

## GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE RESPONSES TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOO (RECOMMEND CENTIPEDE, PENSACOLA BAHIA OR BERMIUDA SOO). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOO PLACED ON SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOO IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAZING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL EXISTING AND SITE IMPROVEMENTS, INCLUDING OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3568) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER, ESCAMBIA COUNTY, AND ECUA. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOWN SHALL BE IN ACCORDANCE WITH F.D.O.C. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC.) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR UTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO AN ON-SITE DETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY. REMOVAL AND RELOCATION OF ANY UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/PAVE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TREENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

## SIGNAGE:

### FREETANDING SIGNAGE:

ONE (1) FREETANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 3 AC).  
STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY. ANY APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

GULF BEACH HIGHWAY (COLLECTOR STREET):  
FREETANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 150 SF (150' FRONTAGE \* 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 25 LF IN HEIGHT.

### WALL SIGNAGE:

GULF BEACH HIGHWAY FRONTAGE (COLLECTOR ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 112.50 SF (2.25 SF \* 50 LF BLDG. FRONTAGE)

\*EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL UNLESS SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 100 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

## JURISDICTIONAL CONTACTS:

### ESCAMBIA COUNTY DEVELOPMENT SERVICES

3363 WEST PARK PLACE  
PENSACOLA, FL 32505  
PHONE NO.: (850)-595-3475  
FAX NO.: (850)-595-3481

### EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET  
PENSACOLA, FL 32514  
PHONE NO.: (850)-476-5110  
FAX NO.: 850-494-7346

### NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 331 SOUTH  
DEFWINAK SPRINGS, FL 32435  
PHONE NO.: (850)-951-4660  
FAX NO.: (850)-892-8007

### FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD  
TALLAHASSEE, FL 32399  
PHONE NO.: (866)-338-6312  
FAX NO.: (850)-297-1211

## PROJECT DIRECTORY:

CIVIL ENGINEER  
HAMMOND ENGINEERING, INC.  
3802 NORTH "S" ST.  
PENSACOLA, FL 32505  
PHONE NO.: (850)-434-2603  
FAX NO.: (850)-434-2650

SURVEYOR  
MERRILL PARKER SHAW, INC.  
4928 N. DAVIS HWY.  
PENSACOLA, FL 32501  
PHONE NO.: (850)-476-4923  
FAX NO.: (850)-476-4924

### ENVIRONMENTAL CONSULTANT

WETLAND SCIENCES, INC.  
3308 GULF BEACH HIGHWAY  
PENSACOLA, FL 32507  
PHONE NO.: (850)-453-4700  
FAX NO.: (850)-453-1010

# SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE

SECTION 24, TOWNSHIP 3 SOUTH, RANGE 31 WEST  
ESCAMBIA COUNTY, FLORIDA

10413 GULF BEACH HIGHWAY  
PENSACOLA, FL 32507

OWNER/DEVELOPER:  
THOMAS HAMMOND  
PENSACOLA BIG GAME FISHING CLUB, INC.  
4021 WEST NAVY BOULEVARD  
PENSACOLA, FL 32507  
(850)-544-9389

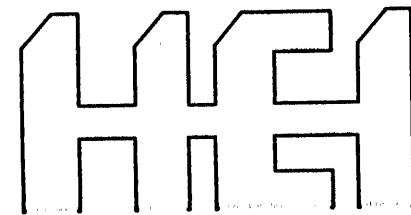
PROPERTY I.D. NO.'S: 24-3S-31-2100-001-004  
24-3S-31-2100-000-004

ZONING DESIGNATION: COM  
ADJACENT ZONING: COM  
FLU DESIGNATION: MU-S  
ADJACENT FLU: MU-S

CONDITIONAL USE APPROVAL BY ESCAMBIA COUNTY  
BOARD OF ADJUSTMENT GRANTED ON SEPTEMBER 15TH,  
2021 TO ALLOW FOR A PRIVATE CLUB IN COMMERCIAL  
ZONING WITHIN AN AREA OF MIXED RESIDENTIAL USES  
UNDER COM ZONING. SEE CU-2021-14

## INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ STORMWATER POLLUTION PREVENTION PLAN
- C5 ~ SITE PLAN
- C6 ~ GRADING & DRAINAGE PLAN
- C7 ~ UTILITY PLAN
- C8 ~ LANDSCAPING PLAN
- C9 ~ ENVIRONMENTAL IMPACT PLAN
- C10 ~ CONSTRUCTION DETAILS
- C11 ~ CONSTRUCTION DETAILS
- C12 ~ UTILITY DETAILS
- C13 ~ LIFT STATION DETAILS



HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850-434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

REVISED FEBRUARY 11, 2022

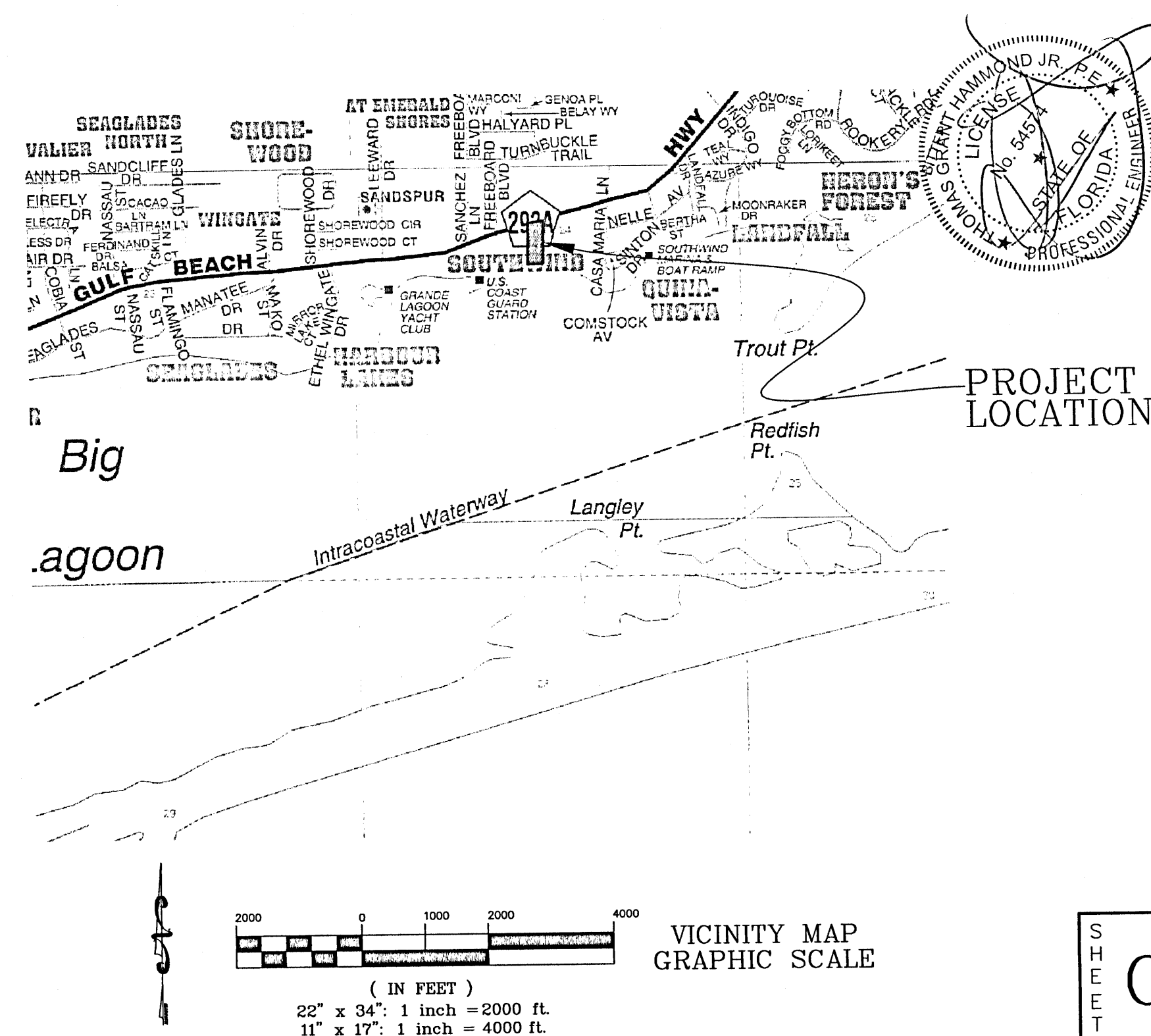
HEI PROJECT #: 21-063

## GENERAL NOTES:

32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.30(2) "GENERIC PERMIT FOR THE DISCHARGE OF PROTECTED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOO REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (i.e. SLOPES GREATER THAN 3:1).
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECUA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY CITY REPRESENTATIVE THAT VISITS THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ECUA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY. OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. DETENTION/RETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

## FLOOD ZONE DATA

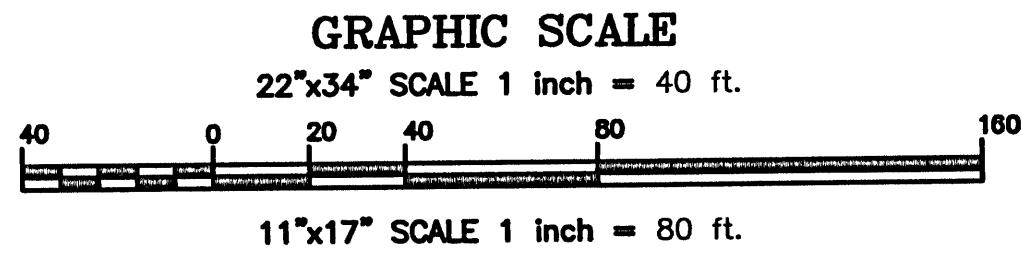
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	NEIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
VE (BFE 10)	120080	12033C	0528	G	SEPTEMBER 29, 2006
AEB	120080	12033C	0528	G	SEPTEMBER 29, 2006
AE9	120080	12033C	0528	G	SEPTEMBER 29, 2006



REVISIONS		
NO.	DATE	REVISIONS
1	01/21/22	REVISED PLANS AS PER ECUA INITIAL PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

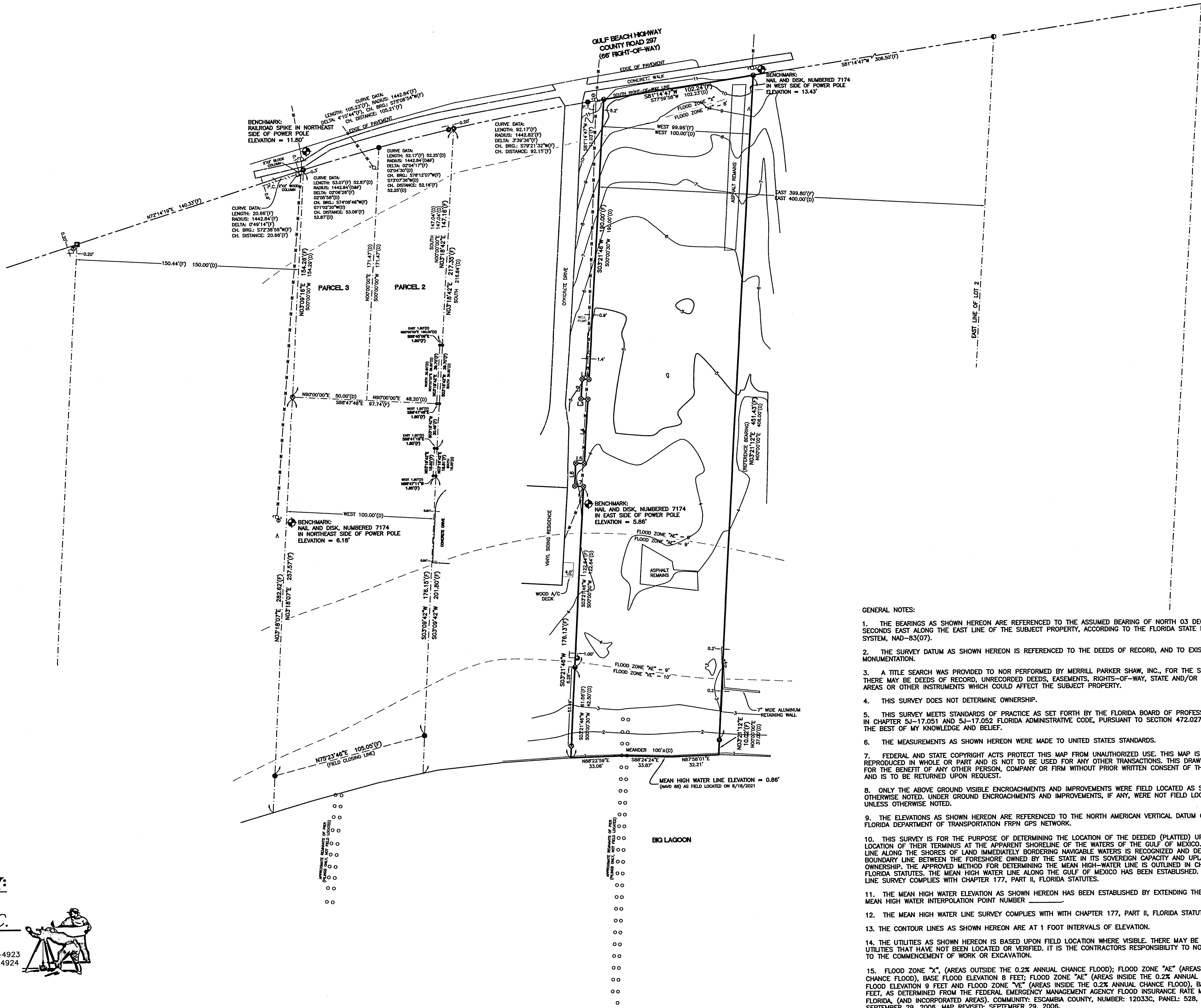
SHEET  
C1





NOTES:  
1/2" CAPPED IRON ROD, NUMBERED 7174 (PLACED)  
1/2" IRON ROD, UNNUMBERED (FOUND)  
1/2" CAPPED IRON ROD, "COE" (FOUND)  
1/2" CAPPED IRON ROD, NUMBERED 7277 (FOUND)  
1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)  
4"x4" CONCRETE MONUMENT, UNNUMBERED (FOUND)  
R/W - RIGHT-OF-WAY  
(D) - DEED INFORMATION  
(F) - FIELD INFORMATION  
PC - POINT OF CURVATURE  
PT - POINT OF TANGENCY  
COE - CORPS OF ENGINEERS  
- - - OVERHEAD ELECTRIC  
- - - POWER POLE  
A - GUY ANCHOR  
O - TELEPHONE PEDESTAL  
- - - 4' WOOD RAIL FENCE

LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'



- GENERAL NOTES:
- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 03 DEGREES 21 MINUTES 12 SECONDS EAST ALONG THE EAST LINE OF THE SUBJECT PROPERTY, ACCORDING TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, NAD-83(07).
  - THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DEEDS OF RECORD, AND TO EXISTING FIELD MONUMENTATION.
  - A TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY MERRILL PARKER SHAW, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
  - THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
  - THIS SURVEY MEETS STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
  - THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
  - FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTIONS. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.
  - ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDER GROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
  - THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, USING THE FLORIDA DEPARTMENT OF TRANSPORTATION FRPN GPS NETWORK.
  - THIS SURVEY IS FOR THE PURPOSE OF DETERMINING THE LOCATION OF THE DEEDED (PLATTED) UPLAND LINES AND THE LOCATION OF THEIR TERMINUS AT THE APPARENT SHORELINE OF THE GULF OF MEXICO. THE MEAN-HIGH WATER LINE ALONG THE SHORES OF LAND IMMEDIATELY BORDERING NAVIGABLE WATERS IS RECOGNIZED AND DECLARED TO BE THE BOUNDARY LINE BETWEEN THE FORESHORE OWNED BY THE STATE IN ITS SOVEREIGN CAPACITY AND UPLAND SUBJECT TO PRIVATE OWNERSHIP. THE APPROVED METHOD FOR DETERMINING THE MEAN-HIGH-WATER LINE IS OUTLINED IN CHAPTER 177, PART II, FLORIDA STATUTES. THE MEAN HIGH WATER LINE ALONG THE GULF OF MEXICO HAS BEEN ESTABLISHED. THIS MEAN HIGH WATER LINE SURVEY COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES.
  - THE MEAN HIGH WATER ELEVATION AS SHOWN HEREON HAS BEEN ESTABLISHED BY EXTENDING THE ELEVATION SHOWN AT MEAN HIGH WATER INTERPOLATION POINT NUMBER 33.07.
  - THE MEAN HIGH WATER LINE SURVEY COMPLIES WITH WITH CHAPTER 177, PART II, FLORIDA STATUTES.
  - THE CONTOUR LINES AS SHOWN HEREON ARE AT 1 FOOT INTERVALS OF ELEVATION.
  - THE UTILITIES AS SHOWN HEREON IS BASED UPON FIELD LOCATION WHERE VISIBLE. THERE MAY BE OTHER UNDER GROUND UTILITIES THAT HAVE NOT BEEN LOCATED OR VERIFIED. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY SUNSHINE 811 PRIOR TO THE COMMENCEMENT OF WORK OR EXCAVATION.
  - FLOOD ZONE "X", (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD); FLOOD ZONE "AE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 8 FEET; FLOOD ZONE "AE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 9 FEET AND FLOOD ZONE "VE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 10 FEET, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, (AND INCORPORATED AREAS), COMMUNITY: ESCAMBIA COUNTY, NUMBER: 12033C, PANEL: 528, SUFFIX: G, DATED: SEPTEMBER 29, 2006, MAP REVISED: SEPTEMBER 29, 2006.

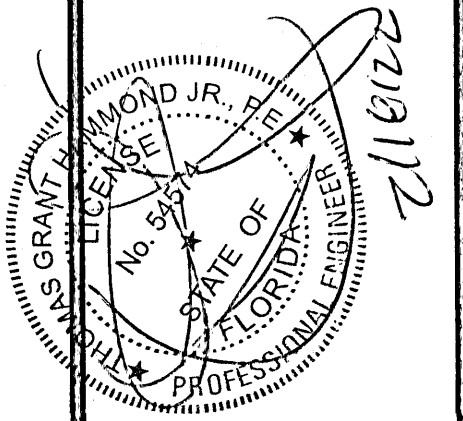
SITE SURVEY COMPLETED BY:

MERRILL PARKER SHAW, INC.  
PROFESSIONAL LAND SURVEYING SERVICES  
4928 N. DAVIS HWY  
PENSACOLA, FL 32503  
PH: (850) 478-4923  
FAX: (850) 478-4924  
FLORIDA CORPORATION NUMBER 7174



NO.	DATE	REVISIONS
1	01/26/22	REVISED PLANS AS PER ESCAMBIA COUNTY REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY REVIEW COMMENTS

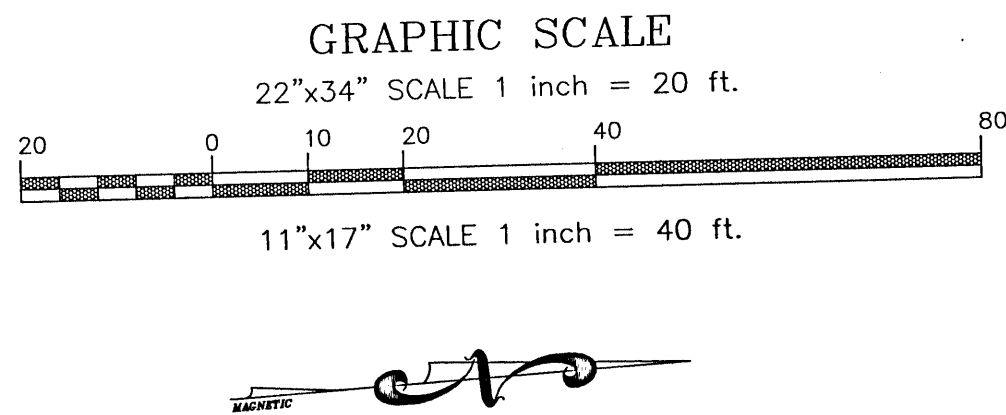
HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
EXISTING CONDITIONS  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 12-09-2021
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-063  
SHEET: C2



LEGEND:

	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES PROPOSED SILT FENCE
	DENOTES EXISTING CONTOUR
	DENOTES EXISTING OVERHEAD ELECTRIC
	DENOTES EXISTING UTILITY POLE



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

DEMOLITION/EROSION CONTROL NOTES

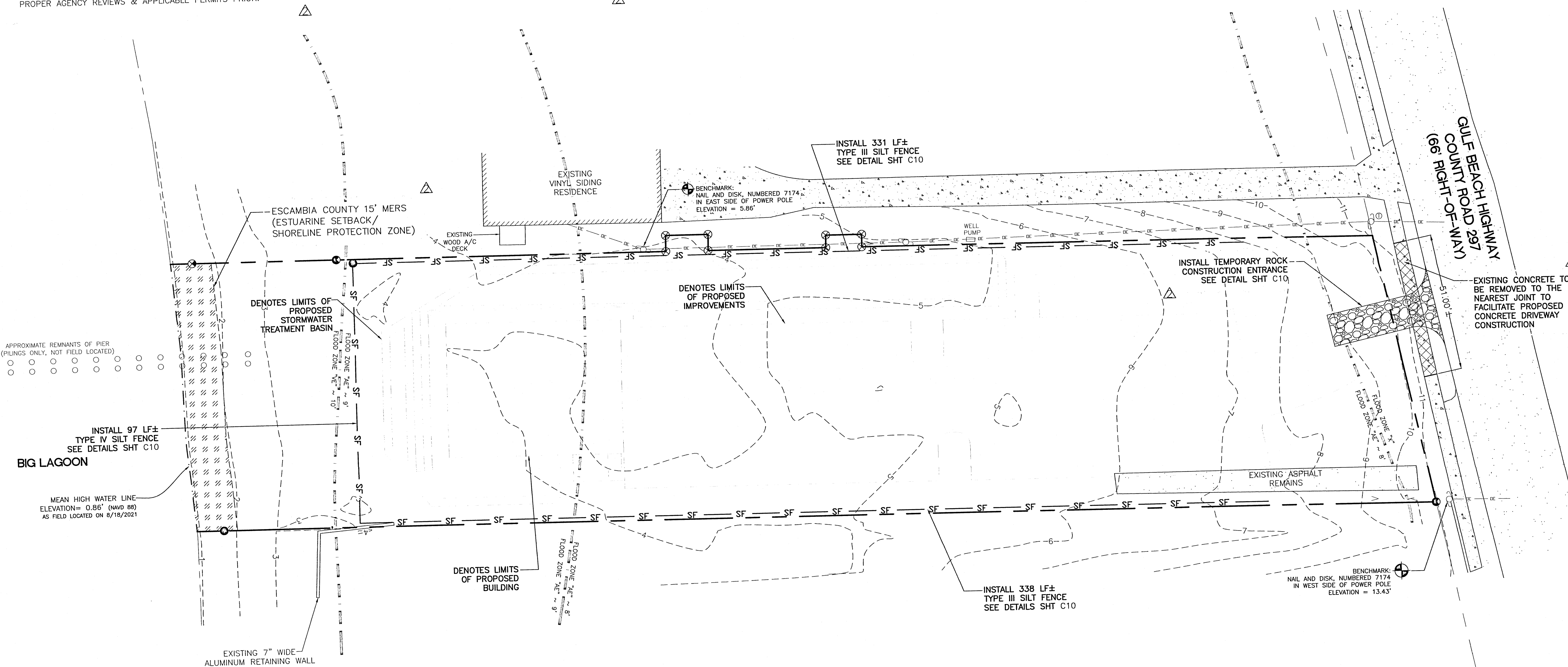
- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 2'-2" STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 90 DAYS OF THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (I.E. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- PROTECTED TREES SHALL REMAIN ON-SITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ON-SITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

ESL PROTECTIONARY NOTE:

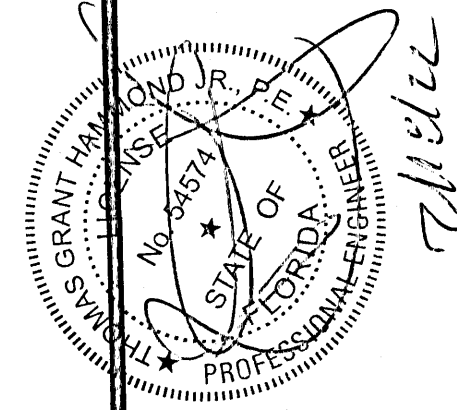
NOTE: WETLANDS, WETLAND BUFFERS, & AREAS LOCATED WITHIN ESCAMBIA COUNTY'S 15' MERS (ESTUARINE SETBACK/SHORELINE PROTECTION ZONE) SHALL REMAIN IN A NATURAL STATE. NO SITE DEVELOPMENT FEATURES OR ACTIVITIES ARE PERMITTED IN THESE AREAS, OVER WATERWAYS, OR IN SEAGRASS RESOURCES WITHOUT FIRST OBTAINING ALL PROPER AGENCY REVIEWS & APPLICABLE PERMITS PRIOR.

TREE PROTECTION NOTE:

THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT



HAMMOND ENGINEERING, INC.  
ALABAMA AUTHORIZATION NO. 9130  
FLORIDA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
850 434-2650  
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
DEMOLITION & EROSION  
CONTROL PLAN  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-063

SHEET: C3



## Site Description

The proposed Pensacola Big Game Fishing Club Clubhouse project is located at 10413 Gulf Beach Highway and within the limits of Escambia County, Florida.

The project consists of the construction of a 3,600—sf, single—story, clubhouse on pilings and associated infrastructure. The project parcel is 1.01 acres and currently stands clear and undeveloped. The site is located within the Southwest Side Drainage Basin. The site slopes to the south across the property and directs the majority of stormwater runoff towards Big Lagoon (a tidally influenced body of water). Following construction, all stormwater runoff generated from the proposed improvements will be treated by an onsite stormwater treatment basin located near the southern boundary of the site. The pond will treat the first one inch of runoff per NWFWM requirements. All runoff from the areas of disturbance should naturally sheet flow into the proposed stormwater treatment basin. Should runoff discharge from the site during a heavy rainfall event, the expected latitude and longitude of the discharge point are 30°19'38.73" N & 87°21'43.60" W.

Improvements proposed with this project include a single structure, a 15,000 sft parking lot constructed with rock and asphalt millings, a concrete handicap parking stall, sidewalks, a 2,800 cft stormwater treatment basin, potable water & sanitary sewer connections, etc.

According to a the USDA SCS maps, the predominant soil type found on—site consists of #15 Resota sand, 0 to 5 percent slopes. Groundwater is not expected to be encountered or adversely impact the development of this property.

## Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices (BPMs). Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of those controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BPMs shall be used as necessary inside the the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62—40.432 F.A.C.

## Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permanent sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently ceased.

Structural practices shall divert flows from exposed soils, store flows, retain sediment on—site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fences, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

## Stormwater Management

Prior to any site disturbance, a single row of type IV silt fencing shall be installed along the south boundary of the development parcel. Additionally, a single row of type III silt fencing shall be installed along the east and west boundaries of the development parcel as illustrated on the demolition & erosion control plan. This will limit the extent of construction and help deter encroachment onto the adjacent properties as well as assist in preventing downstream sedimentation. All of the aforementioned BMP's shall be in place prior to any activity that disturbs soils. After the required light clearing and rough grading activities, check dams and additional silt fencing and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. The proposed stormwater treatment basin shall first be constructed and utilized for storage and disposal of all stormwater runoff to help avoid sedimentation onto the adjacent properties. The treatment basin should be under—excavated and oil feasible on—site runoff shall be directed towards this basin during construction activities. Runoff from uphill areas shall be directed to the treatment basin by diversion swales. These swales may require temporary seeding and check dams to minimize velocities and avoid excessive erosion. Erosion control facilities shall be actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

## Controls for Other Potential Pollutants

A materials management area shall be designated on—site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a major source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products:

- \* Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling vehicles.
- \* Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
- \* Contain and clean up petroleum spills immediately.
- \* Perform preventative maintenance for on—site equipment to prevent leakage.
- \* Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:

- \* Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored.
- \* Contain and clean up spills immediately after they occur.
- \* Keep materials in a dry, covered area.
- \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater:

- \* Handle pesticides as infrequently as possible.
- \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
- \* Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides.
- \* Store pesticides in a dry, covered area.
- \* Provide curbs or dikes to contain spills.
- \* Have measures on site to contain and clean up spills.
- \* Strictly follow recommended application rates and methods.

Fertilizers and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution:

- \* Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- \* Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches.
- \* Apply fertilizer more frequently, but at lower application rates.
- \* Limit hydroseeding in which lime and fertilizers are applied to the ground surface in one application.
- \* Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
- \* Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
- \* Apply fertilizer and use detergents only in the recommended manner and amounts.

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes:

- \* Designate a waste disposal area on the site.
- \* Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall. Locate containers in covered areas, where possible.
- \* Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers.
- \* Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off—site tracking. Off—site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off—site tracking becomes excessive.

The construction site must have temporary sanitary sewer facilities for on—site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on—site septic system for the construction trailer is not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

## Maintenance and Inspection Controls

Controls of pollutants shall be maintained throughout construction period and until final stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.50 inches of rainfall. Where sites have been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted.

- \* Stabilization Measures — Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct any problems.
- \* Structural Controls — Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control.
- \* Discharge Points — Discharge points shall be inspected to determine whether erosion control measures are effective in preventing significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on—site BMPs are effective, and what should be done to increase the effectiveness.
- \* Construction Entrances — Locations where vehicles enter or exit the site shall be inspected for evidence of off—site sediment tracking. The inspection should reveal whether the stabilization of the construction entrance is effective, and what should be done to increase the effectiveness.
- \* Areas Used for Storage of exposed Materials — These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measures identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection.

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non—compliance.

### IMPLEMENTED BMP'S

Type:	Implemented by:	Company Name, Contact Person, Address & Phone Number
Perimeter Silt Fencing/ Hay Bales		
Inlet Protection		
Temporary Construction Entrance		
Tree Barricades		

## Contractor Certification

This Stormwater Pollution Prevention Plan must clearly identify, for each measure identified within the the Stormwater Pollution Prevention Plan, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the Stormwater Pollution Prevention Plan must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder"

Name, Title	Signature	Company Name, Address & Phone Number	Date

## Contractor Requirements

- \* The contractor is responsible for obtaining the required FDEP NPDES permit prior to land disturbance.
- \* The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

## Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

## Compliance

The goal of the program is to prevent accelerated erosion and off—site sedimentation. The contractor is the first person to be effective in controlling erosion and preventing off—site sedimentation for the site to be in compliance. Following an approved plan and the construction site is evaluated fairly and consistently and that the site is kept in compliance.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off—site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off—site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

The contractor's job is to:

1. Determine that an erosion and sediment control plan for the site has been approved.
2. Determine that specific practices have been installed and are being maintained according to the plan.
3. Determine that both on—site and off—site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

## Control of Non—Stormwater Discharges

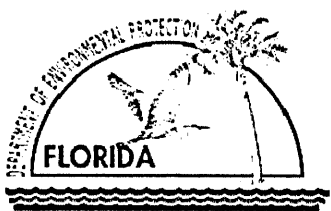
It is expected that the following non—stormwater discharges may occur from the site during construction period: water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

Project Name and location information:	PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE 10413 GULF BEACH HWY PENSACOLA 325 07
Responsible Authority Information:	PENSACOLA BIG GAME FISHING CLUB, INC. TOM HAMMOND, PRES. PO BOX 401 PENSACOLA, FL 32591 850-554-9389
Project Contact:	TOM HAMMOND PO BOX 401 PENSACOLA, FL 32591 850-554-9389

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Operator and/or Responsible Authority)

Date



## NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER NOTICE OF TERMINATION (RULE 62-621.300(6), F.A.C.)

You must use this form to terminate coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C., the Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity provided in subsection 62-621.300(5), F.A.C. as well as the conditional exclusion for "no exposure" of industrial activities and materials to stormwater provided in paragraph 62-620.100(2)(o), F.A.C.

All information provided on this form shall be typed or printed in ink.

### I. TERMINATION INFORMATION:

A. Facility ID/Project Number:	
B. Reason for Termination: Check all that apply:	
<input type="checkbox"/>	No longer operator of the facility/project.
<input checked="" type="checkbox"/>	Final stabilization criteria is met and all stormwater discharges associated with construction activity including dewatering operations have ceased (for construction activity only).
<input type="checkbox"/>	All stormwater discharges associated with industrial activity have ceased (for industrial activity only).
<input type="checkbox"/>	No longer meet the condition of "no exposure" (for industrial activity only).

### II. OPERATOR INFORMATION:

A. Operator Name:		
B. Address:		
C. City:	D. State:	E. Zip Code:
F. Responsible Authority:		G. Responsible Authority's Phone No.:
H. Responsible Authority's E-mail Address:		I. Responsible Authority's Fax No.:

### III. FACILITY/PROJECT INFORMATION:

A. Name:		
B. Address/Location:		
C. City:	D. State:	E. Zip Code:
F. County:		

### IV. CERTIFICATION<sup>1</sup>:

I certify under penalty of law that all stormwater discharges associated with industrial or construction activity from the identified facility or project that are authorized by the referenced State of Florida generic permit have been eliminated, the facility no longer meets the conditional exclusion for "no exposure" outlined in paragraph 62-620.100(2)(o), F.A.C., or that I am no longer the operator of the facility or project. I understand that by submitting this Notice of Termination, I am no longer authorized to discharge stormwater associated with industrial or construction activity under a generic permit, and that discharging pollutants in stormwater associated with industrial or construction activity to surface waters of the State is unlawful unless authorized by a permit issued pursuant to Section 403.0885, F.S. I also understand that the submittal of this Notice of Termination does not release an operator from liability for any violations of their generic permit or conditional exclusion for "no exposure" from NPDES stormwater permitting for industrial activities.

Responsible Authority Name and Official Title (Type or Print):

Responsible Authority Signature:

Date Signed:

<sup>1</sup> Signatory requirements are contained in Rule 62-620.305, F.A.C.

FDEP Form 62-621.300(6)  
Effective Date: 02/2/05

### Stormwater Pollution Prevention Plan Inspection Report Form Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: FDEP NPDES Stormwater Identification Number:

Location	Rain data	Type of control (see below)	Date installed/ modified	Current Condition (see below)	Corrective Action / Other Remarks
	Weekly Report				

Condition Code:

G = Good

M = Marginal, needs maintenance or replacement soon

P = Poor, needs immediate maintenance or replacement

C = Needs to be cleaned

O = Other

Control Type Codes

1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth berm	11. Vegetative buffer strip	20. Stabilized aggregate roadway/parking	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction driveway stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Match	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Turbidity Barrier
8. Pipe slope drain	17. Paved road surface	26. Geotextile	35. Dewatering (pump/phospe/fitter/well point, etc.)
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	36. Other

Inspector Information:

Name

Qualification

Date

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Responsible Authority)

Date

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM



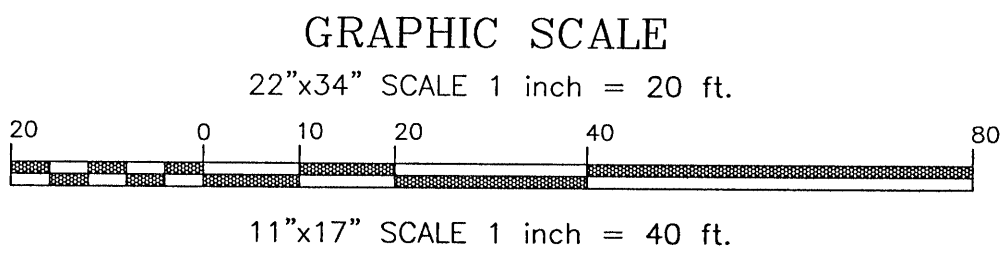
SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
STORMWATER POLLUTION  
PREVENTION PLAN  
FLORIDA

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-063

SHEET: C4





TOTAL SITE AREA: 45,589 SF - 1.05 ACRES					
IMPERVIOUS and PERVIOUS AREA					
BUILDINGS	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
ASPHALT/CONCRETE	933 SF	0 SF	3,250 SF	3,250 SF	+3,250 SF
ROCK AREA	0 SF	0 SF	384 SF	1,317 SF	+1,317 SF
LANDSCAPE AREA	44,656 SF	18,499 SF	0 SF	26,157 SF	(-18,499 SF)
PERCENTAGE OF LANDSCAPE	98%			57%	(-41%)
PARKING DATA					
NON-HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
HANDICAPPED SPACES	0	0	46	46	+46

LEGEND:		DE	DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES EXISTING ASPHALT		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GUY ANCHOR
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES PROPOSED CONCRETE		DENOTES QUANTITY OF PARKING STALLS PER ROW
	DENOTES PROPOSED RETAINING WALL		DENOTES PROPOSED FIRE HYDRANT

SITE DATA:  
10413 GULF BEACH HWY  
PARCEL ZONING: COM  
FLU: MU-S

BUILDING SETBACKS REQUIRED (COM ZONED PARCEL):  
FRONT SETBACK =15'  
REAR SETBACK =15'  
SIDE SETBACK =10'

MAXIMUM IMPERVIOUS SURFACE: 85%  
MAXIMUM BUILDING HEIGHT: 150'  
MAXIMUM FLOOR AREA RATIO: 2.0 (MU-S)  
MAXIMUM DENSITY: 25 DU PER ACRE

PROPOSED FLOOR AREA RATIO:  
TOTAL GROSS FLOOR AREA = 3,250 SF  
GROSS LOT AREA = 45,589 SF  
FLOOR AREA RATIO = 3,250 SF/45,589 SF = 0.07

LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'

PARKING CALCULATIONS:  
PROPOSED 3,250 SF CLUBHOUSE  
WITH 120 MEMBERS

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
1 PARKING STALL PER 3 PERSONS REQUIRED  
120 MEMBERS/3 ~ 40 STALLS REQUIRED

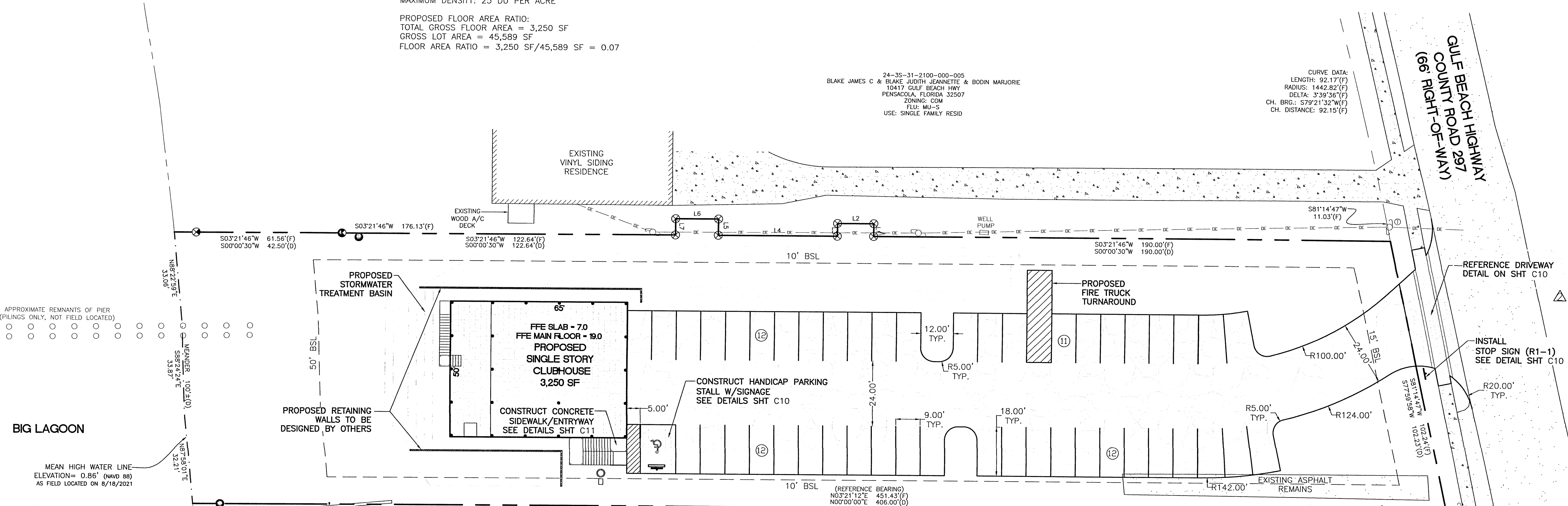
40 TOTAL PARKING STALLS REQUIRED

46 REGULAR STALLS PROPOSED  
1 HANDICAP STALL PROPOSED  
47 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN

PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED



BIG LAGOON

MEAN HIGH WATER LINE  
ELEVATION= 0.86' (NAVD 88)  
AS FIELD LOCATED ON 8/18/2021

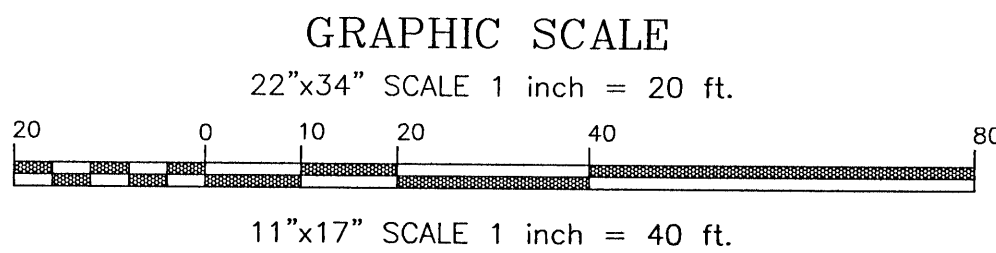
PARCEL ID	OWNER	OWNER ADDRESS
24-35-31-2200-101-001	BLANTON ELIZABETH	10335 GULF BEACH HWY UNIT 101
24-35-31-2200-101-002	GRACE ANN NICOLE	PENSACOLA, FL 32507
24-35-31-2200-201-001	BONITA OTTO F &	2565 NOVA RD
24-35-31-2200-201-002	BONITA JENNIFER L	PINE, CO 60470
24-35-31-2200-203-001	JACKSON DANIEL STEVEN &	176 WILDMED TR
24-35-31-2200-203-002	JACKSON TANGELA LEE	PETAL, MS 39465
24-35-31-2200-204-001	STOKES MICHAEL	10335 GULF BEACH HWY UNIT 204
24-35-31-2200-204-002	STOKES NELAINE L	PENSACOLA, FL 32507
24-35-31-2200-205-001	NEAN MARTHA	10335 GULF BEACH HWY UNIT 205
24-35-31-2200-205-002	PASQUALONE DAVID PAUL	PENSACOLA, FL 32507
24-35-31-2200-206-001	PASQUALONE ANTHONY M	10335 GULF BEACH HWY UNIT 206
24-35-31-2200-207-001	BARNES HARGIS V	PENSACOLA, FL 32507
24-35-31-2200-207-002	BARNES ROBERTA L	PENSACOLA, FL 32507
24-35-31-2200-208-001	PEETERSE STEVE P SR	10335 GULF BEACH HWY UNIT 208
24-35-31-2200-208-002	PEETERSE DIANA D	PENSACOLA, FL 32507
24-35-31-2200-302-001	CAMP KENNETH V &	10335 GULF BEACH HWY UNIT 302
24-35-31-2200-405-001	CAMP SARAH J	10335 GULF BEACH HWY UNIT 405
24-35-31-2200-405-002	BEAUFAY DAVID R &	10335 GULF BEACH HWY UNIT 405
24-35-31-2200-405-003	BEAUFAY DAWN E	PENSACOLA, FL 32507
24-35-31-2200-406-001	CANSTRA MARGARET E	10335 GULF BEACH HWY UNIT 406
24-35-31-2200-406-002	CANSTRA VIRGINIA G	PENSACOLA, FL 32507
24-35-31-2200-407-001	MAYERS GREGORY B	10335 GULF BEACH HWY UNIT 407
24-35-31-2200-407-002	MAYERS MARIA	PENSACOLA, FL 32507
24-35-31-2200-408-001	DEPASCA NELL J JR	10335 GULF BEACH HWY UNIT 408
24-35-31-2200-408-002	DEPASCA THOMAS B	PENSACOLA, FL 32507
24-35-31-2200-409-001	KETTERING ALFRED V JR	10335 GULF BEACH HWY UNIT 409
24-35-31-2200-409-002	KETTERING ALFRED V JR TRUST 1/2 INT	10335 GULF BEACH HWY UNIT 409
24-35-31-2200-409-003	KETTERING MARY DIANA	10335 GULF BEACH HWY UNIT 409
24-35-31-2200-409-004	KETTERING MARY DIANA TRUSTEE FOR KETTERING	10335 GULF BEACH HWY UNIT 409
24-35-31-2200-409-005	MARY DIANA TRUST 1/2 INT	10335 GULF BEACH HWY UNIT 409
24-35-31-2200-607-001	SNELL LINDA E	10335 GULF BEACH HWY UNIT 607
24-35-31-2200-607-002	SINELTON CAROLYN D LIFE	10335 GULF BEACH HWY UNIT 607
24-35-31-2200-607-003	EST HEARTLAND ENTERPRISE TRUST	PENSACOLA, FL 32507
24-35-31-2200-701-001	DISORNE DAVID H SR	10335 GULF BEACH HWY UNIT 701
24-35-31-2200-701-002	DISORNE GAYLE	PENSACOLA, FL 32507
24-35-31-2200-807-001	SLIBER GARY & CINDY	2791 VILLER AVE
24-35-31-2200-807-002	SLIBER GARY & CINDY	PENSACOLA, FL 32507
24-35-31-2200-808-001	CHEBIB JONNY RAY	PO BOX 877
24-35-31-2200-808-002	CHEBIB MARLENE E	RAYVILLE, LA 71269

PARCEL ID	OWNER	OWNER ADDRESS
24-35-31-2200-901-001	PREYMER MARK ALAN	10335 GULF BEACH HWY UNIT 901
24-35-31-2200-901-002	PREYMER MIA	PENSACOLA, FL 32507
24-35-31-2200-902-001	WALKER STEPHEN E	10335 GULF BEACH HWY UNIT 902
24-35-31-2200-902-002	WALKER ROBIN E	PENSACOLA, FL 32507
24-35-31-2200-1007-001	DIOR MICHAEL L &	10335 GULF BEACH HWY UNIT 1007
24-35-31-2200-1007-002	DIOR LEIGH W	PENSACOLA, FL 32507
24-35-31-2200-1008-001	WILLIAMS DAVID T	10335 GULF BEACH HWY UNIT 1008
24-35-31-2200-1008-002	WILLIAMS KAREN A	PENSACOLA, FL 32507
24-35-31-2200-101-001	BYRD WILLIAM R	35 S ROYAL FERN DR
24-35-31-2200-101-002	BYRD KELLY H	THE VIOLETTES, TX 77380
24-35-31-2200-102-001	BYRD WILLIAM R	35 S ROYAL FERN DR
24-35-31-2200-102-002	BYRD KELLY H	THE VIOLETTES, TX 77380
24-35-31-2200-104-001	GRUFFIN GLENN R	10335 GULF BEACH HWY UNIT 104
24-35-31-2200-104-002	GRUFFIN GLENN R	PENSACOLA, FL 32507
24-35-31-2200-105-001	GENTARSKI DUSTIN L	10335 GULF BEACH HWY UNIT 105
24-35-31-2200-105-002	GENTARSKI DUSTIN L	PENSACOLA, FL 32507
24-35-31-2200-106-001	WILLIAMS DARLENE H	10335 GULF BEACH HWY UNIT 106
24-35-31-2200-106-002	WILLIAMS DARLENE H	PENSACOLA, FL 32507
24-35-31-2200-107-001	AMBERG JENNIFER	10335 GULF BEACH HWY UNIT 107
24-35-31-2200-107-002	AMBERG JUSTIN	PENSACOLA, FL 32507
24-35-31-2200-304-001	COPTON RANDEL D	10335 GULF BEACH HWY UNIT 304
24-35-31-2200-304-002	COPTON RANDEL D	PENSACOLA, FL 32507
24-35-31-2200-305-001	FERGUSON JAMES H &	10335 GULF BEACH HWY UNIT 305
24-35-31-2200-305-002	FERGUSON JAMES H &	PENSACOLA, FL 32507
24-35-31-2200-306-001	ERLINGER TODD L	10335 GULF BEACH HWY UNIT 306
24-35-31-2200-306-002	ERLINGER MICHELLE S	PENSACOLA, FL 32507
24-35-31-2200-307-001	PALLO KEVIN G	10335 GULF BEACH HWY UNIT 307
24-35-31-2200-307-002	PALLO SHARON L	PENSACOLA, FL 32507
24-35-31-2200-308-001	ERLINGER TODD L	10335 GULF BEACH HWY UNIT 308
24-35-31-2200-308-002	ERLINGER MICHELLE S	PENSACOLA, FL 32507
24-35-31-2200-508-001	ISRY TOMME WARREN	10335 GULF BEACH HWY UNIT 508
24-35-31-2200-508-002	ISRY TOMME WARREN	PENSACOLA, FL 32507
24-35-31-2200-601-001	HILLER JAMES H	10335 GULF BEACH HWY UNIT 601
24-35-31-2200-601-002	HILLER JAMES H	PENSACOLA, FL 32507
24-35-31-2200-706-001	MCNEAL JEFFREY L &	10335 GULF BEACH HWY UNIT 706
24-35-31-2200-706-002	MCNEAL JEFFREY L &	PENSACOLA, FL 32507
24-35-31-2200-707-001	WAINES WILLIAM H &	10335 GULF BEACH HWY UNIT 707
24-35-31-2200-707-002	WAINES WILLIAM H &	PENSACOLA, FL 32507
24-35-31-2200-708-001	KETHERINGTON KELLS L	10335 GULF BEACH HWY UNIT 708
24-35-31-2200-708-002	KETHERINGTON ALISON D	PENSACOLA, FL 32507
24-35-31-2200-801-001	TURNER JEFFREY &	10335 GULF BEACH HWY UNIT 801
24-35-31-2200-801-002	TURNER JEFFREY &	PENSACOLA, FL 32507
24-35-31-2200-907-001	MCLEOD BRUCE P	10335 GULF BEACH HWY UNIT 907
24-35-31-2200-907-002	MCLEOD BRUCE P	PENSACOLA, FL 32507

PARCEL ID	OWNER	OWNER ADDRESS
24-35-31-2200-605-001	PROVENCHER THOMAS J LIFE	10335 GULF BEACH HWY UNIT 605
24-35-31-2200-605-002	PROVENCHER JOHN P	PENSACOLA, FL 32507
24-35-31-2200-702-001	JEFFERIES CHARLES R &	369 RIVERBLUFF PL APT 1
24-35-31-2200-702-002	JEFFERIES CHARLES R &	MEMPHIS, TN 38003-4134
24-35-31-2200-704-001	SHERPHERD LORI A	10335 GULF BEACH HWY UNIT 704
24-35-31-2200-704-002	SHERPHERD LORI A	PENSACOLA, FL 32507
24-35-31-2200-803-001	PARKER GREGORY F	10335 GULF BEACH HWY UNIT 803
24-35-31-2200-803-002	PARKER GREGORY F	PENSACOLA, FL 32507
24-35-31-2200-805-001	GRAHAM ROBERT W JR	10335 GULF BEACH HWY UNIT 805
24-35-31-2200-805-002	GRAHAM ROBERT W JR	PENSACOLA, FL 32507
24-35-31-2200-904-001	MANITOU AVE STE 206	MANITOU SPRINGS, CO 80889
24-35-31-2200-904-002	MANITOU AVE STE 206	PENSACOLA, FL 32507
24-35-31-2200-906-001	ANNULLE JAMES R	10335 GULF BEACH HWY UNIT 906
24-35-31-2200-906-002	ANNULLE JAMES R	PENSACOLA, FL 32507
24-35-31-2200-906-003	ANNULLE JAMES R	10335 GULF BEACH HWY UNIT 906
24-35-31-2200-906-004	ANNULLE JAMES R	PENSACOLA, FL 32507
24-35-31-2200-105-001	WINKLER RANDALL A	30 S BLUE ANGEL PKWY #716
24-35-31-2200-105-002	WINKLER RANDALL A	PENSACOLA, FL 32507
24-35-31-2200-105-003	WINKLER RANDALL A	30 S BLUE ANGEL PKWY #716
24-35-31-2200-105-004	WINKLER RANDALL A	PENSACOLA, FL 32507
24-35-31-2200-104-001	EDEN DAVID J	10335 GULF BEACH HWY UNIT 104
24-35-31-2200-104-002	EDEN DAVID J	PENSACOLA, FL 32507
24-35-31-2200-104-003	EDEN DAVID J	10335 GULF BEACH HWY UNIT 104
24-35-31-2200-104-004	EDEN DAVID J	PENSACOLA, FL 32507
24-35-31-2200-506-001	YAN STONE LORNE	10335 GULF BEACH HWY UNIT 506
24-35-31-2200-506-002	YAN STONE LORNE	PENSACOLA, FL 32507
24-35-31-2200-505-001	YAN STONE LORNE	10335 GULF BEACH HWY UNIT 505
24-35-31-2200-505-002	YAN STONE LORNE	PENSACOLA, FL 32507
24-35-31-2200-505-003	YAN STONE LORNE	10335 GULF BEACH HWY UNIT 505
24-35-31-2200-505-004	YAN STONE LORNE	PENSACOLA, FL 32507
24-35-31-2200-507-001	YAN STONE LORNE	10335 GULF BEACH HWY UNIT 507
24-35-31-2200-507-002	YAN STONE LORNE	PENSACOLA, FL 32507
24-35-31-2200-507-003	YAN STONE LORNE	10335 GULF BEACH HWY UNIT 507
24-35-31-2200-507-004	YAN STONE LORNE	PENSACOLA, FL 32507
24-35-31-2200-601-001	HILLER JAMES H	10335 GULF BEACH HWY UNIT 601
24-35-31-2200-601-002	HILLER JAMES H	PENSACOLA, FL 32507
24-35-31-2200-601-003	HILLER JAMES H	10335 GULF BEACH HWY UNIT 601
24-35-31-2200-601-004	HILLER JAMES H	PENSACOLA, FL 32507
24-35-31-2200-706-001	MCNEAL JEFFREY L &	10335 GULF BEACH HWY UNIT 706
24-35-31-2200-706-002	MCNEAL JEFFREY L &	PENSACOLA, FL 32507
24-35-31-2200-706-003	MCNEAL JEFFREY L &	10335 GULF BEACH HWY UNIT 706
24-35-31-2200-706-004	MCNEAL JEFFREY L &	PENSACOLA, FL 32507
24-35-31-2200-708-001	KETHERINGTON KELLS L	10335 GULF BEACH HWY UNIT 708
24-35-31-2200-708-002	KETHERINGTON ALISON D	PENSACOLA, FL 32507
24-35-31-2200-801-001	TURNER JEFFREY &	10335 GULF BEACH HWY UNIT 801
24-35-31-2200-801-002	TURNER JEFFREY &	PENSACOLA, FL 32507
24-35-31-2200-907-001	MCLEOD BRUCE P	10335 GULF BEACH HWY UNIT 907
24-35-31-2200-907-002	MCLEOD BRUCE P	PENSACOLA, FL 32507

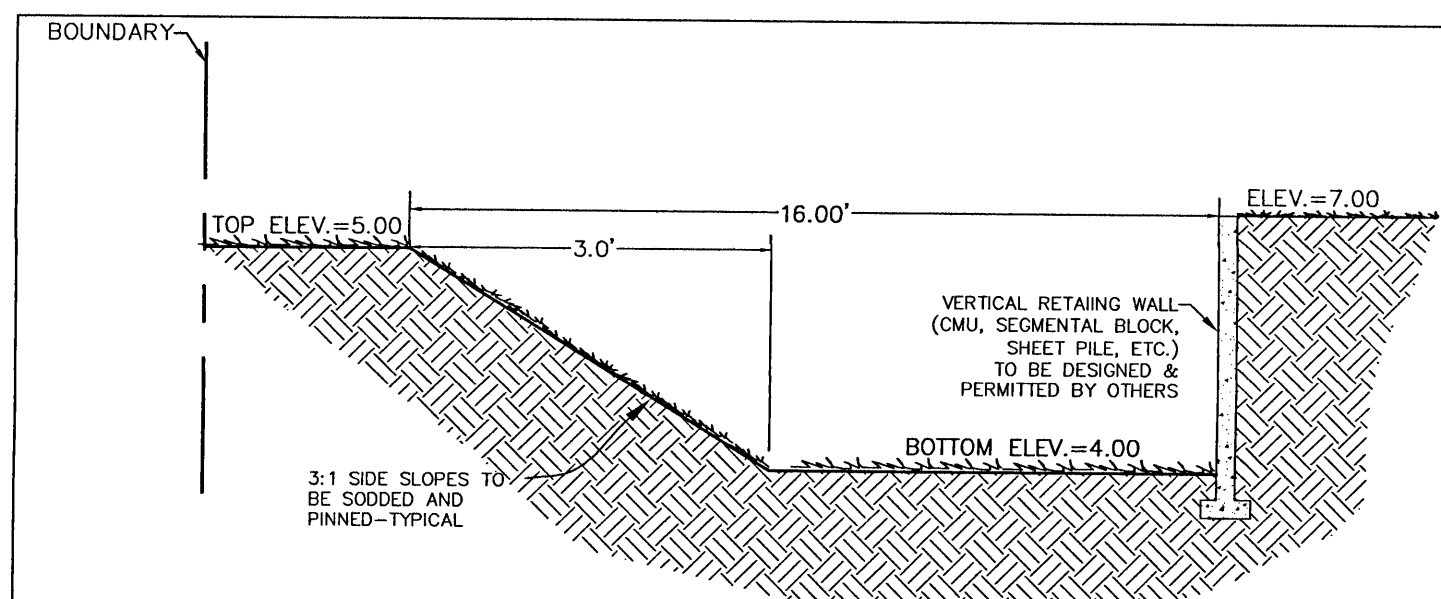
SNUG HARBOR CONDOMINIUM	
PARCEL ID	OWNER ADDRESS
24-35-31-2200-909-001	HANNE RICHARD F & HANNE RICHARD F 10335 GULF BEACH HWY UNIT 909 PENSACOLA, FL 32507
24-35-31-2200-101-001	PERRY RICHARD A 10335 GULF BEACH HWY UNIT 101 PENSACOLA, FL 32507
24-35-31-2200-102-001	STEBBINS RONALD V 2200 CARBIT CT VIRGINIA BEACH, VA 23463
24-35-31-2200-102-002	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-003	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-004	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-005	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-006	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-007	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-008	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-009	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-010	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-011	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-012	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-013	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-014	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-015	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-016	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-017	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-018	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-019	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-020	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-021	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-022	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-023	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-024	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-025	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-026	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-027	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-028	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-029	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-030	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-031	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-032	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-033	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-034	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-035	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-036	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-037	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-038	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-039	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-040	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-041	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-042	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-043	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-044	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-045	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-046	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-047	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-048	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-049	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-050	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-051	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-052	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-053	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-054	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-055	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-056	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-057	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-058	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-059	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-060	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-061	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-062	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-063	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-064	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-065	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-066	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-067	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-068	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-069	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-070	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-071	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-072	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-073	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-074	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-075	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-076	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-077	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-078	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-079	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-080	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-081	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-082	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-083	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-084	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-085	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-086	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-087	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-088	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-089	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-090	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-091	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-092	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-093	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-094	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-095	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-096	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-097	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-098	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-099	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-100	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-101	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-102	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-103	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-104	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-105	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-106	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-107	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-108	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-109	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-110	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-111	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-112	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-113	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-114	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-115	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-116	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-117	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-118	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-119	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-120	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-121	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-122	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-123	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-124	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-125	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-126	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-127	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-128	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-129	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-130	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-131	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-132	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-133	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-134	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-135	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-136	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-137	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-138	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-139	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-140	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-141	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-142	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-143	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-144	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-145	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-146	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-147	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-148	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-149	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-150	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-151	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-152	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-153	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-154	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-155	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-156	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-157	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-158	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-159	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-160	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-161	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-162	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-163	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-164	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-165	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-166	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-167	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-168	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-169	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-170	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-171	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-172	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-173	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-174	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-175	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-176	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-177	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-178	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-179	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-180	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-181	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-182	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-183	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-184	STEBBINS RONALD V 2200 CARBIT CT PENSACOLA, FL 32507
24-35-31-2200-102-185	STEBBINS RONALD V



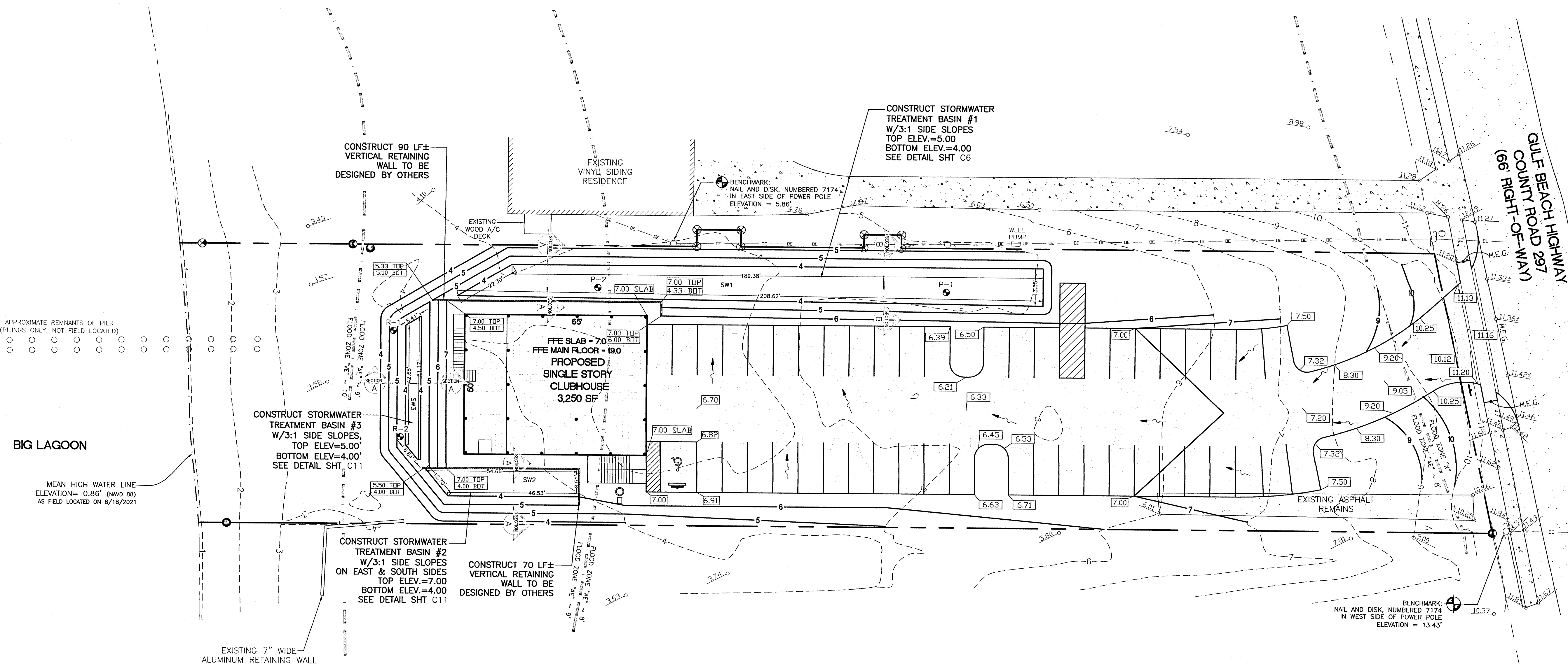
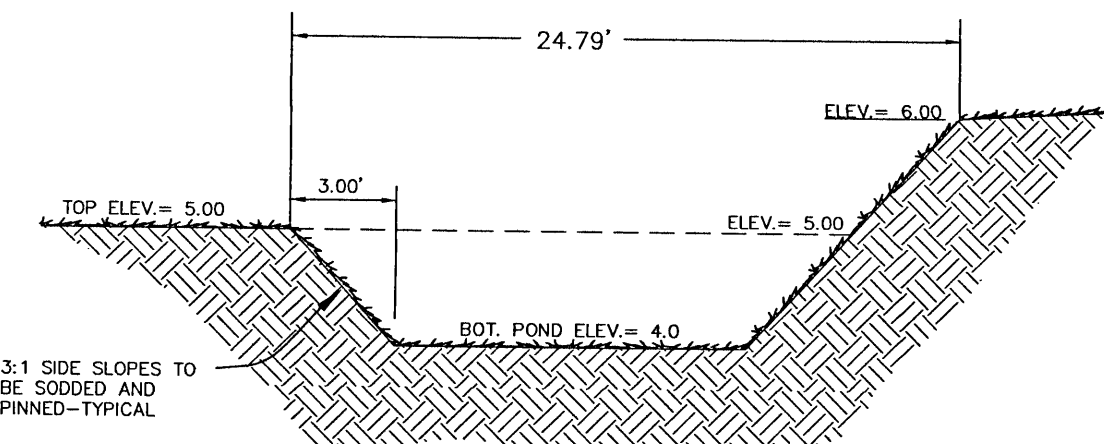


LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED SPOT ELEVATION
	DENOTES EXISTING CONCRETE		M.E.G.
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING UTILITY POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING GUY ANCHOR
	DENOTES EXISTING OVERHEAD ELECTRICAL		DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES PROPOSED RETAINING WALL		DENOTES PROPOSED FIRE HYDRANT
	DENOTES EXISTING SPOT ELEVATION		DENOTES BENCHMARK LOCATION
	DENOTES PROPOSED DUAL SPOT ELEVATION		DENOTES SOIL BORING LOCATION
	TOP #=TOP OF CURB/SIDEWALK		
	BOTTOM #=ASPHALT/CONC. ELEV		



- DETENTION BASIN CONSTRUCTION
- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3).
  - CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
  - AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
  - ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION.
  - FINALLY, THE PROPOSED BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTIPEDA OR OTHER SUITABLE GRASS.
  - CONTRACTOR/DEVELOPER SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMITS FOR ANY RETAINING WALL EXTERIORLY GREATER THAN 2 FEET IN HEIGHT. BUILDING INSPECTION DEPARTMENT PHONE: 850-595-3550.
  - CONSTRUCTED RETAINING WALLS WILL REQUIRE AS-BUILT CERTIFICATION BY DESIGNING STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF CO.



HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM

SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
GRADING & DRAINAGE  
PLAN

DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TSH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION

PROJECT NO: 21-063

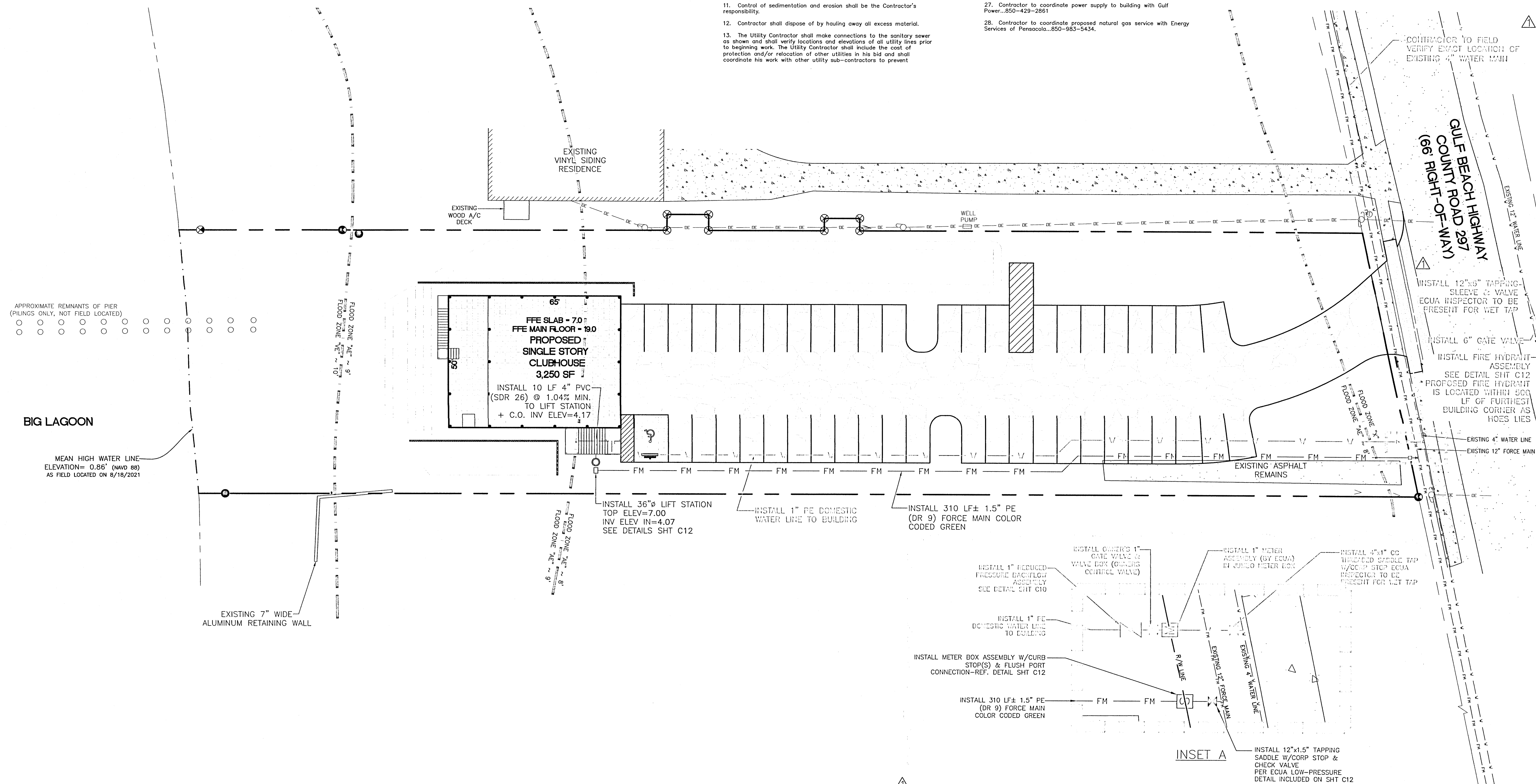
SHEET: C6



### GENERAL UTILITY NOTES

- conflicts with other utility lines.

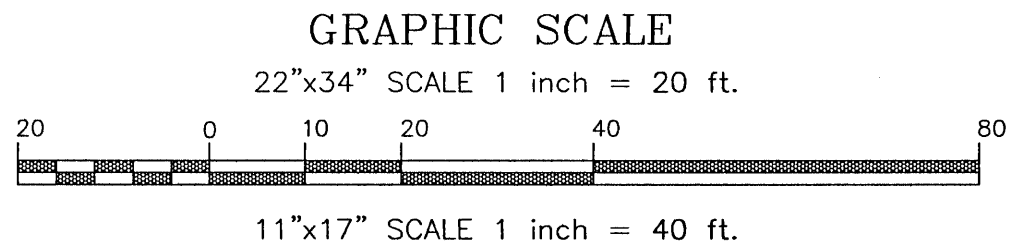
14. Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
15. Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
16. "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
17. Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
18. Contractor shall be responsible for the seeding and mounding and/or surface street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
19. Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ESCWA Inspector and Quality Control Supervisor.
20. All onsite water and sewer facilities shall be privately owned, operated and maintained.
21. Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
22. All work to take place within the right of way or to be owned and maintained by Escambia County construction shall be performed by a certified underground utility contractor.
23. Contractor must locate existing water main and sanitary sewer force main line to be tied into and verify configuration to establish the best location for connection.
24. Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
25. Contractor to video/document all right of way areas to be impacted prior to construction.
26. Reference utility details provided on sheet C12 & C13.
27. Contractor to coordinate power supply to building with Gulf Power...850-429-2861
28. Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.



PROJECT NO: 21-063

SHEET: C7





LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING EQUAL CANOPY TREE (OR APPROVED EQUAL CANOPY TREE) TO BE PLANTED—TYPICAL OF 12
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING SAND PINE TREE TO BE PLANTED (OR APPROVED EQUAL UNDERSTORY TREE) TYPICAL OF 7
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING SAW PALMETTO SHRUB (OR APPROVED EQUAL SHRUB) TO BE PLANTED—TYPICAL OF 55
	DENOTES PROPOSED SOD (BAHIÁ RECOMMENDED)		DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED RETAINING WALL		DENOTES EXISTING UTILITY POLE
	DENOTES PROPOSED FIRE HYDRANT		

REQUIRED LANDSCAPE PLANTING DATA

<b>NORTH BOUNDARY LINE:</b> NO BUFFER REQUIRED, GULF BEACH HWY RIGHT OF WAY. PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL	<b>SOUTH BOUNDARY LINE:</b> NO BUFFER REQUIRED, WATER FRONTAGE
<b>WEST BOUNDARY LINE:</b> PROVIDE TYPE 'A' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (NON-RESIDENTIAL ABUTTING SINGLE FAMILY RESIDENTIAL) 12' WIDE x 320' LONG BUFFER 2.0 CANOPY TREES REQ'D/100 LF (320/100)*2.0 ~ 7 CANOPY TREES REQ'D PLANT 7 CANOPY TREES 1.0 UNDERSTORY TREES REQ'D/100 LF (320/100)*1.0 ~ 4 UNDERSTORY TREES REQ'D PLANT 4 UNDERSTORY TREES 10 SHRUBS REQ'D/100 LF (320/100)*10 ~ 32 SHRUBS REQ'D PLANT 32 SHRUBS	<b>EAST BOUNDARY LINE:</b> NO BUFFER REQUIRED; HOWEVER, TYPE 'A' BUFFER PROPOSED. (NON-RESIDENTIAL ABUTTING MULTI-UNIT RESIDENTIAL CONDO) 12' WIDE x 230' LONG BUFFER 2.0 CANOPY TREES REQ'D/100 LF (230/100)*2.0 ~ 5 CANOPY TREES REQ'D PLANT 5 CANOPY TREES 1.0 UNDERSTORY TREES REQ'D/100 LF (230/100)*1.0 ~ 3 UNDERSTORY TREES REQ'D PLANT 3 UNDERSTORY TREES 10 SHRUBS REQ'D/100 LF (230/100)*10 ~ 23 SHRUBS REQ'D PLANT 23 SHRUBS <b>REQUIRED MITIGATION:</b> NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEED.

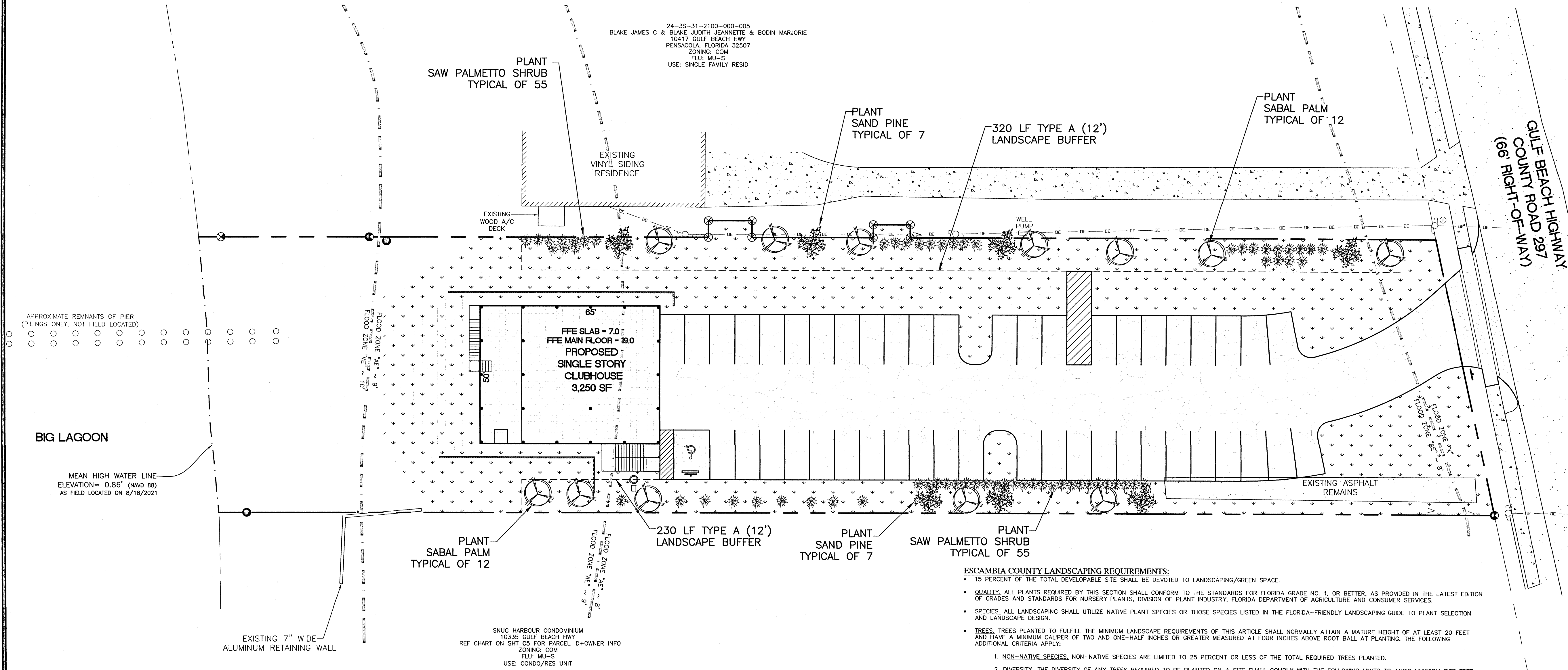
LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(C)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(C)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'

LANDSCAPING LAND DISTURBANCE APPROVAL:

PROPOSED LANDSCAPING PLAN APPROVED UNDER LAND DISTURBANCE PERMIT #21104406PLM

REQUIRED MITIGATION:

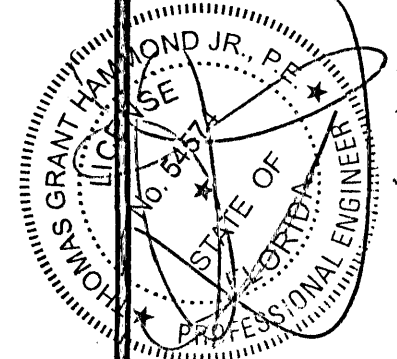
NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.



ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
  - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
  - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
    - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PROTECTED TREES LOCATED ONSITE SHALL REMAIN UNTIL THE APPROPRIATE PERMITS (ESC. CO. DEVELOPMENT ORDER, ESC. CO. SITE WORK PERMIT, ESC. CO. BUILDING PERMIT, ETC.) ARE ISSUED FOR THE DEVELOPMENT.

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
850 850-434-2650  
TOM@SELANDDESIGN.COM

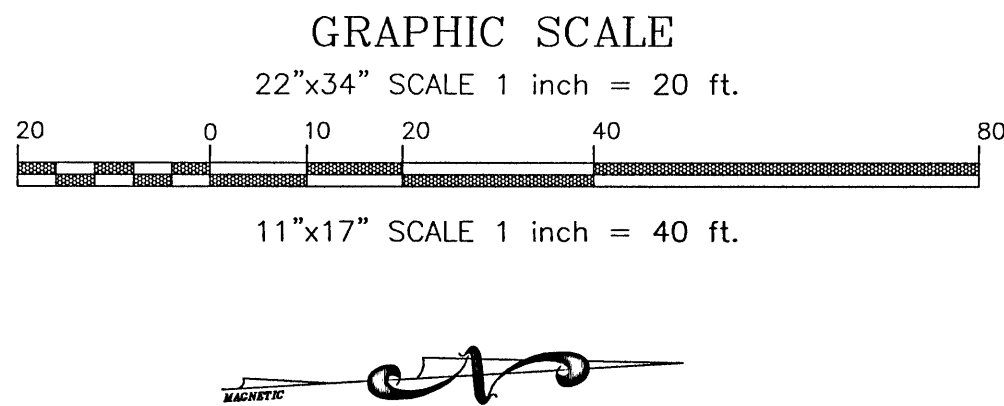


SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
LANDSCAPING PLAN  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-063  
SHEET: C8



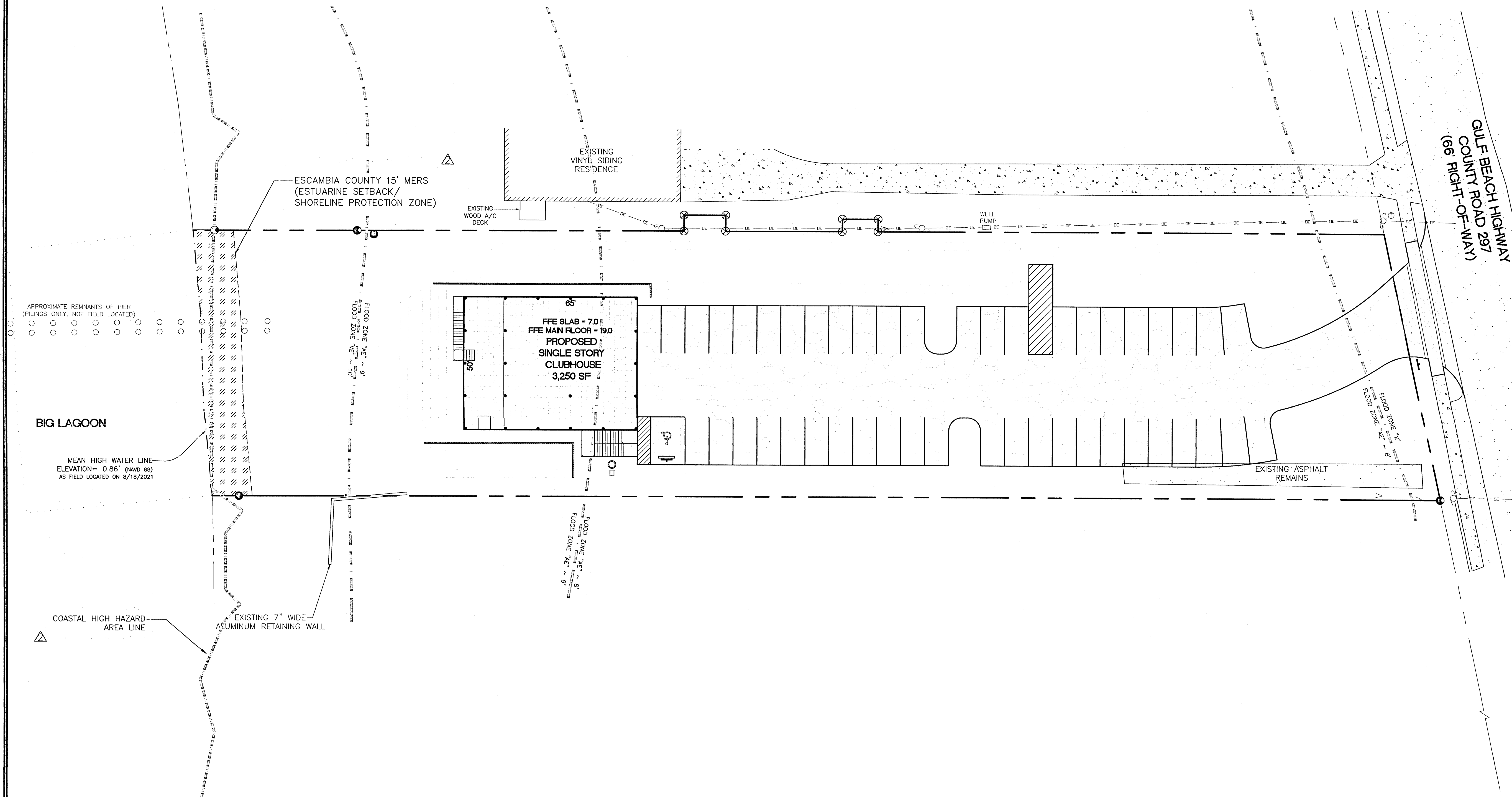


LEGEND:

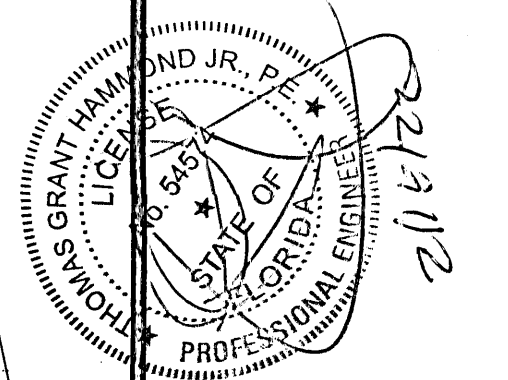
	DENOTES EXISTING ASPHALT		DENOTES 15' MERS SETBACK AREA
	DENOTES EXISTING CONCRETE		DENOTES PROPOSED RETAINING WALL
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES COASTAL HIGH HAZARD AREA		DENOTES EXISTING GUY ANCHOR
			DENOTES EXISTING TELEPHONE PEDESTAL

LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'

ESL PROTECTIONARY NOTE:  
NOTE: WETLANDS, WETLAND BUFFERS, & AREAS LOCATED WITHIN ESCAMBIA COUNTY'S 15' MERS (ESTUARINE SETBACK/ShORELINE PROTECTION ZONE) SHALL REMAIN IN A NATURAL STATE. NO SITE DEVELOPMENT FEATURES OR ACTIVITIES ARE PERMITTED IN THESE AREAS, OVER WATERWAYS, OR IN SEAGRASS RESOURCES WITHOUT FIRST OBTAINING ALL PROPER AGENCY REVIEWS & APPLICABLE PERMITS PRIOR.



HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
ENVIRONMENTAL  
IMPACT PLAN

ESCAMBIA COUNTY FLORIDA

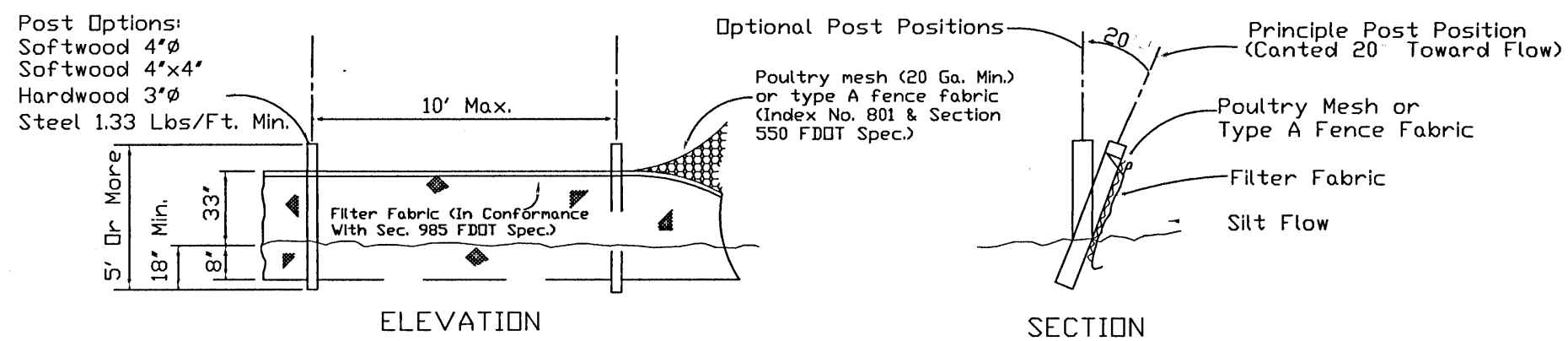
DRAWN BY: CUB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION

DATE:

PROJECT NO: 21-063

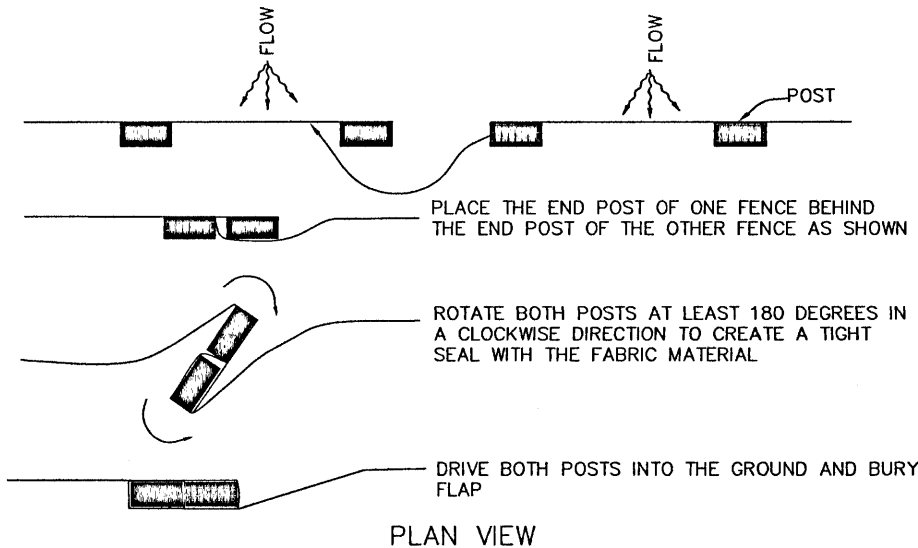
SHEET: C9





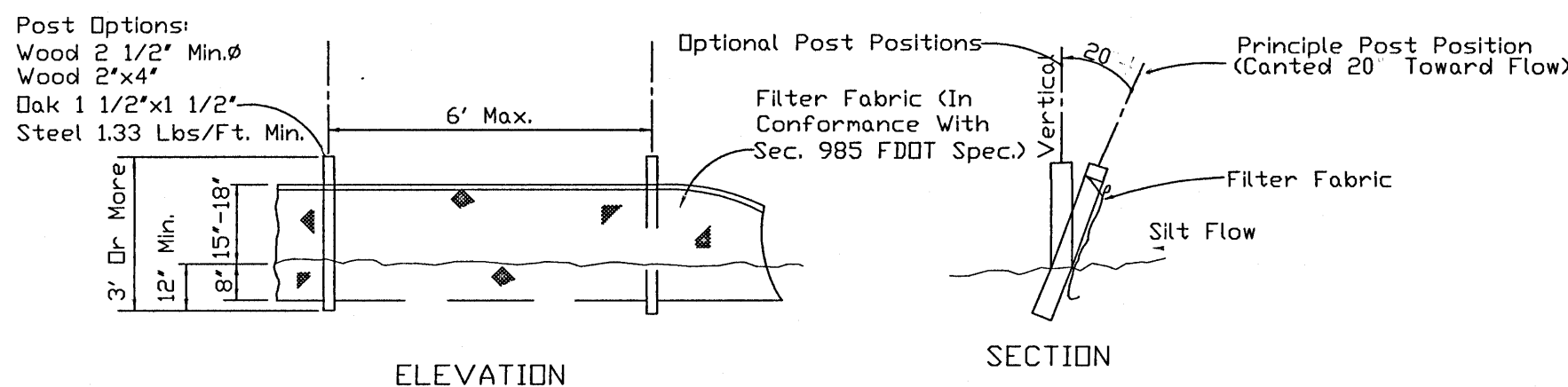
### TYPE IV SILT FENCE

NTS



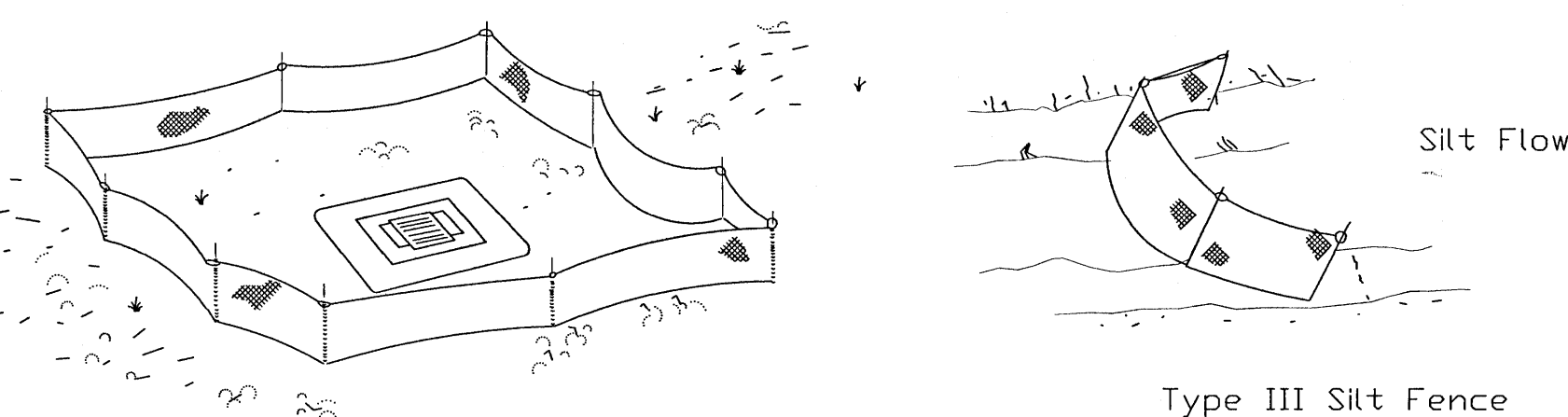
### JOINING TWO SILT FENCES

NTS



### TYPE III SILT FENCE

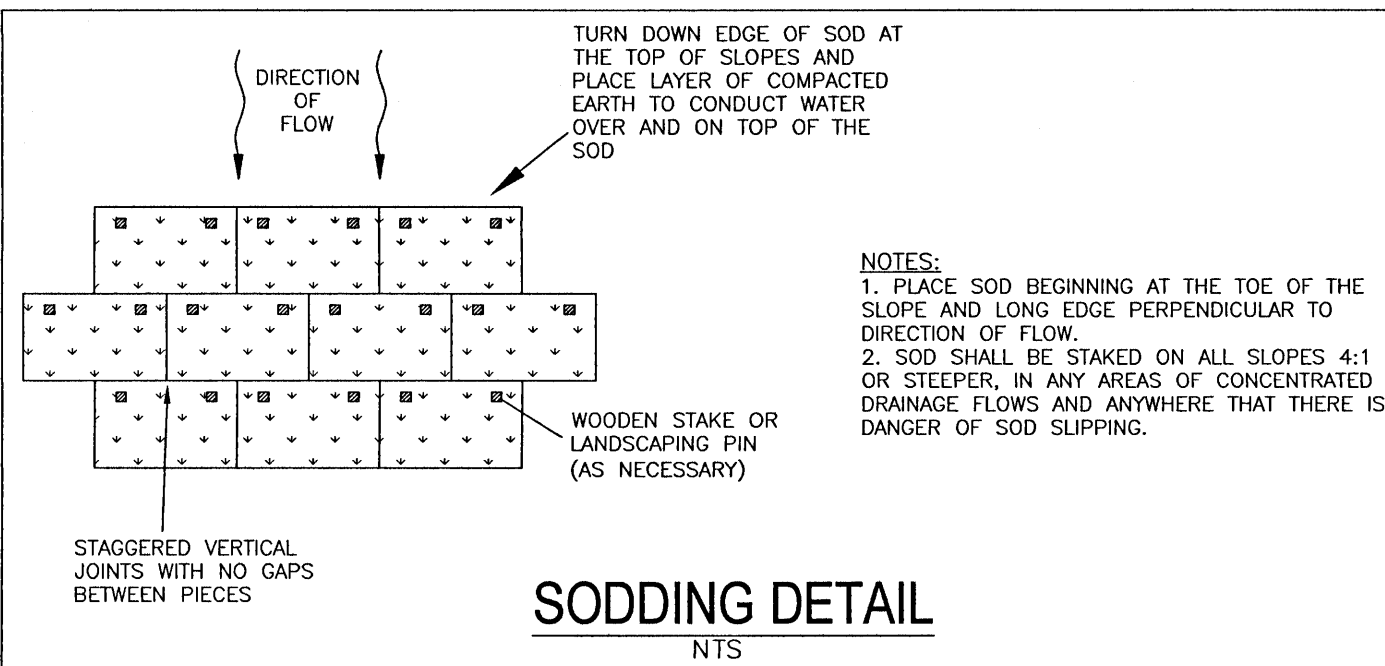
NTS



Type III Silt Fence Protection Around Ditch Bottom Inlets.

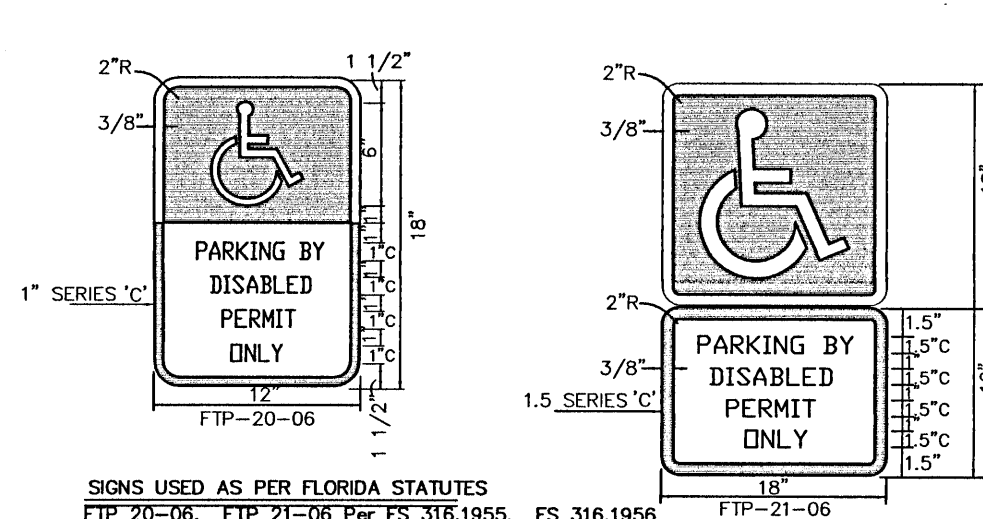
### SILT FENCE APPLICATIONS

NTS



### SODDING DETAIL

NTS



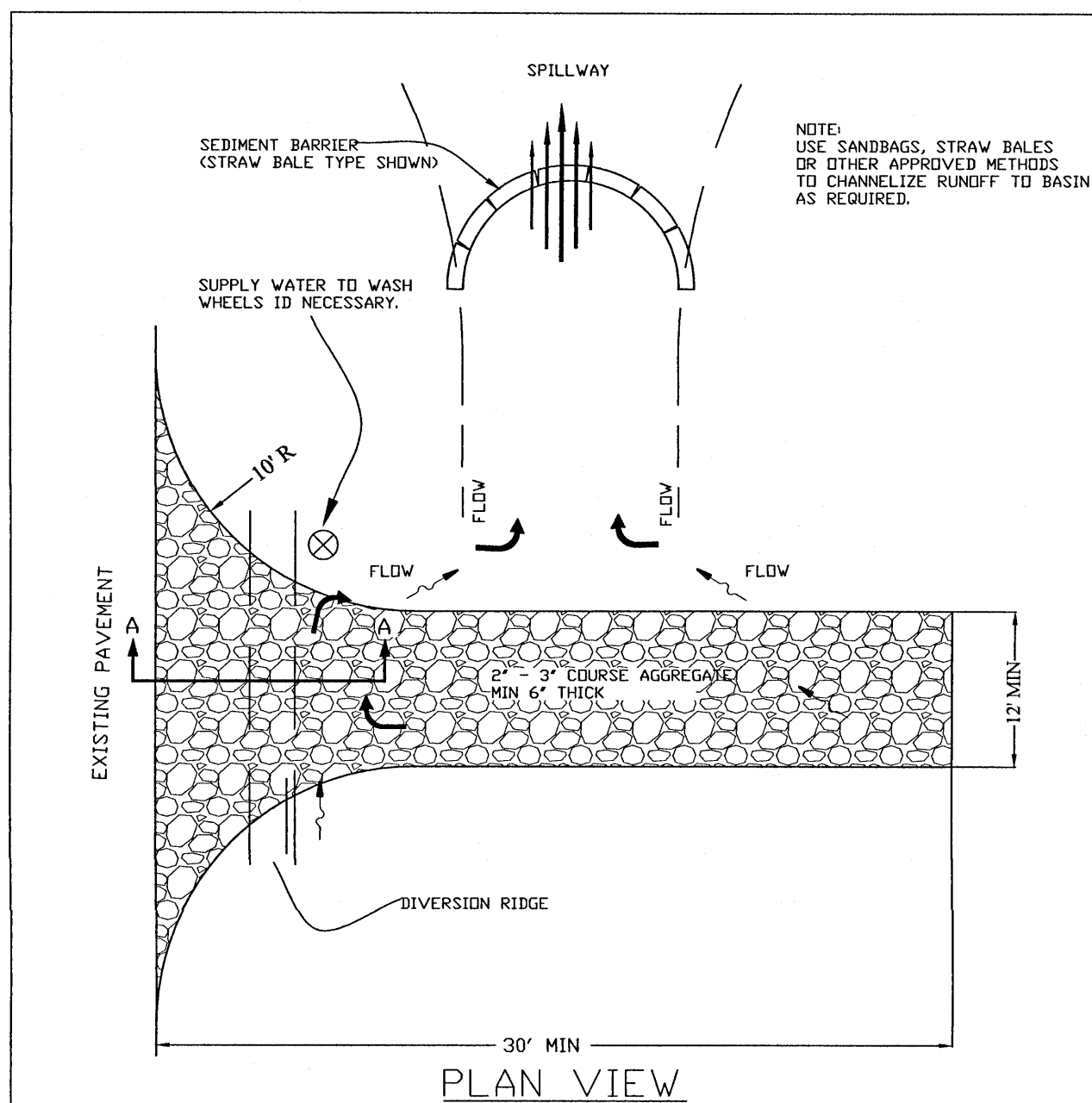
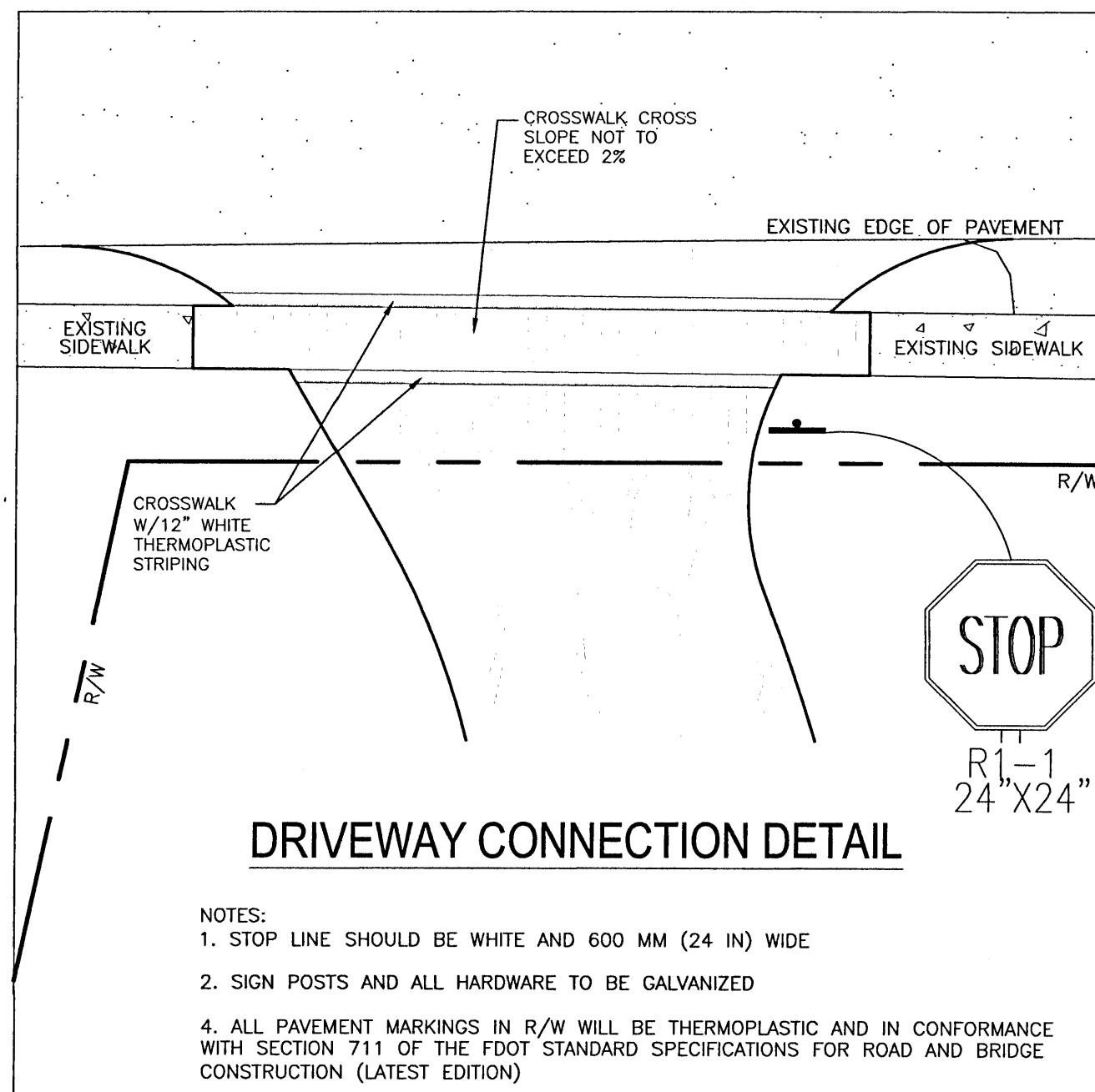
### HANDICAPPED PARKING SIGN DETAIL

NTS

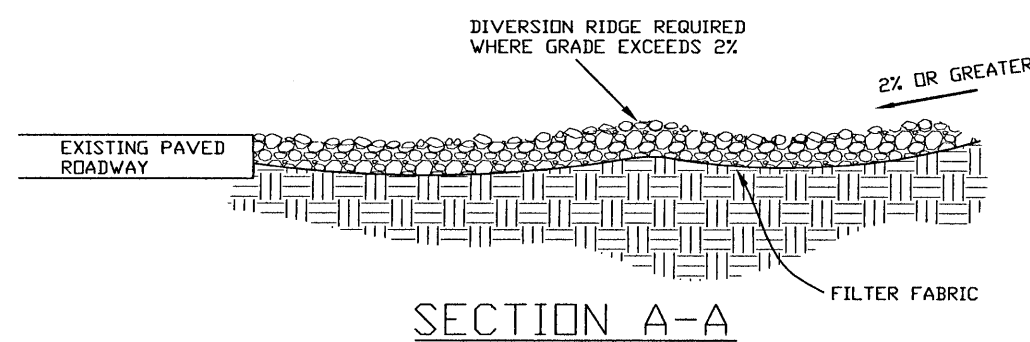
- NOTES:
1. Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
  2. Bottom portion shall have a reflective white background with black opaque legend and border.
  3. FTP 20-06 & 21-06 may be fabricated on one panel or two.
  4. FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
  5. Signs are to be mounted at standard height (7' from pavement to bottom of sign).

### DRIVEWAY CONNECTION DETAIL

- NOTES:
1. STOP LINE SHOULD BE WHITE AND 600 MM (24 IN) WIDE
  2. SIGN POSTS AND ALL HARDWARE TO BE GALVANIZED
  3. ALL PAVEMENT MARKINGS IN R/W WILL BE THERMOPLASTIC AND IN CONFORMANCE WITH SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION)



### TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.

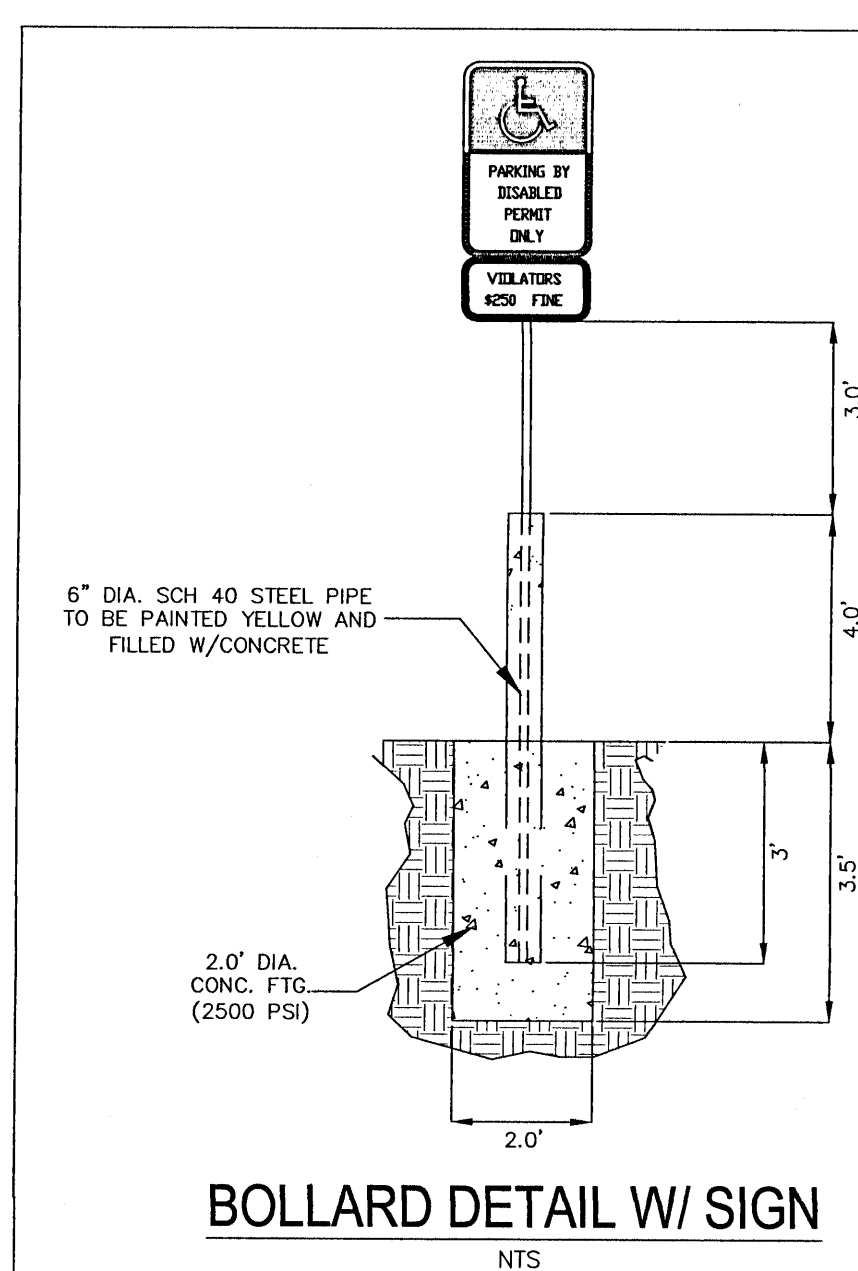


### TEMPORARY CONSTRUCTION ENTRANCE

NTS

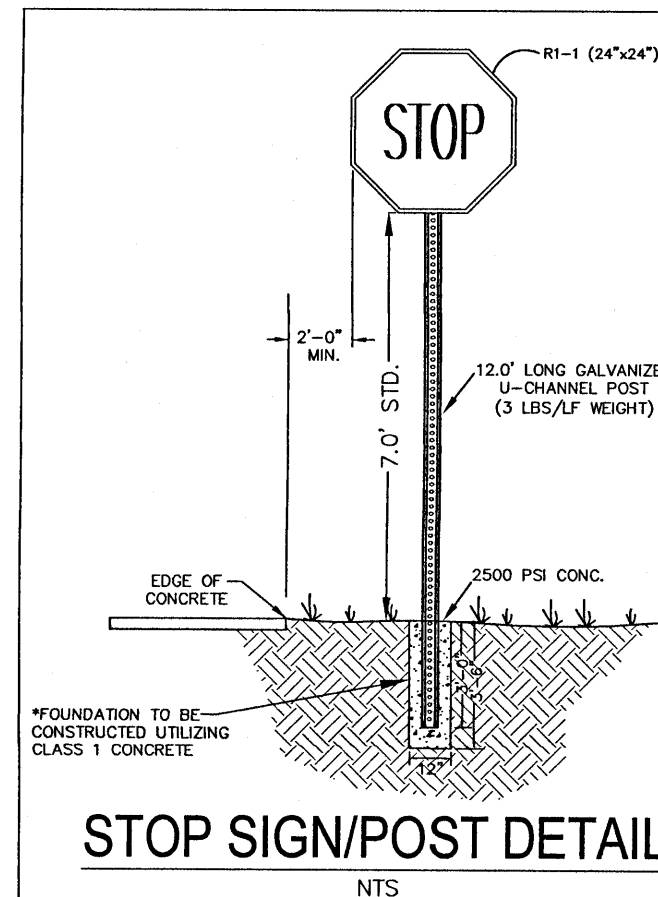
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.



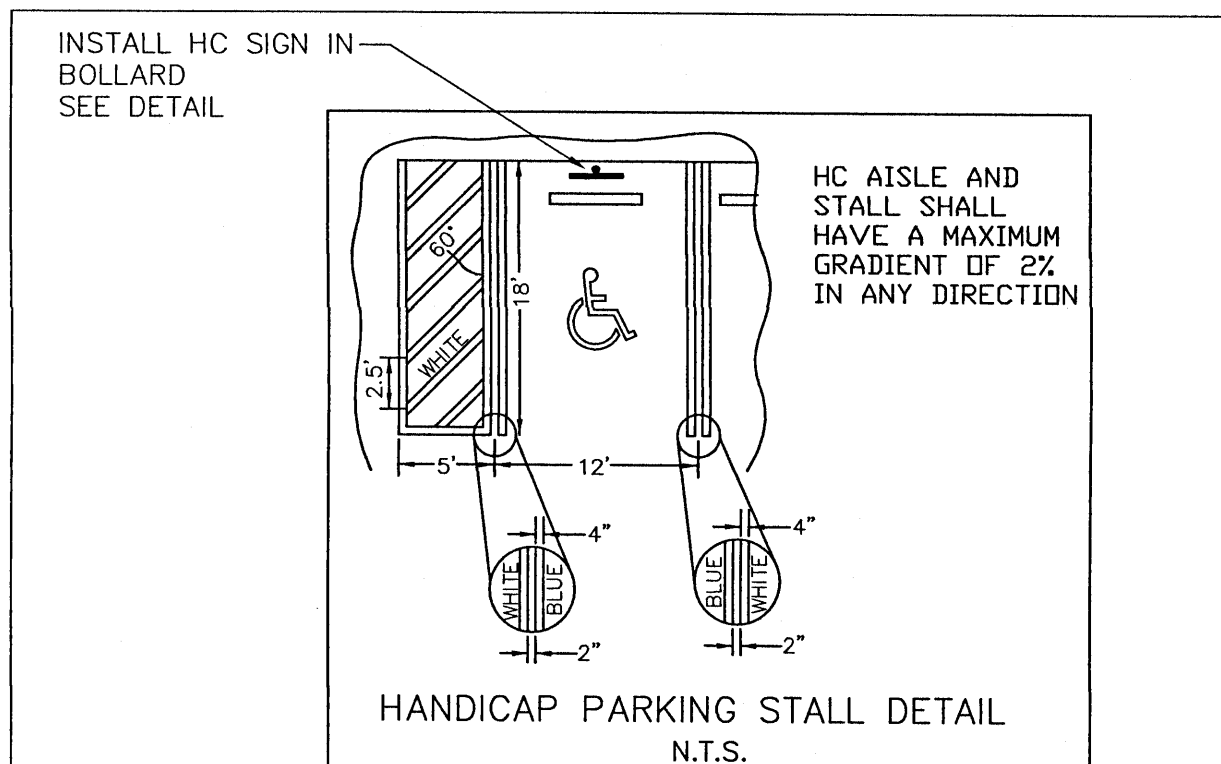
### BOLLARD DETAIL W/ SIGN

NTS



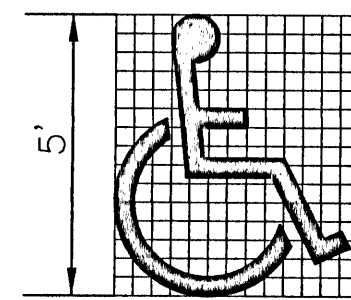
### STOP SIGN/POST DETAIL

NTS



HANDICAP PARKING SPACE TO CONSTRUCTED IN ACCORDANCE TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 17346

SYMBOL SHALL BE WHITE IN COLOR. REFERENCE FDOT DESIGN STANDARDS INDEX 17346 FOR ADDITIONAL DETAILS



### HANDICAP PAVEMENT SYMBOL/LINING

NTS

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH 'S' STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

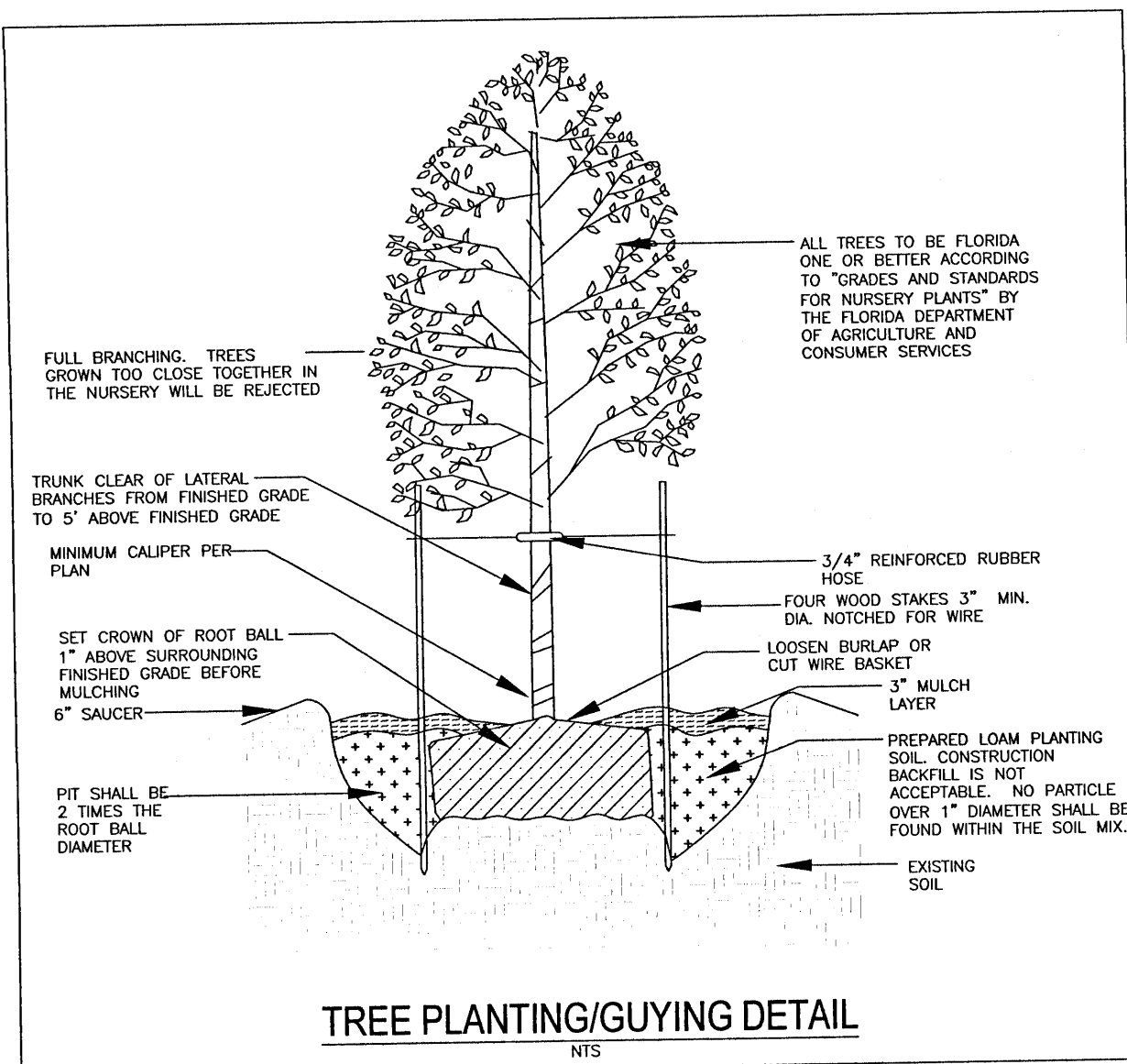
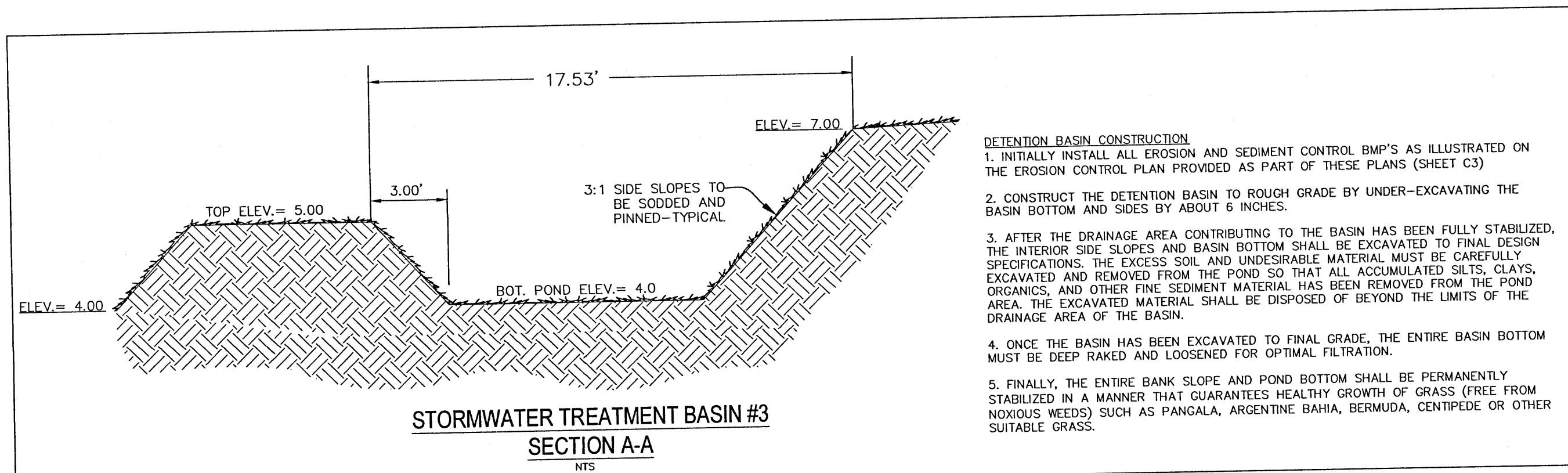
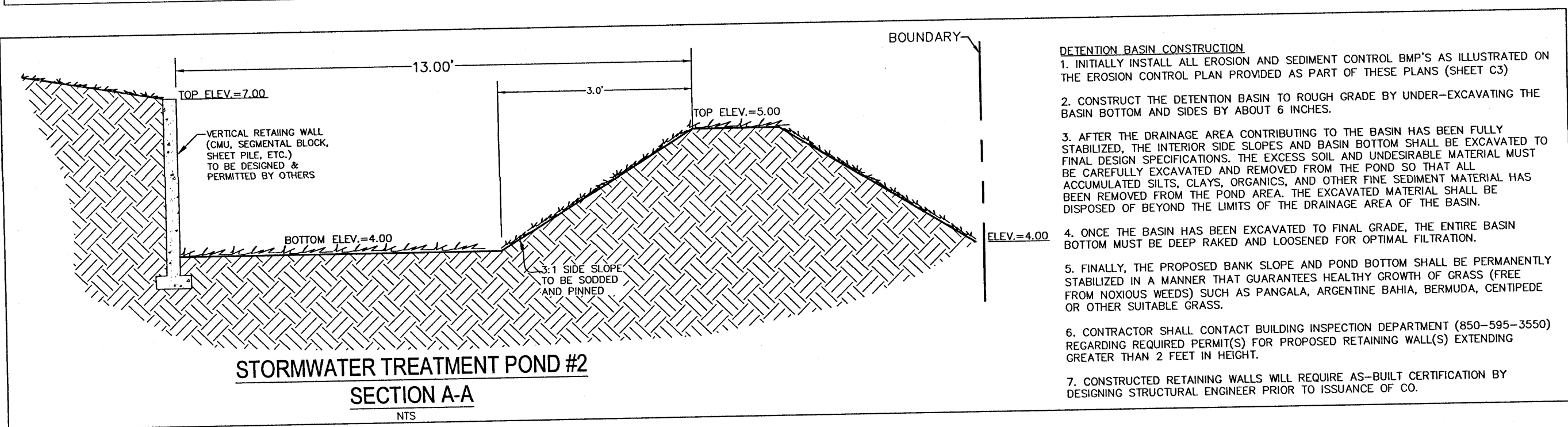
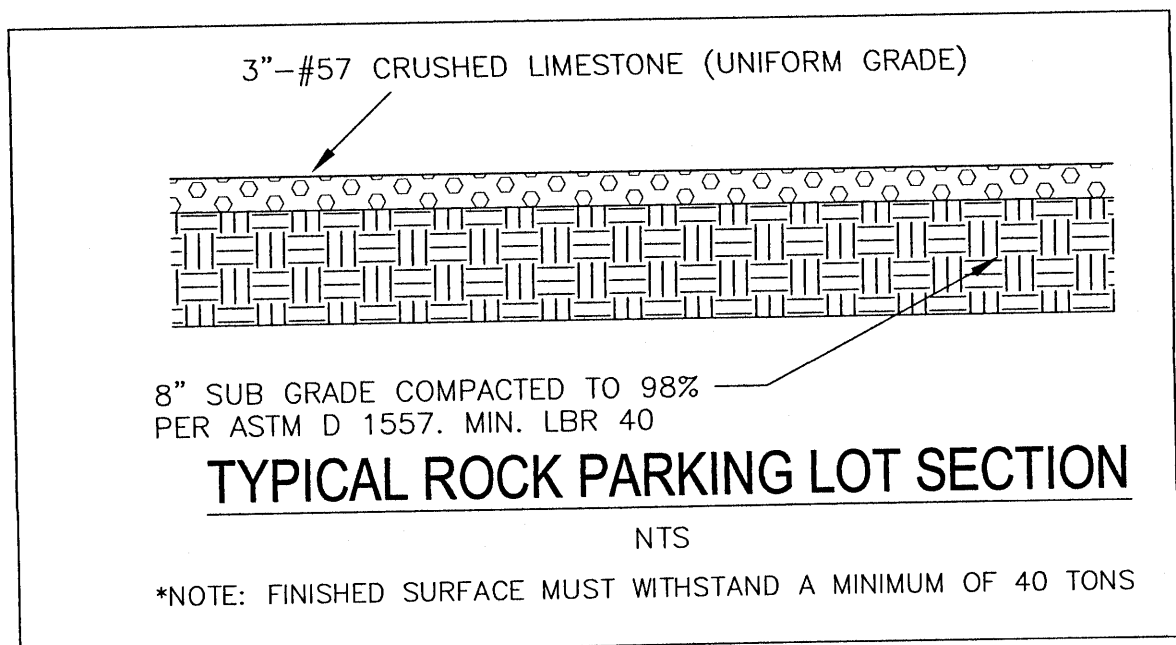
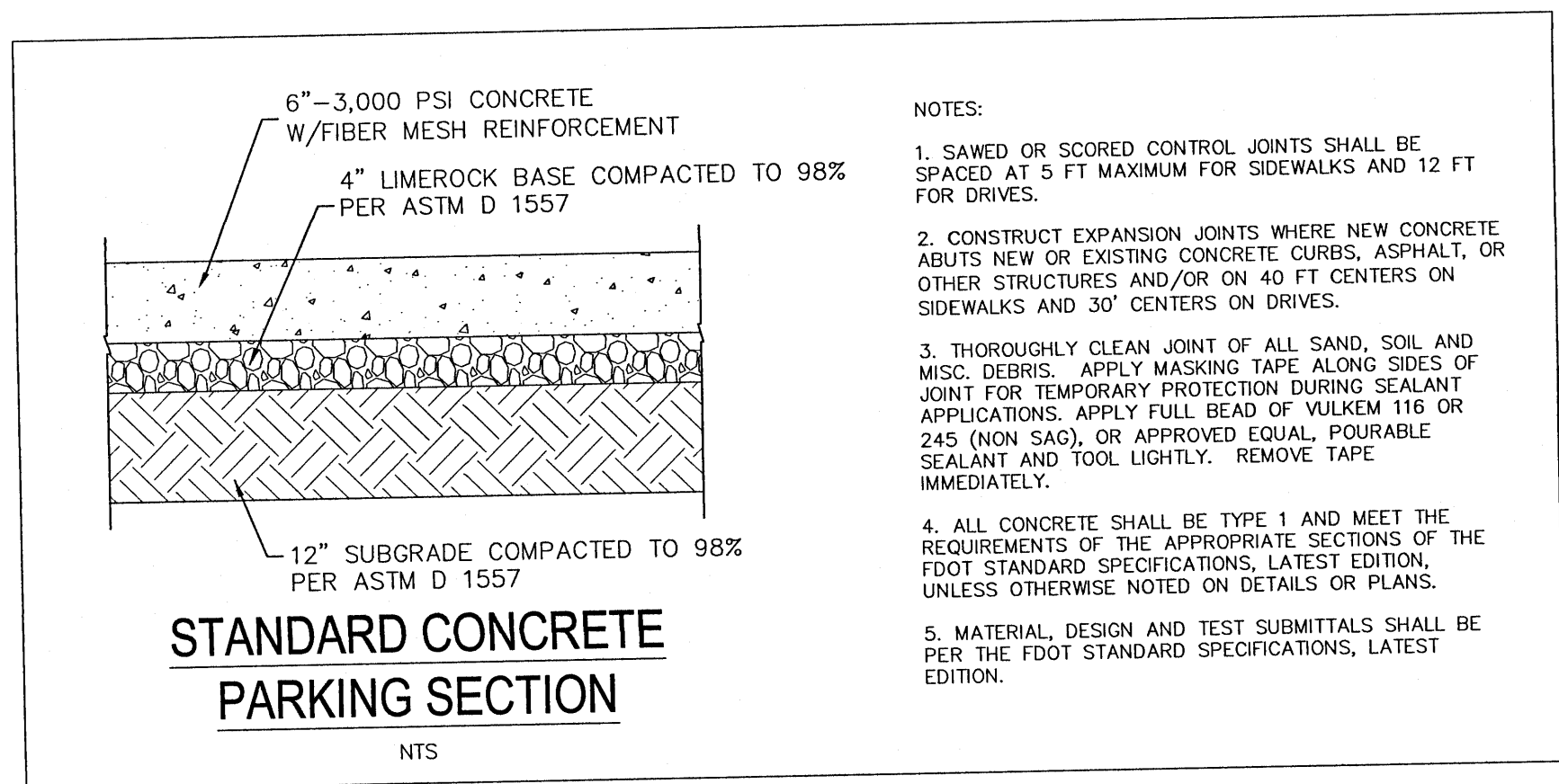
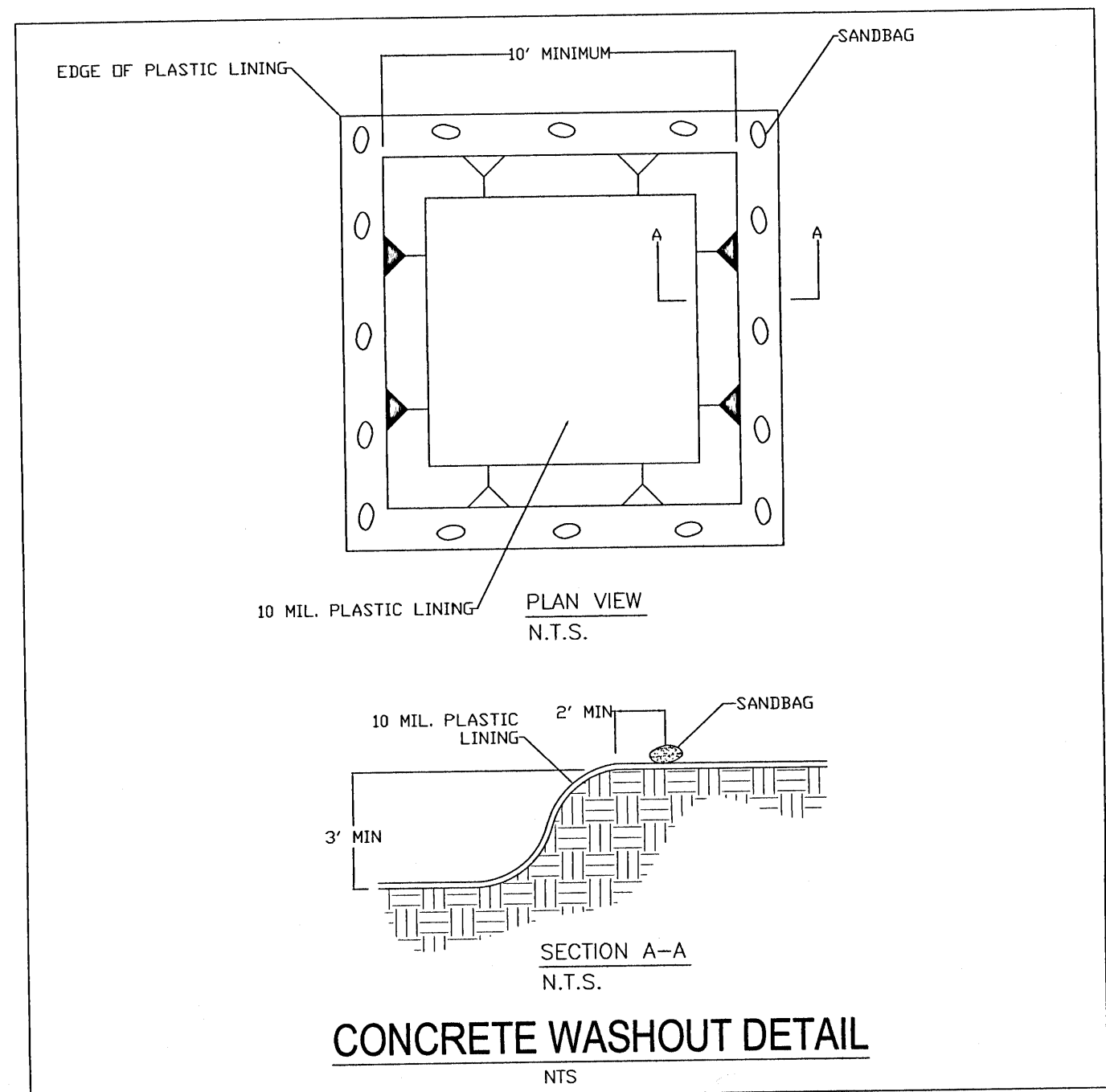
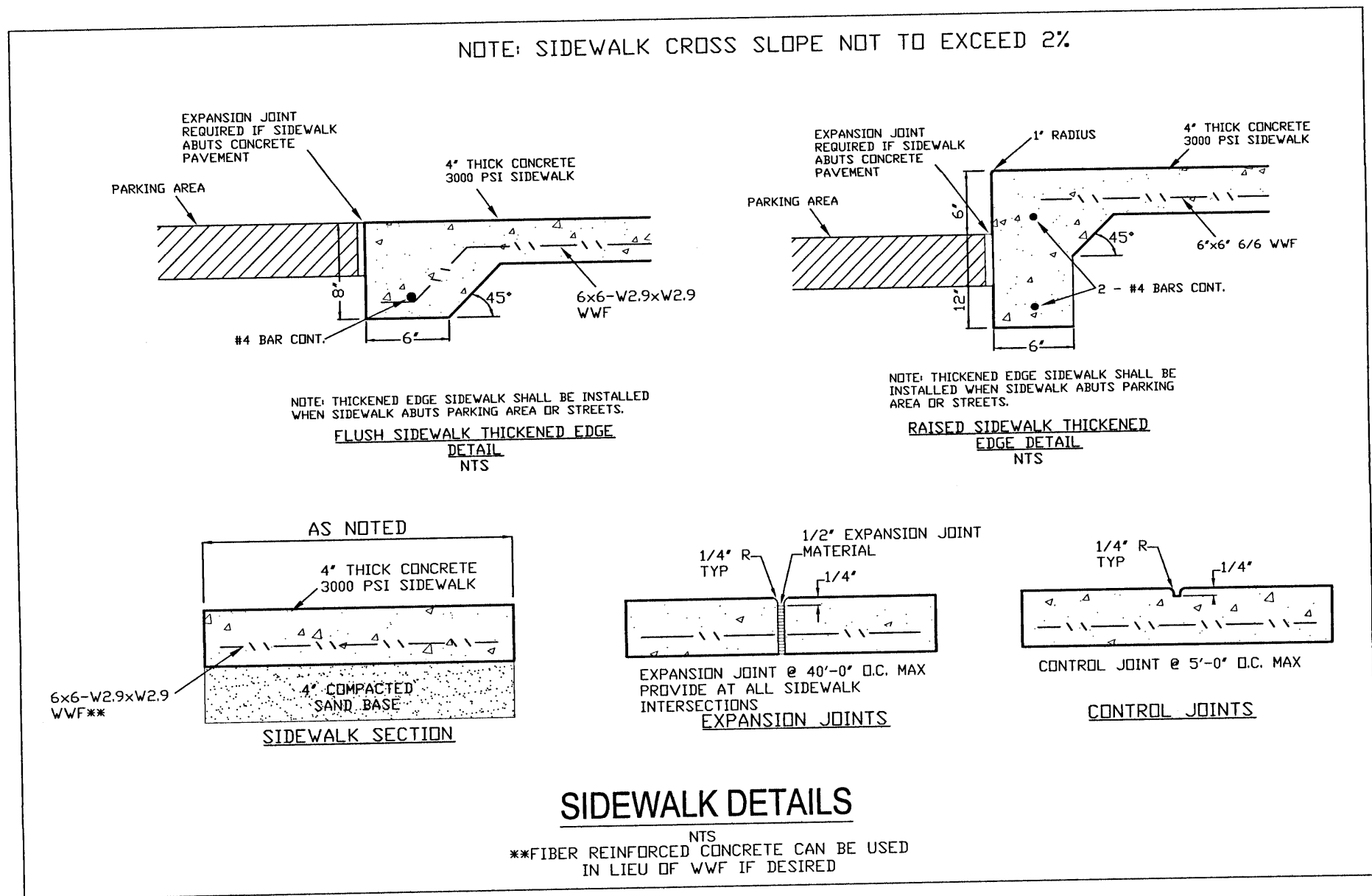
SITE DEVELOPMENT  
PLANS FOR  
PENSACOLA BIG GAME  
FISHING CLUB CLUBHOUSE  
CONSTRUCTION  
DETAILS  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-063

SHEET: C10





List of Recommended Native and Non-Invasive Plants		
Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
<i>Abelia</i>	Flowering Dogwood	Red Maple
<i>Abelia grandiflora</i>	<i>Cornus florida</i>	<i>Acer rubrum</i>
<i>Abutilon</i>	Lablolly Bay	Silver Maple
<i>Azalea japonica</i>	<i>Cordia alliodora</i>	<i>Acer saccharum</i>
<i>Aucuba</i>	American Holly	American Hornbeam
Barberry	<i>Nex opaca</i>	<i>Carpinus caroliniana</i>
<i>Berberis</i>	Dahoon Holly	Southern Red Cedar
Japanese Boxwood	<i>Nex cassine</i>	<i>Juniperus silicicola</i>
<i>Buxus microphylla</i>	Crape Myrtle	Leyland Cypress
Beautyberry	<i>Lagerströmia indica</i>	<i>Cupressocyparis leylandii</i>
<i>Callicarpa americana</i>	Glossy Privet	River Birch
Japanese Plum-Yew	<i>Ligustrum lucidum</i>	<i>Betula nigra</i>
<i>Cephalotaxus harringtonia</i>	Saucer Magnolia	Pinus hickory
Silverhorn Eleagnus	<i>Magnolia x soulangeana</i>	<i>Carpus glabra</i>
<i>Elaeagnus pungens</i>	<i>Magnolia virginiana</i>	Green Ash
Fatsia	Southern Crab Apple	<i>Fraxinus pennsylvanica</i>
<i>Fatsia japonica</i>	<i>Malus angustifolia</i>	Maidenhair Tree
Cardinalis	Wax Myrtle	<i>Ginkgo biloba (male)</i>
<i>Cardinalis jamaicensis</i>	<i>Myrica cerifera</i>	Sweetgum
Burford Holly	Bradford Pear	<i>Liquidambar styraciflua</i>
<i>Nex cornuta</i>	<i>Pyrus calleryana</i>	Tulip Poplar
Japanese Privet	Southern Wax Myrtle	<i>Liriodendron tulipifera</i>
<i>Ligustrum japonicum</i>	<i>Myrica cerifera</i>	Southern Magnolia
Southern Wax Myrtle	Loquat	<i>Magnolia grandiflora</i>
<i>Myrica cerifera</i>	<i>Eriobotrya japonica</i>	Tupelo/Sour Gum
Firethorn	Eastern Redbud	<i>Nyssa sylvatica</i>
<i>Pyracantha coccinea</i>	<i>Cercis canadensis</i>	Slash Pine
Dwarf Japanese Holly	Fringe Tree	<i>Pinus strobus</i>
<i>Nex cornuta</i>	<i>Chionanthus virginicus</i>	Longleaf Pine
Chinese Holly	Hawthorn	<i>Pinus palustris</i>
<i>Nex cornuta</i>	<i>Crataegus spp.</i>	Sycamore
Dwarf Yaupon Holly	Silverbell	<i>Platanus occidentalis</i>
<i>Nex vomitoria</i>	<i>Hamamelis virginiana</i>	White Oak
Chinese Juniper	Southern Red Oak	<i>Quercus alba</i>
<i>Juniperus chinensis</i>		Live Oak
Indian Hawthorn		<i>Quercus virginiana</i>
<i>Rhododendron</i>		Shumard Oak
<i>Phytolacca</i>		<i>Quercus shumardii</i>
Red-Tip Photinia		Southern Red Oak
<i>Phytolacca</i>		<i>Quercus falcata</i>
Rhododendron/Azalea		
<i>Rhododendron</i>		

REVISIONS

NO.	DATE	REVISIONS
1	01/28/22	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS

THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
FLORIDA AUTHORIZATION NO. 3277  
3802 NORTH 5<sup>TH</sup> STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

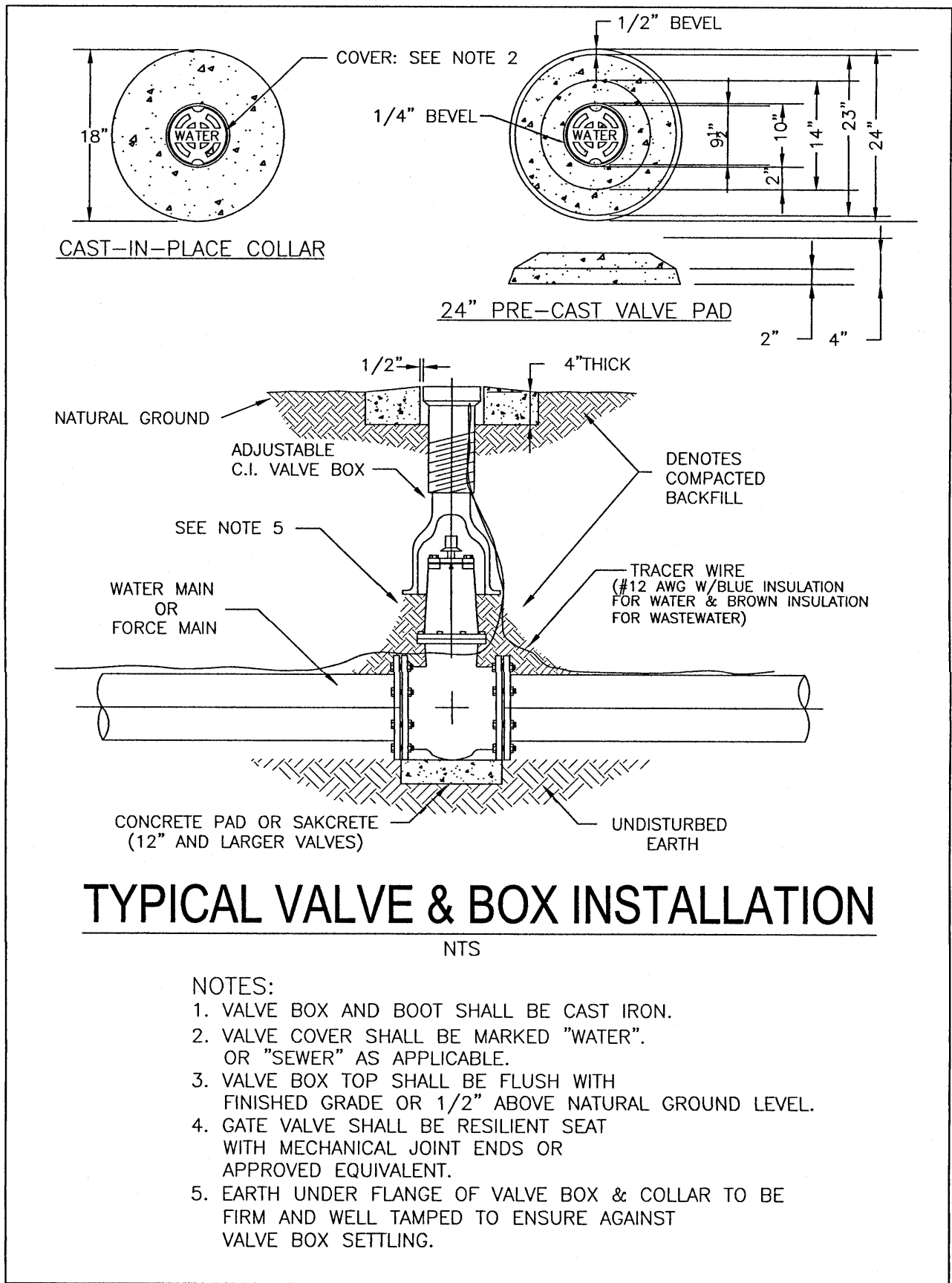
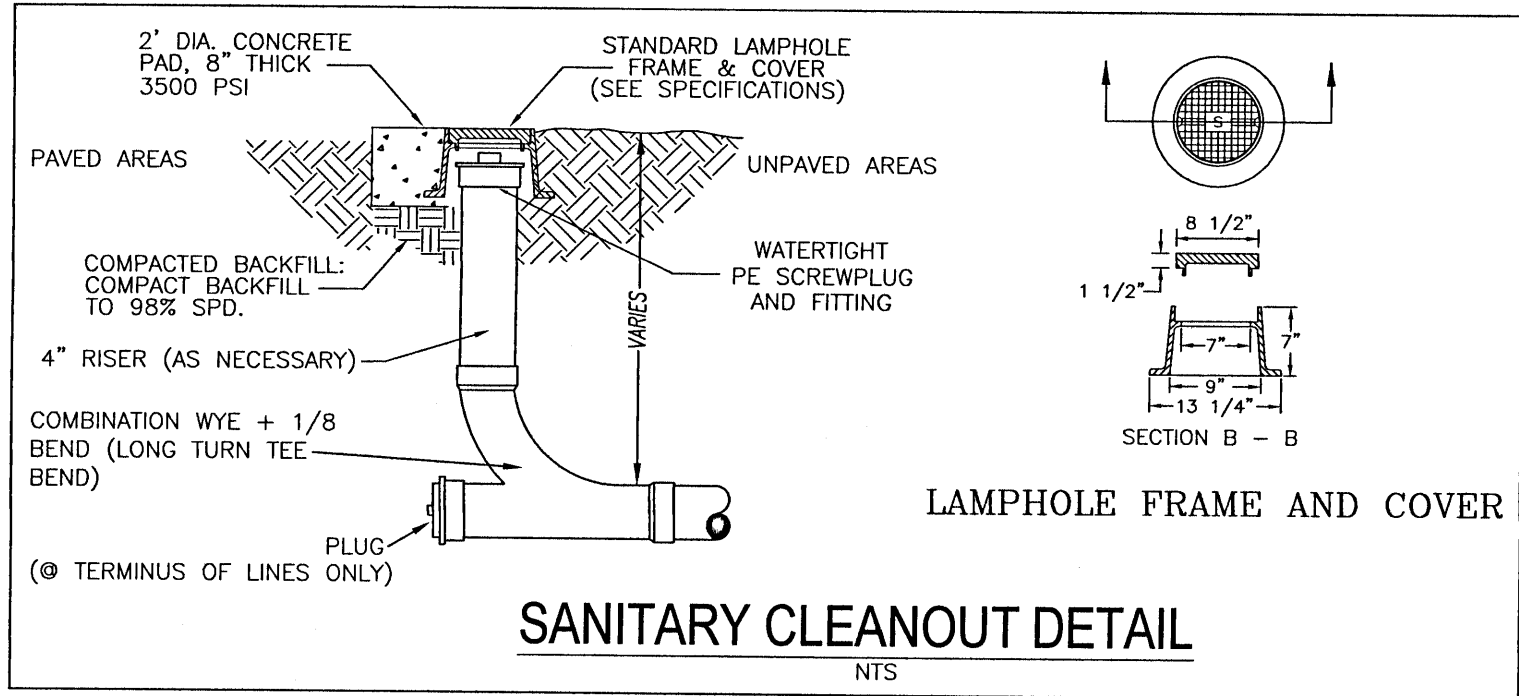
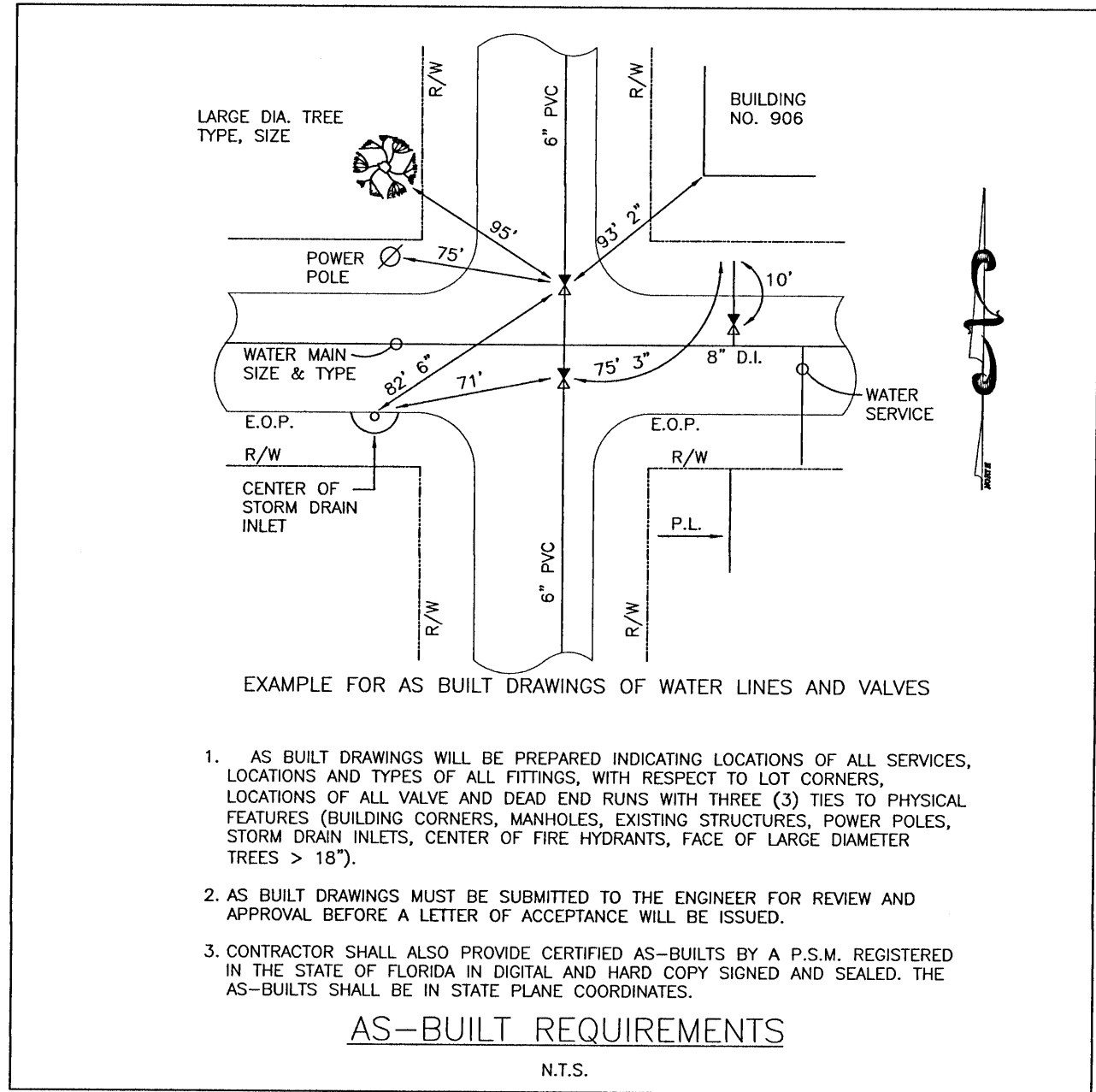
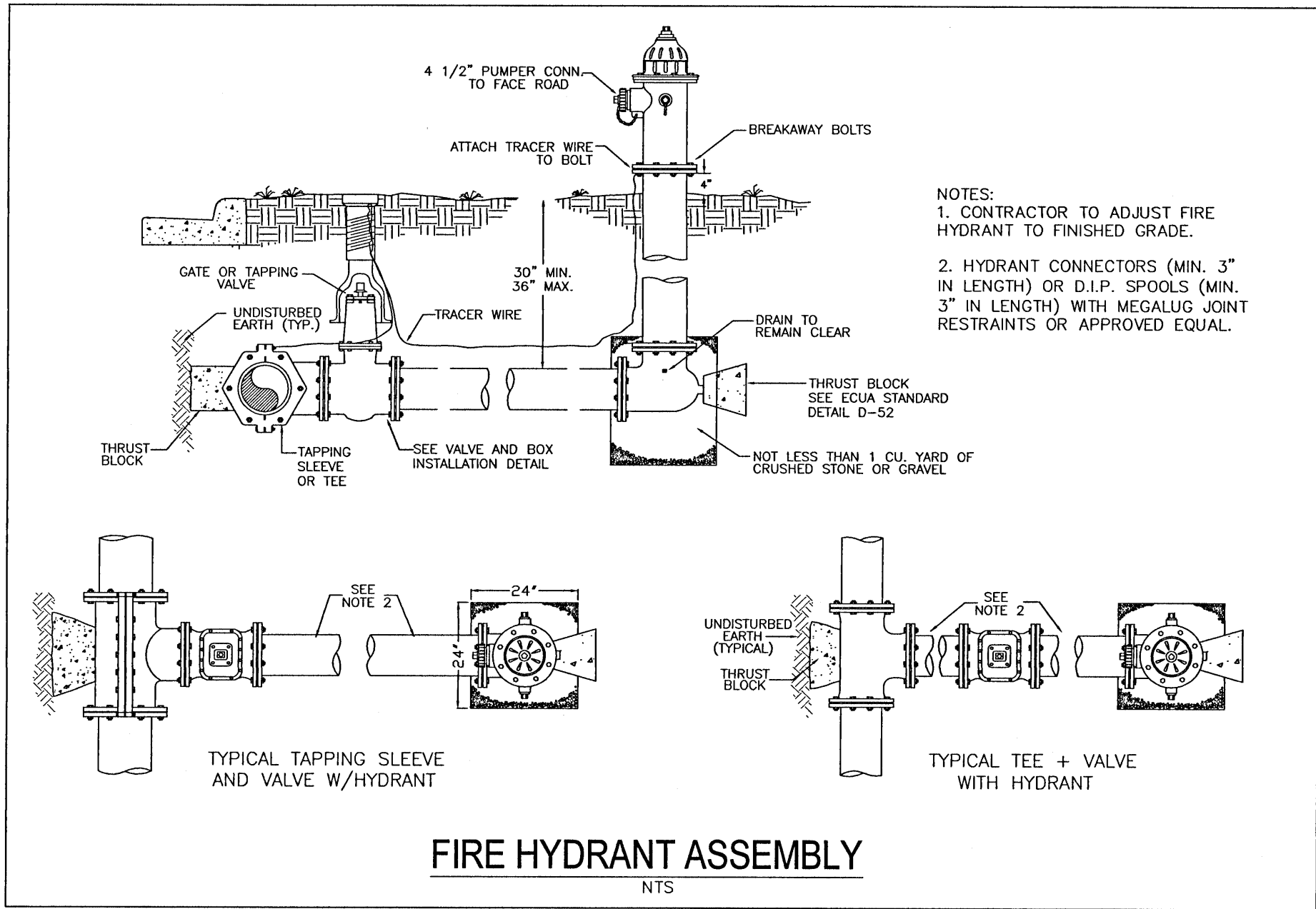
**SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE CONSTRUCTION DETAILS**

**ESCAMBIA COUNTY FLORIDA**

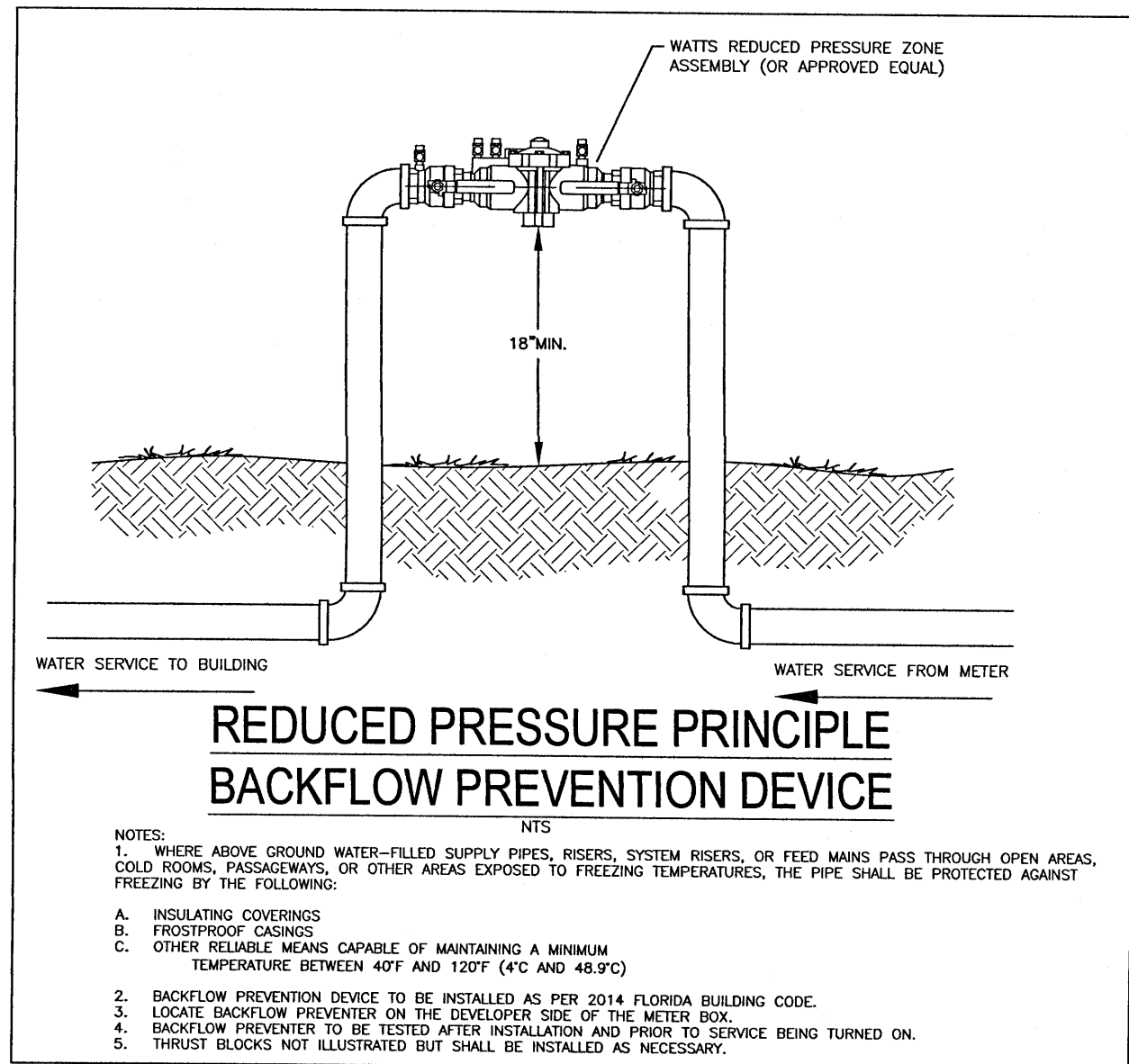
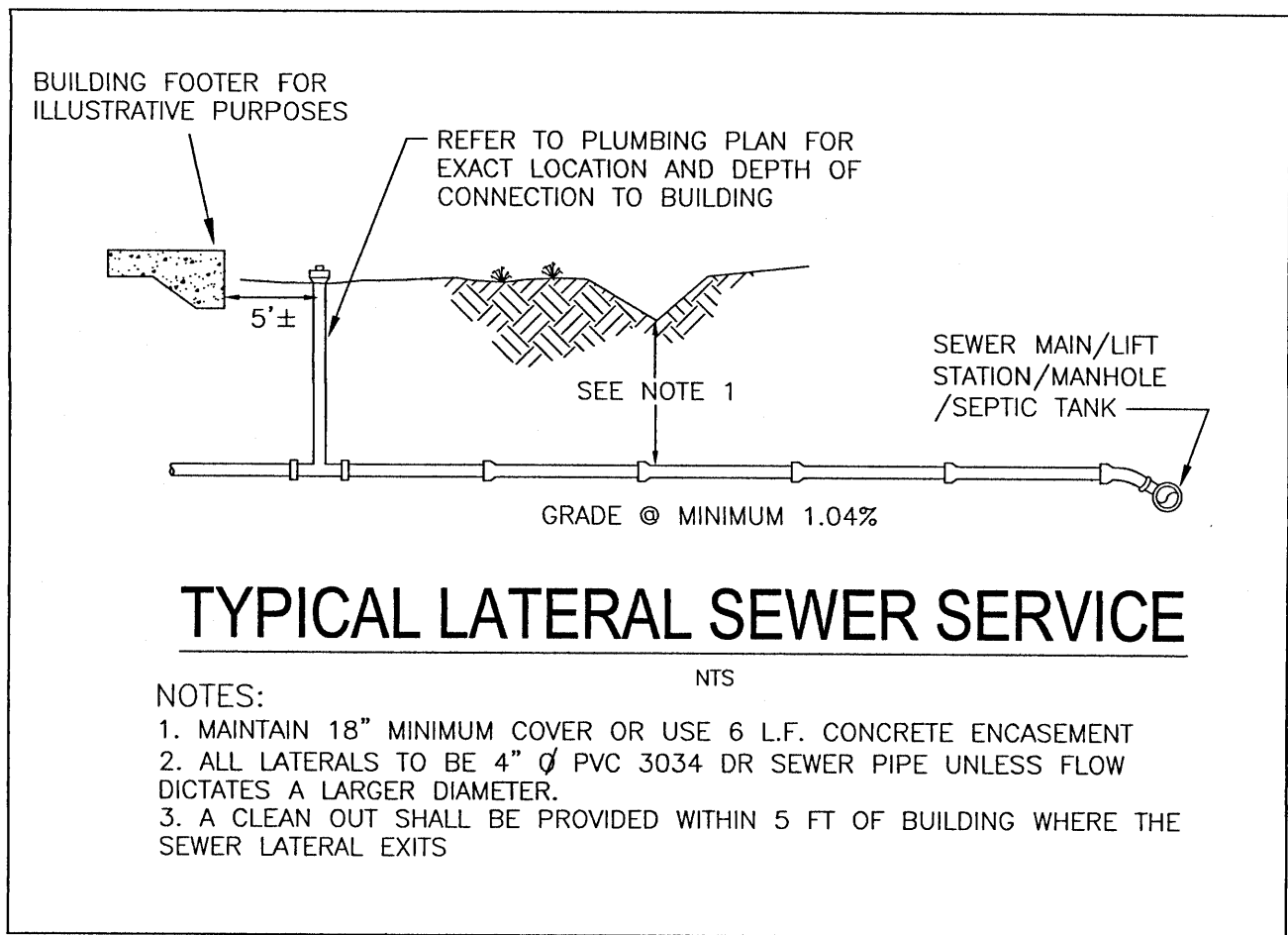
DRAWN BY: CJB  
DESIGNED BY: RLB  
CHECKED BY: TGB  
DATE: 12-09-2021  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION

PROJECT NO: 21-063  
SHEET: C11



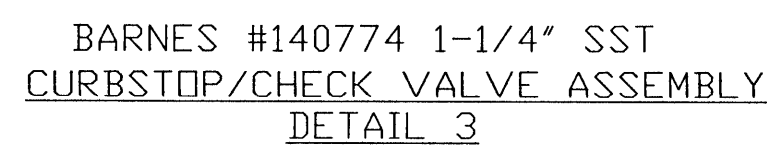
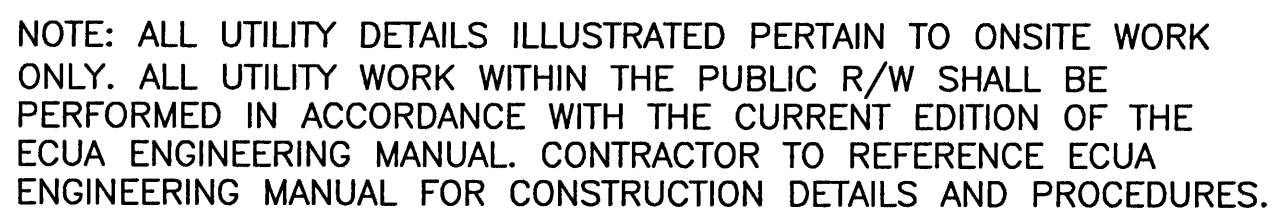


NOTE: ALL UTILITY DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



REVISIONS	
NO.	DATE
1	01/25/22
2	02/11/22
REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS	
REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS	
THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	
<b>HAMMOND ENGINEERING, INC.</b> FLORIDA AUTHORIZATION NO. 9130 ALABAMA AUTHORIZATION NO. 3277 3802 NORTH "S" STREET PENSACOLA, FLORIDA 32505 850 434-2603 FAX 850-434-2650 TOM@SELANDDESIGN.COM	
SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE UTILITY DETAILS ESCAMBA COUNTY FLORIDA	
DRAWN BY: CJB DESIGNED BY: RLS CHECKED BY: TGH DATE: 12-09-2021 SCALE: AS SHOWN NOT RELEASED FOR CONSTRUCTION BY:	
PROJECT NO: 21-063	
SHEET: C12	





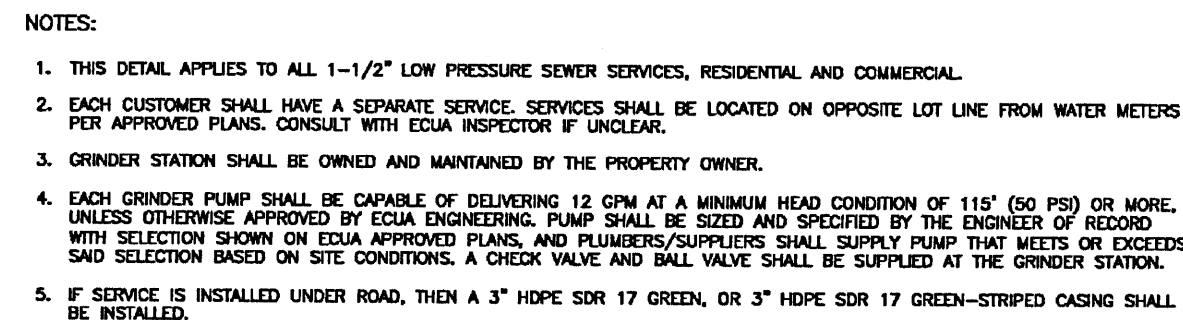
PUMP DATA TABLE	
MANUFACTURER	HCP
MODEL	32GF22.2H
VOLTAGE	230
PHASE	1
HP	3
FLA	14.2
RPM	3440
GPM	12
TDH (FEET)	116

WET WELL DATA	
WET WELL DIAMETER	36"
WET WELL DEPTH	84"
INFLUENT ELEV.	4.07
FORCE MAIN DIAMETER	15"
BOTTOM ELEV.	0.02
PUMP OFF ELEV.	2.02
PUMP ON ELEV.	2.82
HIGH LEVEL ALARM ELEV.	3.82
TOP ELEV.	7.00

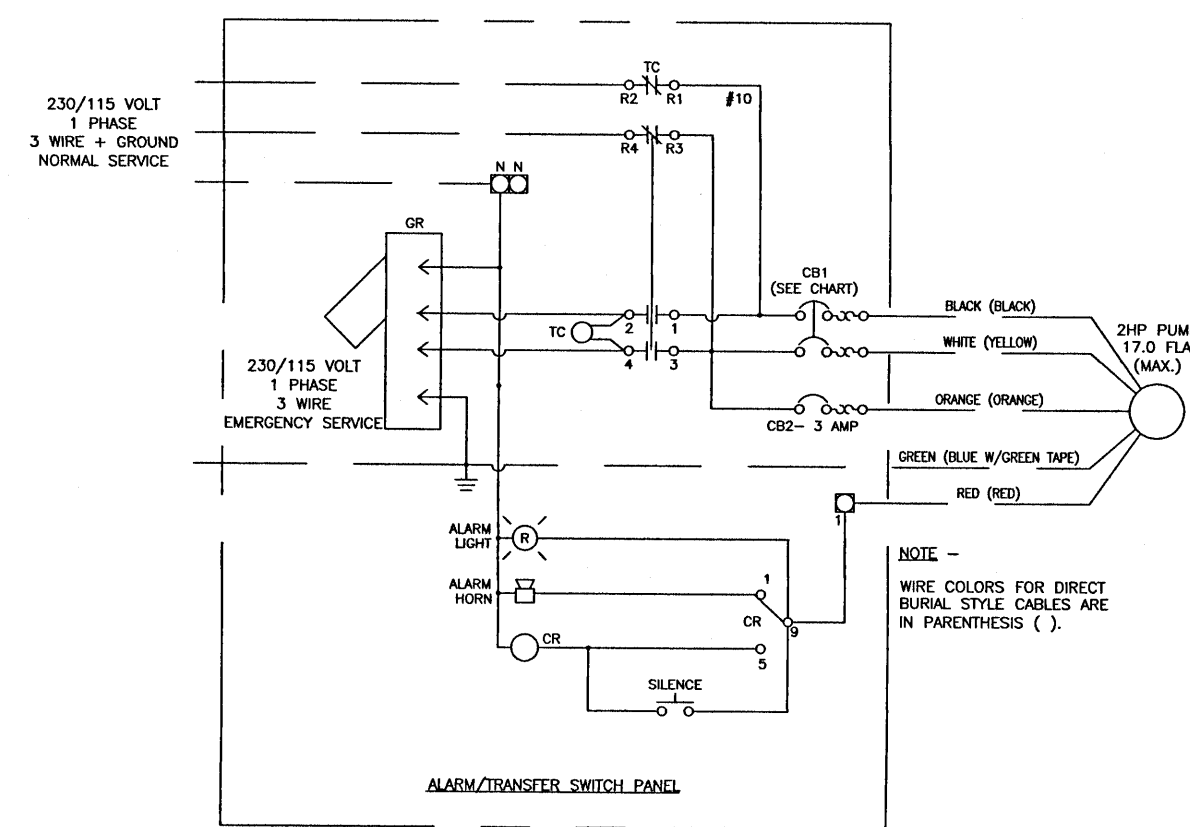
PUMP AND WET WELL REQUIREMENTS:

PUMP SHALL BE MODEL 32GF22.2H SUBMERSIBLE GRINDER PUMP AS MANUFACTURED BY HCP PUMPS AMERICA. PUMP SHALL BE RATED AT 3 HP, 230 VOLT/1-PHASE. PUMP SHALL DELIVER 1.1 GPM @ 116 FT. TOTAL DYNAMIC HEAD. IMPELLER SHALL BE CAST IRON NON-OVERLOADING DESIGN. THE PUMP SHALL BE MOUNTED IN A 36 INCH BY 84 INCH DEEP FIBERGLASS BASIN. BASIN SHALL BE COMPLETELY ASSEMBLED AND SHALL INCLUDE ANTI-FLOATATION FLANGES, NON-MERCURY FLOAT SWITCHES, STAINLESS STEEL HOOK SWITCH BRACKET, PULTRUDED GUIDE RAIL SYSTEMS AND PUMP LIFT CHAINS. BASIN COVER SHALL BE SPLIT AND BE MANIPULATED WITH A LOCKING ACCESS DOOR. BASIN WILL HAVE DISCHARGE WITH VALVES INSTALLED AND READY TO ACCEPT PUMP.

CONTROL PANEL SHALL INCLUDE A GENERATOR RECEPTACLE FOR BACK UP POWER DURING EMERGENCY SITUATIONS. ALARM SHALL ACTIVATE WHEN LIQUID LEVEL RISES TO THE HIGH LEVEL ALARM SWITCH. UNDER NORMAL OPERATION THE LEAD PUMP ON SWITCH SHALL ACTIVATE THE LEAD PUMP (IN THIS CASE THE ONLY PUMP) AND THE PUMP OFF SWITCH SHALL STOP THE PUMP WHEN THE LEVEL DROPS TO THAT POINT. NON-MERCURY FLOAT SWITCHES SHALL BE PROVIDED. FLOAT SHALL BE POLYPROPYLENE COATED. LEAD PUMP BRACKET SHALL BE STAINLESS STEEL AND SHALL HAVE 4 INCH HOOKS. ALL HARDWARE SHALL BE 304 STAINLESS STEEL.

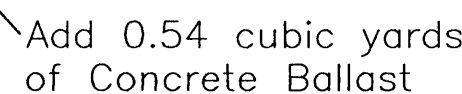


## NT



NOTES:

1. PANEL GROUND TERMINAL MUST BE CONNECTED TO EARTH GROUND
2. FIELD WIRING SHOWN AS \_\_\_\_\_
3. FACTORY WIRING SHOWN AS \_\_\_\_\_
4. GENERATOR RECEPTACLE NEMA CODE L14-30.



## WET WELL ELEVATION

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDDESIGN.COM

FAX 850-434-2650  
TOM@SELANDESIGN.COM

# **SITE DEVELOPMENT PLANS FOR** **PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE** **LIFT STATION DETAILS**

**SCAMBIA COUNTY FLORIDA**

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 12-09-2021
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT NO: 21-063

SHEET: C13