

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY FOR THE ENGINEER'S USE IN PREPARING AS-BUILT CERTIFICATIONS AND RECORD DRAWINGS FOR THE OWNER. AS-BUILT INFORMATION MUST INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES TO LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.
2. THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE ESCAMBIA COUNTY WITH THE SIGNED/SEALED "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
3. ALL EXISTING WETLANDS/RIVERINES, AND THE REQUIRED BUFFER ZONES, MUST BE PROTECTED TO THE GREATEST EXTENT POSSIBLE.
4. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING SODDED AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
5. TREES NOT BEING REMOVED MUST BE PROTECTED PER DETAILS PRESENTED IN THE PLANS.
6. ALL TREE PROTECTION BARRICADES MUST BE PLACED PRIOR TO COMMENCEMENT OF ANY SITE WORK, INCLUDING LAND CLEARING, AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
7. ALL SITE DRAINAGE INCLUDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS MUST BE ROUTED TO CARRY ALL STORM WATER AWAY FROM BUILDINGS, WALKS AND PADS TO THE PROPOSED DRAINAGE SYSTEM.
8. LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN ON PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. COST OF GPR LOCATES MUST BE INCLUDED IN THE CONTRACTOR'S BASE BID. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION PRIOR TO CONSTRUCTION AND MAINTENANCE/REPAIRS DURING CONSTRUCTION OF SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS AS SHOWN HEREON REPRESENT THE MINIMUM EROSION CONTROL MEASURES TO BE TAKEN. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING ANY ADDITIONAL REQUIRED MEASURES IN HIS BASE BID OR PROVIDING ADDITIONAL MEASURES AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
10. ALL ASPECTS OF THE STORM DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
11. ANY DAMAGE TO EXISTING ROADS, CURBS, SIDEWALKS, PARKING LOTS OR OTHER IMPROVEMENTS DURING CONSTRUCTION MUST BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY AT NO ADDITIONAL COST TO THE OWNER.
12. THE CONTRACTOR MUST ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL APPROVAL.
13. THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS DURING CONSTRUCTION, INCLUDING ALL PUBLIC AND PRIVATE LAND CORNER MONUMENTATION. IF A PUBLIC OR PRIVATE CORNER IS IN DANGER OF BEING DISTURBED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR WILL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY. IF ANY MONUMENT IS DISTURBED OR DESTROYED THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT OF THE MONUMENT AT A LOCATION DETERMINED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER USING GUIDELINES AS ESTABLISHED BY NATIONAL GEODETIC SURVEY FOR BLUE BOOKING AND APPROVAL.
15. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
16. CONTRACTOR MUST MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS MUST BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
17. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF A NEW IRRIGATION SYSTEM SUCH THAT COVERAGE IS PROVIDED TO ALL SODDED AREAS. SEE LANDSCAPING PLANS FOR DETAILS.
18. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RAW; 1-800-432-4770.
19. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
20. HE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

TELEPHONE:
AT&T / DISTRIBUTION
DINO FARRUGGIO
(561) 683-2729

ELECTRIC:
FLORIDA POWER & LIGHT
USIC DISPATCH
(800) 776-9140

NATURAL GAS:
PENSACOLA ENERGY
DIANE MOORE
(850) 474-5319

WATER/SEWER:
EMERALD COAST UTILITY AUTHORITY
BRANDON KNIGHT
(850) 969-6650

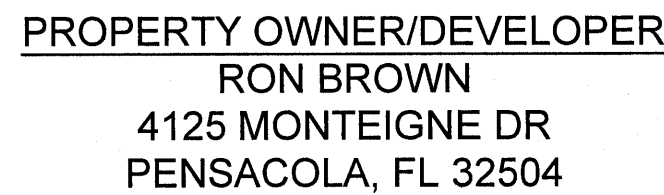
PROP. REF. NO. 1	02-1S-30-0601-000-017
STREET ADDRESS	9720 DAVIS HWY 32514
CURRENT USE	WAREHOUSE, DISTRIBUTION
PROPOSED USE	STORAGE (PROPERTY OWNER ONLY)
ZONING / FLU	COM / MU-U (MIXED USE-URBAN)
PARCEL AREA	1.8150 ACRE (±79,061 SF)
PROP. REF. NO. 2	02-1S-30-0601-000-016
STREET ADDRESS	N/A
CURRENT USE	VACANT COMMERCIAL
PROPOSED USE	VACANT COMMERCIAL
ZONING / FLU	COM / MU-U (MIXED USE-URBAN)
PARCEL AREA	1.3861 ACRE (±60,379 SF)
SETBACKS AND BUFFERS	
BUILDING	
FRONT	15'
SIDE	10'
REAR	15'
LANDSCAPE	DISSIMILAR USE - 12' TYPE A BUFFER
	(EX. FENCE AND VEGETATION SATISFY REQUIREMENTS)
WETLANDS	25' INLAND
RIVERINE	30' INLAND
BUILDING AREA	±5,256 SF (GARAGE/STORAGE)
PARKING	N/A - PRIVATE USE ONLY
STORMWATER CALCS.	
<u>TOTAL PROJECT AREA</u>	<u>10,546 SF (100%)</u>
PRE-DEVELOPMENT	
PERVIOUS	7,167 SF (68%)
IMPERVIOUS	3,379 SF (32%)
POST-DEVELOPMENT	
<u>CONTRIBUTING</u>	<u>9,746 SF (92%)</u>
PERVIOUS	3,388 SF (32%)
IMPERVIOUS	6,358 SF (60%)
<u>NON-CONTRIBUTING</u>	<u>800 SF (8%)</u>
IMPERVIOUS	800 SF (8%)

TOTAL WETLANDS AREA	=	43,473 SF	(±0.998 AC)	
IMPACTED WETLANDS	=	0 SF	(±0.009 AC)	
PRESERVED WETLANDS	=	43,473 SF	(±0.998 AC)	100%
TOTAL BUFFER AREA	=	20,308 SF	(±0.466 AC)	
IMPACTED 25' BUFFER	=	1,126 SF	(±0.026 AC)	
PRESERVED 25' BUFFER	=	19,182 SF	(±0.438 AC)	

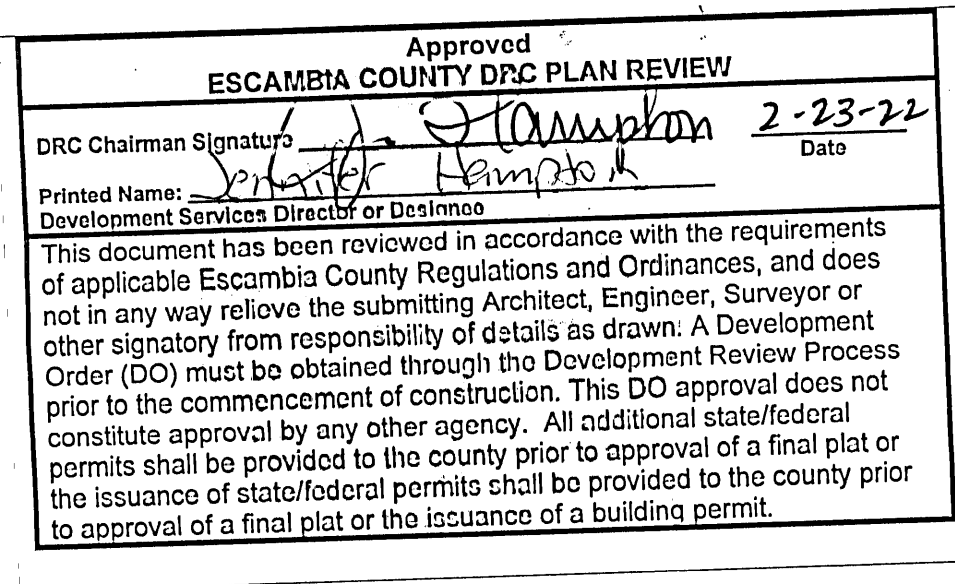
TOTAL MERS AREA = 17,410 SF (±0.400 AC)
IMPACTED MERS AREA = 1,057 SF (±0.024 AC)

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0315G, MAP REVISION DATED SEPTEMBER 29, 2006.

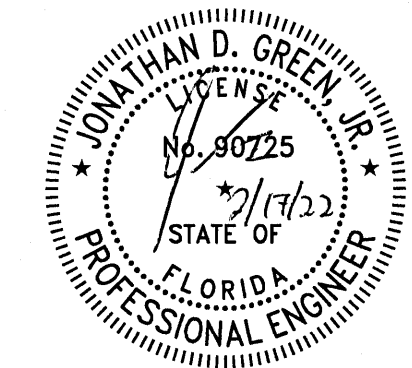
FIBER:
UNITI FIBER LLC
MICHAEL MCCARTY
(251) 214-7793



SHEET LIST TABLE	
SHEET #	SHEET TITLE
C0.0	NOTES & INFORMATION
C1.0	EXISTING CONDITIONS PLAN
C1.1	PROTECTED TREE & WETLANDS MAP
C2.0	DEMOLITION PLAN
C3.0	IMPROVEMENTS PLAN
C4.0	GRADING PLAN
C5.0	LANDSCAPING PLAN
C6.0	EROSION CONTROL DETAILS
C6.1	SITE DETAILS



BROWN PROPERTY IMPROVEMENTS

NOTES
&
INFORMATION

JONATHAN D. GREEN, JR.
P.E. 90725

REV #:	DATE:

JDG

JOB NO.: 22008

DATE: 2022-02-16

SCALE: AS SHOWN

STATUS: PERMIT SET

SHEET NO.:

C0.0

GENERAL SURVEY NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 56 DEGREES 07 MINUTES 51 SECONDS WEST ALONG THE SOUTH LINE OF THE PROPERTY.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE RECORD PLAT OF HILLSIDE AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", BASE FLOOD ELEVATION N/A, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0315 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PREFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 4" SQUARE CONCRETE MONUMENT, LABELED S.R.D. (FOUND)
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.C. ~ POINT OF CURVATURE
- SEC. ~ SECTION
- TWP. ~ TOWNSHIP
- RGE. ~ RANGE
- PG. ~ PAGE

BENCHMARK DATA:

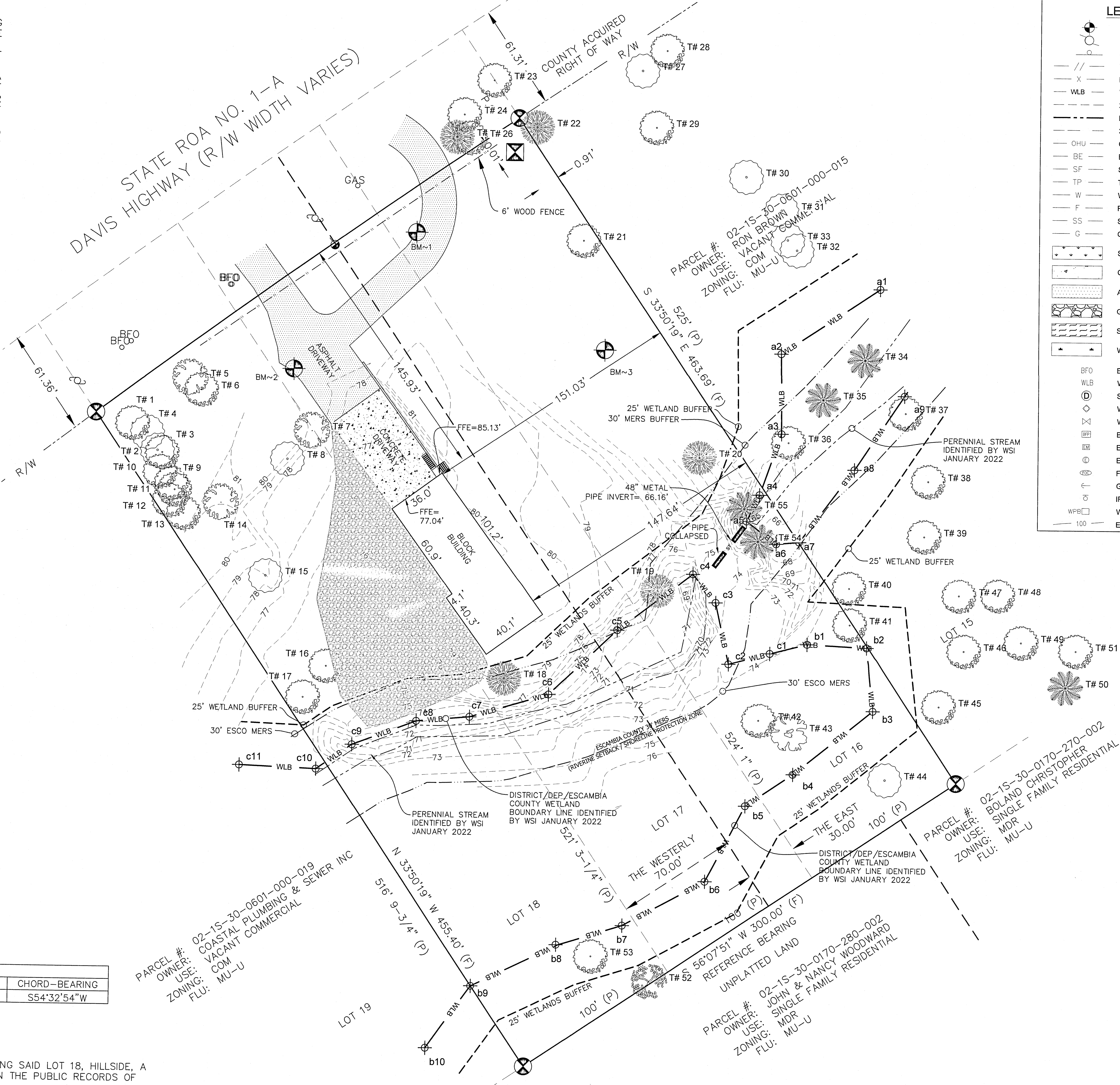
- BM~1 NAIL AND DISK IN ASPHALT
ELEVATION= 81.20' (NAVD88)
- BM~2 NAIL AND DISK IN ASPHALT
ELEVATION= 80.88' (NAVD88)
- BM~3 RED CAPPED 1/2" IRON ROD
ELEVATION= 80.48' (NAVD88)

PROPERTY LINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA-ANGLE	TANGENT	CHORD	CHORD-BEARING
C1	300.15'	5743.63'	2°59'39"	150.11	300.12'	S54°32'54"W

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK 7679, PAGE 19)

PARCEL A:
LOT 18 AND THE MOST WESTERLY 70 FEET OF LOT 17, LYING PARALLEL TO AND ADJOINING SAID LOT 18, HILLSIDE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 43, IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

PARCEL B:
LOT 16 AND THE EAST 30 FEET OF LOT 17, HILLSIDE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, APGE 43, IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.



- LEGEND:**
- SET BENCHMARK
 - WOOD UTILITY POLE
 - SINGLE SUPPORT SIGN
 - WOOD BOARD FENCE
 - MISCELLANEOUS FENCE
 - WLB
 - WETLAND BOUNDARY
 - 25' WETLAND BUFFER
 - PERENNIAL STREAM
 - 30' ESCO MERS
 - OVERHEAD UTILITIES
 - BURIED ELECTRIC LINE
 - SILT FENCE
 - TREE PROTECTION
 - WATER SERVICE
 - FIRE PROTECTION
 - SANITARY SEWER
 - GAS SERVICE
 - SOD
 - CONCRETE
 - ASPHALT
 - GRAVEL
 - STREAM
 - WETLANDS
 - BURIED FIBER OPTIC
 - WETLAND BOUNDARY
 - STORMWATER MANHOLE
 - WATER METER
 - WATER VALVE
 - BACK FLOW PREVENTER
 - ELECTRIC METER
 - ELECTRIC OUTLET
 - FIBER OPTIC CABLE
 - GUY WIRE ANCHOR
 - IRRIGATION VALVE
 - WIRE PULL BOX
 - ELEVATION CONTOUR LINE

BROWN

PROPERTY

EXISTING

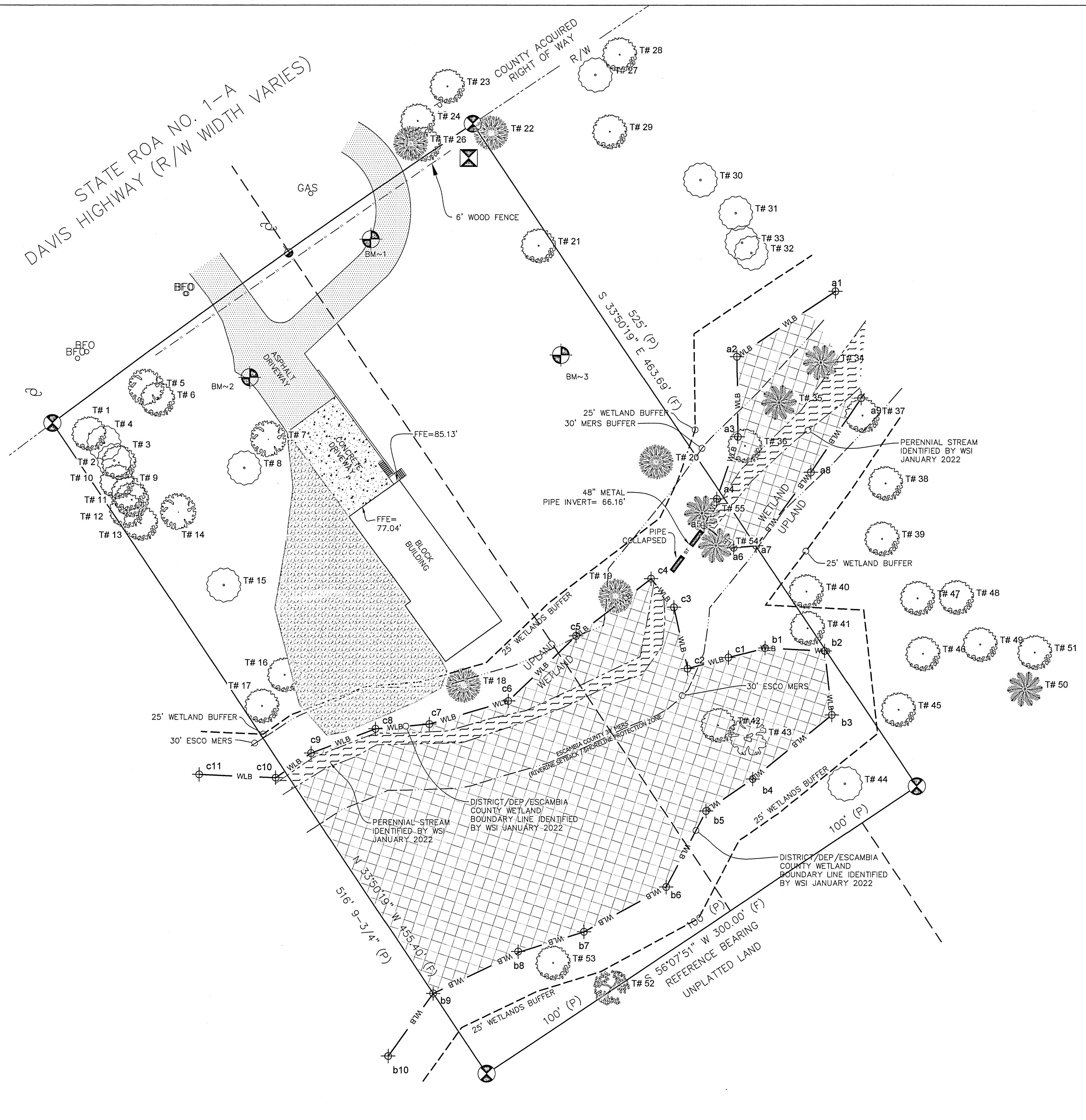
CONDITIONS

IMPROVEMENTS

PLAN

C1.0

NOT FOR CONSTRUCTION



LEGEND:

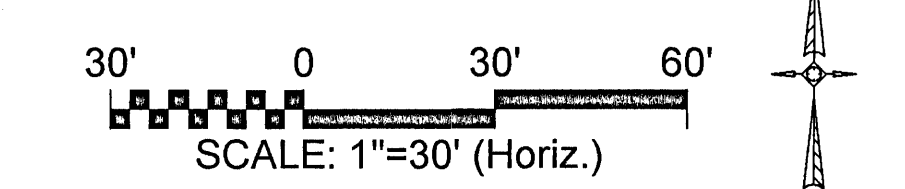
- SET BENCHMARK
- WOOD UTILITY POLE
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- OHU
- OVERHEAD UTILITIES
- BE
- BURIED ELECTRIC LINE
- SF
- SILT FENCE
- TP
- TREE PROTECTION
- W
- WATER SERVICE
- F
- FIRE PROTECTION
- SS
- SANITARY SEWER
- G
- GAS SERVICE

TREE LEGEND:

- LIVE OAK
- LAUREL OAK
- WATER OAK
- RED MAPLE
- TULIP POPLAR
- SWEET GUM
- PECAN

PROTECTED TREE INVENTORY PER WETLAND SCIENCES, INC.				
ID	Common Name	Scientific Name	DBH (in)	Notes
1	Water Oak	Quercus nigra	20.0	
2	Live Oak	Quercus virginiana	15.7	
3	Water Oak	Quercus nigra	17.0	
4	Live Oak	Quercus nigra	12.4	
5	Pecan	Carya illinoensis	14.5	
6	Water Oak	Quercus nigra	15.7	
7	Pecan	Carya illinoensis	18.1	
8	Live Oak	Quercus virginiana	16.3	
9	Water Oak	Quercus nigra	20.5	
10	Water Oak	Quercus nigra	14.0	
11	Water Oak	Quercus nigra	14.0	
12	Water Oak	Quercus nigra	12.4	
13	Water Oak	Quercus nigra	12.0	
14	Pecan	Carya illinoensis	15.2	
15	Live Oak	Quercus virginiana	56.8	
16	Water Oak	Quercus nigra	12.9	
17	Water Oak	Quercus nigra	26.4	
18	Sweet Gum	Liquidambar styraciflua	17.0	
19	Sweet Gum	Liquidambar styraciflua	24.0	
20	Sweet Gum	Liquidambar styraciflua	16.2	
21	Water Oak	Quercus nigra	14.5	
22	Sweet Gum	Liquidambar styraciflua	14.0	
23	Water oak	Quercus nigra	20.4	
24	Water oak	Quercus nigra	15.1	
25	Sweet Gum	Liquidambar styraciflua	13.0	
26	Water oak	Quercus nigra	18.4	Multistem
27	Live oak	Quercus virginiana	17.7	
28	Water oak	Quercus nigra	12.1	
29	Water oak	Quercus nigra	20.5	
30	Live oak	Quercus virginiana	25.2	
31	Live oak	Quercus virginiana	26.2	
32	Live oak	Quercus virginiana	24.0	
33	Live oak	Quercus virginiana	23.8	
34	Tulip Poplar	Liriodendron tulipifera	18.1	
35	Tulip Poplar	Liriodendron tulipifera	30.6	
36	Water oak	Quercus nigra	39.4	Multistem
37	Water oak	Quercus nigra	14.7	
38	Water oak	Quercus nigra	20.0	
39	Water oak	Quercus nigra	15.2	
40	Water oak	Quercus nigra	16.1	
41	Water oak	Quercus nigra	16.7	
42	Water oak	Quercus nigra	14.3	
43	Red maple	Acer rubrum	14.8	
44	Live oak	Quercus virginiana	31.0	
45	Water oak	Quercus nigra	18.6	
46	Water oak	Quercus nigra	13.5	
47	Water oak	Quercus nigra	18.8	
48	Water oak	Quercus nigra	14.1	
49	Water oak	Quercus nigra	12.0	
50	Tulip Poplar	Liriodendron tulipifera	21.4	
51	Water oak	Quercus nigra	13.8	
52	Laurel Oak	Quercus laurifolia	15.5	
53	Water Oak	Quercus nigra	16.8	
54	Tulip Poplar	Liriodendron tulipifera	17.5	
55	Tulip Poplar	Liriodendron tulipifera	24.3	

NOTE: THIS PLAN IS NOT AN OFFICIAL SURVEY



NOT FOR CONSTRUCTION

BROWN

PROPERTY

IMPROVEMENTS

ESCAMBIA COUNTY ~ FLORIDA

PROTECTED TREE

& WETLANDS MAP

JONATHAN D. GREEN, JR.

P.E. 90725

REV #	DATE

DESIGNED BY: JDG

JOB NO.: 22008

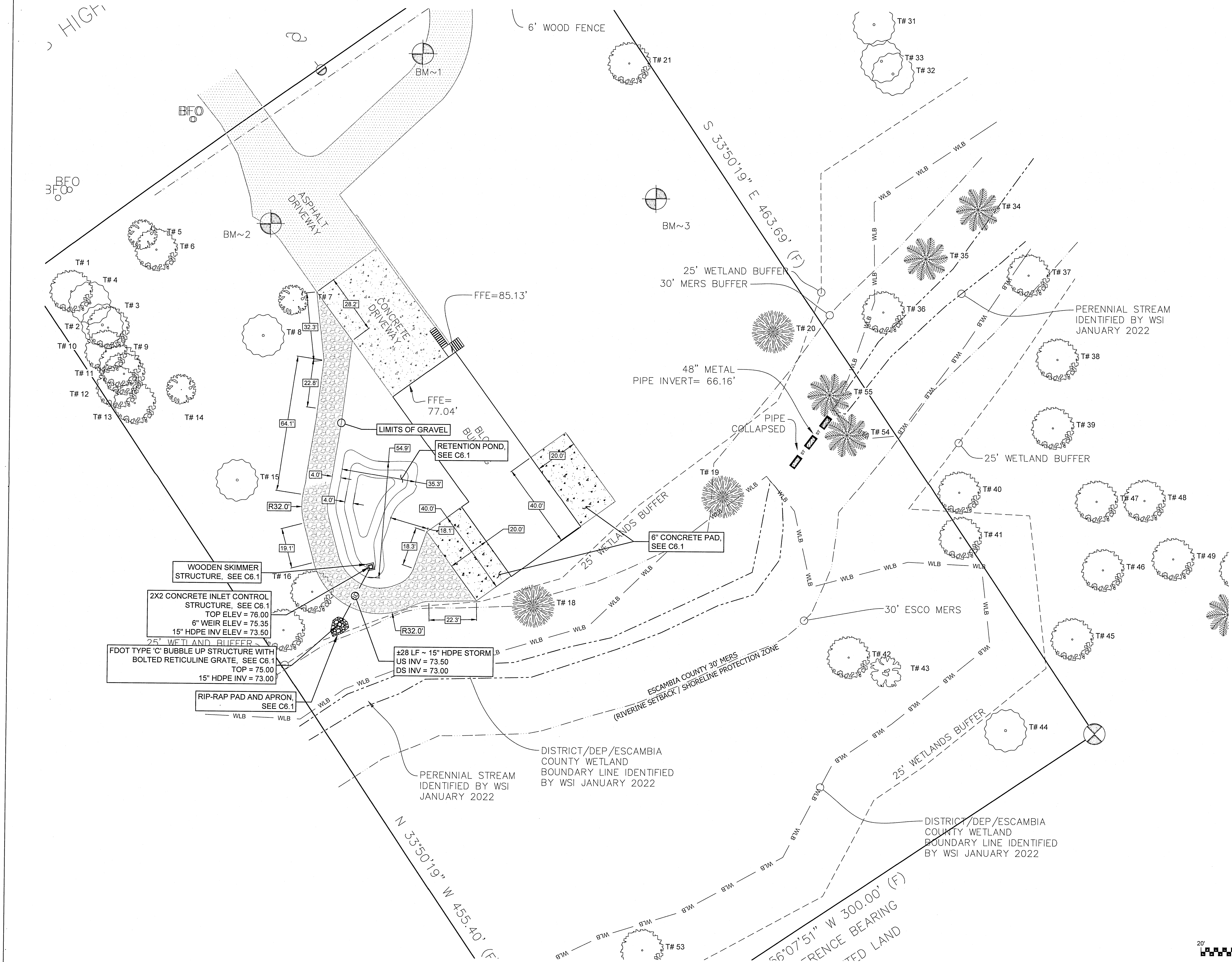
DATE: 2022-02-16

SCALE: AS SHOWN

STATUS: PERMIT SET

SHEET NO.:

C1.1



LEGEND:

SET BENCHMARK

WOOD UTILITY POLE

SINGLE SUPPORT SIGN

WOOD BOARD FENCE

MISCELLANEOUS FENCE

WETLAND BOUNDARY

25' WETLAND BUFFER

PERENNIAL STREAM

30' ESCO MERS

OVERHEAD UTILITIES

BURIED ELECTRIC LINE

SILT FENCE

TREE PROTECTION

WATER SERVICE

FIRE PROTECTION

SANITARY SEWER

GAS SERVICE

SOD

CONCRETE

ASPHALT

GRAVEL

STREAM

WETLANDS

BURIED FIBER OPTIC

WETLAND BOUNDARY

STORMWATER MANHOLE

WATER METER

WATER VALVE

BACK FLOW PREVENTER

ELECTRIC METER

ELECTRIC OUTLET

FIBER OPTIC CABLE

GUY WIRE ANCHOR

IRRIGATION VALVE

WIRE PULL BOX

ELEVATION CONTOUR LINE

BROWN

PROPERTY

IMPROVEMENTS

IMPROVEMENTS

PLAN

ESCAMBIA COUNTY ~ FLORIDA

JONATHAN D. GREEN, JR.

FLORIDA

PROFESSIONAL ENGINEER

No. 90725

2/17/25

JONATHAN D. GREEN, JR.

P.E. 90725

REV #:	DATE:
DESIGNED BY:	JDG
JOB NO.:	22008
DATE:	2022-02-16
SCALE:	AS SHOWN
STATUS:	PERMIT SET
SHEET NO.:	C3.0

20'

0

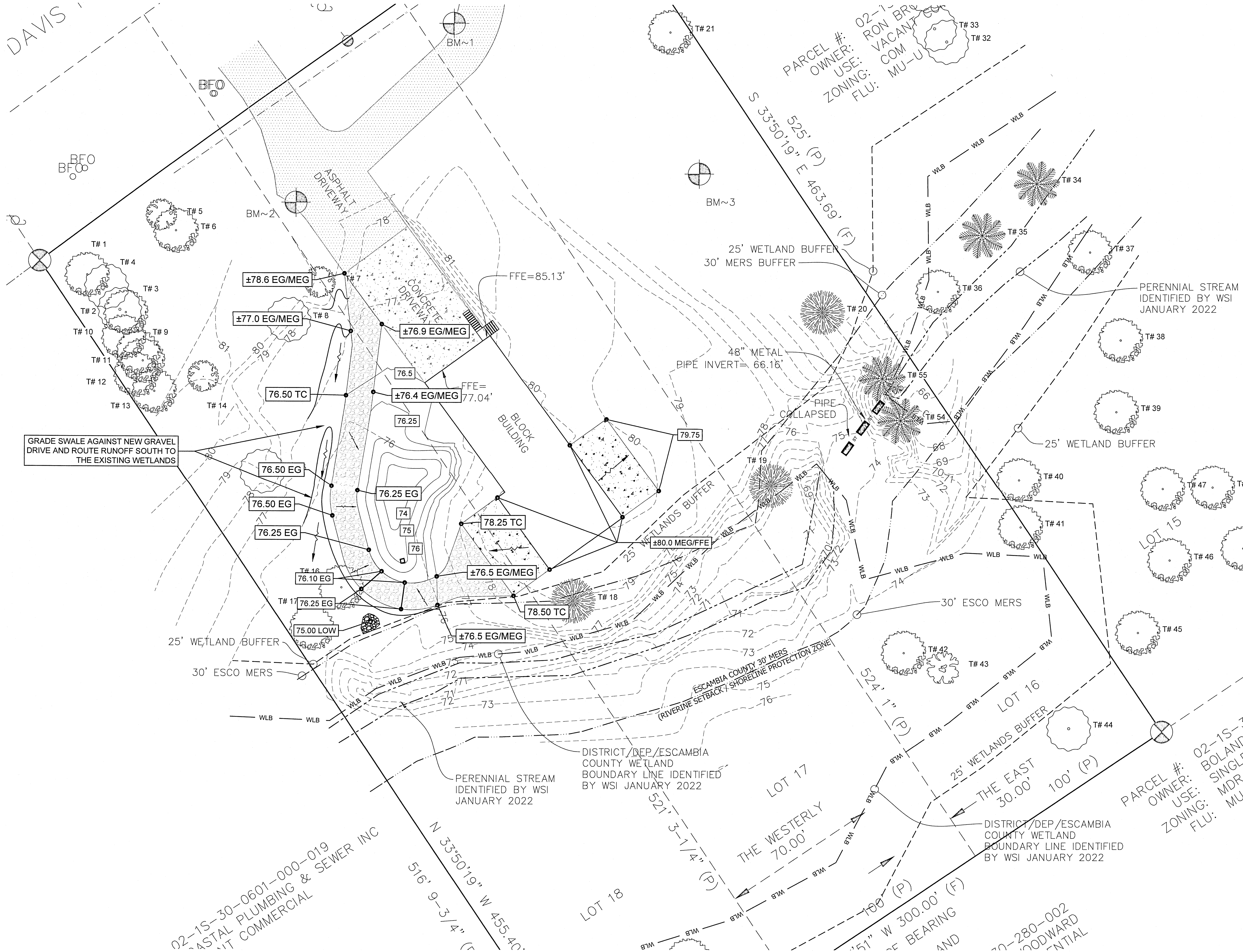
20'

40'

SCALE: 1"=20' (Horiz.)

N

NOT FOR CONSTRUCTION



LEGEND:

- SET BENCHMARK
- WOOD UTILITY POLE
- SINGLE SUPPORT SIGN
- WOOD BOARD FENCE
- MISCELLANEOUS FENCE
- WLB - WETLAND BOUNDARY
- 25' WETLAND BUFFER
- PERENNIAL STREAM
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- OHU - OVERHEAD UTILITIES
- BE - BURIED ELECTRIC LINE
- SF - SILT FENCE
- TP - TREE PROTECTION
- W - WATER SERVICE
- F - FIRE PROTECTION
- SS - SANITARY SEWER
- G - GAS SERVICE
- SOD
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- STREAM
- WETLANDS
- BFO - BURIED FIBER OPTIC
- WLB - WETLAND BOUNDARY
- STORMWATER MANHOLE
- WATER METER
- WATER VALVE
- BACK FLOW PREVENTER
- ELECTRIC METER
- ELECTRIC OUTLET
- FIBER OPTIC CABLE
- GUY WIRE ANCHOR
- IRRIGATION VALVE
- WIRE PULL BOX
- 100' - ELEVATION CONTOUR LINE

GRADING NOTES:

1. THE FOLLOWING ABBREVIATIONS APPLY:
FL = FLOW LINE
MG = MATCH EXISTING GRADE
EG = EDGE OF GRAVEL
TC = TOP OF CONCRETE
LOW = LOW POINT
FG = FINISHED GRADE

2. THE CONTRACTOR IS RESPONSIBLE FOR GRADING SITE TO ACHIEVE PROPOSED SURFACE FLOW PATTERNS AS INDICATED BY SPOT ELEVATIONS. IN ALL CASES, RUNOFF MUST BE DIRECTED AWAY FROM BUILDINGS, WALKS AND PADS.

BROWN

PROPERTY

IMPROVEMENTS

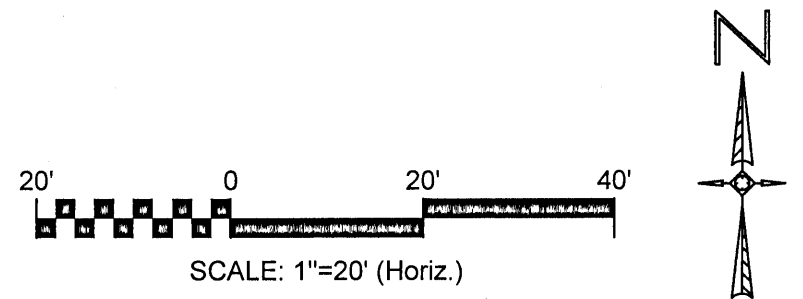
ESCAMBIA COUNTY ~ FLORIDA

GRADING

PLAN

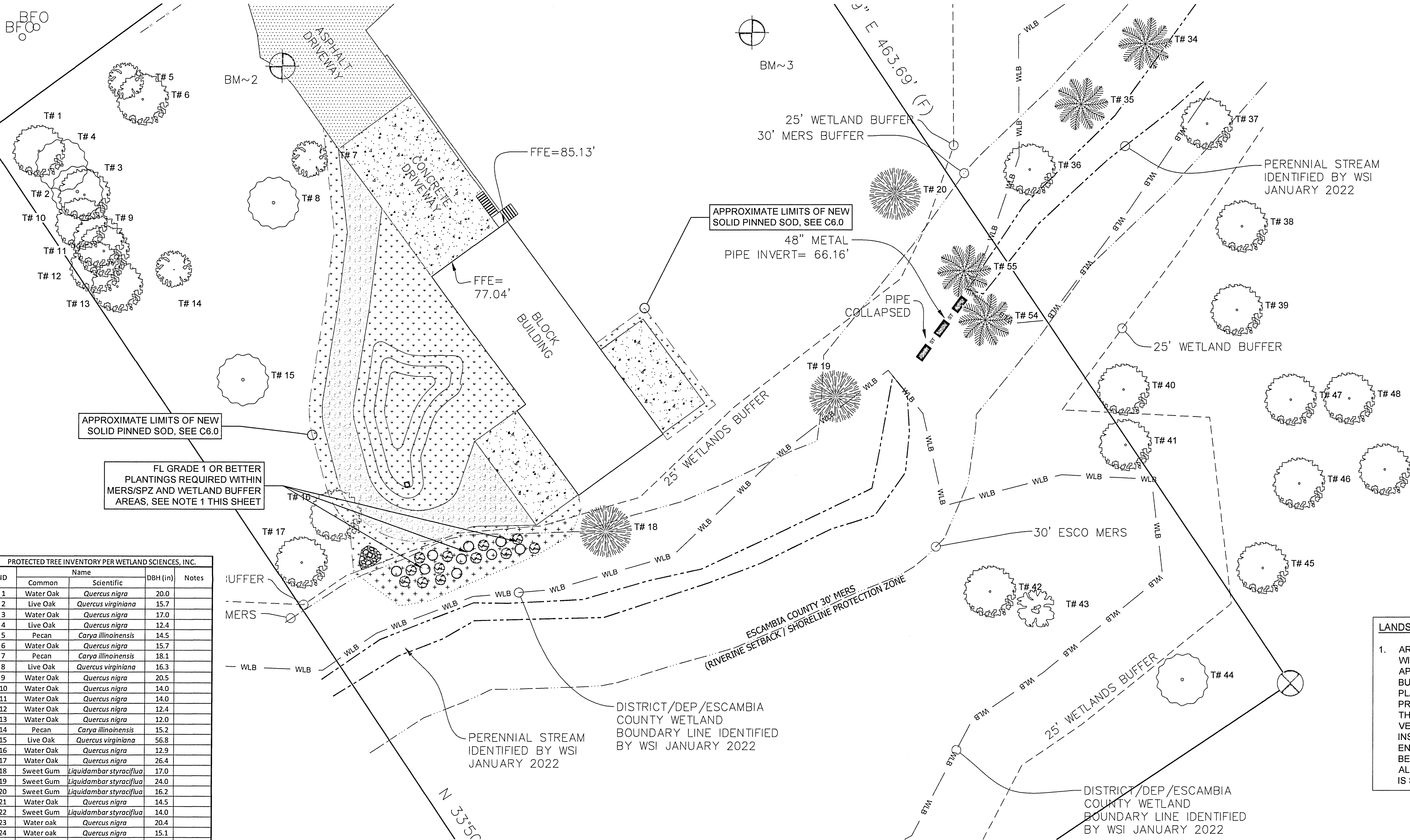
JONATHAN D. GREEN, JR.
P.E. 90725

REV #:	DATE:
DESIGNED BY:	JDG
JOB NO.:	22008
DATE:	2022-02-16
SCALE:	AS SHOWN
STATUS:	PERMIT SET
SHEET NO.:	C4.0



NOT FOR CONSTRUCTION

BFO
BFO



PROTECTED TREE INVENTORY PER WETLAND SCIENCES, INC.				
ID	Common	Name	Scientific	DBH (in)
1	Water Oak	Quercus nigra	Quercus nigra	20.0
2	Live Oak	Quercus virginiana	Quercus virginiana	15.7
3	Water Oak	Quercus nigra	Quercus nigra	17.0
4	Live Oak	Quercus nigra	Quercus nigra	12.4
5	Pecan	Carya illinoensis	Carya illinoensis	14.5
6	Water Oak	Quercus nigra	Quercus nigra	15.7
7	Pecan	Carya illinoensis	Carya illinoensis	18.1
8	Live Oak	Quercus virginiana	Quercus virginiana	16.3
9	Water Oak	Quercus nigra	Quercus nigra	20.5
10	Water Oak	Quercus nigra	Quercus nigra	14.0
11	Water Oak	Quercus nigra	Quercus nigra	14.0
12	Water Oak	Quercus nigra	Quercus nigra	12.4
13	Water Oak	Quercus nigra	Quercus nigra	12.0
14	Pecan	Carya illinoensis	Carya illinoensis	15.2
15	Live Oak	Quercus virginiana	Quercus virginiana	56.8
16	Water Oak	Quercus nigra	Quercus nigra	12.9
17	Water Oak	Quercus nigra	Quercus nigra	26.4
18	Sweet Gum	Liquidambar styraciflua	Liquidambar styraciflua	17.0
19	Sweet Gum	Liquidambar styraciflua	Liquidambar styraciflua	24.0
20	Sweet Gum	Liquidambar styraciflua	Liquidambar styraciflua	16.2
21	Water Oak	Quercus nigra	Quercus nigra	14.5
22	Sweet Gum	Liquidambar styraciflua	Liquidambar styraciflua	14.0
23	Water oak	Quercus nigra	Quercus nigra	20.4
24	Water oak	Quercus nigra	Quercus nigra	15.1
25	Sweet Gum	Liquidambar styraciflua	Liquidambar styraciflua	13.0
26	Water oak	Quercus nigra	Quercus nigra	18.4
27	Live oak	Quercus virginiana	Quercus virginiana	17.7
28	Water oak	Quercus nigra	Quercus nigra	12.1
29	Water oak	Quercus nigra	Quercus nigra	20.5
30	Live oak	Quercus virginiana	Quercus virginiana	25.2
31	Live oak	Quercus virginiana	Quercus virginiana	26.2
32	Live oak	Quercus virginiana	Quercus virginiana	24.0
33	Live oak	Quercus virginiana	Quercus virginiana	23.8
34	Tulip Poplar	Liriodendron tulipifera	Liriodendron tulipifera	18.1
35	Tulip Poplar	Liriodendron tulipifera	Liriodendron tulipifera	30.6
36	Water oak	Quercus nigra	Quercus nigra	39.4
37	Water oak	Quercus nigra	Quercus nigra	14.7
38	Water oak	Quercus nigra	Quercus nigra	20.0
39	Water oak	Quercus nigra	Quercus nigra	15.2
40	Water oak	Quercus nigra	Quercus nigra	16.1
41	Water oak	Quercus nigra	Quercus nigra	16.7
42	Water oak	Quercus nigra	Quercus nigra	14.3
43	Red maple	Acer rubrum	Acer rubrum	14.8
44	Live oak	Quercus virginiana	Quercus virginiana	31.0
45	Water oak	Quercus nigra	Quercus nigra	18.6
46	Water oak	Quercus nigra	Quercus nigra	13.5
47	Water oak	Quercus nigra	Quercus nigra	18.8
48	Water oak	Quercus nigra	Quercus nigra	14.1
49	Water oak	Quercus nigra	Quercus nigra	12.0
50	Tulip Poplar	Liriodendron tulipifera	Liriodendron tulipifera	21.4
51	Water oak	Quercus nigra	Quercus nigra	13.8
52	Laurel Oak	Quercus laurifolia	Quercus laurifolia	15.5
53	Water Oak	Quercus nigra	Quercus nigra	16.8
54	Tulip Poplar	Liriodendron tulipifera	Liriodendron tulipifera	17.5
55	Tulip Poplar	Liriodendron tulipifera	Liriodendron tulipifera	24.3

TREE LEGEND:

- LIVE OAK
- LAUREL OAK
- WATER OAK
- RED MAPLE
- TULIP POPLAR
- SWEET GUM
- PECAN
- MITIGATION CANOPY

NOTES:

- THE CONTRACTOR WILL BE RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT. TREES NOT BEING REMOVED MUST BE PROTECTED PER DETAILS PRESENTED IN THE PLANS.
- ANY DAMAGE TO WETLANDS OUTSIDE THE SCOPE OF THESE PLANS MUST BE RESTORED TO ORIGINAL FUNCTIONING CONDITIONS AT NO COST TO THE OWNER.
- ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER LAND DISTURBING ACTIVITIES WILL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.
- ALL TREE PLANTINGS MUST BE NATIVE CANOPY TREE SPECIES.
- TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS PLAN MUST NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
- NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
- THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE MUST COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE: 5-19 TREES = MAX 67% OF ANY ONE SPECIES PLANTED
- EACH NEW TREE MUST BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA MUST BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA MUST CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.
- EACH NEW CANOPY AND UNDER STORY TREE MUST BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.
- WHERE OVERHEAD UTILITIES EXIST, ONLY PLANTS THAT WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE INSTALLED. TO PREVENT TREES FROM BECOMING ENERGIZED OR DISRUPTING ELECTRICAL SERVICE, TREE PLANTING DIRECTLY BELOW POWER LINES MUST BE AVOIDED AND ONLY UNDERSTORY TREES PLANTED NEAR POWER LINES. WITHIN AN ESTABLISHED ELECTRIC UTILITY RIGHT-OF-WAY NO VEGETATION MUST BE PLANTED THAT WILL ACHIEVE A HEIGHT GREATER THAN 14 FEET OR INTRUDE FROM THE SIDE CLOSER THAN TEN FEET TO POWER LINES, OR EXCEED CLEARANCES OTHERWISE REQUIRED BY APPLICABLE ANSI STANDARDS. ANY CANOPY TREES PLANTED MUST BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.
- ALL TREES PLANTED AS REPLACEMENTS FOR REMOVED PROTECTED TREES SHALL MEET THE REQUIREMENTS FOR TREE SELECTION PRESCRIBED IN THIS ARTICLE. ANY OF THE TREE SPECIES IDENTIFIED AS PRE-APPROVED REPLACEMENTS MAY BE PLANTED. OTHER NATIVE TREES WITH CONFIRMED MODERATE TO HIGH DROUGHT TOLERANCE AND WIND RESISTANCE MAY BE PROPOSED FOR COUNTY REVIEW AND ACCEPTANCE. PALMS CANNOT BE SUBSTITUTED FOR MITIGATION TREES, EVEN IN GREATER QUANTITIES.
- WETLAND, WETLAND BUFFERS, RIVERINE SETBACKS/ SHORELINE PROTECTION ZONES, PROTECTED TREES & OTHER NATURAL RESOURCES SHALL BE PRESERVED & PROTECTED ONSITE AT ALL TIMES. ANY PROPOSED SITE-WORK ACTIVITIES WHICH MAY ADVERSELY AFFECT THEM SHALL BE REVIEWED & PERMITTED BY ALL JURISDICTIONAL AGENCIES PRIOR TO COMMENCEMENT."
- ANY CHANGES TO THE APPROVED SITE PLANS, PROPOSED TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS, SWALES, TRENCHING, BERMING, OR OTHER STORMWATER-RELATED OR LAND DISTURBING ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE ESCAMBIA COUNTY PRIOR TO INITIATION.

LANDSCAPING NOTES:

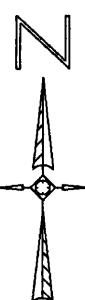
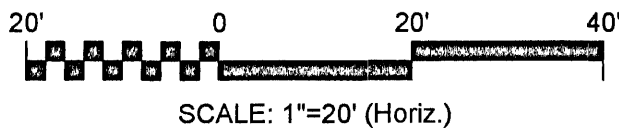
- AREAS PRONE TO EROSION MUST BE STABILIZED WITH APPROPRIATE, NATIVE VEGETATION. APPROXIMATE LOCATION OF NATIVE SHRUBS, BUSHES, TREES & GROUND COVER SHOWN TO BE PLACED IN WETLAND BUFFER & MERS/SHORELINE PROTECTION AREAS UNDER THE DIRECTION OF THE PROJECT'S ENVIRONMENTAL CONSULTANT. VEGETATION MUST BE FL GRADE 1 OR BETTER, INSTALLED UNITIZING SOUND ENVIRONMENTAL & ENGINEERING PRACTICES. ALL PLANTINGS MUST BE INSPECTED & MAINTAINED REGULARLY UNTIL ALL VEGETATION IS ESTABLISHED AND THE AREA IS STABILIZED.

MITIGATION PLANTINGS

THERE ARE NO REQUIRED MITIGATION PLANTINGS PROPOSED DUE TO IMPROVEMENTS TO THE CRITICAL ROOT ZONES AND NO PROTECTED TREES ARE PROPOSED TO BE REMOVED.

LEGEND:

- SET BENCHMARK
- WOOD UTILITY POLE
- SINGLE SUPPORT SIGN
- WOOD BOARD FENCE
- MISCELLANEOUS FENCE
- WLB
- WETLAND BOUNDARY
- 25' WETLAND BUFFER
- PERENNIAL STREAM
- 30' ESCO MERS
- OHU
- OVERHEAD UTILITIES
- BE
- BURIED ELECTRIC LINE
- SF
- SILT FENCE
- TP
- TREE PROTECTION
- W
- WATER SERVICE
- F
- FIRE PROTECTION
- SS
- SANITARY SEWER
- G
- GAS SERVICE
- SOD
- CONCRETE
- ASPHALT
- GRAVEL
- STREAM
- WETLANDS
- BFO
- BURIED FIBER OPTIC
- WLB
- WETLAND BOUNDARY
- STORMWATER MANHOLE
- WATER METER
- WATER VALVE
- BACK FLOW PREVENTER
- ELECTRIC METER
- ELECTRIC OUTLET
- FIBER OPTIC CABLE
- GUY WIRE ANCHOR
- IRRIGATION VALVE
- WIRE PULL BOX
- 100
- ELEVATION CONTOUR LINE

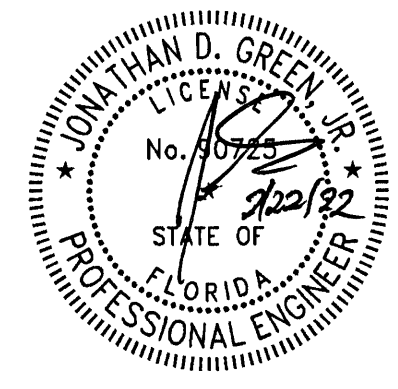


jdgb

BROWN
PROPERTY
IMPROVEMENTS

ESCAMBIA COUNTY ~ FLORIDA

LANDSCAPING
PLAN

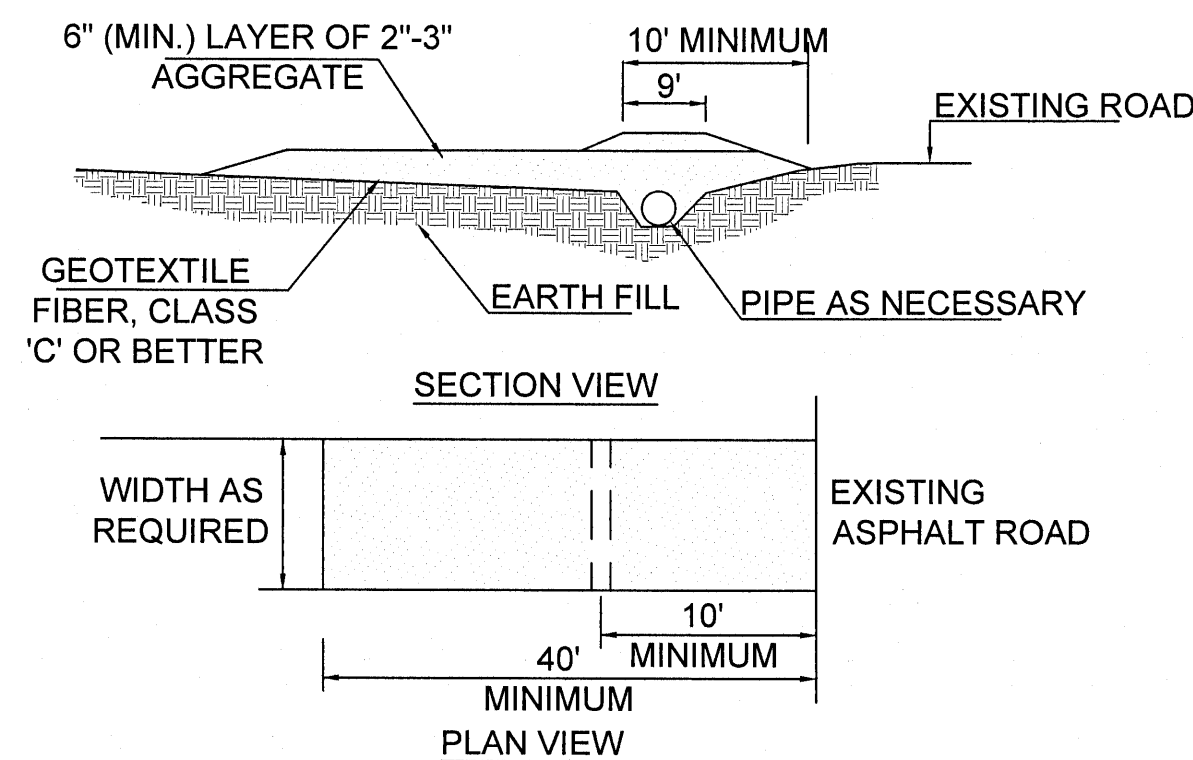


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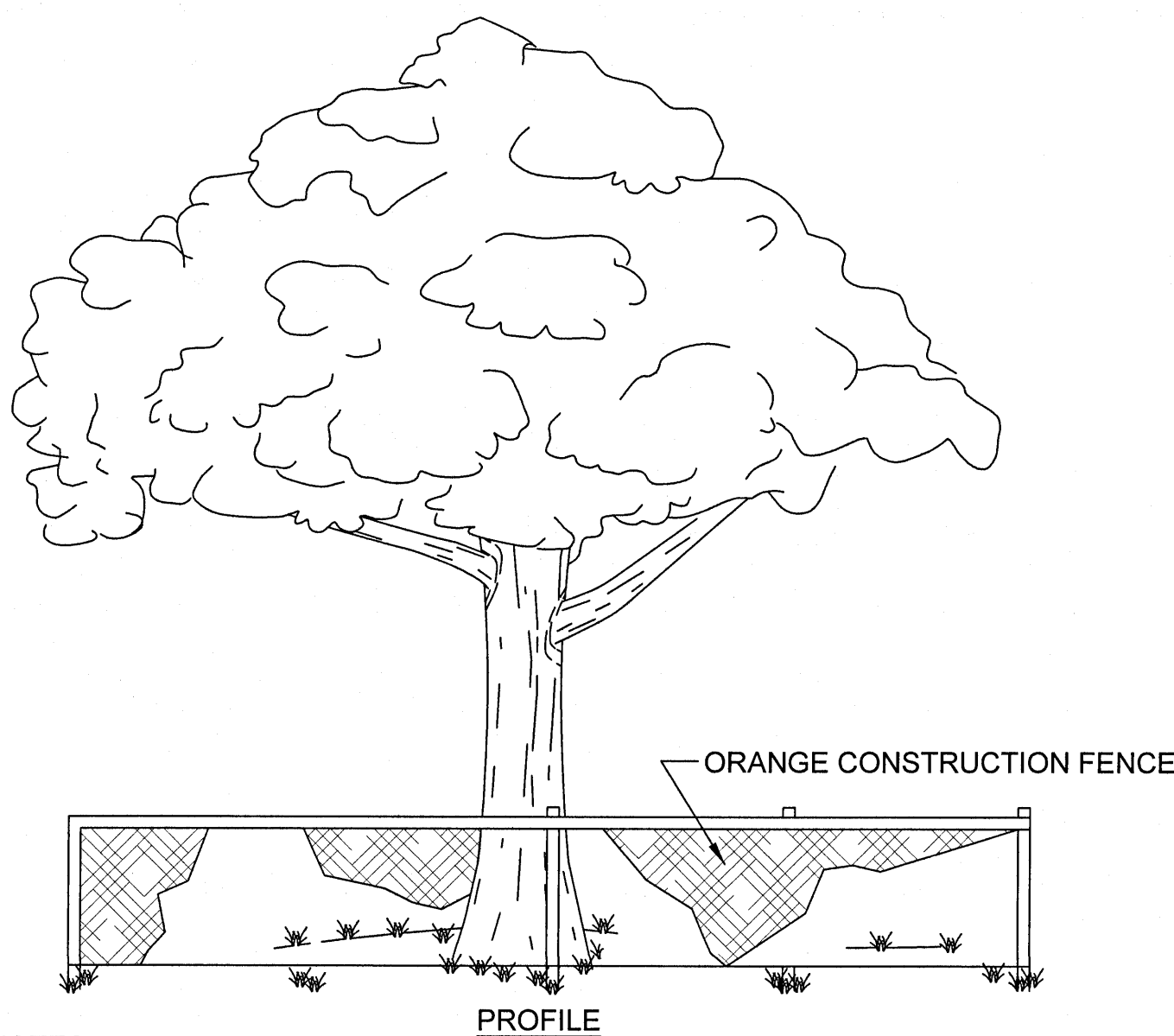
NOT FOR CONSTRUCTION



- NOTES:
- CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL CONSTRUCTION MATERIAL DISLODGES CAKED MUD.
 - IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLODGE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.
 - UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.

ROCK CONSTRUCTION ACCESS

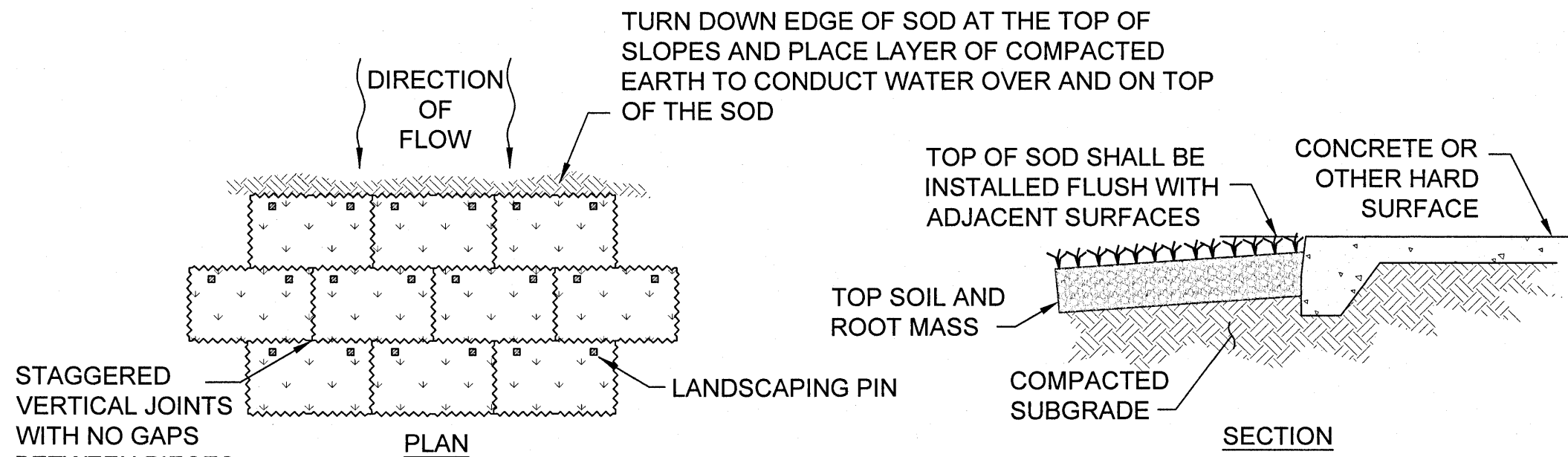
NOT TO SCALE



- NOTES:
- FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE.
 - NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING OR ANY OTHER LAND DISTURBANCE ACTIVITIES AS DEFINED IN THE LDC.

TREE PROTECTION

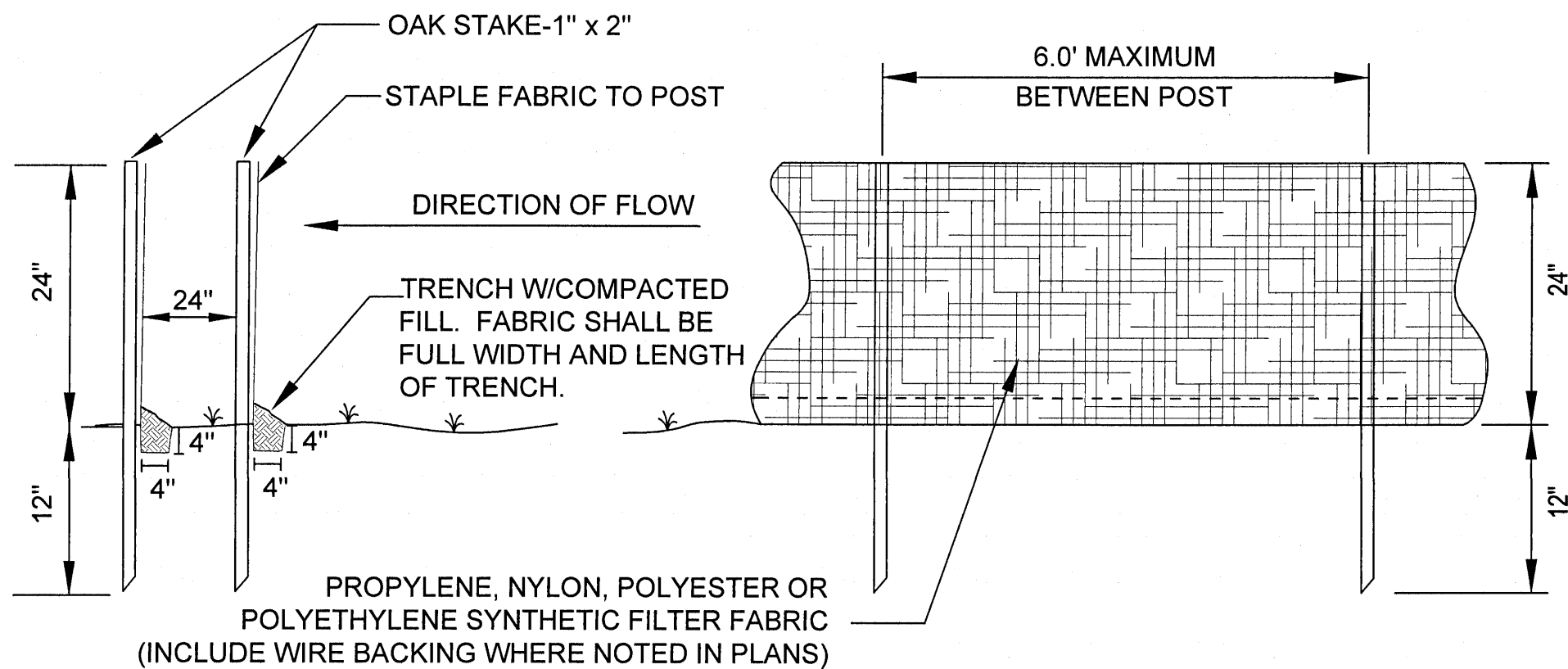
NOT TO SCALE



- NOTES:
- SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
 - PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
 - SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
 - INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

SODDING DETAIL

NOT TO SCALE



FENCE SECTION

FENCE ELEVATION

SILTATION FENCE

NOT TO SCALE

GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL

- CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION (PRIOR TO CONSTRUCTION) AND MAINTENANCE/REPAIRS OF (DURING CONSTRUCTION) EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENT AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS SHOWN HEREIN REPRESENT THE MINIMUM EROSION CONTROL MEASURES TO BE TAKEN.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE SITE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
- ALL AREAS OF DISTURBANCE MUST BE TREATED AS APPROPRIATE TO PREVENT THE GENERATION OF DUST.
- AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT PERMANENT COVER MUST BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR PERMANENT COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION MUST BE EMPLOYED (I.E. EROSION CONTROL FABRIC, RIP-RAP, ETC.).
- THE CONTRACTOR MUST MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL PLAN. AT A MINIMUM, INSPECTIONS MUST OCCUR AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM EVENT THAT IS ONE-HALF (0.50) INCH OR GREATER.
- IN THE EVENT THAT AN ON-SITE INSPECTION BY ANY PARTY REVEALS A DEFICIENCY IN THE INSTALLATION AND/OR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MUST BE RESPONSIBLE FOR THE IMMEDIATE REMEDIATION OF THE PROBLEM.
- FAILURE TO COMPLY WITH THE REQUIRED EROSION AND SEDIMENT CONTROL GUIDELINES MAY RESULT IN FINES LEVIED BY GOVERNMENTAL AGENCIES. ANY FINES SUFFERED DUE TO NON-COMPLIANCE WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES IMPLEMENTATION SITE PREPARATION

- PRIOR TO ANY SOIL DISTURBANCE, SILT FENCE MUST BE INSTALLED ALONG ENTIRE DOWN-GRADE PERIMETER OF PROJECT AREA, AS SHOWN IN PLANS AND DETAILS, OR BY EQUIVALENT MEASURES. SILT FENCE MUST REMAIN IN PLACE UNTIL ALL UP-GRADE AREAS OF DISTURBANCE HAVE BEEN PERMANENTLY STABILIZED.
- A PROPER CONSTRUCTION ENTRANCE MUST BE ESTABLISHED AT ALL POINTS OF INGRESS/EGRESS FROM CONSTRUCTION SITE, PER DETAIL PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES. ALL CONSTRUCTION ENTRANCES MUST REMAIN IN PLACE UNTIL INGRESS/EGRESS FROM THE SITE AT THAT POINT HAS STOPPED.

CLEARING AND GRUBBING

- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, MUST RECEIVE A TEMPORARY SEEDING IMMEDIATELY UPON DISTURBANCE. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA MUST BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- ALL DISTURBED AREAS THAT ARE SUBJECT TO HIGH AMOUNTS OF EROSION (I.E. STEEP SLOPES, EMBANKMENTS GREATER THAN 3:1, OR OTHER AS DICTATED BY SITE CONDITIONS) MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCHING WITH STRAW, OR EQUIVALENT MATERIAL, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ALL DISTURBED AREAS MUST, AS A MINIMUM, BE MAINTAINED BY WATER TO MINIMIZE THE GENERATION OF DUST.

SITE GRADING

- THE SITE MUST, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS CONTROLLED BY EROSION AND SEDIMENT CONTROL MEASURES.
- ALL AREAS USED FOR MATERIAL STOCKPILE, BE IT FILL/EXCAVATED MATERIALS, STONE, OR OTHERWISE, ARE TO BE STABILIZED, AND MUST HAVE SILT FENCE INSTALLED PER THE DETAILS PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES, AROUND THEIR ENTIRE DOWNGRADE PERIMETER.

INSTALLATION OF STORM SEWER AND UTILITIES

- TEMPORARY OUTLET PROTECTION MUST BE INSTALLED AT ALL STORM WATER OUTFALLS PRIOR TO THE INSTALLATION OF THE DRAINAGE SYSTEM.
- ALL SITE DRAINAGE, INCLUDING ROOF DRAINS, DOWN SPOUTS, GUTTERS, OR OTHERWISE MUST BE ROUTED TO CARRY ALL STORM WATER TO THE PROPOSED STORM WATER MANAGEMENT INFRASTRUCTURE.
- ANY SLOPES GREATER THAN 3:1 (H:V) RECEIVING PIPELINE OR UTILITY INSTALLATION MUST BE BACKFILLED AND STABILIZED DAILY AS THE INSTALLATION PROCEEDS.

FINAL SITEWORK

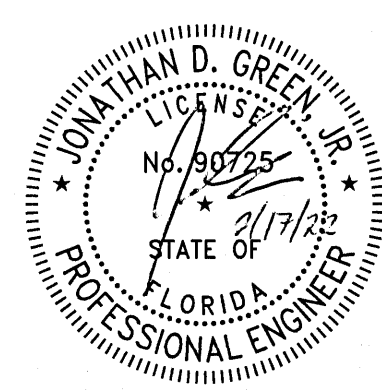
- PERMANENT VEGETATION (I.E. SEED AND MULCH, SOD, ETC) MUST BE INSTALLED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- UPON COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL ACCEPTANCE, ALL CONSTRUCTION WASTE AND DEBRIS MUST BE REMOVED FROM THE SITE AND ALL PAVED ROADWAYS AND/OR PARKING AREAS MUST BE SWEEPED CLEAN OF ALL SEDIMENT.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL SUCH TIME WHEN ALL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

JDG

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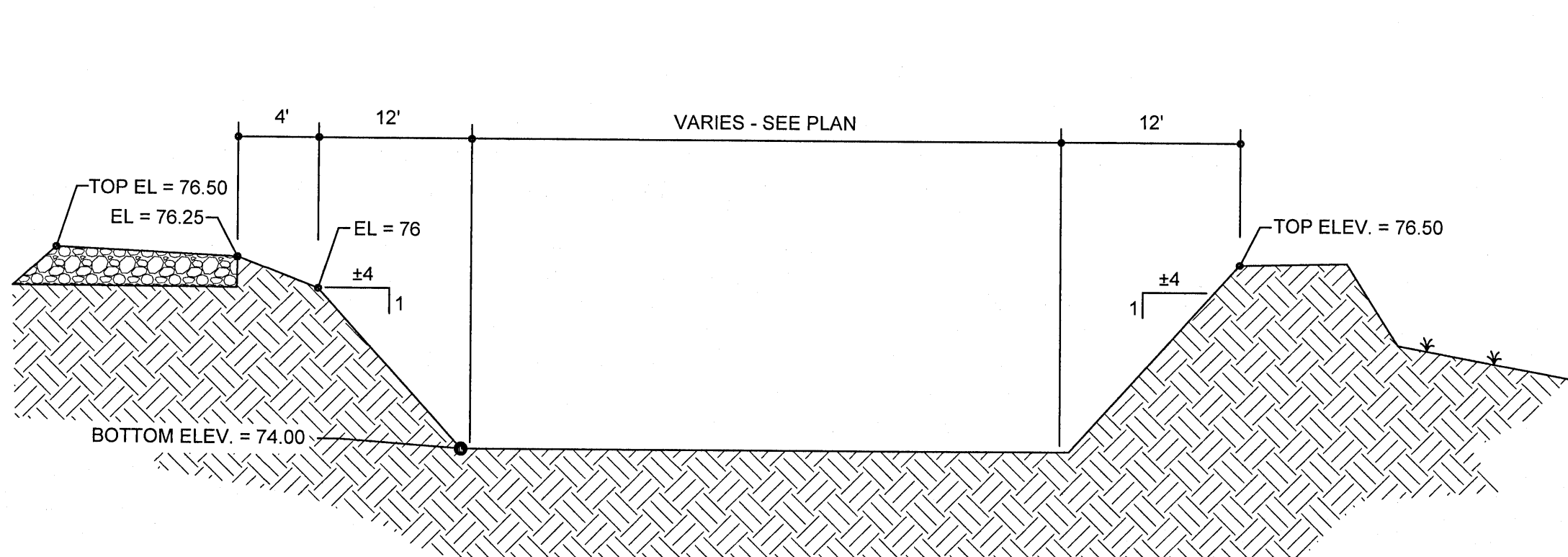
EROSION
CONTROL
DETAILS



JONATHAN D. GREEN, JR.
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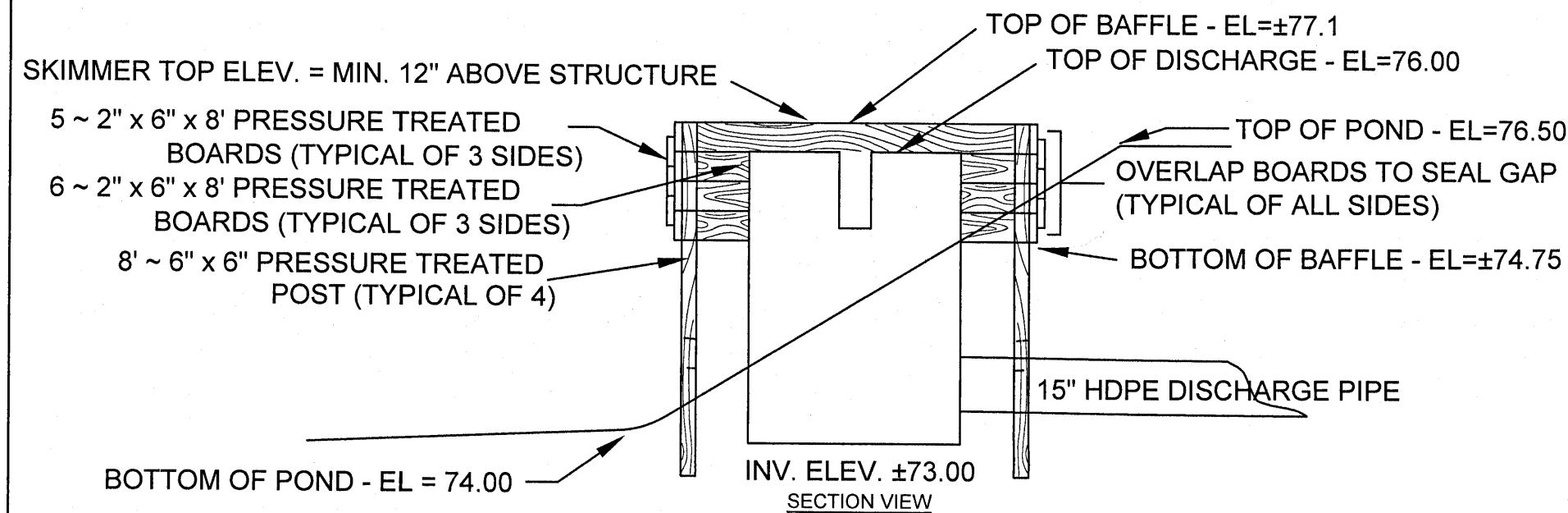
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- NOTES:**
- RETENTION/DETENTION AREAS MUST BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR MUST CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS ACCUMULATION.
 - SIDES AND BOTTOM OF STORM WATER POND MUST BE IMMEDIATELY STABILIZED WITH SOD UPON CONSTRUCTION.
 - UPON FINAL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, POND MUST BE RE-SHAPED AS NECESSARY TO REMOVE ACCUMULATED SEDIMENT AND TO MATCH THE PROPOSED GRADING ON THE PLANS. ALL DISTURBED AREAS MUST BE RE-STABILIZED WITH SOD.

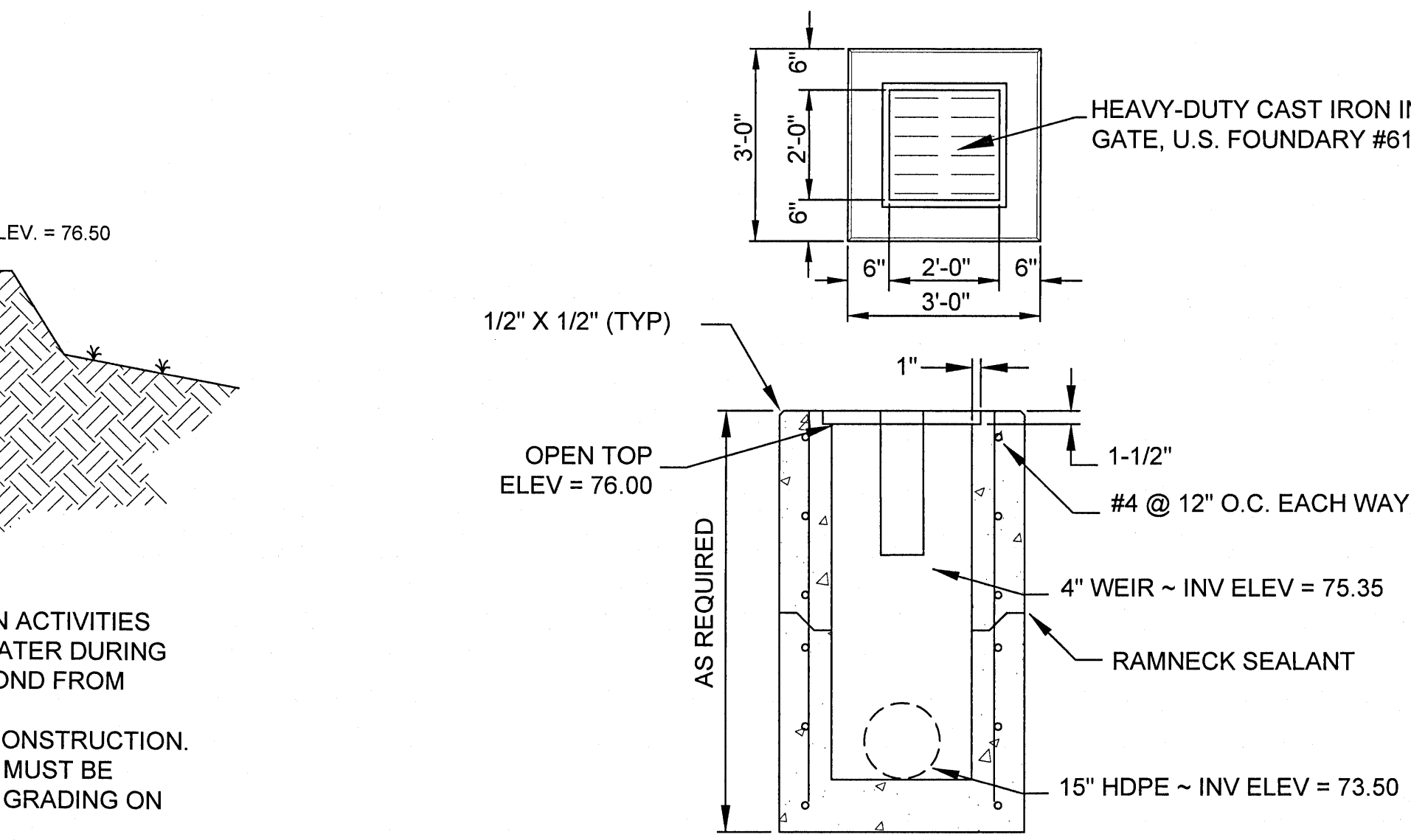
RETENTION POND

NOT TO SCALE



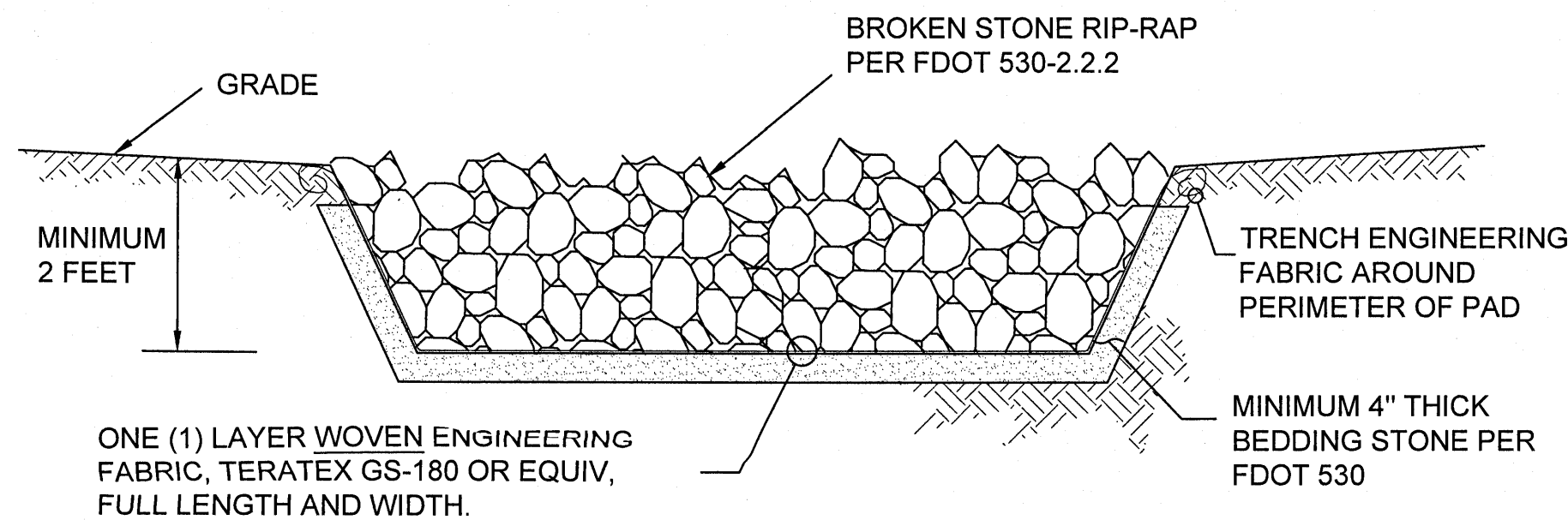
SKIMMER STRUCTURE DETAIL

NOT TO SCALE



MODIFIED 2x2 INLET CONTROL STRUCTURE

NOT TO SCALE

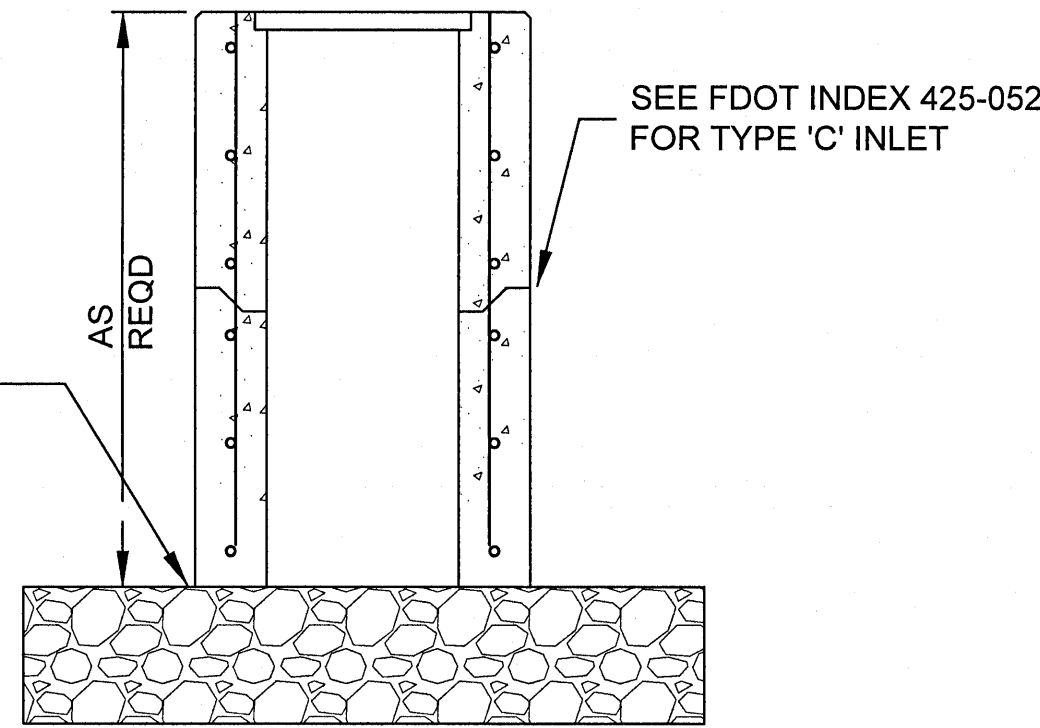


- NOTES:**
- RIP-RAP TO EXTEND UP POND EMBANKMENT TO FORM APRON AROUND CONCRETE END SECTIONS AT PIPE INPUT LOCATIONS.
 - RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
 - TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

RIP-RAP PAD

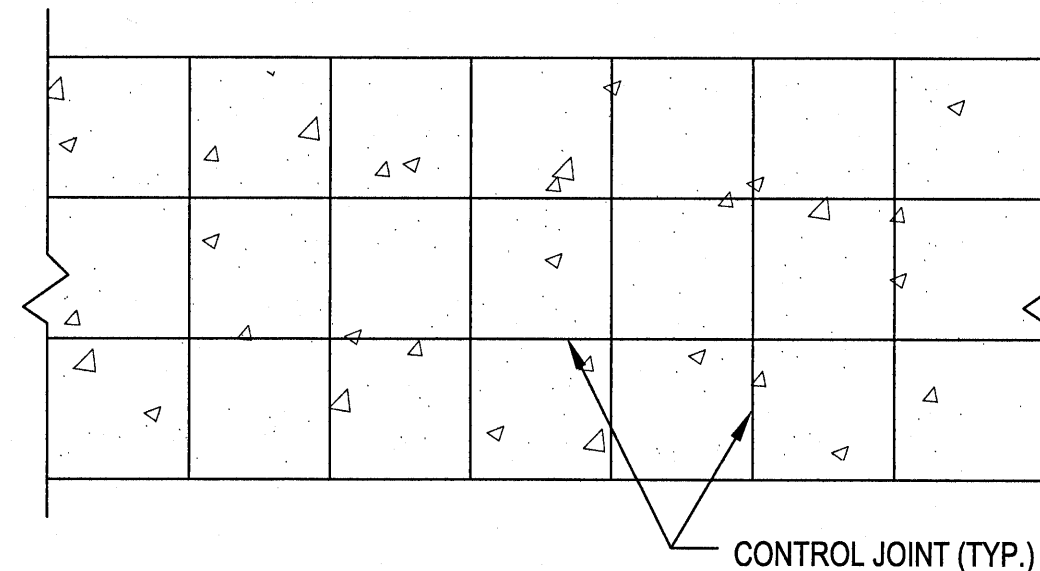
NOT TO SCALE

INLET TO REST ON 8'(L)x8'(W)x2'(D) ENVELOPE OF COMPACTED #57 STONE WRAPPED IN FILTER FABRIC WITH MINIMUM 18" OVERLAP



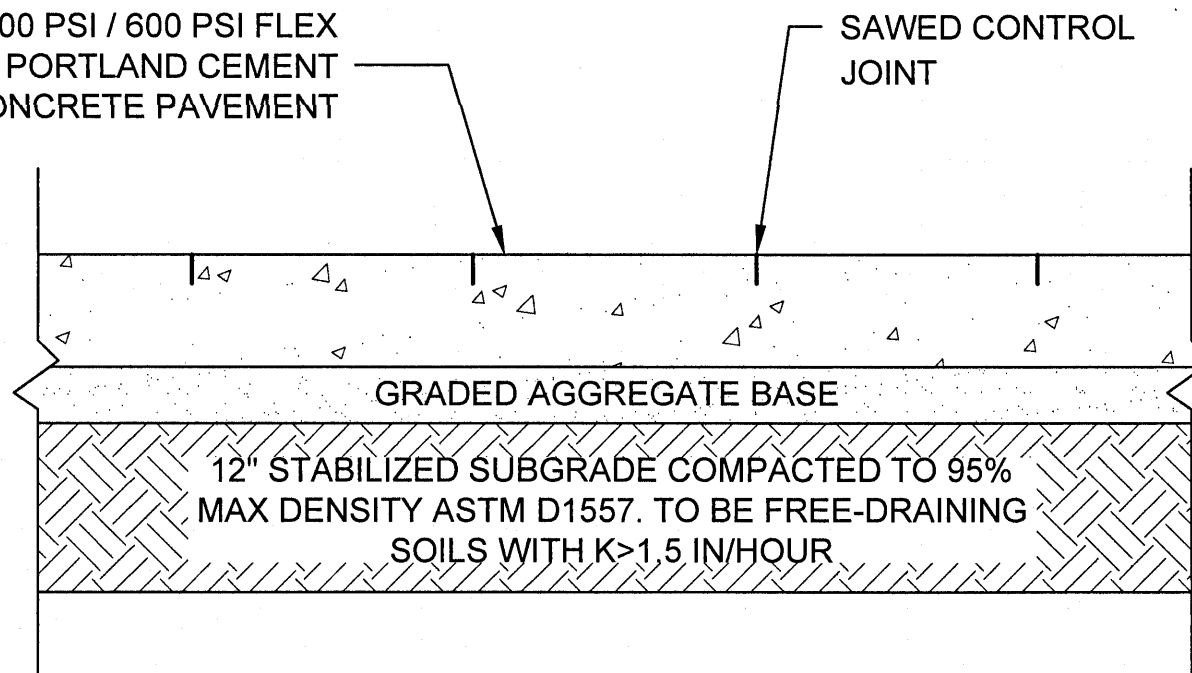
BOTTOMLESS CONCRETE INLET

NOT TO SCALE



PLAN

	PAVING SECTION SUMMARY
CONCRETE	6.0"
CONTROL JOINT SPACING	12'x12'
CONTROL JOINT DEPTH	2.0"
GRADED AGGREGATE BASE	4.0"
STABILIZED SUBGRADE	12.0"



SECTION

- NOTES:**
- LONGITUDINAL AND TRANSVERSE JOINTS SHALL BE SAWED AS INDICATED.
 - THE JOINT SEAL MANUFACTURER'S SPECIFICATIONS SHALL BE COMPATIBLE WITH THE JOINT CONFIGURATION. PROVIDE TYPICAL DETAILS FOR CONSTRUCTION & EXP. JTS.
 - FOR ALL JOINTS THE BACKER ROD MATERIAL SHALL BE COMPATIBLE WITH THE COLD POURED SEALANT AND SLIGHTLY OVERSIZED TO PREVENT MOVEMENT DURING THE JOINT SEALANT OPERATION.
 - THE WIDTH OF ALL JOINTS SHALL BE CORRECTED FOR 68 DEGREE F.
 - EXPANSION JOINTS SHALL BE USED AT ALL LOCATIONS WHERE PAVEMENT ABUTS A PERMANENT STRUCTURE.

CONCRETE PAVEMENT SECTION

NOT TO SCALE

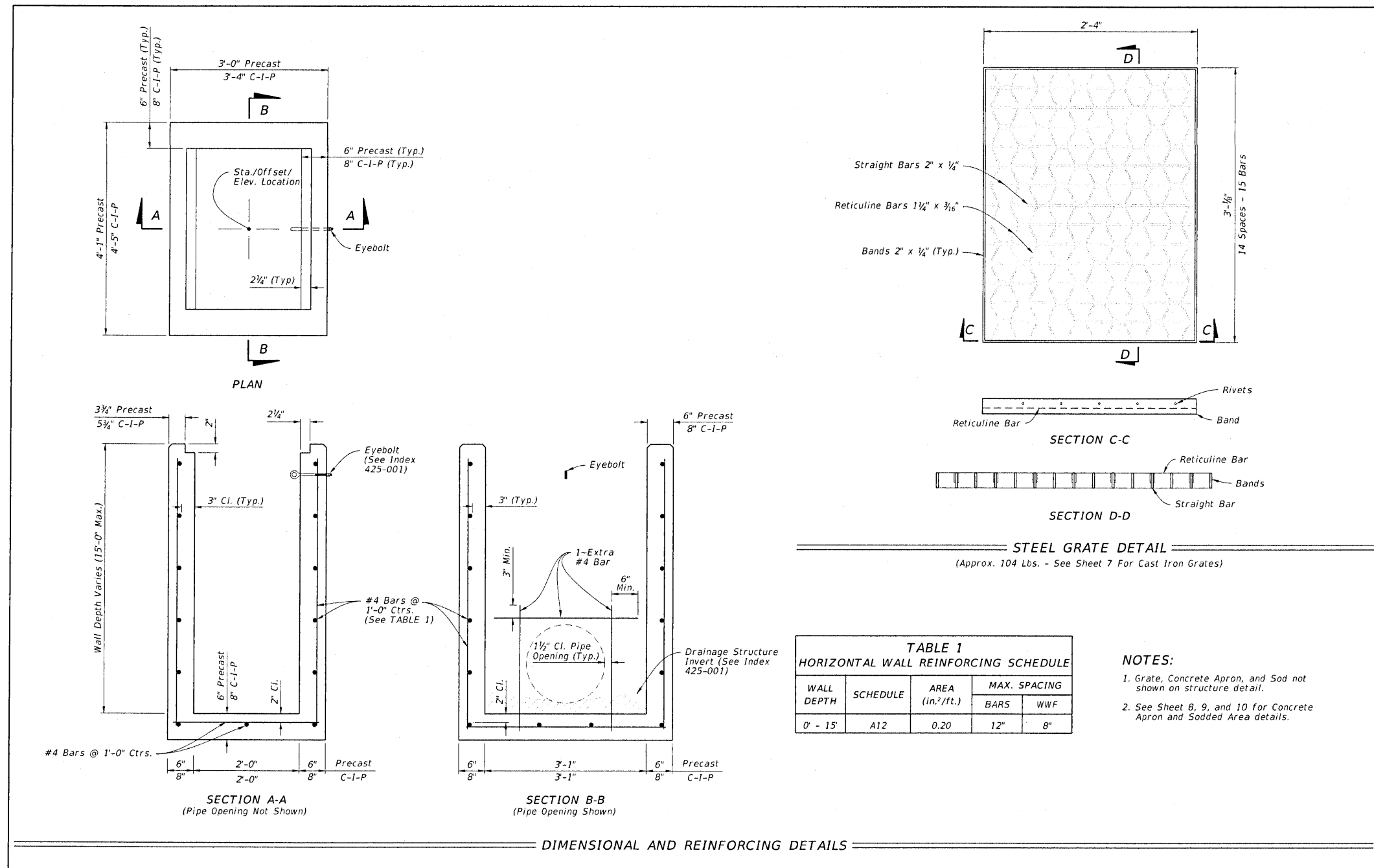
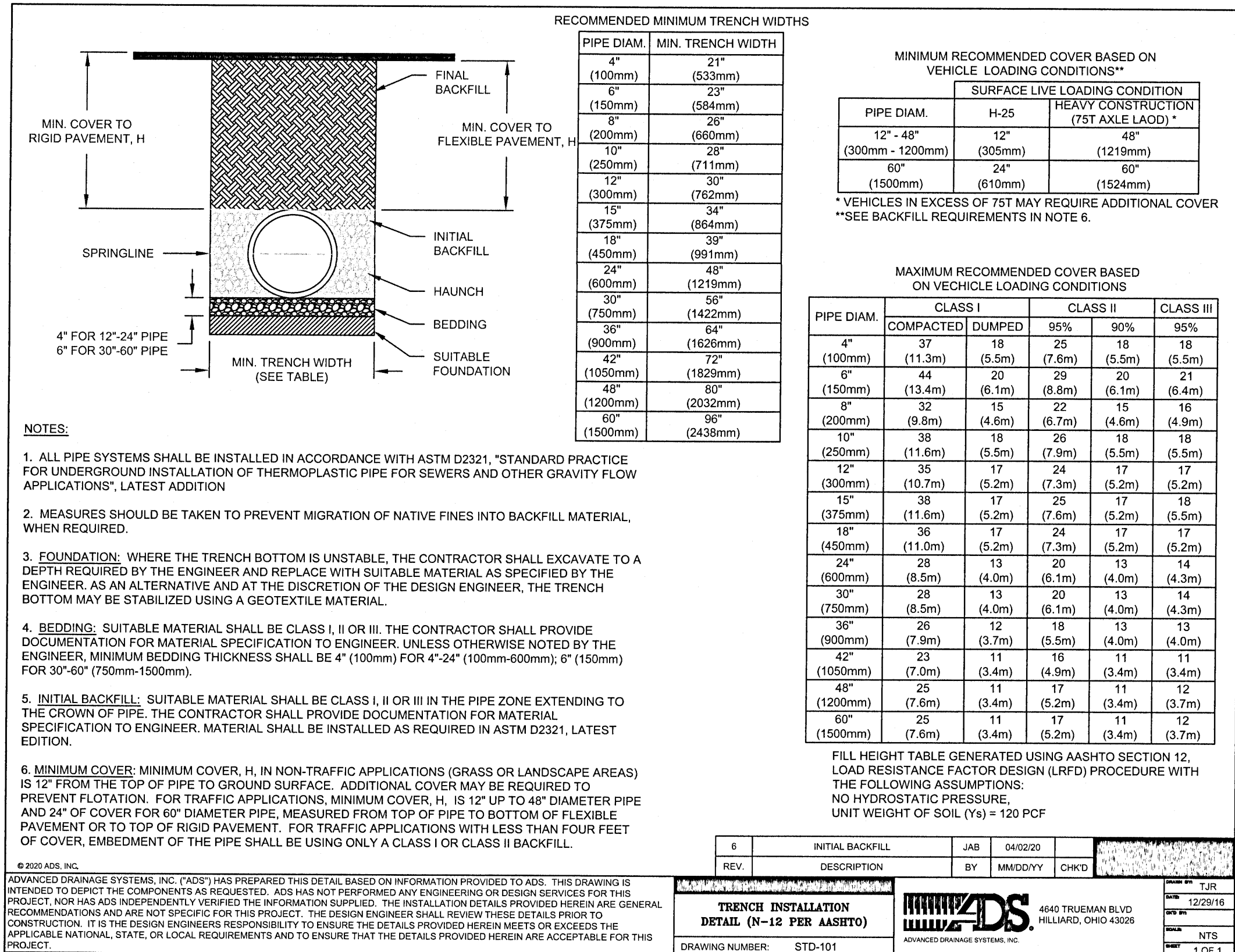


TABLE 1 HORIZONTAL WALL REINFORCING SCHEDULE			
WALL DEPTH	SCHEDULE	AREA (in ² /ft)	MAX. SPACING
0 - 15	A12	0.20	12" 8"

- NOTES:**
- Grate, Concrete Apron, and SOD not shown on structure detail.
 - See Sheet 8, 9, and 10 for Concrete Apron and SOD details.



HDPE TRENCH INSTALLATION DETAIL

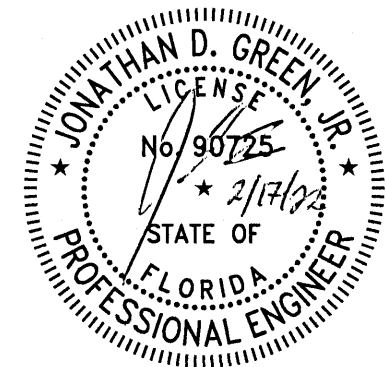
NOT TO SCALE

JDG

BROWN
PROPERTY
IMPROVEMENTS

ESCAMBIA COUNTY ~ FLORIDA

SITE
DETAILS



JONATHAN D. GREEN, JR.
P.E. 90725

REV #	DATE

DESIGNED BY:

JDG

JOB NO.: 22008

DATE: 2022-02-16

SCALE: AS SHOWN

STATUS: PERMIT SET

SHEET NO.:

C6.1

NOT FOR CONSTRUCTION