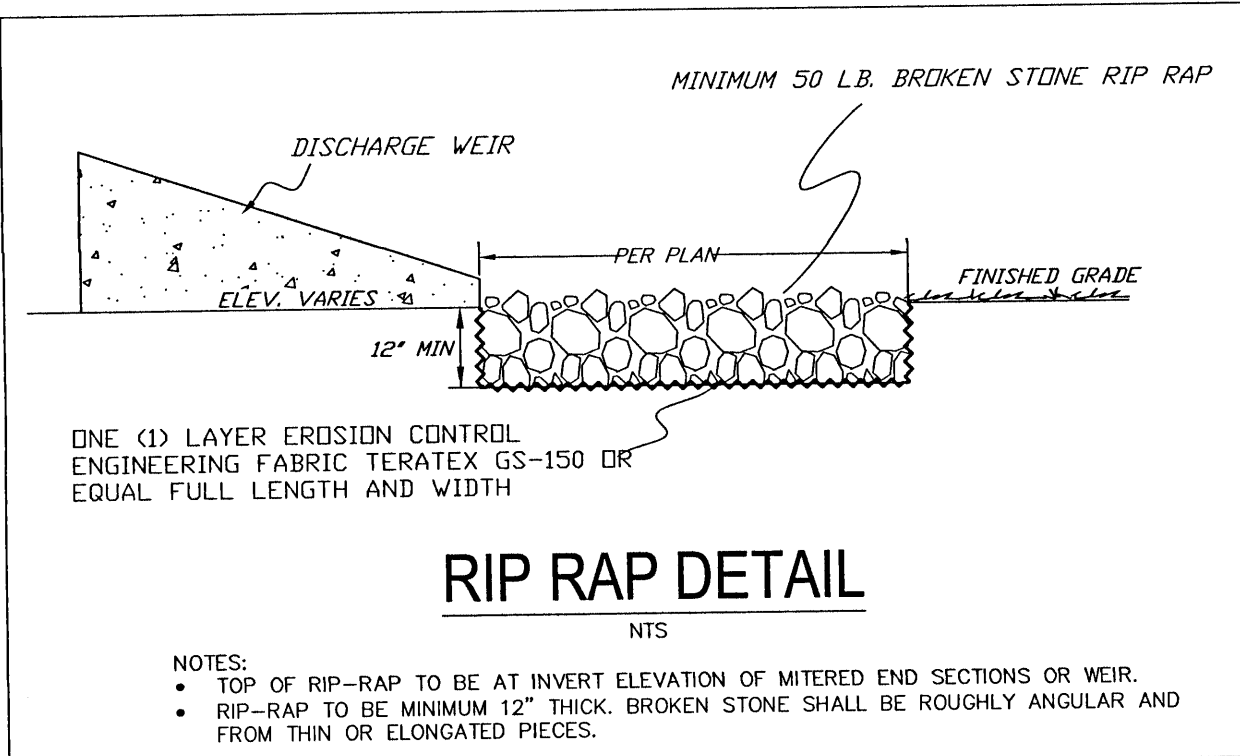
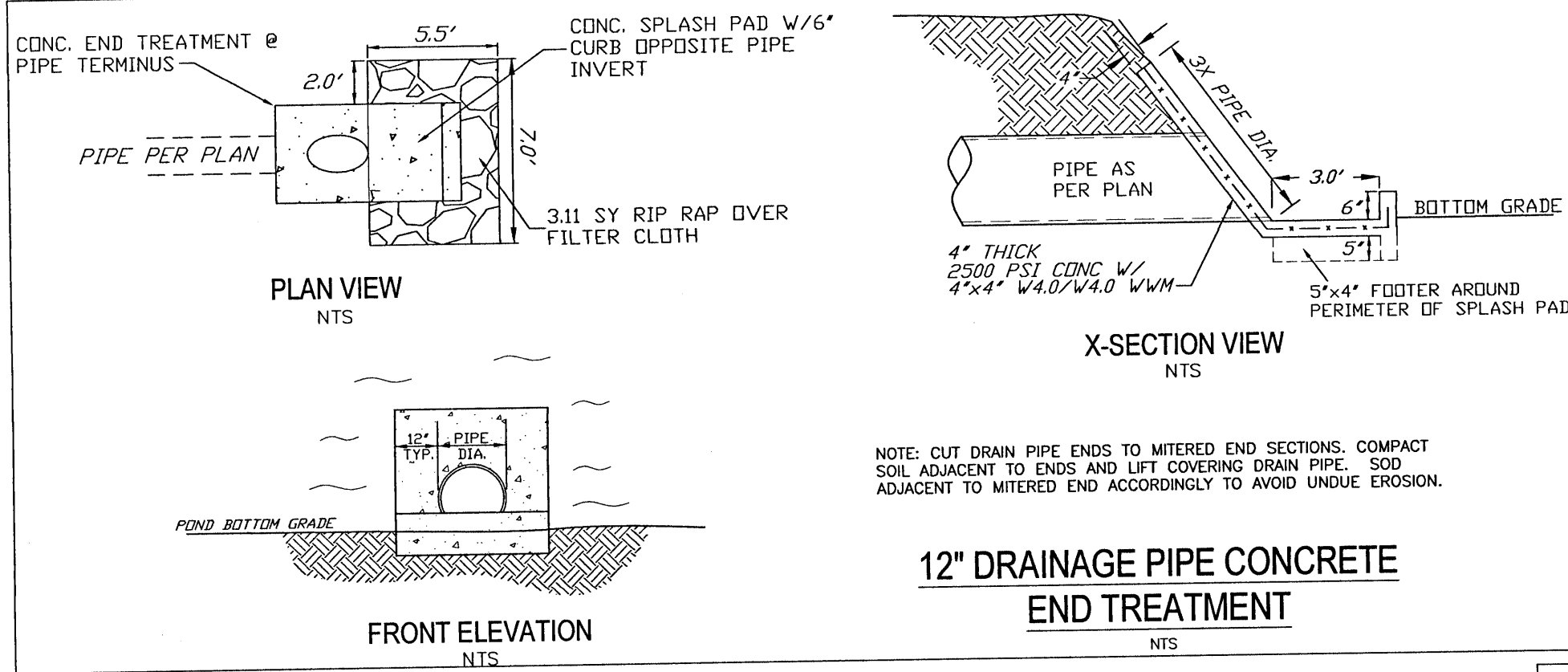
PROJECT NO: 21-034

SHEET: C12

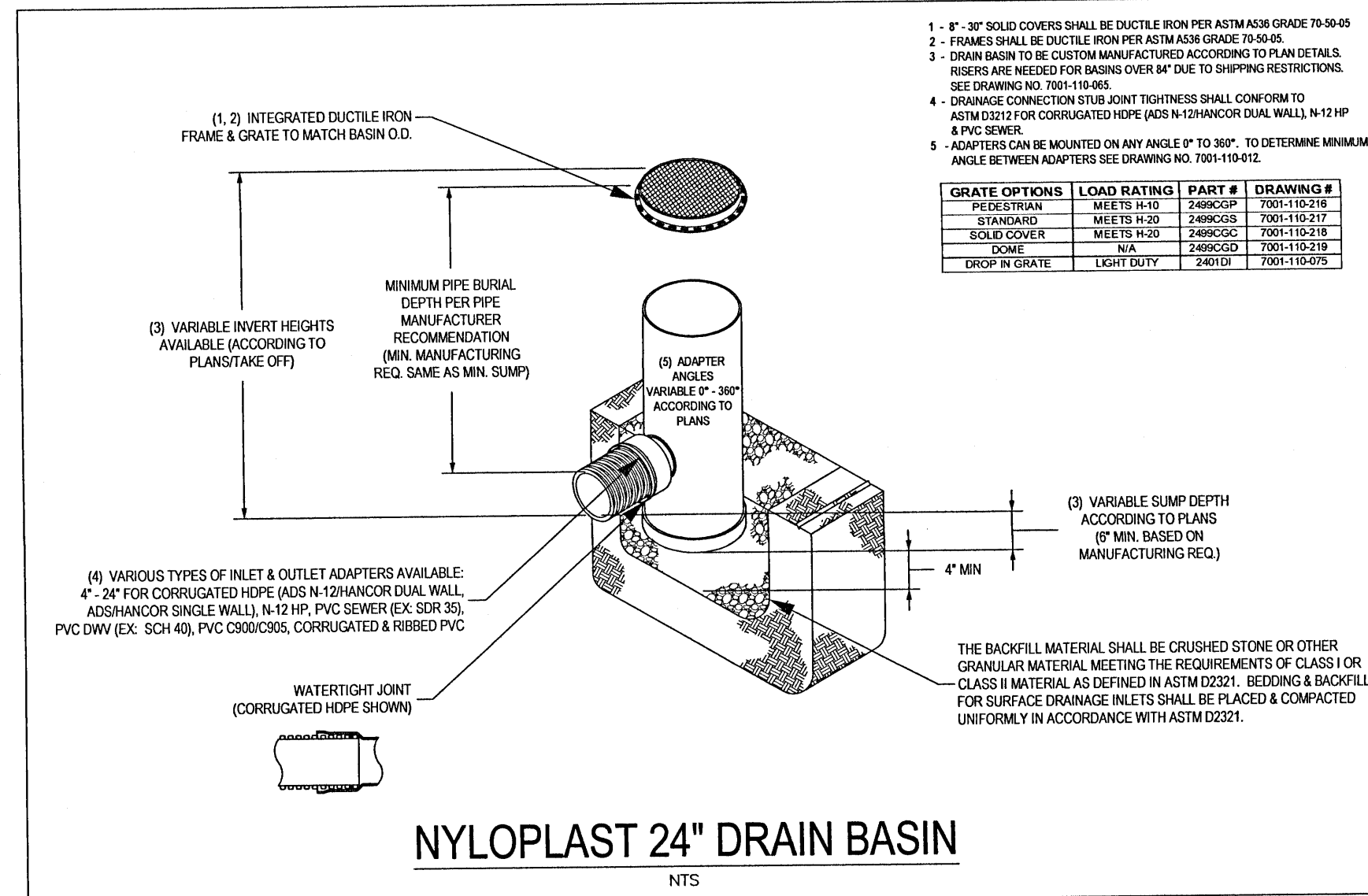
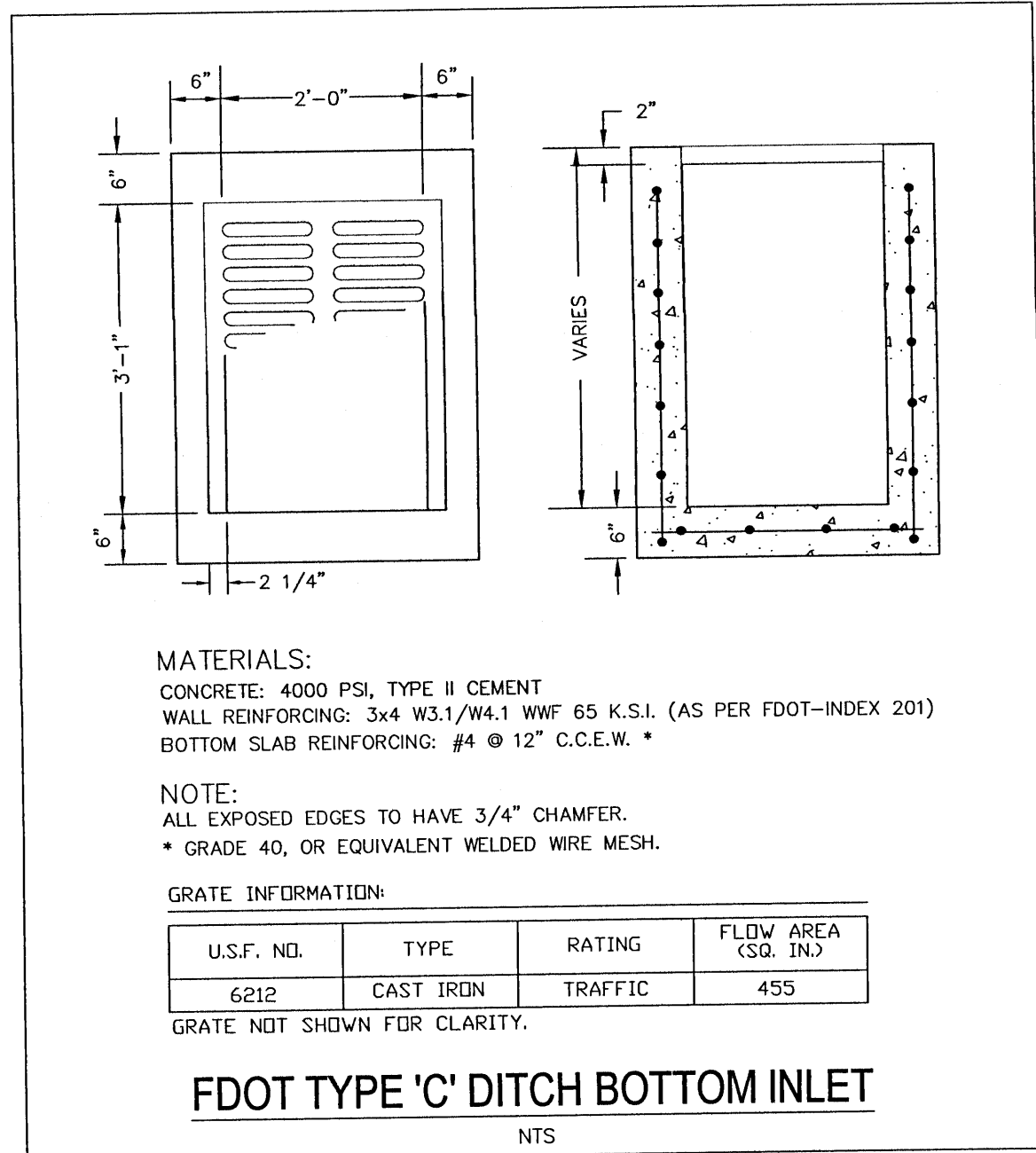
NO.	DATE	REVISIONS	REVIEW COMMENTS
1	02/15/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS	
2	02/15/2022	REVISED PLANS AS PER ECDA UTILITY PERMIT REVIEW COMMENTS	
3			
4			
5			

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HAMMOND ENGINEERING, INC.
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ALABAMA AUTHORIZATION NO. 3277
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PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL
NTS



REVISIONS		REVIEW COMMENTS	
NO.	DATE	NO.	DATE
1	02/16/2022	1	02/16/2022
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS		REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS	

HAMMOND ENGINEERING, INC.
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JOHN S. GRANT
No. 2574
STATE OF FLORIDA
P.E. LICENSE
PROFESSIONAL ENGINEER

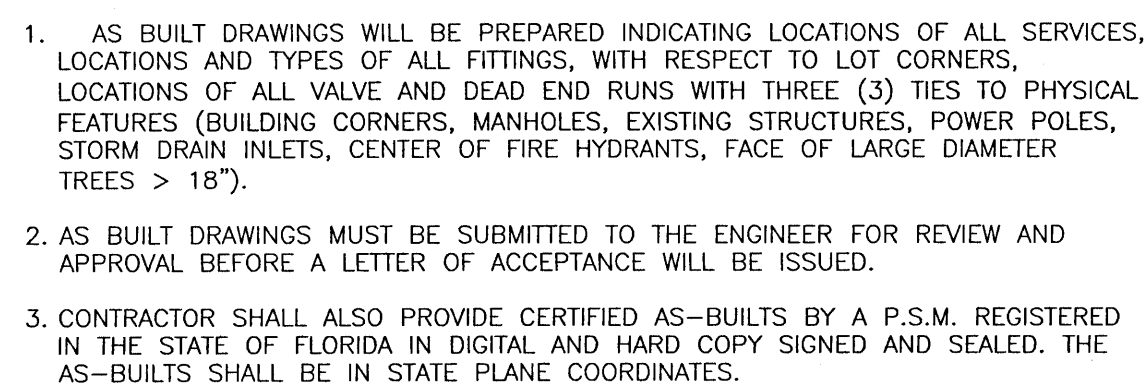
SITE DEVELOPMENT
PLANS FOR
CAMINITI LANE
DUPLEXES
DRAINAGE DETAILS
FLORIDA

DRAWN BY: DUG
DESIGNED BY: RLB
CHECKED BY: TGH
DATE: 01-12-22
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 21-034
SHEET: C13

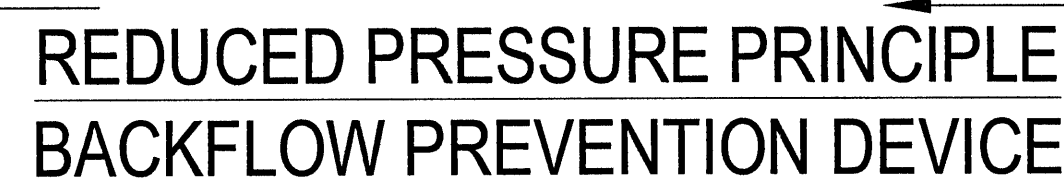
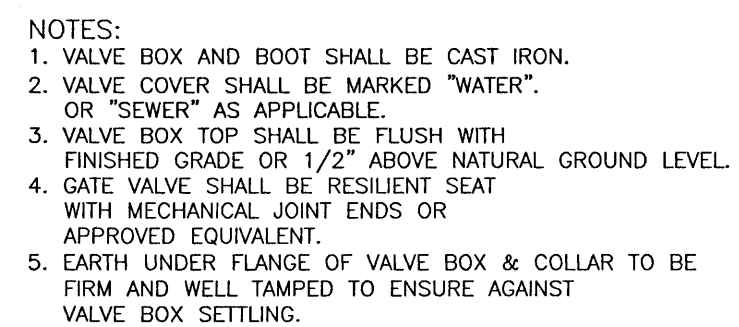


1. MAINTAIN 18" MINIMUM COVER OR USE 6 L.F. CONCRETE ENCASEMENT
2. ALL LATERALS TO BE 4" Ø PVC 3034 DR SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
3. A CLEAN OUT SHALL BE PROVIDED WITHIN 5 FT OF BUILDING WHERE THE SEWER LATERAL EXITS



N.T.S.

NOTE: ALL DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY.
ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN
ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING
MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL
FOR CONSTRUCTION DETAILS AND PROCEDURES.



2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

NOTES:

A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF ANY OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.

B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

WATER SEWER/SEPARATION

DRAWN BY: CJB	BY:	DATE:
DESIGNED BY: RLS		
CHECKED BY: TGH		
DATE: 01-12-22		
SCALE: AS SHOWN		
NOT RELEASED FOR CONSTRUCTION		

SHEET: C14